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GREEN VALLEY

REDUCED PROJECT ALTERNATIVE

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prepared for:

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City of Carlsbad
Planning Department
2075 Las Palmas Drive
Carlsbad, California 92009

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prepared by:

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Approved by Planning Commission
Resolution No. 3856, December 13, 1995

Approved by City Council
Ordinance No. NS-348, February 6, 1996

Approved by Coastal Commission
May 7, 1996

Adopted Coastal Commission Suggested Modifications
Ordinance No. NS-377, September 17, 1996

Approved by Planning Commission
Resolution No. 6215, 1/3/07

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I. INTRODUCTION

A. INTENT

It is the intent of the Green Valley Master Plan to serve as the development and preservation policy and design guideline for the Green Valley property. A Master Plan is an instrument under which development occurs in an orderly and positive manner without creating significant impacts to the existing and projected setting and infrastructure. A Master Plan document establishes land uses, delineates approximate acreages for development areas and identifies their locations, assigns density (as allowed by the City of Carlsbad General Plan), considers differing land use interrelationships, delineates specific design criteria, outlines phasing, and provides implementation methodology. It is also the basis for future, more detailed, project reviews, such as individual tentative maps and precise development plans.

Development of Green Valley is subject to all applicable ordinances, regulations, and policies of the City of Carlsbad, except as may be specifically discussed in this Master Plan and/or the Local Coastal Program. Adoption of the Green Valley Master Plan by the Carlsbad City Council, pursuant to Carlsbad Municipal Code, Chapter 21.38 (Zoning Ordinance), establishes site-specific requirements for project development. The Master Plan implements the General Plan, Local Coastal Program and the Municipal Code by providing development standards for all phases of the project and by requiring that all City regulations and requirements be applied in a manner appropriate to the specific site and site conditions. Unless specifically discussed in the Master Plan, all City ordinances and regulations will apply to Green Valley.

Although this Master Plan serves as a policy and design guideline for site-specific development and establishes development requirements on any future project within the property, this Master Plan, by itself, does not grant development rights for the property. Additionally, construction of a portion of the Master Plan area pursuant to this Master Plan does not grant any right to construct the balance of the Plan. All development within Green Valley is subject to requirements and conditions of the Master Plan and the Carlsbad General Plan and Municipal Code.

The Green Valley Master Plan is subject to all of the requirements established in the Carlsbad Growth Management Plan, including the Local Facilities Management Plan (LFMP) for Zone 23. LFMPs were established to ensure that existing and project infrastructure can adequately support proposed development. This Master Plan delineates the phased development of Green Valley and assures that all phases of development will be consistent with the requirements of Zone 23 LFMP.

B. MASTER PLAN GOALS

The goal of this Master Plan is to ensure a high quality development which will preserve the existing environmental resources, to the greatest extent possible, and to provide commercial retail and housing opportunities for area residents. Specifically, the goals of this Master Plan are as follows:

1. Maintain the viability of the riparian woodland corridor of Encinitas Creek and the topographic and habitat features of the upland bluff area.
2. Provide for the creation of new riparian woodland and habitat areas contiguous to the existing riparian woodland.
3. Provide an open space network containing pedestrian and bicycle trails to buffer the riparian woodland corridor from development and connect to the future citywide trail system.
4. Utilize the linear form of the property to organize the elements of the project and create the maximum feasible buffer and setback from the riparian woodland corridor.
5. Incorporate as an integral part of the site design and landscape plan appropriate debris removal areas and desiltation/depollutant basins to protect Encinitas Creek and Batiquitos Lagoon.
6. Create an on-site circulation system that provides clear, coherent access to the development areas on-site and includes connections into the adjacent jurisdiction.
7. Provide sufficient direction for the design of the retail center so that it will respond well to the natural landform and use landscaping to organize and define the main elements of the center.
8. Provide a proportionate fair share of affordable housing opportunities.
9. Guide the visual transition from undeveloped to developed lands through the use of building form, color, and materials.

C. PROJECT DESCRIPTION

Site Description

The Green Valley project site encompasses approximately 281 gross acres, all within the southwestern portion of the City of Carlsbad. (The Zone 23 LFMP encompasses an area of approximately 282 acres. The difference of less than one acre represents the separately-owned Kroblen parcel adjacent to El Camino Real.)

The property is bordered on the northwest, southwest and south by the City of Encinitas. The site is bounded on the north and east by La Costa Avenue and El Camino Real, respectively. Regional access to the site is via La Costa Avenue from Interstate 5, located less than two miles away and El Camino Real, a regionally-serving prime arterial roadway (see Figures I-1 and I-2 for regional and vicinity maps).

The Green Valley site is physically characterized by three distinct areas: (1) a linear riparian woodland area which is parallel and adjacent to El Camino Real; (2) an area of gently sloping open fields which is located to the west of the riparian woodland area; and (3) an area of moderate to steep slopes which is located in the western portion of the property. These distinct areas are clearly visible in the aerial photograph of the property, Figure I-3, and are diagrammed in Figure I-4. The riparian woodland area, within and adjacent to Encinitas Creek, is considered a significant environmental resource and is subject to all applicable requirements and permits dealing with such habitat.

Agricultural activity has historically occurred in the central, flatter portions of the site. This cultivated area is bounded on one side by the riparian woodland area and the other side by relatively steeply ascending slopes.

The western portion of Green Valley is characterized by moderate to steep slopes with three small canyons draining to the east. The highest elevations on-site are along the western boundary. Due to the relative steepness of this area no development is proposed.

Project Description

Specific land uses are those allowed under the existing Carlsbad General Plan, Local Coastal Program and zoning ordinance: commercial, residential, and open space. This is illustrated in Figure I-5. Development within the project site is divided into five different planning areas. Each area has its own unique land uses and characteristics. These areas are illustrated in Figure I-6 and Table I-1 and are described with brief summaries below. Detailed descriptions of the planning areas are contained in Chapter VI.

Planning Area 1 - Encinitas Creek Conservation and Buffer Corridor

Encinitas Creek traverses the project site in a south to north direction and is adjacent to El Camino Real. This corridor, approximately 400 to 600 feet wide (including proposed revegetation areas) and 5900 feet long is comprised largely of riparian woodland. This area is an important biological area not only for the plant communities associated with the habitat, but also for the birds and wildlife which live in such an environment. As such, it is necessary to maintain this habitat in permanent open space and to ensure that the area is not significantly impacted by any development which occurs in the vicinity. Therefore, the entire existing riparian woodland area has been placed in an open space easement.

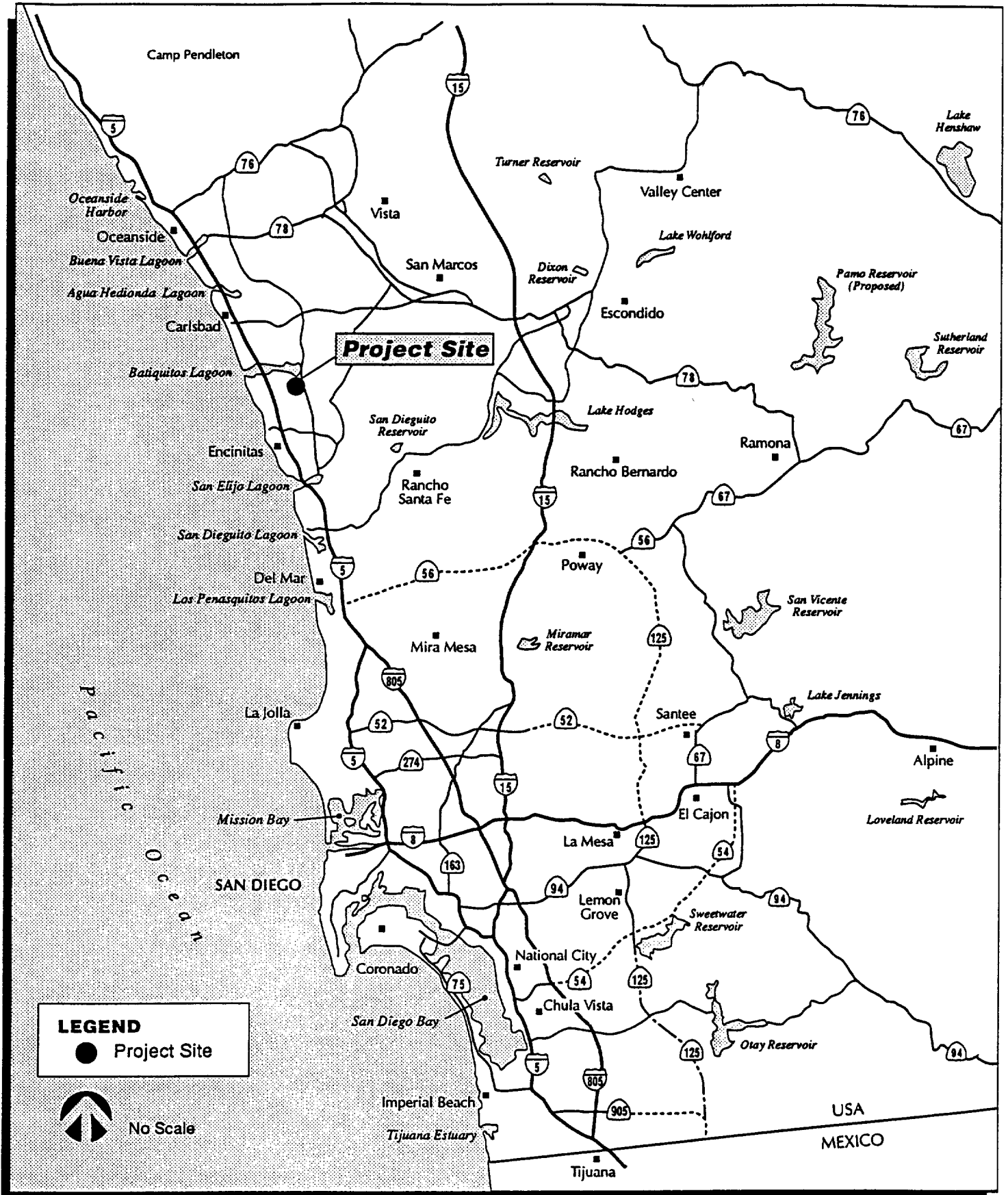


Figure I-1



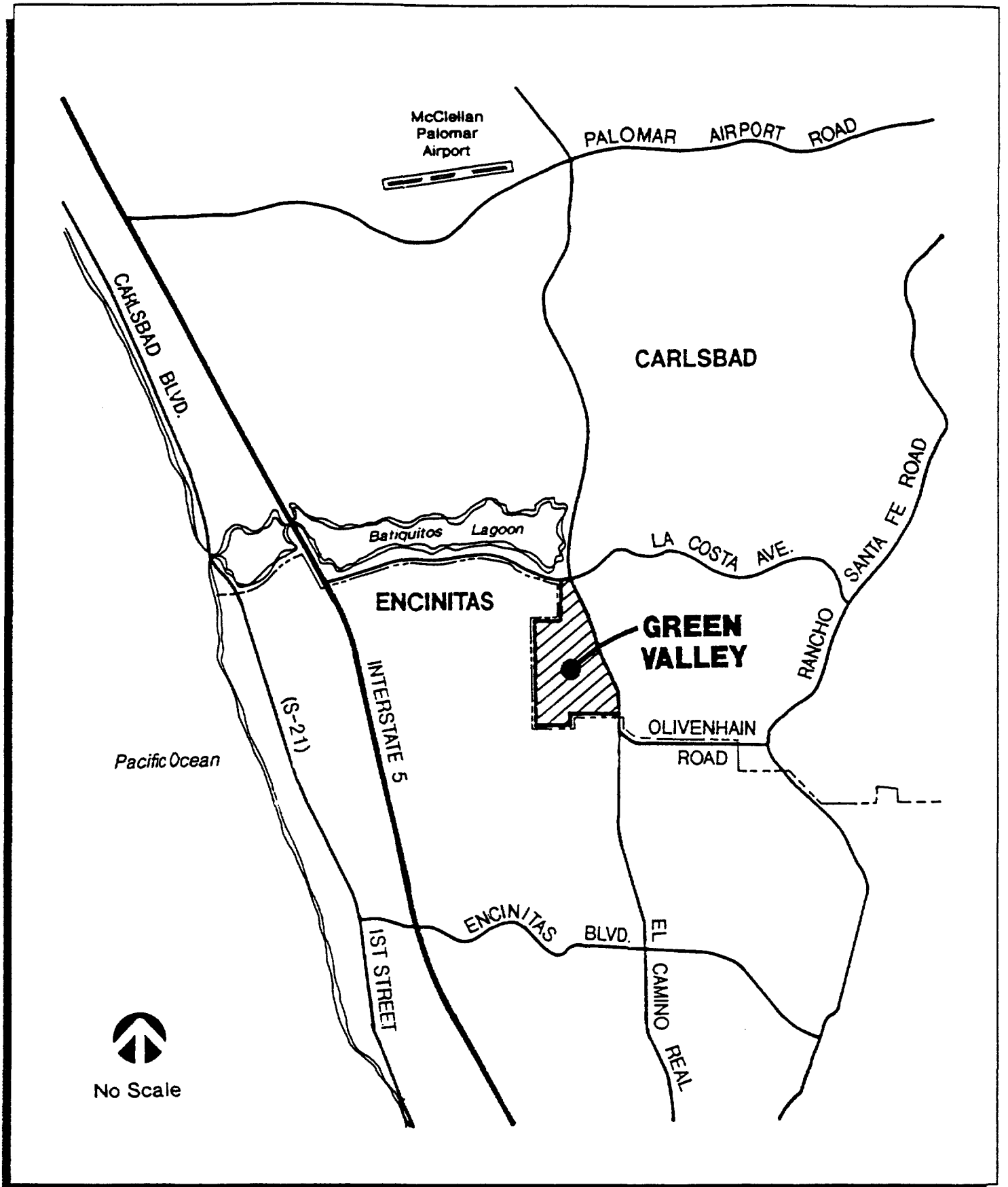


Figure I-2



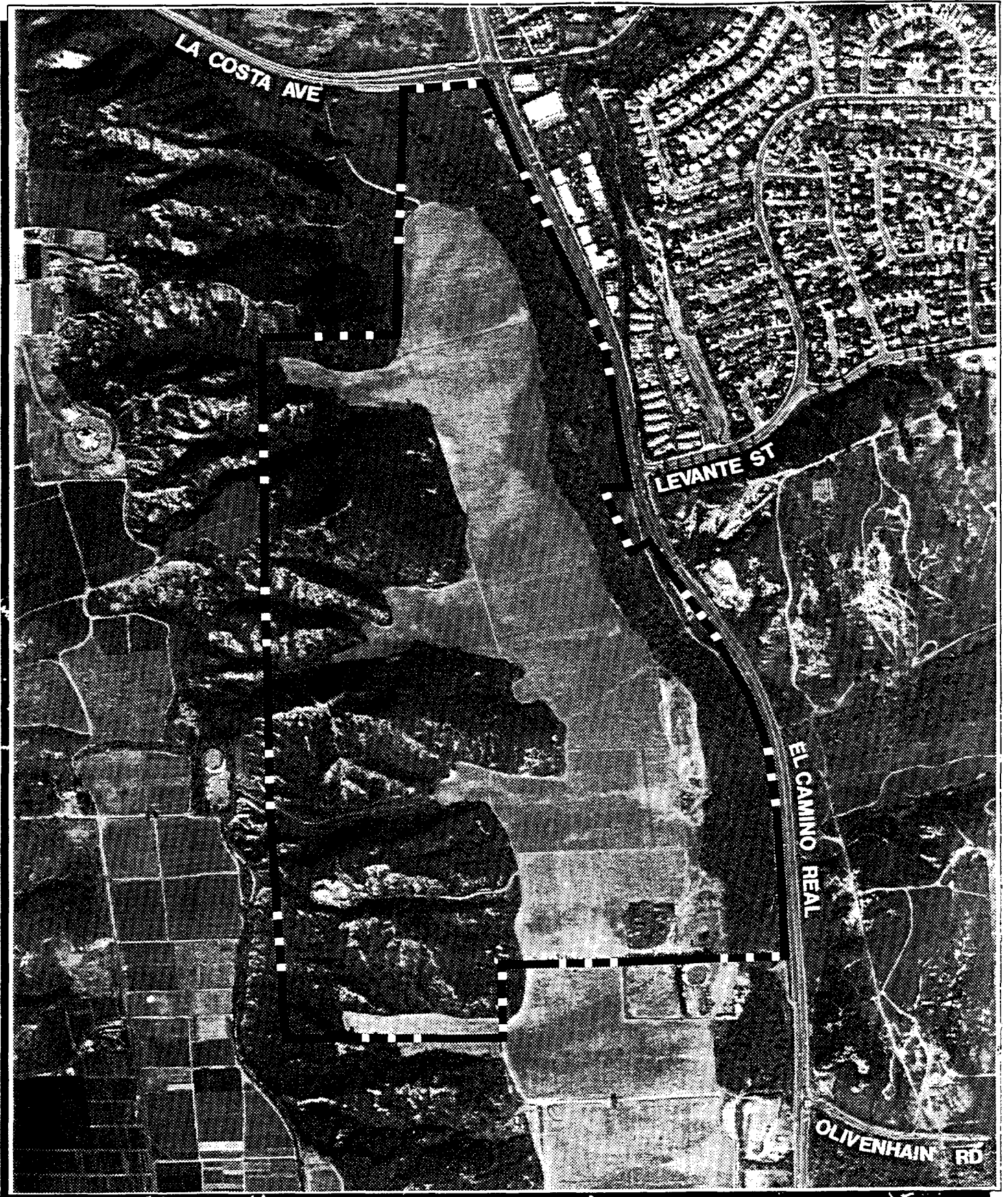


Figure I-3



Aerial Photograph

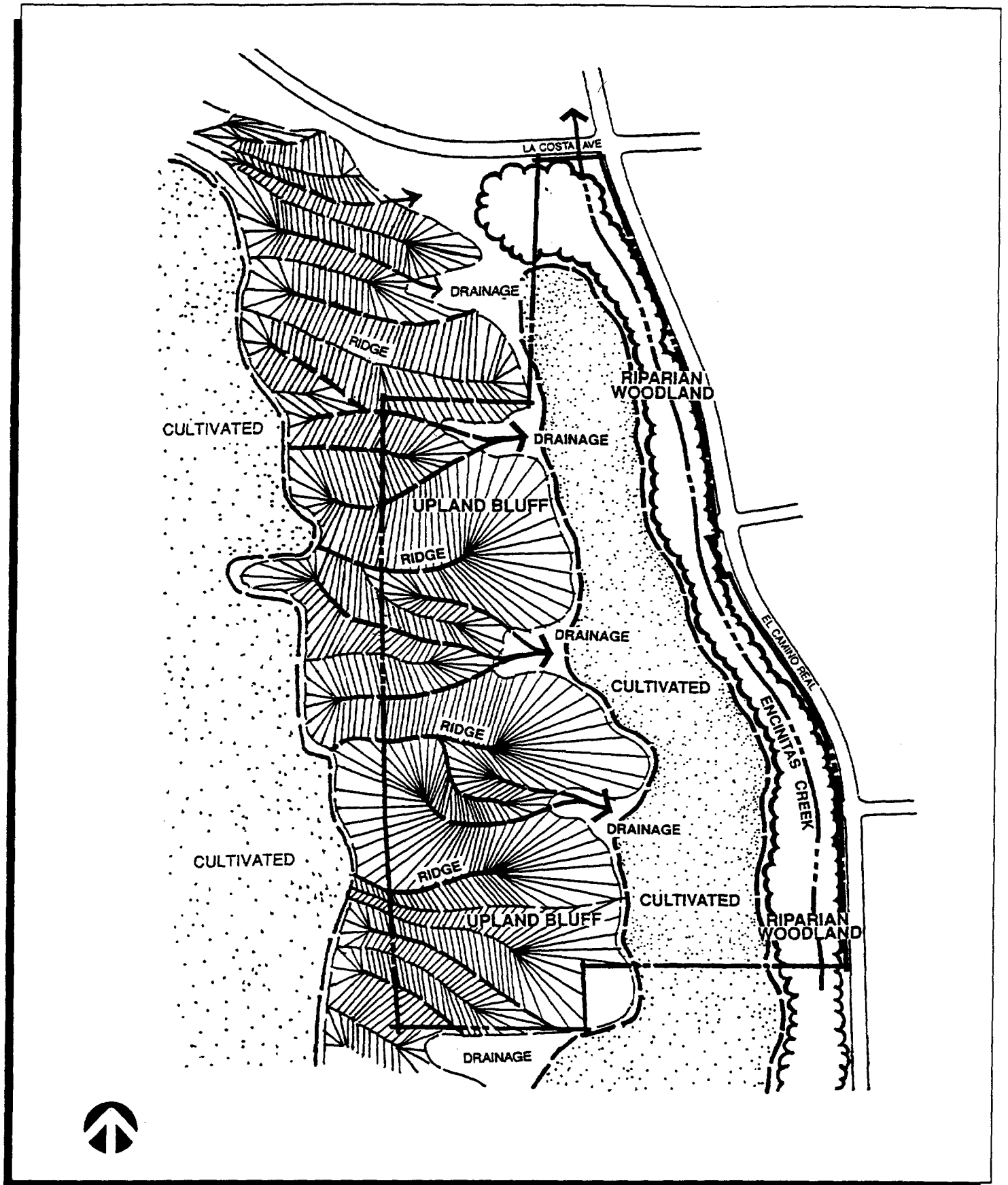


Figure I-4



Physiographic Character

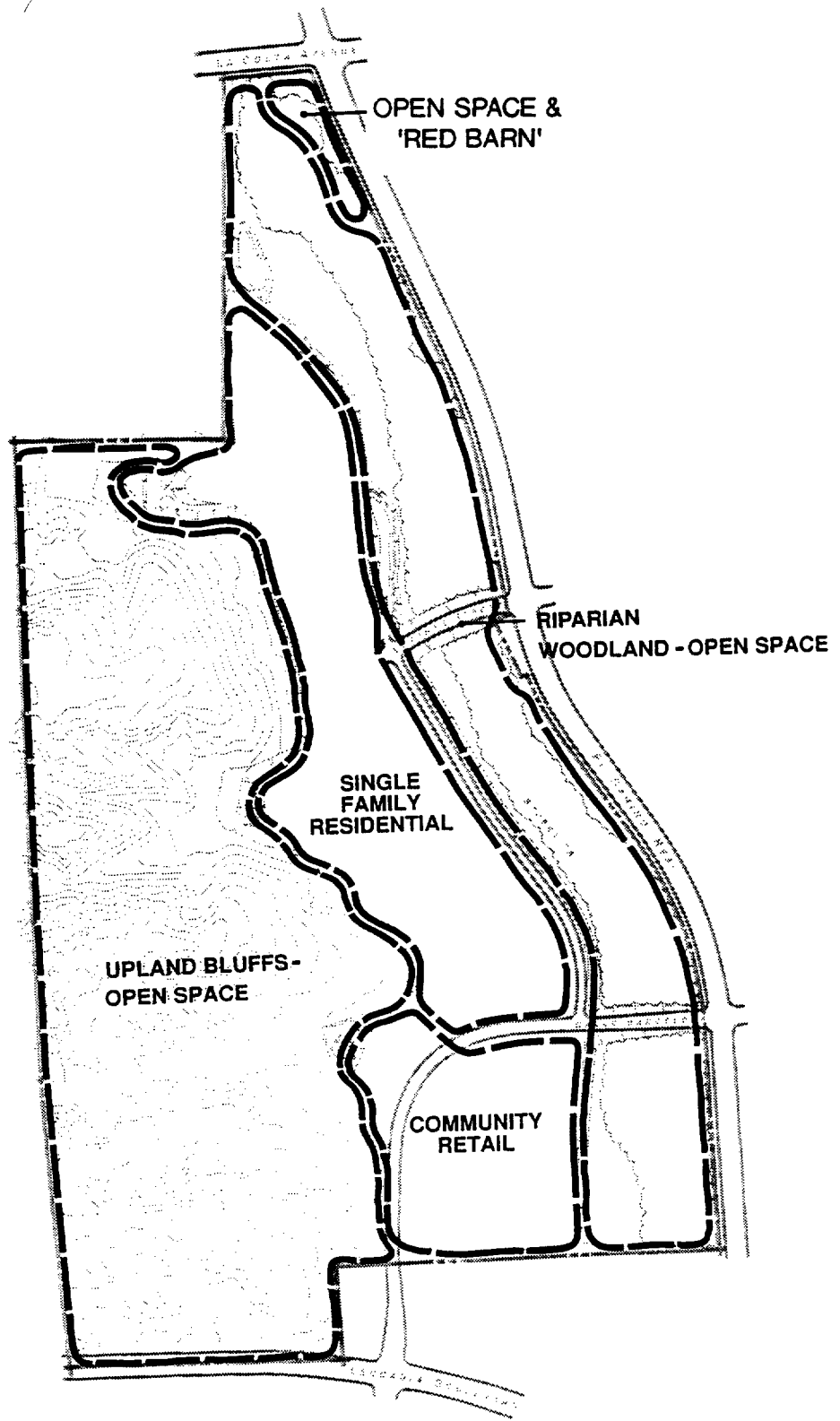


Figure I-5



PLANNING AREA	DESCRIPTION	LAND USE
1	Encinitas Creek Conservation Area/ Riparian Buffer Corridor	Open Space
2	Retail	Community Commercial
3	Residential	Single Family Residential
4	Upland Bluff	Open Space
5	'Red Barn'	Open Space

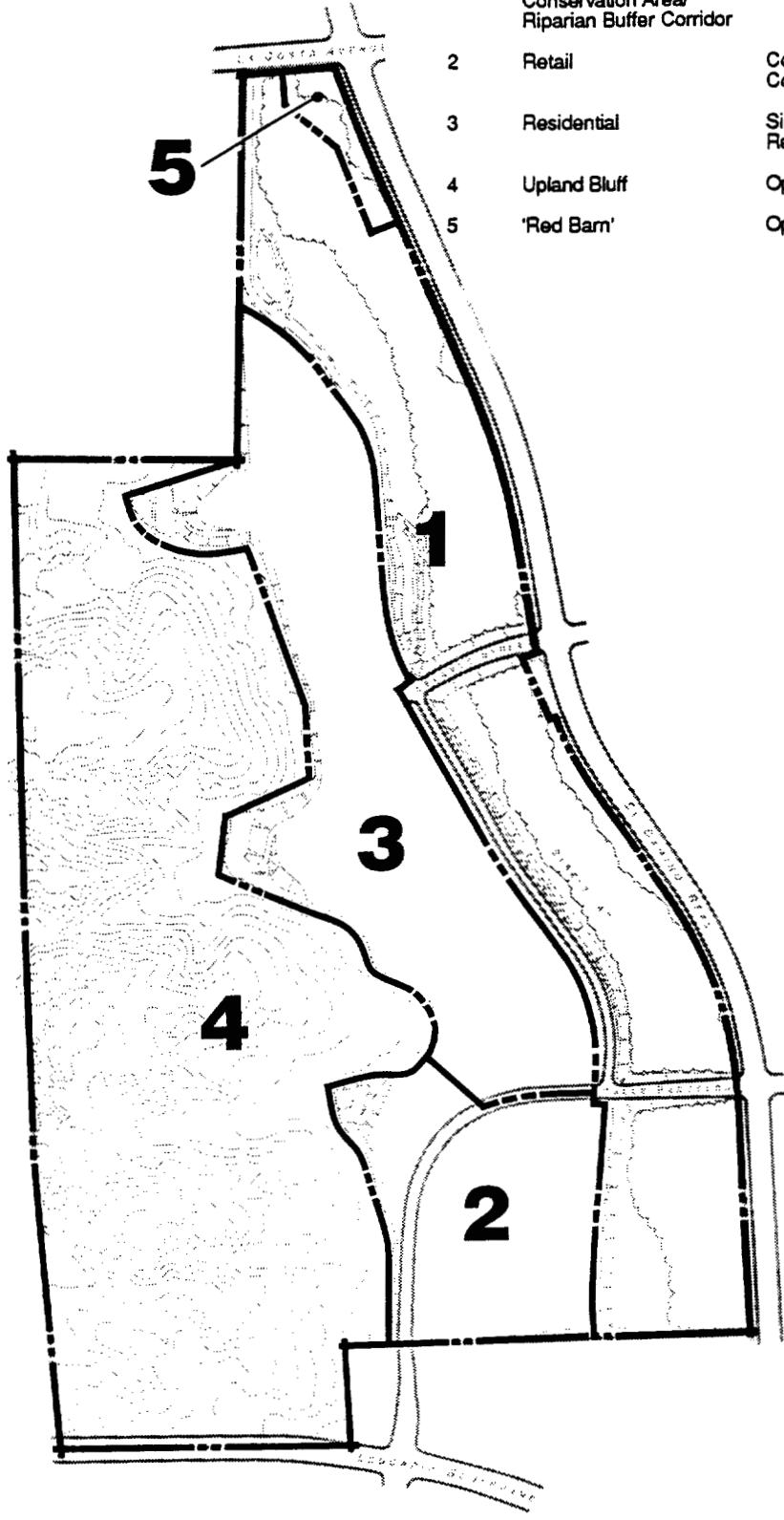


Figure I-6

P&D
PLANNING SYSTEMS

**Table I-1
LAND USE SUMMARY**

PLANNING AREA	LAND USE				Total Area (Ac.)
	Retail Center	Residential	Open Space	Public Street R.O.W.	
1	-	-	69.7*	9.5	79.2
2	18.3 NDA	-	-	-	18.3
3	-	55.8 NDA	-	-	55.8
4	-	-	122.8**	-	122.8
5			1.7		1.7
-				3.4	3.4
TOTAL	18.3 NDA	55.8 NDA	194.2**	12.9	281.2

- * Riparian Woodland and Upland Buffer
- ** Upland Bluffs
- NDA Net Development Acreage

The Encinitas Creek Conservation and Buffer Corridor, Planning Area 1, contains approximately 79 gross acres. Two roadways over the creek provide access to the project site. These crossing points are at Levante Street and the future Calle Barcelona, located approximately 0.5 miles and 0.9 miles, respectively, south of La Costa Avenue. There will be as little disturbance as possible from this construction and, to mitigate for the loss of habitat, appropriate adjacent area will be planted with new native vegetation in accordance with the requirements of the Local Coastal Program.

In addition to preserving sensitive biological resources, the Encinitas Creek Conservation and Buffer Corridor acts as a visual buffer between El Camino Real and planned on-site development to the west of Encinitas Creek in Planning Areas 2 and 3. It enables the site to retain much of its present character when viewed from El Camino Real.

Planning Area 2 - Retail Center

The approximately 18.3-NDA (Net Development Acres) Planning Area 2 is located in the south part of the disturbed portion of Green Valley, west of Planning Area 1. The planning area extends from the residential area north of Calle Barcelona to the southerly property boundary. Planning Area 2 consists of a retail center. A total of up to 300,000 square feet of commercial development may be allowed in Planning Area 2, subject to approval of a Site Development Plan.

Planning Area 3 - Single-Family Residential

The approximately 55.8-NDA Planning Area 3 is located in the central-northern disturbed portion of Green Valley. A total of up to 400 single-family dwelling units, 15% of which must be made available to low income households (Chapter 21.85 Carlsbad Municipal Code), may be approved in this area by the City Council subject to a Site Development Plan or PUD. The single-family residential may be comprised of detached units, townhomes, garden or patio homes.

Planning Area 4 - Upland Bluff Area

Planning Area 4 includes the hillside area on the western side of the property that is characterized by relatively steep slopes. This area contains approximately 123 acres. The highest elevations are on the western boundary, with slopes descending to the east. The bluff area, containing several slopes greater than 25% and a few slopes greater than 40%, is generally overlain by southern maritime chaparral, a vegetation community which is declining in the area primarily due to development. Southern maritime chaparral is considered an important plant community on-site in that it is the habitat for sensitive plant species. The upland bluff sensitive habitat area has been permanently preserved with an open space easement and acts as a dramatic backdrop to retail and residential development in Planning Areas 2 and 3. The Upland Bluff Area is a potential mitigation area under the provisions of Carlsbad ordinances related to the approval of such mitigation areas.

Planning Area 5 - Open Space

The approximately 1.7-NDA Planning Area 5 is located at the corner of El Camino Real and La Costa Avenue. It is currently the site of the building known locally as the "Red Barn." Although designated as open space, the "Red Barn" will remain as a legal non-conforming use which may be abated over time.

Ownership

The Green Valley property is composed of 12 contiguous assessor parcels under the same ownership. (One small parcel under separate ownership is included in the Zone 23 LFMP area; however, it is not a part of this Master Plan, as illustrated in Figure I-7). A brief legal description of the Green Valley property is as follows: A portion of Section 2, Township 13 South, Ranch 4 West, and a portion of Section 35, Township 12 South, Range 4 West. The parcels and their respective acreages are listed in Table I-2.

**Table I-2
GREEN VALLEY OWNERSHIP**

<u>Assessor Number</u>	<u>Acreage</u>	<u>Ownership</u>
216-122-24	4.30	Carlsbad Partners, Ltd.
216-122-36	7.63	Carlsbad Partners, Ltd.
216-122-37	19.61	Carlsbad Partners, Ltd.
255-011-08	8.45	Carlsbad Partners, Ltd.
255-011-09	49.15	Carlsbad Partners, Ltd.
255-011-10	143.54	Carlsbad Partners, Ltd.
255-011-11	6.35	Carlsbad Partners, Ltd.
255-011-12	5.65	Carlsbad Partners, Ltd.
255-021-05	3.97	Carlsbad Partners, Ltd.
255-021-06	25.52	Carlsbad Partners, Ltd.
255-021-07	1.66	Carlsbad Partners, Ltd.
<u>255-021-08</u>	<u>5.41</u>	Carlsbad Partners, Ltd.
Total	281.24	

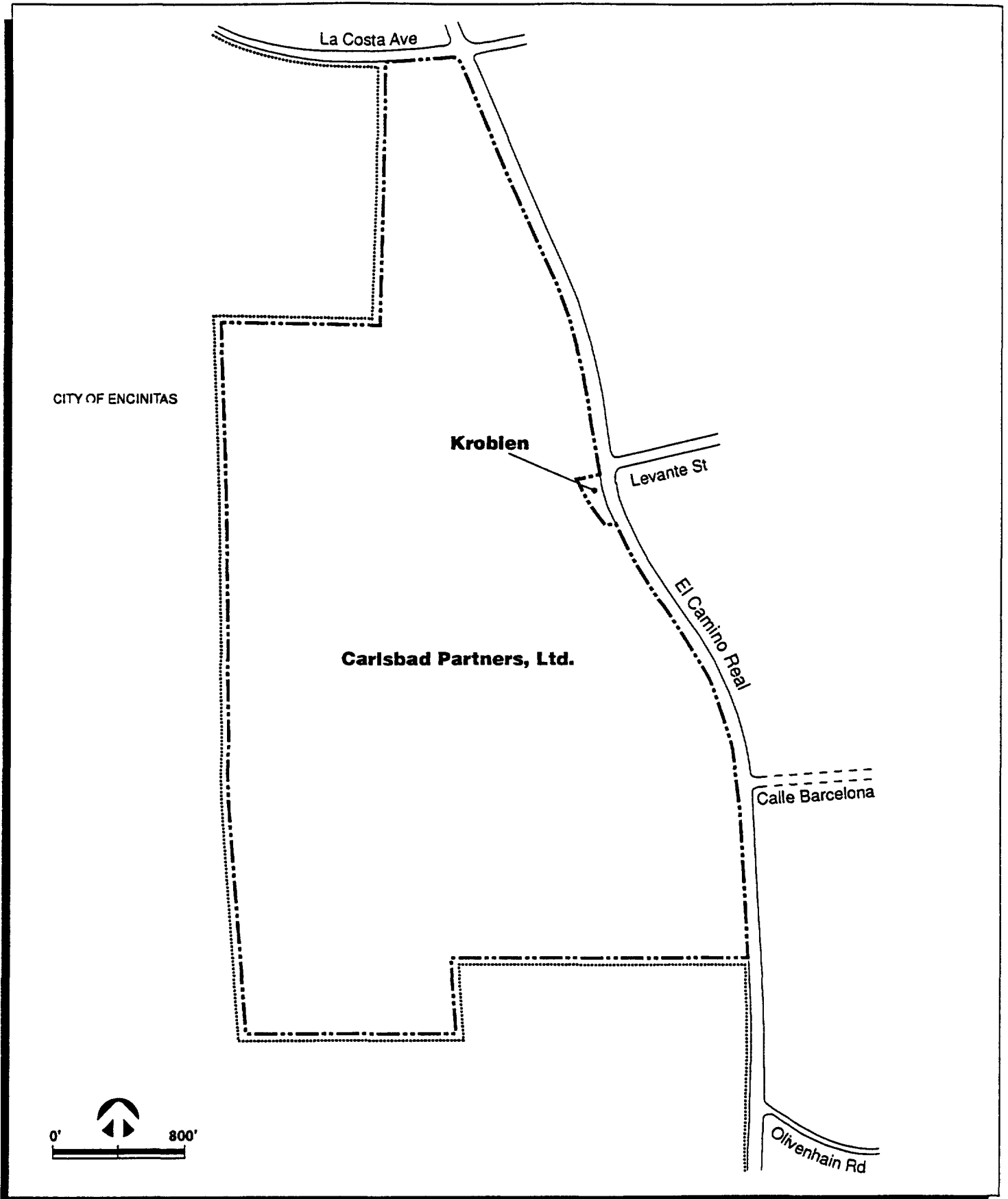


Figure I-7

P&D

PLANNING SYSTEMS

Zone 23 LFMP
Ownership Map

D. MASTER APPLICATIONS

Applications Processed Concurrently with the Master Plan

Environmental Impact Report, EIR 93-02 - The Environmental Impact Report (EIR), as required by the California Environmental Quality Act (CEQA), identifies all issues of environmental concern as a result of the proposed on-site development. After a thorough analysis of each issue, the level of impact is assessed. If an issue is determined to be significant, appropriate mitigation measures and monitoring programs are established.

Local Coastal Program (LCP) Amendment, LCPA 93-06 - Currently the land use portion of the East Batiquitos Lagoon/Hunt Properties Segment of the LCP is complete. The Green Valley Master Plan will serve as the implementing ordinance for this LCP Segment. As required, the Master Plan will be incorporated into the LCP as an amendment to finalize the LCP document.

Local Facilities Management Plan, LFMP 87-23 - In 1986 the City of Carlsbad initiated a growth management program which defined 25 Local Facilities Management Plan (LFMP) zones. Each zone corresponds to a specific geographic area within the Carlsbad community. A LFMP must be prepared for each zone prior to development. Green Valley is designated by the growth management plan as LFMP Zone 23, which is located in the Southwest Quadrant of the City. This zone plan has been created in accordance with the City of Carlsbad Growth Management Program to address the adequacy of existing and projected project-related public facilities. This analysis includes the zone's relationship with the eleven identified public facilities: City administration facilities, library, wastewater treatment capacity, parks, drainage, circulation, fire, open space, schools, sewer collection system, and water distribution system.

Master Tentative Tract Map, CT 92-08 - The subdivision provides for the initial development of the backbone infrastructure, grading, and environmental protection measures on the property. CT 92-08 is intended to be followed by individual tract maps, Planned Unit Developments or Site Development Plans for the development of Planning Areas 2 and 3.

Special Use Permit, SUP 92-05 - This permit was required for work within the Encinitas Creek 100-year floodplain which is located in a Special Flood Hazard Area as indicated on the Carlsbad Zoning Map. Work within the floodplain consists of the construction of two access roads; Levante Street and Calle Barcelona. Development within the Special Flood Hazard Zone is subject to all regulations of the Floodplain Management Regulations, Chapter 21.110 of the Carlsbad Municipal Code.

Hillside Development Permit, HDP 92-15 - A Hillside Development Permit is required prior to development of all property with a slope of fifteen percent or greater and an elevation differential greater than fifteen feet pursuant to Chapter 21.95 of the Carlsbad Municipal Code. These conditions exist in Green Valley and a Hillside Development Permit was therefore required.

Implementation of the Green Valley Master Plan requires a number of reports, and discretionary and ministerial permits. Anticipated permit applications are as follows:

Planning Area Tentative Tract Maps (CT) - Tentative maps (CT's) for the individual Planning Areas shall be in substantial conformance with the adopted Green Valley Master Plan. It is anticipated that some modifications may be necessary to CT 92-08 with the layout and detailed design of buildings, parking, and landscaping. All subsequent CT's and amendments shall be processed pursuant to Title 20 of the Carlsbad Municipal Code.

Planned Unit Development (PUD) - A PUD is required for the residential development of Planning Area 3 if it includes a subdivision of land for residential lots less than 7500 square feet. PUD's shall be processed pursuant to Chapter 21.45 of Title 21 of the of the Carlsbad Municipal Code. However, the design criteria and development standards as described in Section VI.D of this Master Plan shall take the place of Section 21.45.090.

Nonresidential Planned Unit Development Permit (PUD) - A Nonresidential PUD may be required for the commercial development of Planning Area 2 if it includes a subdivision of land. Nonresidential PUD's shall be processed pursuant to Chapter 21.47 of the Carlsbad Municipal Code. The design criteria and development standards as described in Section VI.C of this Master Plan shall take the place of Section 21.47.080.

Site Development Plan (SDP) - A Site Development Plan is required for the commercial development of Planning Area 2 and may be required for Planning Area 3. The SDP shall be processed pursuant to Chapter 21.06 of Title 21 of the Carlsbad Municipal Code. The design criteria and development standards as described in Section VI.C (Planning Area 2) and Section VI.D (Planning Area 3) of this master plan shall take the place of Section 21.06.090.

Conditional Use Permit (CUP) - Uses which are not listed as permitted in Section VI.C & D of this master plan but are listed as permitted uses with a CUP in Chapter 21.42 may be allowed with approval of a CUP. In addition, a CUP is required for any potential mitigation area as described in Section VI.E of this Master Plan.

Special Use Permit (SUP) - A SUP is required for any development which is proposed within the El Camino Real corridor as described within its design standards. The development standards apply to any area within 500 feet (downslope) of the El Camino Real roadway. The only area of Green Valley subject to the development standards and which would require a Special Use Permit are Planning Area 1 and Planning Area 5. (See Figure II-2 for location of the El Camino Real Corridor).

Other Involved Agencies

California Department of Fish and Game (CDFG) - A 1603 Permit is required for the protection of wetland habitat associated with the Encinitas Creek, which is indicated as a "blue-line" stream on the U.S.G.S. quadrangle map. Mitigation measures are required to compensate for loss of habitat due to project construction.

U.S. Fish and Wildlife Service (USFWS) - Impacts to Federally listed threatened or endangered species or species habitat, require a Section 7 consultation with USFWS under the Federal Endangered Species Act.

U.S. Army Corp of Engineers - A 404 Permit is required for the construction of the Levante Street and Calle Barcelona extensions which cross Encinitas Creek. The two project roadways total more than one acre of fill within a wetland area.

California Coastal Commission - Green Valley is located entirely within the California Coastal Zone and the East Batiquitos Lagoon/Hunt Properties segment of the Carlsbad Local Coastal Program (LCP). Development of the site is subject to all restrictions and requirements of the LCP and will require issuance of a Coastal Development Permit.

II. GENERAL PLAN AND LAND USE PROVISIONS

Land use is regulated by appropriate local and State agencies to ensure that development will be orderly, timely, and complimentary to existing or expected growth patterns in the vicinity, and that existing and future infrastructure will be able to support the proposed growth. Regulations and ordinances which are specific to the Green Valley project are examined below.

A. BACKGROUND

Historically, the Green Valley property has been primarily dry farmed, producing a variety of crops. Crop production has been confined to the central portion of the property. The cultivated area is a gentle, eastwardly-sloping corridor located between high bluff on the west and Encinitas Creek on the east.

The Green Valley property was annexed into the City of Carlsbad in 1985, as a part of a larger holding which included the Batiquitos Lagoon and a large portion of its northern shore. At the time of annexation, Green Valley was located within an unincorporated section of the County of San Diego.

B. GENERAL PLAN

A General Plan is a regulatory instrument by which the general type, location, and intensity of land use is established within a city or county in order to ensure the best possible environment for the citizens and workers in that area. The project site is designated in the Carlsbad General Plan Land Use Element and Land Use Map as Community Commercial (C), Office (O), Medium-High Density Residential (RMH) and Open Space (OS) (see Figure II-1).

The Medium-High Density (RMH) residential designation provides for an urban level of residential development, with 8 to 15 dwelling units per developable acre. The City of Carlsbad has also established Growth Management Control Points within the density ranges to ensure that development within a specific quadrant does not exceed the quadrant limit for total numbers of dwelling units. The Growth Management Control Point for RMH is 11.5 DU/AC. Medium-high residential areas are characterized by condominium or apartment developments.

The project site is bordered on two sides by Circulation Element Roads. El Camino Real, which serves as the project's eastern boundary, is designated as a prime arterial, which at ultimate buildout is intended to have six travel lanes and a median divider within a 126-foot right-of-way. La Costa Avenue to the north is designated as a major arterial in the vicinity of the project site. A major arterial has four travel lanes and a median divider within a 102-foot right-of-way. Driveway access from private property to prime arterials and major arterials is prohibited.

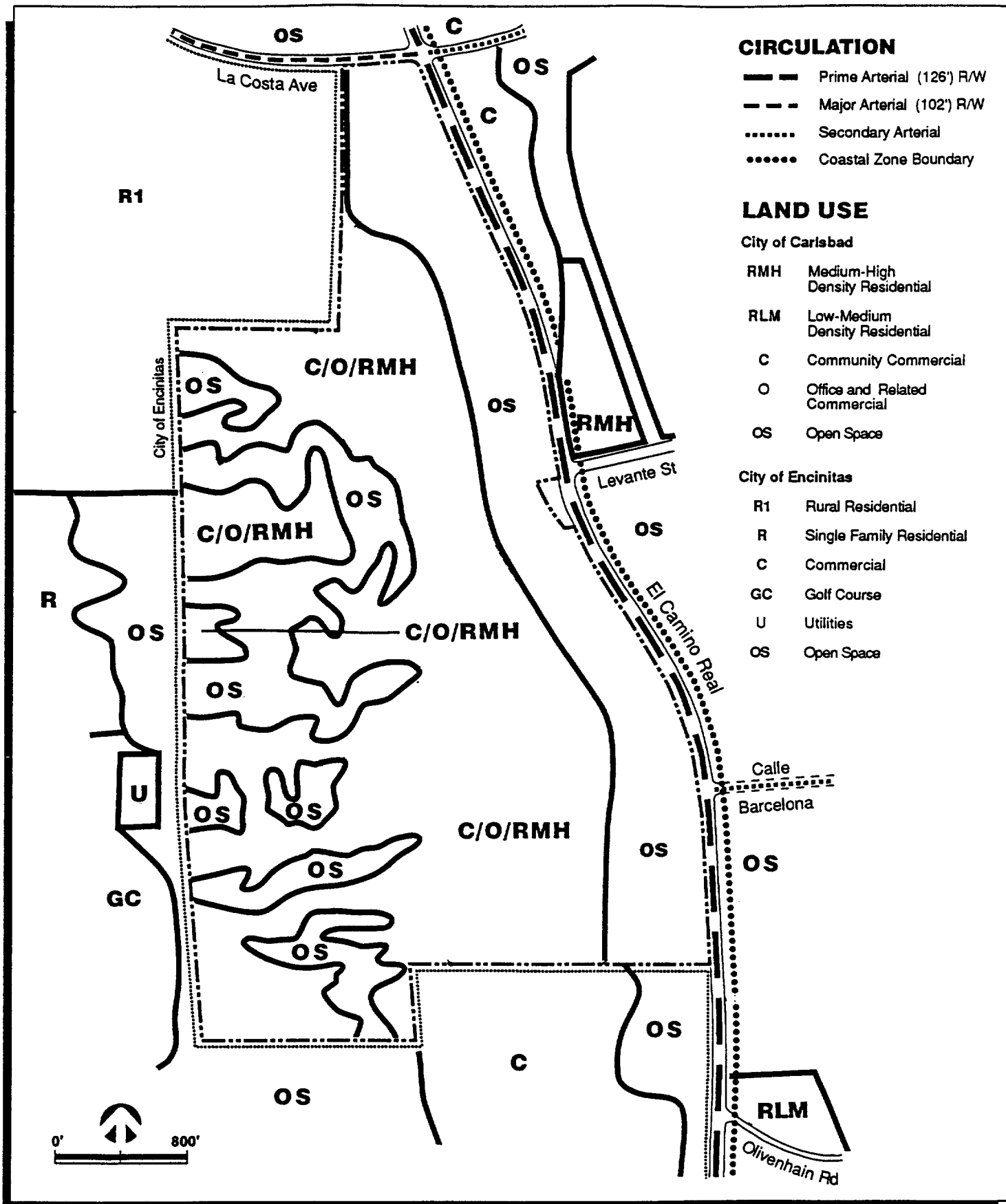


Figure II-1



An extension of Leucadia Boulevard from Sidonia Street to El Camino Real is also indicated on the Carlsbad General Plan map, even though it is within the City of Encinitas. This roadway, to be located immediately south of Green Valley, will connect to El Camino Real at Olivenhain Road. Leucadia Boulevard is listed as a major arterial in both the Encinitas and Carlsbad General Plans with an ultimate width of four lanes.

El Camino Real is designated as a Community Theme Corridor in the Scenic Highways Element of the Carlsbad General Plan. Scenic corridors are those roadways which have been identified as having significant scenic or historical value. It is the intent of the Element to ultimately protect and enhance identified scenic areas by the use of Specific Plans or overlay ordinances which may regulate site design, building massing and heights, landscaping, signage, etc.

C. ZONING

Zoning regulations are more specific than General Plan designations. Zoning regulations generally detail specific allowable land uses, setbacks, building heights, lot areas and widths, and development standards. The General Plan and zoning designations for any particular parcel of land must be consistent and should compliment each other.

The Green Valley property is zoned Planned Community Zone (P-C), which is a flexible zone intended to allow for the comprehensive planning of a large parcel of land under unified ownership (see Figure II-2). This zone is different than most zones in that there are initially no specific land use regulations. Instead, it is incumbent upon the applicant for a development project to design a Master Plan which includes unique regulations which are responsive to the character of the property and acceptable to the City. Such items as infrastructure, phasing, resource preservation, and site development standards must all be delineated.

The Planned Community Zone Intent and Purpose in the Carlsbad Zoning Ordinance (Section 21.38.010) is as follows:

1. Provide a method for the orderly implementation of the General Plan and any applicable Specific Plan by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accordance with an adopted master plan to provide an environment of stable and desirable character;
2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
3. Allow for the coordination of Planning efforts between developer and city to provide for the orderly development of all necessary public facilities to insure their availability concurrent with need;

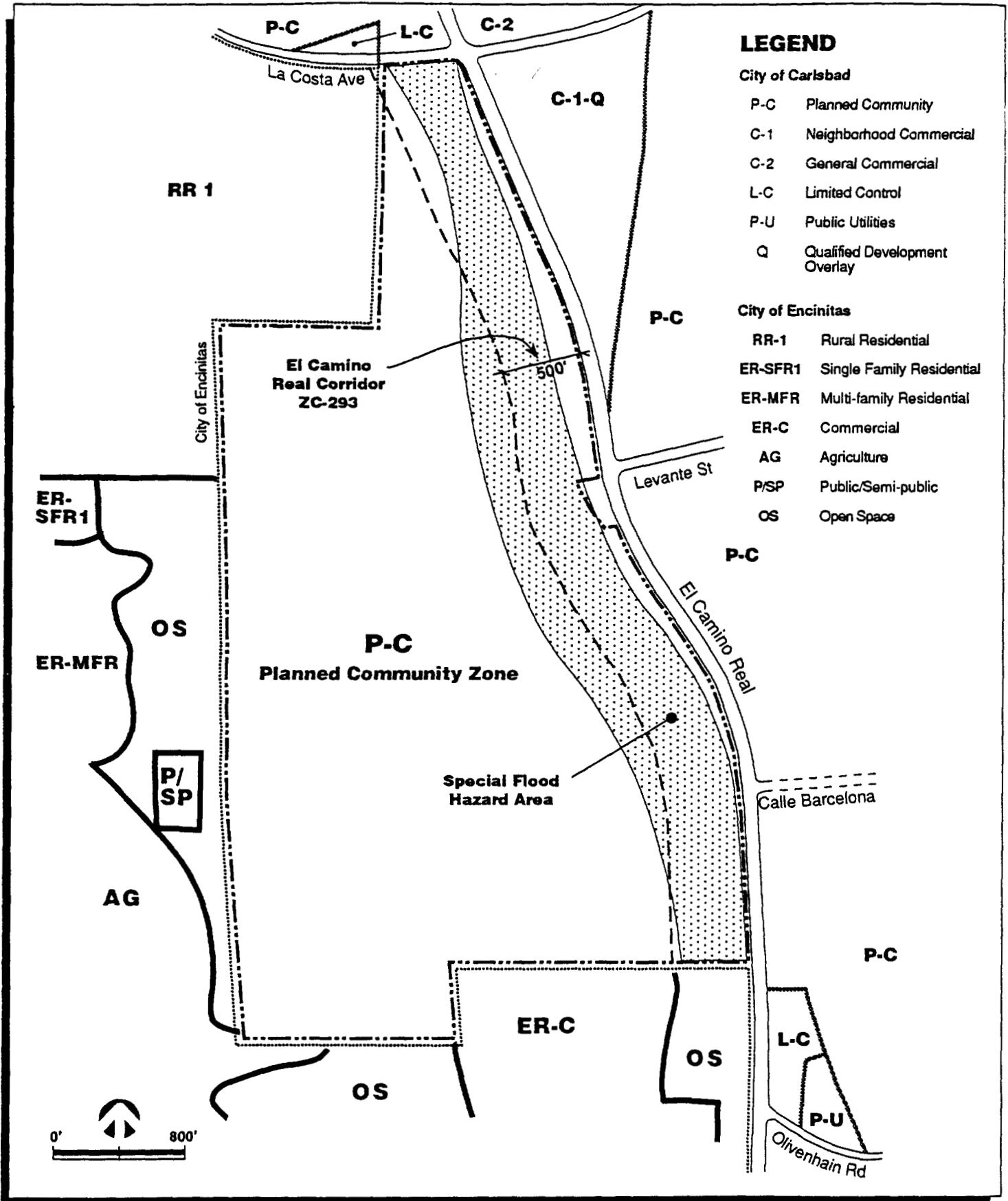


Figure II-2



4. Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the city, provided such plans are in accordance with the approved planned community master plan.

The Floodplain Overlay Zone Intent and Purpose in the Carlsbad Zoning Ordinance (Section 21.31.010) is as follows:

- (1) Supplement the underlying zoning by providing additional regulations for development within designated floodplain areas to protect the public health, safety and welfare;
- (2) Reduce the financial burden on the city and its inhabitants and property owners by minimizing potential flood hazards and by eliminating or reducing the need for the construction of flood control facilities that would be required if unregulated development were permitted in the floodplain areas;
- (3) Restrict or prohibit uses that could be dangerous to health or property in time of flood or cause excessive increases in flood heights or velocities;
- (4) Require that uses vulnerable to floods be protected at time of initial development;
- (5) Clearly designate those areas of the city that could be adversely affected during time of flood;
- (6) Preserve a natural channel or open area wherever feasible to carry abnormal flows of water at time of flood;
- (7) Implement the goals and objectives of the general plan;
- (8) Recognize floodplain areas as open space resources and encourage compatible open space uses wherever possible.

The El Camino Real Corridor Development Standards Intent and Purpose from the City Council resolution adopting the standards is as follows:

The intent and purpose of the El Camino Real Corridor Development Standards is to maintain and enhance the appearance of the El Camino Real roadway area. These standards reflect the existence of certain identified characteristics which the City considers worthy of preservation. This document is intended to further the goals of the Land Use and Scenic Highways Elements of the General Plan in their objective of preserving unique city resources as they relate to highways.

The standards reflect both a general design concept of the entire length of the 126-foot wide El Camino Real right-of-way, as well as development restrictions for private properties fronting on the roadway.

Standards for the area within the right-of-way reflect an intention to provide an easily-identifiable homogenous corridor, with a single design concept that motorists will recognize from any point along the route. As a result of their obvious relationship with the roadway, private properties fronting El Camino Real are also subject to development restrictions. These private property areas contain varied topography, diverse countryside views, and several different land uses. The development standards have been divided into five sub-areas, capitalizing on the existing desirable characteristics of each.

This Master Plan document establishes all such standards and will serve as the regulatory instrument for the development of Green Valley.

D. LOCAL COASTAL PROGRAM

The California Coastal Act (1976), with subsequent revisions and amendments, was enacted to control development within a designated coastal zone. Green Valley is located entirely within the California Coastal Zone. The boundary in the vicinity of the project runs along El Camino Real. In accordance with the California Coastal Act, each of the State's counties and cities within the coastal zone were required to prepare a Local Coastal Program, specifically applicable to their respective areas.

Prior to the annexation of Green Valley to the City of Carlsbad, general land use policies were established by a draft Local Coastal Program prepared by the County of San Diego Planning Department. This document covered a large geographic area which was then the community of Leucadia, but specifically identified the prominent environmentally constrained features in Green Valley (riparian woodland corridor and steep slopes). These areas were recommended to be protected from development. Although there were a number of Coastal Commission hearings on the County-prepared Local Coastal Program, the document was never certified by the Commission.

The City of Carlsbad approved a Master Plan and Environmental Impact Report (EIR) in 1987 covering the Batiquitos Lagoon and area to the north which was originally called Pacific Rim and is currently called Aviara. The Pacific Rim Master Plan and EIR did not cover the Green Valley area.

The City of Carlsbad, following the approval of the Pacific Rim Master Plan and EIR in 1987, submitted the East Batiquitos Lagoon/Hunt Properties segment of the Carlsbad Local Coastal Program to the Coastal Commission for approval. The Local Coastal Program segment covered the Batiquitos Lagoon, its northern shore area, and Green Valley. The Pacific Rim Master Plan was submitted and approved as the land use plan and implementing ordinances for Batiquitos

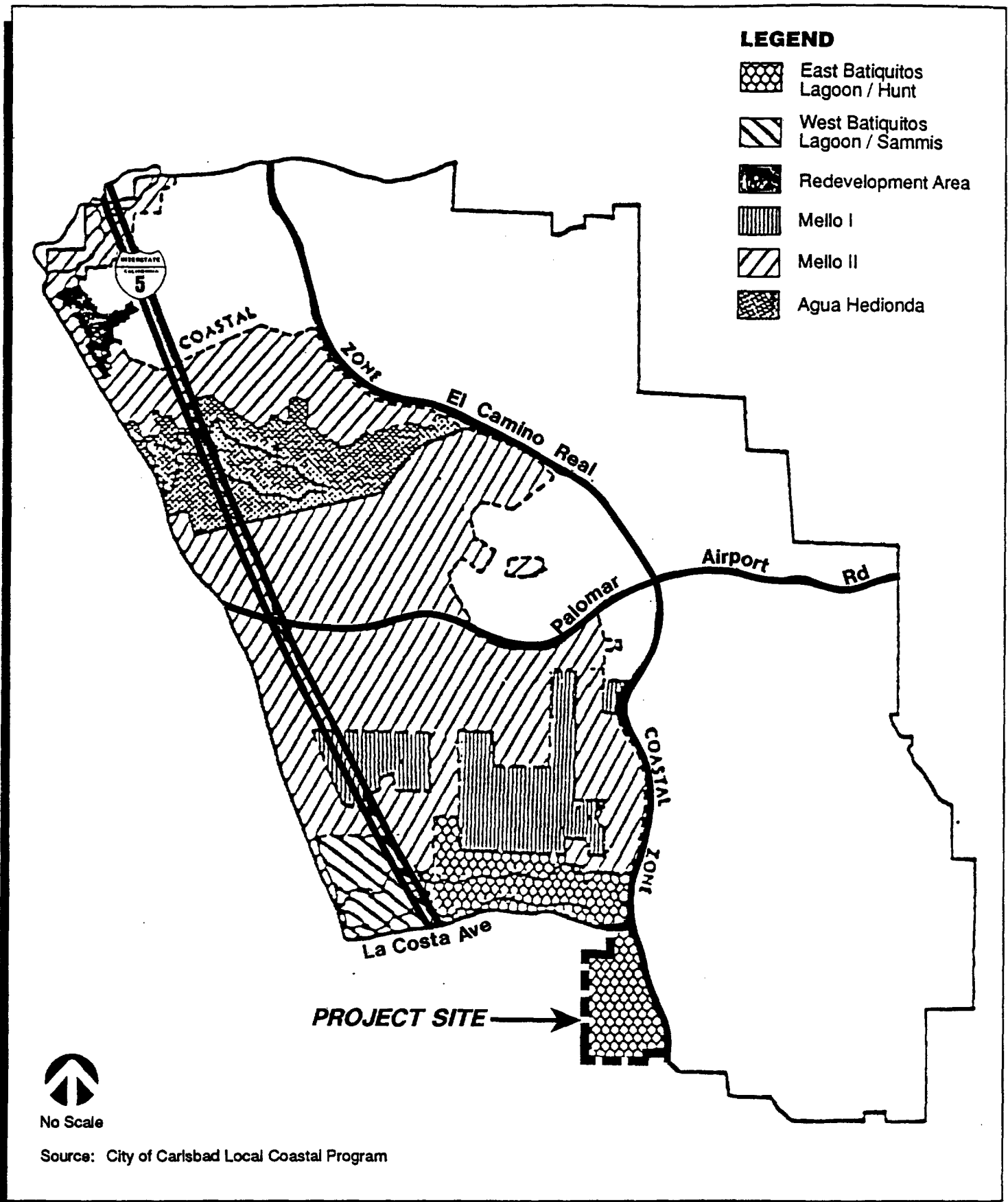


Figure II-3



Lagoon and the north shore. No master plan was proposed or existed for the Green Valley area. A Land Use Plan which reflected the City of Carlsbad General Plan Land Uses as of March 1988 was adopted for this area of the Local Coastal Program segment.

In 1988 the Coastal Commission certified the East Batiquitos Lagoon/Hunt Properties segment of the Local Coastal Program (Figure II-3). The current coastal program is on file with the City of Carlsbad.

E. CONSTRAINTS SUMMARY

Development of a property is dictated by a number of factors, including the existing physical conditions of a site. Those characteristics which may require special considerations during project design, such as drainage areas, slopes, sensitive biological habitats, and archaeological sites are referred to as constraints. A Program Environmental Impact Report for the Green Valley Master Plan and Master Tentative Map and Supplemental Information to the Program Environmental Impact Report has been prepared by Coleman Planning Group and the City of Carlsbad and was processed concurrently with this Master Plan document. The E.I.R. enumerates specific constraints to development and establishes appropriate mitigation measures for each identified significant impact.

Detailed mapping of the property constraints is also contained within the LFMP and the Green Valley Master Tentative Map using formats that have been established for those documents. The constrained areas as documented in the LFMP are listed in Table II-1 and are generally described in the discussion which follows.

There are two areas of major constraints associated with the project site: the Encinitas Creek, and the upland bluff area (see Figures I-3 and I-4). The Encinitas Creek runs approximately 1.1 miles in a north-south direction through the length of Green Valley. The Encinitas Creek, and its associated habitat, is adjacent to El Camino Real on the east side of the property. Two constraints are associated with the creek area: floodplain and biological habitat. Floodplains are constrained areas in which construction is limited due to safety considerations. No construction of structures or buildings which would obstruct flood flows is allowed. Construction of roadways must also allow for the adequate flow of floodwaters. Any development within the floodplain is regulated by the City of Carlsbad Engineering Department, the California Department of Fish and Game, and the U.S. Army Corps of Engineers.

Encinitas Creek is also an important biological corridor. The riparian woodland area runs the length of the creek. The habitat corridor is approximately 400 to 600 feet wide and 5900 feet long and contains a dense growth of vegetation including a large number of riparian woodland associated trees. Development activity in this area is severely restricted and is subject to the regulations of the City of Carlsbad, and the California Department of Fish and Game.

TABLE II-1
LFMP CONSTRAINTS ANALYSIS SUMMARY

GROSS ACRES	ACRES OF DEVELOPMENTAL CONSTRAINTS (1) (2)																								
	A	B	C	D	E	FULL F	G	H	I	TOTAL	PARCEL J J/2	SCHOOLS K	NET DEVELOPABLE ACRES												
282.1	--	3.4	--	42.9	37.1	7.2	6.7	--	--	97.3	--	--	184.8												
<p>Notes: (1) Constraints</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%;">A-Major Powerline Easements</td> <td style="width: 33%;">E-Riparian</td> <td style="width: 33%;">I-Other Environmental Features</td> </tr> <tr> <td>B-Circulation</td> <td>F-Wetlands</td> <td>J-Slopes 25% to 40%</td> </tr> <tr> <td>C-Railroad ROW</td> <td>G-Floodway</td> <td>K-Schools</td> </tr> <tr> <td>D-Slopes 40%</td> <td>H-Permanent Body of Water</td> <td></td> </tr> </table> <p>(2) See Constraints Map and General Plan Land Use Designations</p>														A-Major Powerline Easements	E-Riparian	I-Other Environmental Features	B-Circulation	F-Wetlands	J-Slopes 25% to 40%	C-Railroad ROW	G-Floodway	K-Schools	D-Slopes 40%	H-Permanent Body of Water	
A-Major Powerline Easements	E-Riparian	I-Other Environmental Features																							
B-Circulation	F-Wetlands	J-Slopes 25% to 40%																							
C-Railroad ROW	G-Floodway	K-Schools																							
D-Slopes 40%	H-Permanent Body of Water																								

The upland bluff area is located in the western portion of the project site and is characterized by moderate to steeply sloping hillsides with three significant drainage courses. Much of this area has slopes of over 25% and there are several areas with slopes of over 40%. In addition to the slope constraints, this area contains southern mixed chaparral with elements of maritime chaparral and small patches of coastal sage scrub habitat, habitat types that are declining regionally. Development of the upland bluff area is restricted due to both the slope conditions and the sensitive habitat.

Two utility easements are also located within the Green Valley project area. One utility easement runs generally east-west across the southern one-third of the site. This easement contains two sixteen inch (16") water mains of the Olivenhain Municipal Water District. These water mains are expected to be moved in the vicinity of the proposed retail center to correspond to the final site plan for the buildings. The second easement is near El Camino Real in the central portion of the property. This easement contains two sewer lines. No modification or relocation of the easement and sewer lines is anticipated. A discussion of all public utilities, facilities, and services which may be impacted by the Green Valley development is included in the Zone 23 LFMP.

Six prehistoric archaeological sites have been located within the Green Valley project boundary. Most of these sites are located on the relatively level, previously-graded, central portion of the site, which has been extensively disturbed by cultivation activities. Of these sites, five are not considered significant, and are therefore not considered to be constraints to development. However, one site, located on an alluvial slope in the east-central portion of Green Valley, is considered an important cultural resource which will require appropriate mitigation measures (refer to the Green Valley Program E.I.R). In accordance with normal practice, the specific locations of these sites are not shown on the Master Plan constraints map.

No geological constraints exist on the Green Valley site except for the potential for erosion due to the nature of the on-site earth materials. Development of Planning Areas 2 and 3 and the associated roadways to be constructed in Planning Area 1 will reduce surface water infiltration but will also increase surface runoff. Remedial earthwork, landscaping, drainage devices, and desiltation/depollutant basins should mitigate the potential for increased surface runoff and urban pollution.

F. MASTER PLAN

Land Uses

The Master Plan contains a mixture of commercial, residential, and open space land uses as follows:

Commercial

The Green Valley Master Plan includes one area of designated commercial use. Planning Area 2 encompasses approximately 18.3 net development acres west of Street "A". The type of retail use intended for Planning Area 2 will serve the retail needs of residents in Carlsbad and nearby areas.

Residential

Planning Area 3 is designated for single-family detached, townhomes, garden or patio residential units. The approximately 55.8 net development acre area is located to the west of Street "A" and north of the retail center.

Open Space

Riparian Woodland - The riparian woodland corridor (Planning Area 1), running the length of Encinitas Creek on site, is within permanent open space lots. This planning area includes both pre-existing and new native riparian woodland habitat, a riparian buffer corridor which includes Street "A", desiltation/depollutant basins, a pedestrian/bicycle path, and trail parking. This area is generally bounded on the west by Planning Areas 2 and 3, on the north by La Costa Avenue, on the east by El Camino Real, and on the south by the Carlsbad City limits.

The only disturbance to the pre-existing riparian woodland allowed is the construction of roadways necessary to provide access to the proposed retail center and residential area and improvements associated with a utility corridor on the northwestern edge of the property. A trail will be constructed within the western half of the riparian buffer corridor per the L.C.P. to complete a segment of the Carlsbad trail system.

Upland Bluff Habitat - The upland bluff habitat is located in the western portion of Green Valley and is characterized by moderate to steeply sloping bluffs and southern mixed chaparral habitat with elements of maritime chaparral and patches of coastal sage scrub. The upland bluff area, Planning Area 4, is preserved within a permanent open space easement. New native vegetation areas are located in the three canyons. Any manufactured slopes adjacent to the eastern edge of the natural upland bluff area, created as a result of development, will be planted with an upland transition vegetation appropriate to create a fire suppression zone (see Chapter IV, Section D).

Development Program

The proposed development program is a direct result of the property's constraints. An initial analysis was conducted in 1986 as part of the City of Carlsbad's Growth Management Program and a later analysis was included with the submittal of the Zone 23 LFMP in 1993. The initial analysis was based on an assumed equal proportion of residential, office, and commercial land uses throughout the 281 acre master plan area which were at that time the existing General Plan Land Use designations. Identified was the potential for 52.1 net acres of residential development with a projected yield of 599 dwelling units and a potential for 119.2 net acres of commercial/office development with a projected yield of 1,500,000 square feet (See Table II-2).

The later and more detailed 1993 Zone 23 LFMP analysis is based on an assumed distribution of residential, office/commercial uses generally consistent with the Green Valley Master Plan. A total of 34.8 net residential acres with a potential of 400 dwelling units was identified and 76.6 net commercial/office acres were identified for a potential of 1,001,000 square feet. (See Table II-2 and the Zone 23 Local Facility Management Plan.)

The development program was then reduced through a master plan approach in 1993 which incorporated restoration and enhancements to the existing native areas and created new riparian woodland and upland areas, riparian woodland buffers, and desiltation/depollutant basins. The result was a program which identified the potential for 400 dwelling units and 600,000 square feet of regional commercial development.

The development program was then reduced again through a 1995 master plan approach referred to as the Reduced Project Alternative. This approach uses the same restoration and enhancements to the native areas as the 1993 master plan. The development program reduces the commercial development to a maximum of 300,000 square feet of community commercial development and reduces the density of the residential development by expanding the area for residential to 55.8 acres. The maximum of 400 dwelling units average 7.2 units per acre and are comprised of single-family detached, townhomes, garden and patio units.

G. MASTER PLAN PHASING

The Master Plan will be developed in two (2) phases. The first phase will be the preparation of the site for future development through the grading and the construction of infrastructure as required by the Tentative Tract Map CT 92-08 conditions of approval.

Subsequent development of each or any of the two (2) planning areas will be phase two. Each of the two planning areas may be developed independently of the other. Therefore, no planning area is required to be a first or second phase, etc. However, with the approval of specific development proposals within each of the planning areas, development shall be required to provide adequate public facilities, open space, recreation areas and street systems within each phase of the development.

Table II-2

LAND USE AND DEVELOPMENT PROGRAM SUMMARY

Land Use	City of Carlsbad Citywide Facilities Plan ⁽¹⁾			Green Valley LFMP - Zone 23 Constraints Analysis ⁽²⁾			Green Valley 1993 Proposed Master Plan		Green Valley 1995 Reduced Project Alternative	
	Gross	Net Ac.	Units/S.F.	Gross	Net	Units/S.F.	Net Ac.	Units	Net Ac.	Units/S.F.
Residentia	96.1	52.1	599 D.U. ⁽³⁾	35.4	34.8	400 ⁽³⁾	17.9	400 D.U.	55.8	400 D.U.
Commerci	186.5	119.2	1.5M S.F. ⁽⁴⁾	80.2	76.6	1.001M S.F. ⁽⁴⁾	57.9	0.61M S.F	18.3	0.30M S.F.
Industrial	0.0	0.0	0	0.0	0.0	0	0.0	0	0.0	0
Other	0.3	0.3	N/A	166.5	1.1	N/A	0.0	N/A	0.0	N/A
TOTAL	282.9 Ac.	171.3 Ac.		282.1	112.5		75.8		75.8	

- Notes:**
- (1) Prepared September 1986 by the Research/Analysis Group for the City of Carlsbad.
 - (2) Prepared July 1993 by Planning Systems/P&D Technologies.
 - (3) Based on growth control point of 11.5 dwelling units per net acre.
 - (4) Commercial General Plan Buildout Projection - Vacant Land Commercial Use - 30% yield.

H. GENERAL PROVISIONS

Residential Land Use - To the maximum effect allowed by law, the maximum potential number of dwelling units for the proposed residential area is shown on Table II-2 inclusive of any future density bonus under state law and/or chapter 21.86 of the Carlsbad Municipal Code. Any increase in the total allowed by this Master Plan will require a Master Plan Amendment.

Affordable Housing - The City of Carlsbad requires that all master plans and specific plans with residential units provide a minimum number of dwelling units affordable by lower-income households. The Inclusionary Housing section of the Carlsbad Municipal Code (Chapter 21.85) requires a minimum of 15% of all approved dwelling units be low-income housing. For those developments which provide 10 or more low-income units, at least 10% of those units should have three or more bedrooms. Therefore, if a total of 400 residential units is approved in Green Valley, 15% of those, or 60 residential units, are required to be available to low-income households. In addition, of those 60 low-income units, 10% of those, or 6 units, should have three or more bedrooms. ("Low income" is defined as those households whose gross income is more than 50% but does not exceed 80% of the median income for San Diego County.) Based on a housing agreement to be approved by the City of Carlsbad, there is a possibility of providing the affordable housing off-site if all the criteria are met.

Non-vesting of Rights - Specific development plans within Green Valley shall be evaluated in accordance with all Carlsbad standards, ordinances, and policies in force at the time said plans are before the Planning Commission and/or the City Council for approval. Where a conflict in development standards occurs, the modified standard as described in this Master Plan shall take precedence. If the Master Plan is silent regarding a development standard, the corresponding master plan zone shall apply. Approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

Location of Improvements - The locations of streets, utilities, and other land use-related improvements are approximate on the Master Plan figures. The precise locations for major roadways and utility lines will be shown on the approved Master Tentative Map. The precise locations for subsequent improvements (private streets, driveways, etc.) will be established on individual Tentative Maps, Planned Unit Developments, and/or Site Development Plans. Any variations of the locations of public improvements as shown on the Master Tentative Map (CT 92-08) shall be governed by the Carlsbad Engineering Department Policy No. 30 regarding substantial conformance.

Trails - A pedestrian/bicycle trail through the project site is indicated in The Comprehensive Open Space and Conservation Resource Management Plan for the City of Carlsbad. Segment 50 of the comprehensive trail system is located along the western edge of the riparian woodland habitat corridor within the fifty-foot (50') buffer. The Green Valley trail segment will connect to the proposed system to the north along El Camino Real.

Zoning - Pursuant to the Carlsbad Zoning Ordinance for the P-C Zone (Chapter 21.38), this Master Plan shall constitute the zoning for all lands within the Master Plan. No land located within the boundaries of the Master Plan shall be used or developed contrary to the provisions of the Master Plan.

El Camino Real Corridor Development Standards - Development within the Green Valley Master Plan that is subject to the El Camino Real Development Standards shall be in compliance with these standards. Planning Area 5 is covered by these standards as illustrated in Figure II-2. All of the development area for Planning Areas 2 and 3 is located over 500 feet from El Camino Real and is therefore not subject to these standards.

III. MASTER PLAN AMENDMENTS

Individual Planning Areas within this Master Plan shall be reviewed relative to the provisions of this chapter.

A. MASTER PLAN

Approval of this Master Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards and policies that constitute the zoning regulations for Green Valley.

As certain planning and design variables cannot be determined precisely, it is anticipated that certain amendments to the Master Plan may be necessary during the development of the area. Any amendments to the Master Plan shall occur in accordance with Carlsbad's Municipal code and the specific amendment process described below. Changes to the Master Plan are divided into two categories as follows; 1) Master Plan Amendments, and 2) Administrative Interpretations.

Master Plan Amendments

All significant Master Plan modifications require a Master Plan Amendment, processed pursuant to Section 21.38.120 (P-C Zone) of the Carlsbad Municipal Code. All requests for Master Plan Amendments must conform to the intent of the original Master Plan and:

- a. Shall meet the objectives and standards of the Master Plan and the public facilities requirements of the Zone 23 LFMP.
- b. Shall include satisfactory mitigation should it create impacts not previously considered.
- c. Shall be supported by appropriate updated and/or additional Master Plan studies when determined necessary by the Planning Director.
- d. Shall comply with all City policies and ordinances in effect at the time of approval.
- e. Shall be submitted with a stricken/underlined copy of the Master Plan text as necessary and updated Master Plan exhibits affected by the proposed amendment.

Administrative Interpretations

Should details or concepts described in the Master Plan require interpretation, the Planning Director and/or City Engineer, whichever is more appropriate, shall have the authority to make that interpretation.

B. MASTER TENTATIVE MAP

All revisions to CT 92-08, either per the request of the Planning Department or Engineering Department, or in the form of a Revised map or Replacement map, shall be subject to all requirements of the Tentative Tract Map application process and shall be subject to approval by the City of Carlsbad Planning Commission.

IV. GENERAL COMMUNITY DEVELOPMENT GUIDELINES

The following general development guidelines have been established in the Master Plan as a guide to achieve the planning goals of the Green Valley project (Chapter I, Section B). General community design standards address those design elements which are common to all elements of the development. All development within Green Valley must comply with the community development guidelines established in this chapter. Specific design directions that are unique to each Planning Area are addressed in Chapter VI, Planning Area Development Guidelines.

A. GRADING

1. Preliminary and final grading plans shall be prepared in accordance with the requirements of Chapters 11.06 (Excavation and Grading), 21.38 (P-C Zone), and 21.95 (Hillside Development Regulations) of the Carlsbad Municipal Code and the Carlsbad Design Guidelines Manual. All plans will be reviewed and approved by the City Engineer.
2. The manufactured downslope east of Street "A" shall be visually varied as shown in the approved Master Tentative Map.
3. Crib walls or other retaining systems that are located adjacent to the upland bluff and have the capability of being planted shall be landscaped with plant material compatible with the native upland habitat. Manufactured 2:1 slopes shall also be planted with compatible upland plant material. Crib walls or other similar systems that have the capability of being planted will be subject to the approval of the City Engineer and Planning Director.
4. Grading quantities shall be balanced to the greatest extent possible to eliminate the hauling of material on offsite roadways. Hauling of material through previously developed phases of Green Valley other than along Street "A" shall be avoided. No offsite import of material will be permitted to increase the height of the development area.
5. Temporary runoff control devices shall be installed immediately after grading operations have started, but must be in place prior to the beginning of the rainy season (October 1st), monitored and maintained throughout the rainy season.
6. Landscape and irrigation plans shall be prepared and submitted per the procedures of the City of Carlsbad Landscape Manual.
7. Debris removal areas shall be constructed to control natural debris from the upland area from entering the storm drainage system. Provisions for the maintenance of these areas shall be made prior to approval of the final map. The maintenance program shall include provisions for inspection after each major storm.

8. All debris removal areas shall be installed during the grading operation for that phase of development in accordance with the approved Tentative Map.
9. Required hydroseeding, landscaping, and irrigation shall be installed after April 1 and be completed prior to October 1st of any year.
10. The application for final map to the City of Carlsbad shall include an exhibit which identifies slope maintenance responsibility. The slope maintenance agreements shall be filed after recordation of the Final Map, prior to issuance of grading permits.
11. Desiltation/depollutant basins shall be constructed concurrently with grading operations to protect Encinitas Creek from grading/construction operation run-off.
12. Riparian and sensitive upland areas shall be protected from grading impacts at all times. To protect the riparian area from grading operations, the edge of the existing woodland shall be fenced with T-bar and flagged prior to the start of grading operations.
13. Conversion of all non-prime agricultural lands to urban uses shall require the payment of an agricultural conversion mitigation fee pursuant to Section 30171.5 of the Coastal Act.

B. PEDESTRIAN AND BICYCLE TRAILS

The Green Valley pedestrian/bicycle trail system will consist of a trail which incorporates trail segments as designated in the City of Carlsbad Comprehensive Open Space and Conservation Resource Management Plan. These trails are intended for general recreational/commuter use, internal circulation, and circulation within the larger, southern Carlsbad community. All of the trails and pathways will interconnect and will provide the pedestrian/bicyclist with an attractive alternative to vehicular transportation (see Figure IV-1).

City of Carlsbad Trail System Plan

This network consists of fifty-four separately identified trail links which connect to form a trail system covering much of the City. One element of the onsite pedestrian/bicycle trail system responds specifically to Carlsbad Trail System link number 50 (see Figure IV-2).

An unpaved hiking and bicycle path follows a meandering alignment through the buffer area on the western side of the riparian woodland traversing the length of Green Valley. It connects to trail link number 49 offsite to the north and has the potential to connect with the Encinitas Ranch Specific Plan trail to the south.

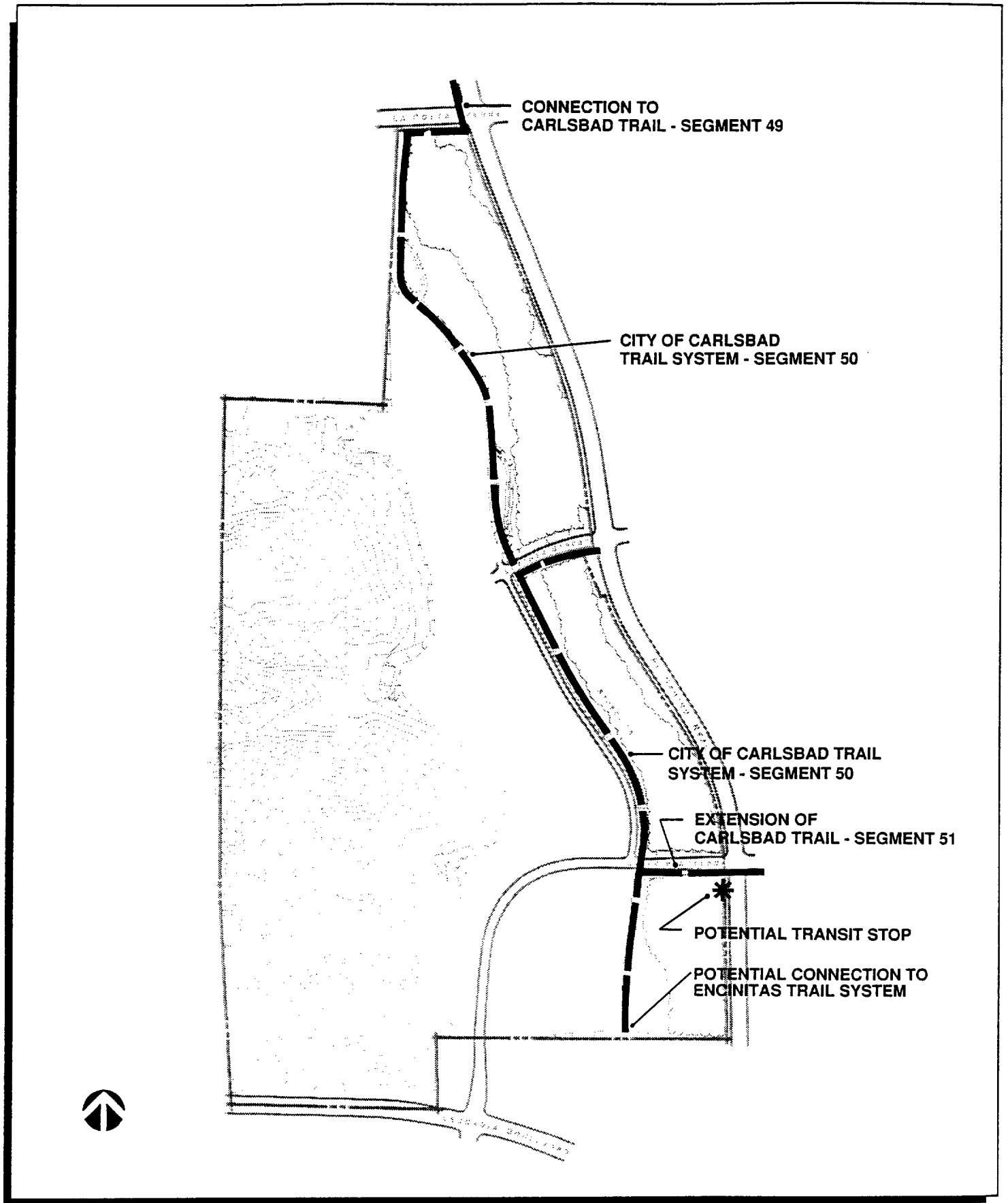






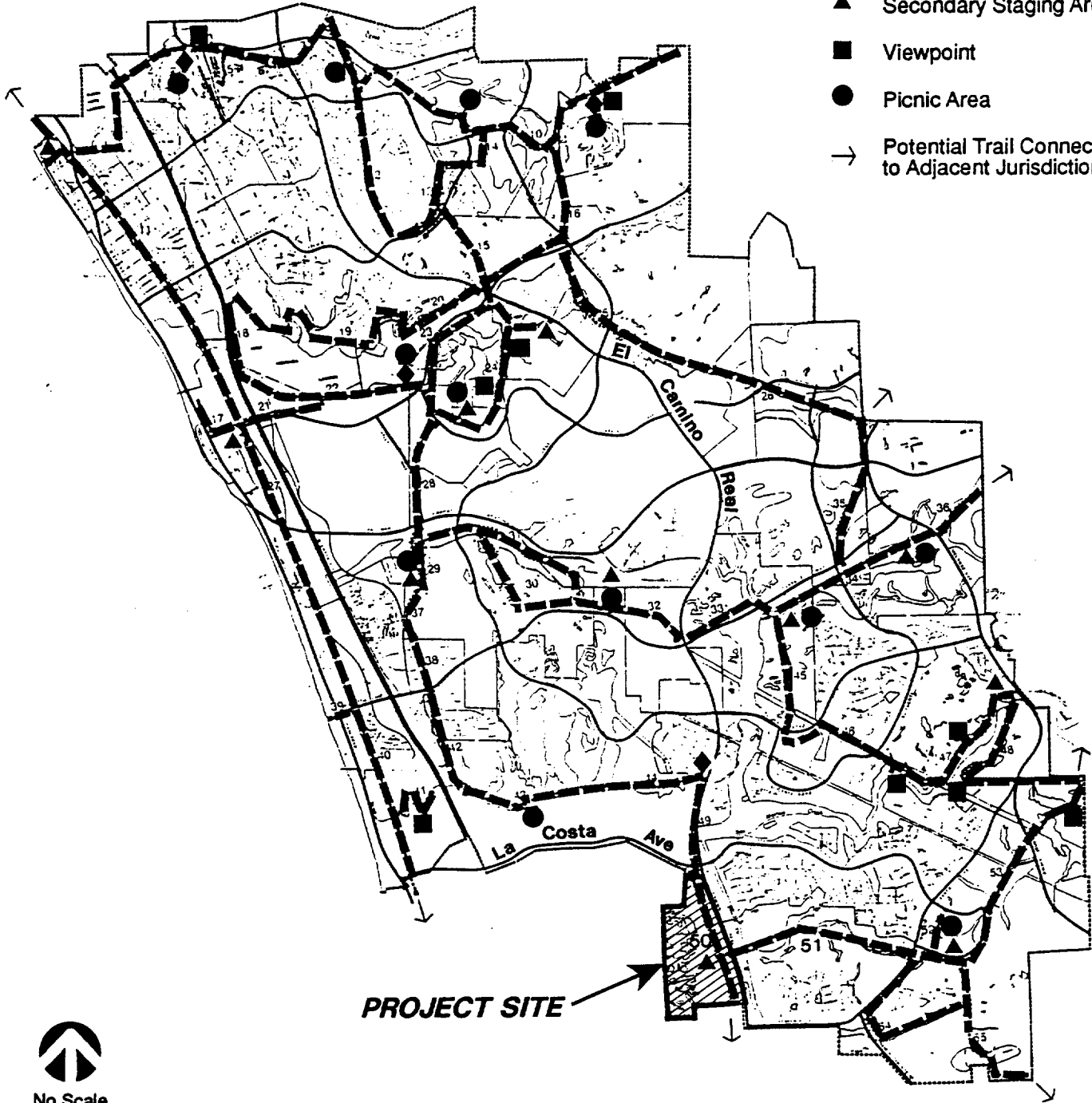


Figure IV-1



LEGEND

- 23  Trail Linkages
-  Primary Staging Area
-  Secondary Staging Area
-  Viewpoint
-  Picnic Area
-  Potential Trail Connection to Adjacent Jurisdiction



No Scale

Source: City of Carlsbad Comprehensive Open Space and Conservation Resource Management Plan

Figure IV-2



A staging area is shown in the City Trail System Plan at the intersection of Street "A" and Calle Barcelona. All components of the onsite pedestrian/bicycle trail system provided in response to link number 50 of the Carlsbad Trail System Plan will be in conformance with the development standards of that plan.

A potential transit stop is located at the corner of Calle Barcelona and El Camino Real and is adjacent to an extension of Carlsbad Trail Segment 51.

The trail connection from Green Valley to La Costa Avenue is along a planned sewer utility easement. An alternate alignment may be along an existing field road located in the City of Encinitas. This alternative would be subject to the approval of the adjacent property owner and the Cities of Encinitas and Carlsbad.

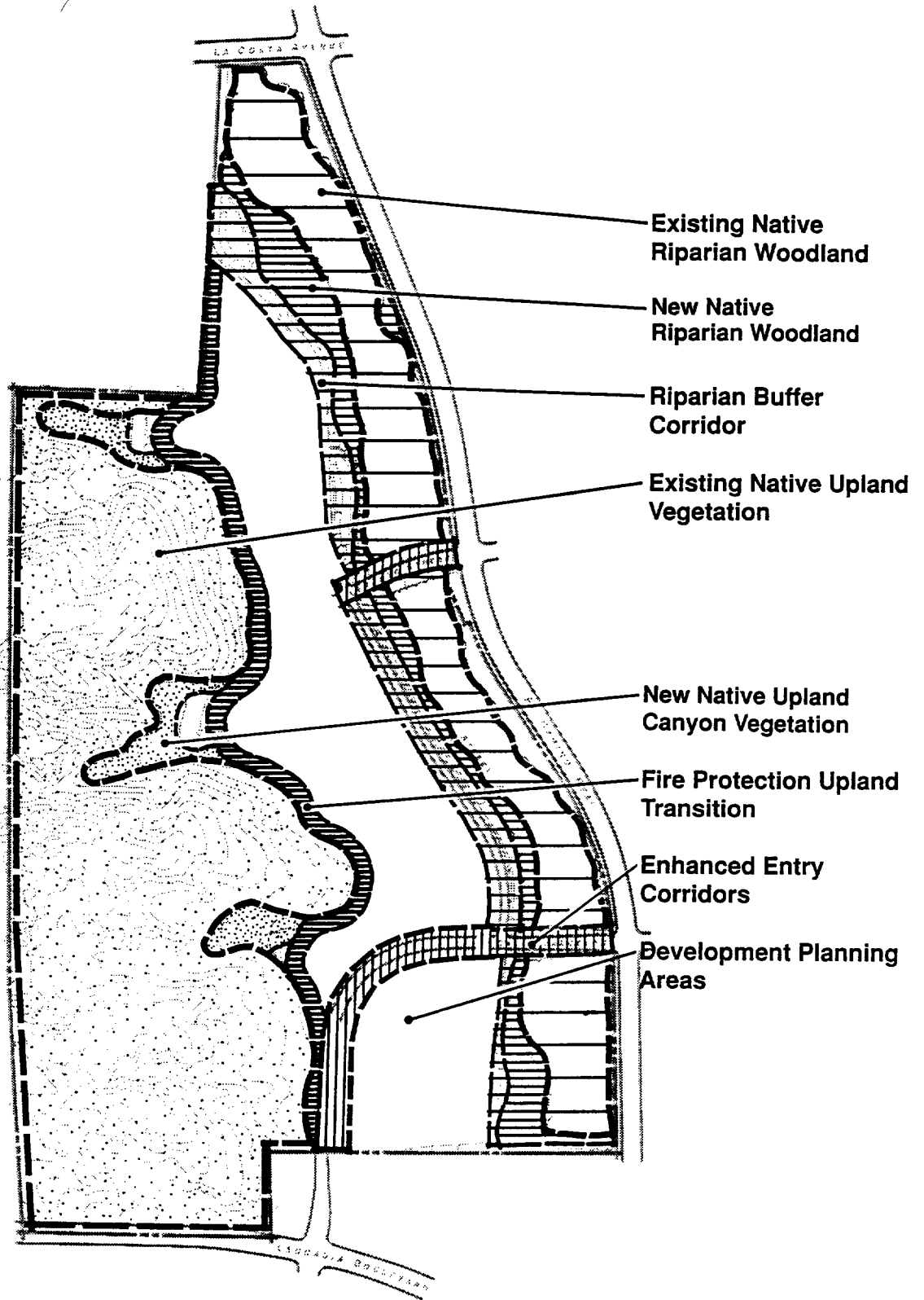
C. LANDSCAPE GUIDELINES

Community Landscape Concept

The overall Green Valley landscape concept is a theme based on plant communities. The community landscape concept will reinforce the riparian woodland and upland bluff natural areas, provide transitional buffers to developed areas and include, within the development areas, more natural arrangements of plant material in contrast to the formal arrangements typical of most urban settings.

Ultimately, the development of Green Valley will feature a preserved and expanded riparian woodland area as the foreground and entry and a natural bluff area as a backdrop to a linear, but also articulated, series of buildings that comprise the retail and residential development. Transitional areas on both sides, between the natural and developed areas, will serve as buffers. Entryways to the development area will provide character to the development and view corridors to the upland bluff areas beyond. The community-wide guidelines described within this section should be incorporated into each of the Green Valley planning areas as appropriate.

Eight landscape zones are provided in the Green Valley community landscape concept. Figure IV-3 illustrates the zones and their relative locations. All of these zones, except the development planning area zones, are related to a community model - the riparian woodland, the upland habitat, or a transitional community between biological and development areas. The eight community zones are identified in Table IV-1. The corresponding Carlsbad landscape zone is also shown. Each community landscape zone will be discussed in detail within the following sections.



Existing Native
Riparian Woodland

New Native
Riparian Woodland

Riparian Buffer
Corridor

Existing Native Upland
Vegetation

New Native Upland
Canyon Vegetation

Fire Protection Upland
Transition

Enhanced Entry
Corridors

Development Planning
Areas

Figure IV-3



Table IV-1

COMMUNITY LANDSCAPE ZONE DESIGNATIONS

<u>Community Landscape Zone Designation</u>	<u>Carlsbad Landscape Zone</u>
Pre-existing Native Riparian Woodland	1
New Native Riparian Woodland	1
Riparian Buffer Corridor	2
Pre-existing Native Upland Vegetation	1
New Native Upland Canyon Vegetation	1
Fire Protection Upland Transition	2
Enhanced Entry Corridors	3/4
Development Planning Areas	3/4

Community Landscape Goals

A primary focus of these landscape development guidelines is the preservation, protection, and enhancement of the sensitive biological resources of the site. Landscape guidelines should be compatible with the biological resources, and, in the case of new native vegetation sites, an integral part of the resources. Moreover, it is the intent of the guidelines to promote and accommodate the visual integration of the biological resources into the developed portions of the site.

Certain master plan goals have special relevance to landscape development guidelines:

1. Maintain the viability of the riparian woodland corridor of Encinitas Creek and the topographic and habitat features of the upland bluff area.
2. Provide for the creation of new riparian woodland habitat area contiguous to the existing riparian woodland.
3. Use landscaping to organize and define the main elements of the development.

Project-wide landscape goals include those which preserve and enhance the environmental integrity of the master plan:

1. Integrate onsite new native vegetation areas with preserved areas and important landscape/environmental features.
2. Support preservation of biodiversity and endangered species, recognizing that this is best achieved by sustaining viable ecosystems.
3. Protect natural and new native vegetation areas from detrimental impacts of development areas.
4. Permit human interaction with environmental areas in a context consistent with the prevention of environmental degradation.
5. Develop a management plan to sustain the new native vegetation areas (recognizing dynamics of ecosystems and accommodating both natural catastrophic and gradual changes in environmental conditions).

The above goals are primarily addressed through the maintenance of the site's sensitive biological areas and development of transitional buffers. Additional project-wide landscape goals include those which facilitate flexible implementation of future site development within this environmental context, protecting sensitive areas from adverse impacts:

1. Prevent adverse impacts to adjacent natural habitat areas, specifically avoiding the use of self-seeding plants; particularly invasive, non-native, noxious weeds. Specific plants not to be used are provided in Table VI-2, Prohibited Plant List.
2. Minimize the impacts of fertilizers and other potential pollutants by directing storm water runoff through desiltation/depollutant basins prior to entering biological areas.
3. Maintain, enhance, and stabilize soil structure through establishment of extensive root systems and microflora.
4. Provide visual character to the development areas, blending with regional character and transitioning from native to non-native areas.
5. Utilize all practical means available to conserve landscape water use.

Community Landscape Zones

The landscape concept uses specific lists of trees and plant materials that are consistent with native plant communities. These communities are species that are often associated with each other and particular environmental conditions. Additionally, the manner in which these plants are used will reflect the natural landscape patterns in evidence within and surrounding Green Valley. The plant list installation, per the City of Carlsbad landscape manual, will be subject to the approval of the Carlsbad Planning Director.

Pre-existing Native Riparian Woodland

The pre-existing native riparian woodland area is located along Encinitas Creek, which runs adjacent to El Camino Real through the project site. This area is completely contained within Planning Area 1 of this Master Plan. The pre-existing riparian woodland vegetation consists of a nearly continuous canopy of willow trees. Freshwater marsh and brackish marsh habitats occur onsite, always contiguous to the riparian woodland, and these are grouped here into a single zone. Complete documentation of this vegetation is provided in the Biological Constraints Report prepared for the site.

This zone is preserved within an open space easement. No landscape improvements are proposed within this zone, although isolated areas of new riparian woodland may be created as part of a program of noxious weed eradication. The pre-existing native riparian woodland will not be disturbed as a result of development of the Master Plan except for the construction of the extensions of Levante Street and Calle Barcelona into Green Valley. Management procedures for this zone will be provided in conjunction with the preparation of biological mitigation for the adjacent riparian woodland areas.

**Table VI-2
PROHIBITED PLANT LIST**

Species	Common Name
<i>Acacia species</i>	Acacia
<i>Ailanthus altissima</i>	Tree-of-Heaven
<i>Arundo donax</i>	Giant Reed
<i>Atriplex semibaccata</i>	Saltbush
<i>Bamboo species</i>	Bamboo
<i>Broussonetia papyrifera</i>	Paper Mulberry
<i>Cynodon dactylon</i>	Common Bermuda Grass
<i>Cytisus species</i>	Broom
<i>Eucalyptus species</i>	Eucalyptus
<i>Myoporum species</i>	Myoporum
<i>Pennisetum setaceum</i>	Fountain Grass
<i>Phoenix canariensis</i>	Canary Island date palm
<i>Ricinus communis</i>	Castor Bean
<i>Spartium junceum</i>	Spanish Broom
<i>Tamarix spp.</i>	Tamarisk
<i>Vinca species</i>	Periwinkle
<i>Washingtonia mexicana</i>	Mexican fan palm

Noxious weeds:

<i>Brassica species</i>	Mustard
<i>Cortaderia species</i>	Pampas grass
<i>Foeniculum vulgare</i>	Sweet fennel
<i>Mesembryanthemum crystallinum</i>	Crystal ice plant
<i>Nicotiana glauca</i>	Tree tobacco
<i>Raphanus species</i>	Wild radish

New Native Riparian Woodland

The new native riparian woodland zone consists of some specifically identified areas which can be graded and planted to produce new riparian woodland habitat. Most of the zone is comprised of areas within the existing cultivated field adjacent to the riparian woodland area which is at an elevation close to the riparian woodland and can be graded to a suitable elevation and planted with riparian associated vegetation. Other areas are ruderal and are adjacent to the existing woodland that can be graded and planted to expand the woodland (Figure IV-4).

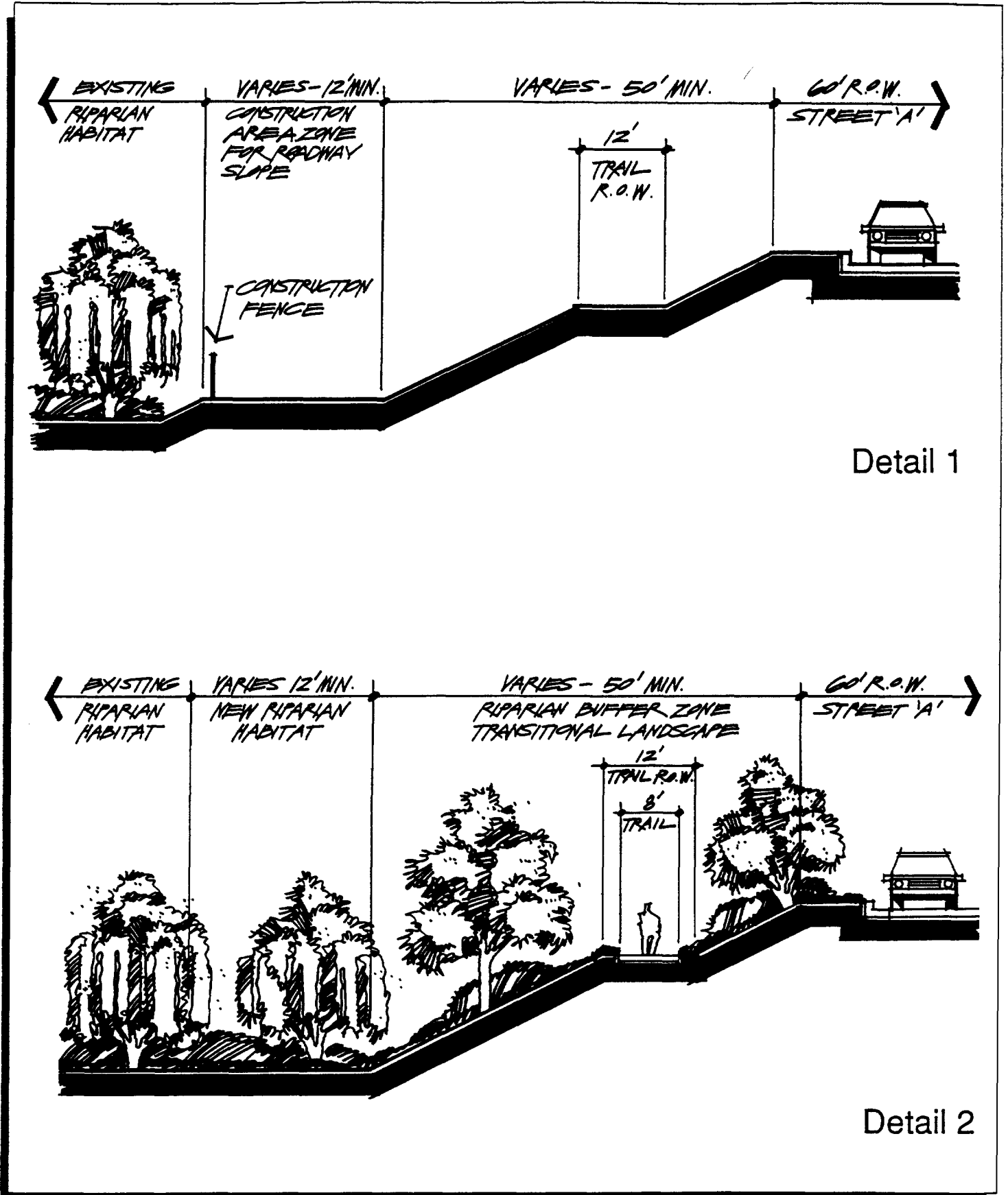


Figure IV-4

This zone is provided to satisfy the mitigation requirements of the Local Coastal Program. The new native vegetation zone includes areas of mitigation for prior, unauthorized disturbances resulting from farming activities. Also included in this zone are two proposed desiltation/depollutant basins located on the western side of the riparian woodland, north of Levante Street (Figure V-1). An open space easement covers the new native riparian woodland zone.

The plant material to be installed is reflective of the pre-existing riparian community, as documented in the Biological Constraints Report. A diverse representation of species may include additional species not in the report but which are often associated with the riparian woodland community. Species are listed on Table IV-3, New Native Riparian Woodland Plant List.

Implementation procedures for the new native vegetation are unique from normal landscape installations, and include:

1. Establishment of a baseline description of the vegetation community designated.
2. Provision for procurement of suitable planting stock, considering site specific genotype collection.
3. Preparation of thorough plans and schedules, with contingencies, for site preparation and installation activities.
4. Provision of performance standards by which the project success will be evaluated.
5. Provision of monitoring protocols by which performance standards will be determined.
6. Provision of procedures for prompt post installation maintenance and management of performance standard remediation activities.

Riparian Buffer Corridor

To create a separation between the riparian woodland in Planning Area 1 and urban development in Planning Areas 2 and 3, an area along the western edge of the riparian woodland will be designated a riparian buffer corridor (Figure IV-5). The riparian buffer corridor is comprised of a minimum 130-foot wide area between the edge of the pre-existing or new native riparian woodland and any permanent structure or parking lot. Included in this area may be a roadway, Street "A", and adjacent to the woodland, a fifty-foot (50') minimum landscaped buffer. No construction of any kind will occur within the easterly twenty-five-foot (25') portion of the fifty-foot buffer immediately adjacent to the riparian woodland. Within the westerly twenty-five feet of the fifty-foot minimum buffer will be a pedestrian/bicycle trail. Westerly of the fifty-foot buffer may be the right-of-way of Street 'A'.

**Table IV-3
NEW NATIVE RIPARIAN WOODLAND PLANT LIST**

Species	Common Name
<u>Dominant species:</u>	
<i>Baccharis glutinosa</i>	Mulefat
<i>Salix lasiolepis</i>	Arroyo willow
<u>Secondary tree species:</u>	
<i>Salix goodingii</i>	Black willow
<i>Salix laevigata</i>	Red willow
<i>Sambucus mexicana</i>	Mexican elderberry
<u>Shrub and groundcover species:</u>	
<i>Anemopsis californica</i>	Yerba mansa
<i>Artemisia douglasiana</i>	Mugwort
<i>Artemisia dracunculus</i>	Tarragon
<i>Elymus condensatus</i>	Giant wildrye
<i>Encelia californica</i>	Bush sunflower
<i>Eriogonum fasciculatum</i>	California buckwheat
<i>Gnaphalium californicum</i>	California everlasting
<i>Heteromeles arbutifolia</i>	Toyon
<i>Juncus acutus</i>	Spiny rush
<i>Oenothera hookeri</i>	Great marsh evening primrose
<i>Pluchea odorata</i>	Fleabane
<i>Ribes speciosum</i>	Fuchsia flowered gooseberry
<i>Rosa californica</i>	California rose
<i>Rhus integrifolia</i>	Lemonade berry
<i>Salix hindsiana</i>	Sandbar willow
<i>Scirpus californicus</i>	California bulrush
<i>Typha latifolia</i>	Cattail
<i>Vitis girdiana</i>	Wild grape

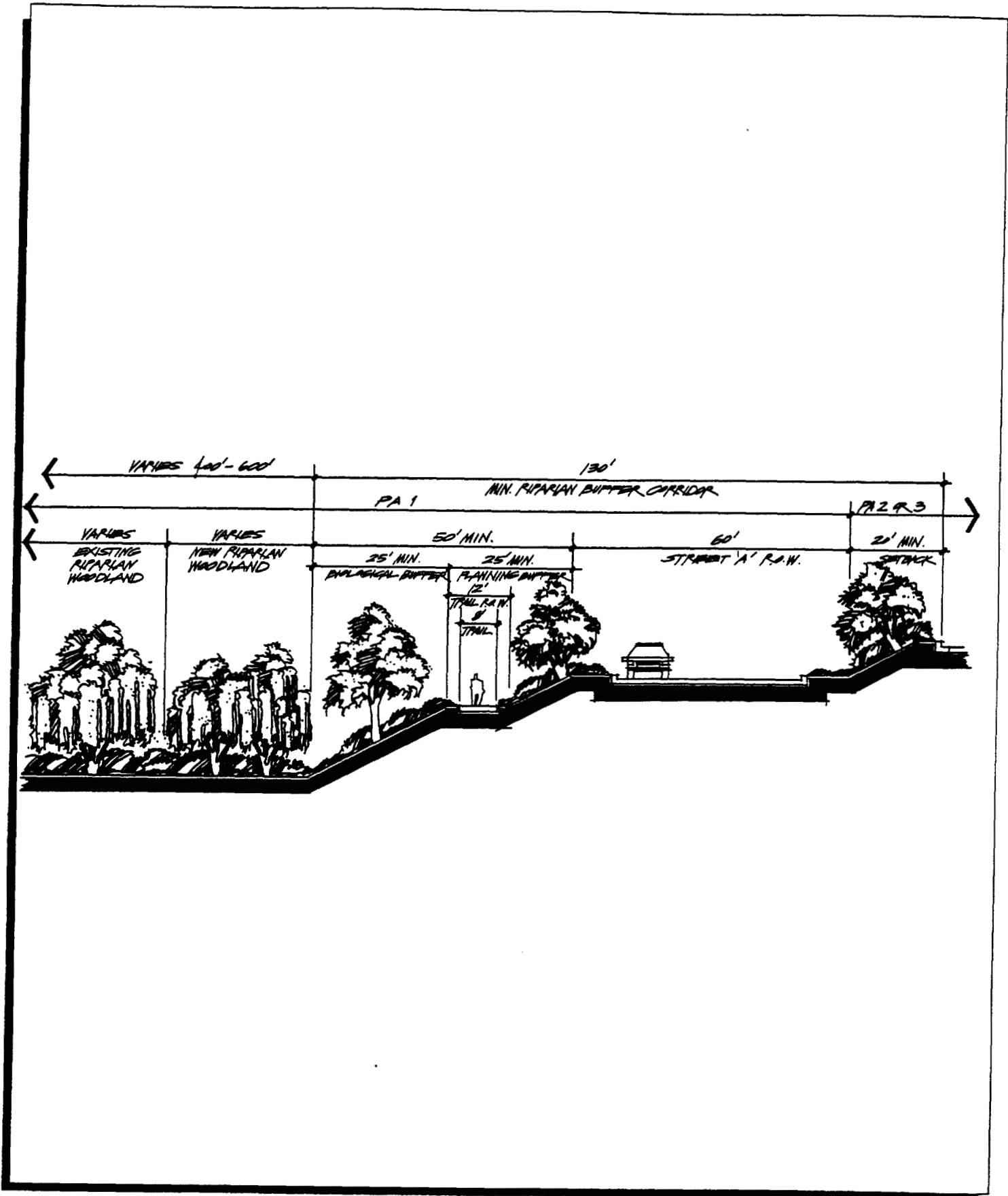


Figure IV-5



Riparian Buffer Corridor

An open space easement encompasses the riparian woodland buffer corridor to ensure that it is permanently retained as a buffer.

The riparian buffer corridor will be planted with native vegetation associated with a transitional riparian plant community featuring an oak woodland-sycamore dominated planting. The species utilized will create a canopy forming, tree dominated community as naturally occurs in canyon bottoms and along edges of small valleys. The zone will provide a transition from the willow dominated riparian woodland stream bottom to higher elevation non-riparian areas. As no transitional area exists currently between the riparian and agricultural or upland areas of the site, species not currently existing onsite are included in the list of species. Native plants will be primarily used; however, non-native selections may be utilized west of the fifty-foot buffer. Species are listed in Table IV-4, Riparian Buffer Corridor Plant List.

Pre-existing Native Upland Vegetation

The pre-existing native upland bluff area is located in Planning Area 4 and is that western portion of the site which contains moderate to steeply sloping hillside and bluffs. Native vegetation covers the area and presents a mixture of various habitats primarily including southern maritime chaparral, Diegan coastal sage scrub and other chaparral communities.

An open space easement encompasses the area of the upland habitat to ensure that it is permanently preserved.

New Native Upland Canyon Vegetation

The new native upland canyon vegetation areas are those areas designated by the Green Valley Master Plan for new native planting which have been previously used for agricultural operations. These consist primarily of the upper portions of three valleys that extend westward into the upland bluff area from the main field area. These valleys will also be the site of three storm drainage inlets and debris removal areas, one in each valley.

The new native vegetation areas will consist of portions of the three valleys not part of the storm drainage and debris removal areas and small undeveloped areas adjacent to the upland bluff area. This new vegetation will consist of native upland plant material identified as presently occurring onsite. The upland habitat, as defined in the Biological Constraints Report, is an intermixing of various native habitats including Southern maritime chaparral, Diegan sage scrub, and other chaparral communities.

Each site will be vegetated with native plant species selected to closely mimic that immediately surrounding the particular location or identified in areas with similar conditions such as slope, orientation, etc.. Around the debris removal areas the new native vegetation is expected to be similar to a scrub oak habitat. Within these areas, native grasses will be utilized to facilitate debris removal and routine maintenance. Species are listed in Table IV-5, New Native Upland Canyon Plant List. Implementation procedures will be similar to those for the new native riparian woodland.

**Table IV-4
RIPARIAN BUFFER CORRIDOR PLANT LIST**

Species	Common Name
<u>Dominant species:</u>	
<i>Platanus racemosa</i>	California sycamore
<i>Quercus agrifolia</i>	Coast live oak
<u>Secondary tree species such as:</u>	
<i>Alnus rhombifolia</i>	White alder
<i>Juglans californica</i>	California walnut
<i>Salix lasiolepis</i>	Arroyo willow
<i>Sambucus mexicana</i>	Elderberry
<u>Shrub and groundcover species such as:</u>	
+ <i>Artemisia californica</i> 'Canyon Grey'	Canyon Grey wormwood
<i>Artemisia douglasiana</i>	Mugwort
<i>Baccharis glutinosa</i>	Mulefat
<i>Elymus condensatus</i>	Giant wildrye
<i>Encelia californica</i>	Bush sunflower
+ <i>Eriogonum fasciculatum</i> 'Dana Pt.'	Dana Pt. buckwheat
<i>Eriogonum fasciculatum</i>	California buckwheat
<i>Eriophyllum confertiflorum</i>	Golden yarrow
+ <i>Galvezia speciosa</i> 'Firecracker'	Island bush snapdragon
<i>Heteromeles arbutifolia</i>	Toyon
<i>Isomeris arborea</i>	Bladderpod
<i>Iva hayesiana</i>	Hayes iva
<i>Lasthenia californica</i>	California goldfields
<i>Lonicera subspicata</i>	San Diego honeysuckle
<i>Lotus scoparius</i>	Deerweed
<i>Mimulus puniceus</i>	Red monkeyflower
<i>Oenothera hookeri</i>	Evening primrose
<i>Potentilla glandulosa</i>	Cinquefoil
+ <i>Rhamnus californica</i> 'Eve Case'	Eve Case coffeeberry
<i>Rhamnus ilicifolia</i>	Redberry
<i>Rhus integrifolia</i>	Lemonade berry
<i>Ribes speciosum</i>	Fuchsia flowered gooseberry
<i>Rosa californica</i>	California rose
+ <i>Salvia mellifera</i> 'Terra Seca'	Terra Seca sage
<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Stipa pulchra</i>	Purple needlegrass
<i>Vitis girdiana</i>	Desert grape
<i>Zauchneria californica</i>	California fuchsia

+ Horticultural selections limited to locations beyond the 50' buffer and above the top of slope immediately east of Street "A".

Table IV-5
NEW NATIVE UPLAND CANYON PLANT LIST

Species	Common Name
<u>Dominant Species will vary with individual restoration sites:</u>	
<i>Artemisia californica</i>	Coastal sagebrush
<i>Baccharis pilularis ssp. consanguinea</i>	Coyote bush
<i>Ceanothus verrucosus</i>	Wartystem lilac
<i>Encelia californica</i>	Bush sunflower
<i>Eriogonum fasciculatum</i>	California buckwheat
<i>Gnaphalium californicum</i>	California everlasting
<i>Haplopappus venetus</i>	Goldenbush
<i>Helianthemum scoparium</i>	Rush rose
<i>Heteromeles arbutifolia</i>	Toyon
<i>Isocoma veneta var. vernoides</i>	Goldenbush
<i>Lotus scoparius</i>	Deerweed
<i>Malacothamnus fasciculatus</i>	Bush mallow
<i>Malosma laurina</i>	Laurel sumac
<i>Mimulus puniceus</i>	Red monkeyflower
<i>Quercus dumosa</i>	Scrub oak
<i>Rhamnus californica</i>	Coffeeberry
<i>Rhamnus ilicifolia</i>	Redberry
<i>Rhus integrifolia</i>	Lemonade berry
<i>Salvia mellifera</i>	Black sage
<i>Sambucus mexicana</i>	Elderberry
<i>Stipa lepida</i>	Foothill stipa
<i>Stipa pulchra</i>	Purple needlegrass
<i>Xylococcus bicolor</i>	Mission manzanita
<i>Yucca schidigera</i>	Spanish dagger

Fire Control Upland Transition

In order to reduce the dangers from fire to structures proposed in the residential (Planning Area 3) areas adjacent to the upland habitat, a fire control transition area has been established along the entire interface between the development areas and the existing upland vegetation. Consistent with the master plan goal of preserving the habitat features of the upland areas and Carlsbad's landscape policy of limiting disruption to environmentally sensitive areas while still achieving fire control standards, the fire control buffers are designated in a manner which maintains the biological and visual integrity of the upland habitats.

Fire control landscaping utilizes zones of increasing fire hazard reduction moving towards the buildings. Zone 1, immediately adjacent to buildings, is either paved or landscaped with domestic, irrigated plants. Zone 2 contains low fuel plants and is also irrigated. Zone 3, adjacent to the native or new upland vegetation, contains native plants, modified to reduce fuel and fire hazard.

Fire control landscaping typically extends sixty feet (60') from any building or structure adjacent to the upland bluff area. Each zone is typically twenty feet (20') in width. Zone 1 will always be a minimum of twenty feet (20'). However, the precise size and configuration of the fire suppression zones may vary with the site, while conforming to the development standards herein. Although not specifically replicating the City landscape manual, the standards are a specific response to the configuration of the site in that all upland habitats slope up and away from the buildings.

General fire control landscaping guidelines are as follows:

1. Where the distance between structures and the top of a landscaped, irrigated slope exceeds sixty feet (60'), no further fire protection landscape treatments are necessary. Natural or new native landscape can extend to the top of a slope if it is a distance of greater than sixty feet (60') from structures.
2. Where native landscape is adjacent to a trail, a minimum of fifteen feet (15') of low fuel plants should be placed between the pedestrian trail and the native or revegetated native landscape.
3. In the residential area (Planning Area 3) the 60' minimum buffer can contain a driveway and parking area. A minimum of fifteen feet (15') of low fuel plants should be placed adjacent to the native or revegetated native landscape.

The zone configurations may vary in the following manner:

1. If Zones 1 and 2 combine to extend sixty feet (60') or more from buildings, Zone 3 may be deleted.
2. If Zone 2 contains a landscaped (consistent with Zone 2 standards) slope of fifteen (15') or greater height, no fire protection landscaping will be required beyond the top of slope.

3. If Zone 2 contains a landscaped (consistent with Zone 2 standards) slope of less than fifteen feet (15') height, Zone 3 treatments shall extend from the top to the slope to a distance of not less than sixty feet (60') from buildings.

Each zone will implement the following fire control measures:

Fire Control Zone 1

1. Domestic landscaping or paving, roads and service driveways.
2. Irrigated.
3. Shrubs over 3 feet high not allowed.
4. Trees allowed only as individual specimens in parking lot areas without overlapping canopies, and maintained to provide clearance equal to three times the height of the surrounding understory plant material or six feet (6'), whichever is higher. Dead and excessively twiggy growth shall also be removed.

Fire Control Zone 2

1. Fuel reduction through the use of low growing plant species, removal of moderate and high hazard native plant species.
2. Plants shall be visually and environmentally compatible with native upland plants.
3. Provision of irrigation for the purpose of maintaining levels of plant moisture.

Fire Control Zone 3

1. Fuel reduction by removal of high hazard native plant species or the provision of supplemental irrigation for the purpose of maintaining levels of plant moisture.
2. Large shrubs (e.g., Oaks, Sumacs, etc.) allowed only as maintained to provide clearance equal to three times the height of the surrounding understory plant material or six feet (6'), whichever is higher. Dead and excessively twiggy growth shall also be removed. Plants shall be visually and environmentally compatible with native upland plants.
3. Non-irrigated.

Specific plants for use in the fire protection upland transition zones are listed in Table IV-6, Fire Protection Upland Transition Plant List.

**Table IV-6
FIRE PROTECTION UPLAND TRANSITION PLANT LIST**

Species	Common Name
<u>Zone 2 species such as:</u>	
<i>Artemisia californica</i> 'Canyon Grey'	Canyon Grey Wormwood
<i>Cistus corsicus</i>	Rock rose
<i>Dietes bicolor</i>	Fortnight lily
<i>Eriogonum fasciculatum</i> 'Dana Pt.'	Dana Pt buckwheat
<i>Galvezia speciosa</i> 'Firecracker'	Island bush snapdragon
<i>Lonicera subspicata</i>	San Diego honeysuckle
<i>Phormium tenax</i>	New Zealand flax
<i>Salvia mellifera</i> 'Terra Seca'	Terra Seca sage

Zone 3 species such as:

<i>Erophyllum confertiflorum</i>	Yarrow
<i>Eschscholzia californica</i>	California poppy
<i>Gnaphalium californicum</i>	California everlasting
<i>Helianthemum scoparium</i>	Sun rose
<i>Lasthenia chrysostoma</i>	Goldfields
<i>Lotus scoparius</i>	Deerweed
<i>Lupinus bicolor</i>	Lupine
* <i>Quercus agrifolia</i>	Coast live oak
* <i>Rhus integrifolia</i>	Lemonade berry
<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Stipa lepida</i>	Foothill Stipa
<i>Stipa pulchra</i>	Purple needlegrass
<i>Zauchneria californica</i>	California fuchsia

* Indicates tree or large shrub species subject to pruning guidelines.

Moderate Hazard Species:

<i>Heteromeles arbutifolia</i>	Toyon
<i>Malosma laurina</i>	Laurel sumac
<i>Quercus agrifolia</i>	Coast line oak
<i>Quercus dumosa</i>	Scrub oak
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Xylococcus bi-color</i>	Mission manzanita

**Table IV-6 (cont.)
FIRE PROTECTION UPLAND TRANSITION PLANT LIST**

Species	Common Name
<u>High Hazard Species:</u>	
<i>Adenostoma fasciculatum</i>	Chamise
<i>Artemisia californica</i>	Coastal sagebrush
<i>Eriogonum fasciculatum</i>	California buckwheat
<i>Salvia mellifera</i>	Black Sage

Enhanced Entry Corridors

The enhanced entry corridors are those transportation corridors within the developed areas of Green Valley which provide access to the retail center or single-family residential area. There are three such corridors in the proposed development. The retail center will have two major corridors; extensions of Calle Barcelona from El Camino Real and Leucadia Boulevard. The residential area has one corridor which is a westward extension of Levante Street.

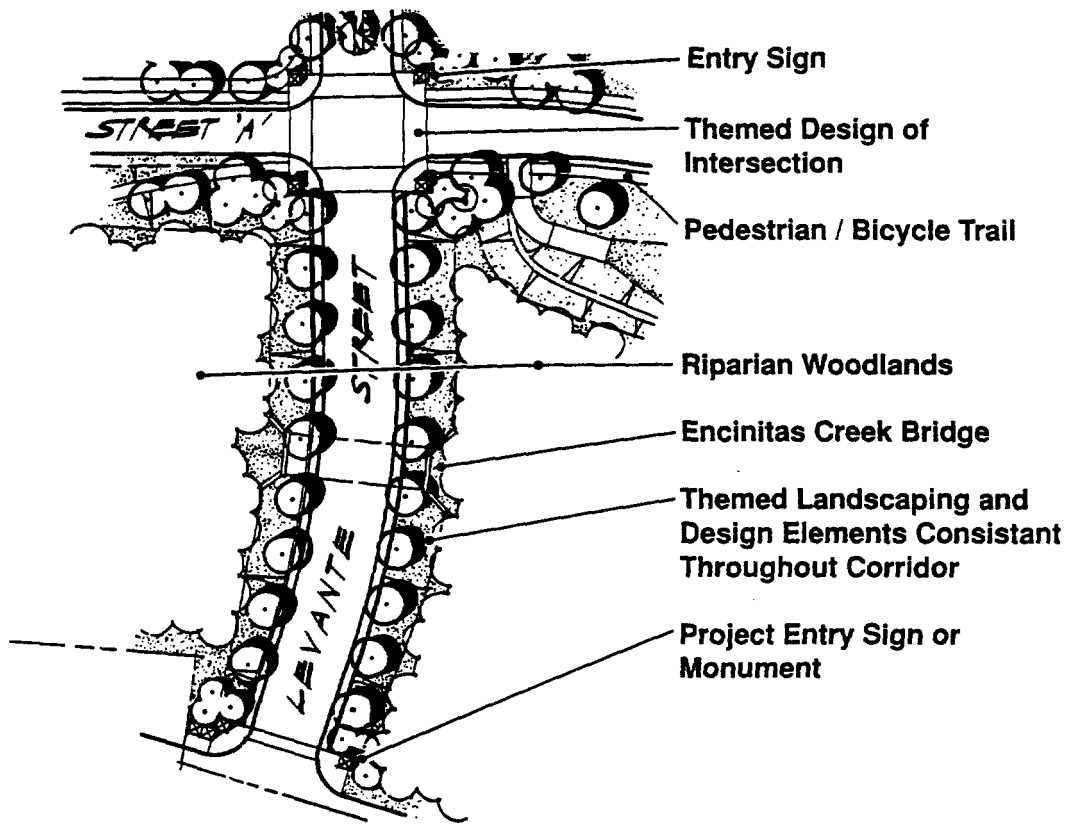
The intent of the enhanced entry corridor is to provide a cohesive entrance which, through the use of plant materials and other design features, visually establishes clear entry points and movement corridors for pedestrians and vehicles. One important element of the entryway is to draw the design theme of the development and its important features out along the two major corridors to El Camino Real. Thus these entry corridors can be meaningful design extensions of the project and not simply roadway access points. The landscaped entry corridor concept is illustrated in Figures IV-6 and IV-7.

The entry corridors may be planted in a more evenly spaced, architectural manner, and may include species not currently existing onsite along with plants compatible with the surrounding sensitive biological areas and buffers. Species are listed in Table IV-7, Enhanced Entry Corridor Plant List.

Development Planning Areas

The landscape guidelines require that the plant material in the development planning areas (Planning Areas 2 and 3) be compatible with the adjacent native areas and meet the general goals of the landscape community development guidelines.

Within the development areas, transitional tree massings are proposed. These massings consist of informal groves extending from the riparian buffer corridor zone into the eastern edges of the development area. The plants utilized for these transition tree massings will be



Entry Sign

Themed Design of Intersection

Pedestrian / Bicycle Trail

Riparian Woodlands

Encinitas Creek Bridge

Themed Landscaping and Design Elements Consistant Throughout Corridor

Project Entry Sign or Monument

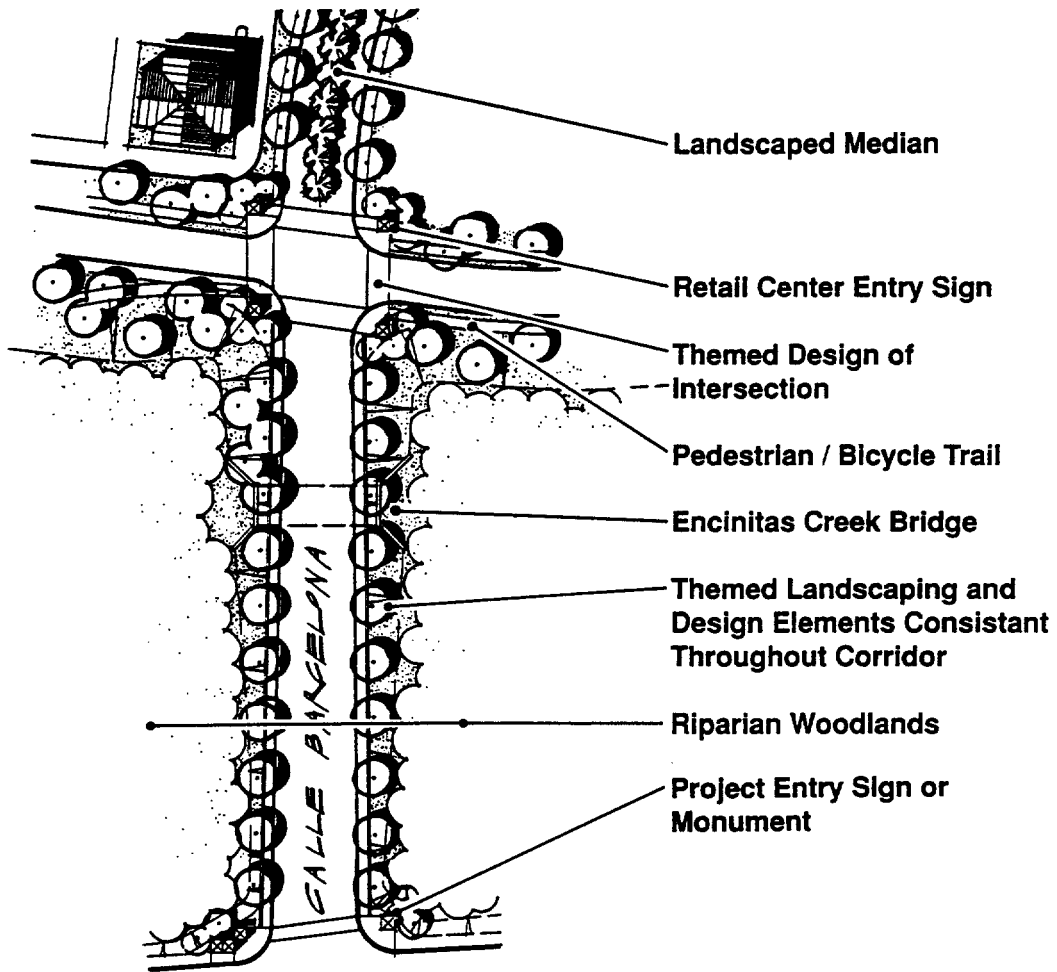


Table IV-7
ENHANCED ENTRY CORRIDOR PLANT LIST

Species	Common Name
<u>Tree species such as:</u>	
<i>Archontophoenix cunninghamiana</i>	King palm
<i>Bauhinia blakeana</i>	Orchid tree
<i>Brachychiton populneus</i>	Bottle tree
<i>Brahea armata</i>	Baja blue palm
<i>Butia capitata</i>	Pindo palm
<i>Chamerops humilis</i>	Mediterranean fan
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Erythrina coralloides</i>	Naked coral
<i>Ficus microcarpa nitida</i>	Indian laurel fig
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Koelreuteria paniculata</i>	Golden raintree
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Pinus torreyana</i>	Torrey pine
<i>Pinus canariensis</i>	Canary island pine
<i>Platanus racemosa</i>	California sycamore
<i>Pyrus kawakamii</i>	Evergreen pear
<i>Quercus agrifolia</i>	Coast live oak
<u>Shrub species such as:</u>	
<i>Agapanthus africanus</i>	Lily of the Nile
<i>Arcotostaphylos species</i>	Manzanita
<i>Carrisa species</i>	Natal plum
<i>Ceanothus species</i>	Wild lilac
<i>Cistus corsicus</i>	Rock rose
<i>Dietes bicolor</i>	Fortnight lily
<i>Hibiscus species</i>	Hibiscus
<i>Leptospermum species</i>	Tea tree
<i>Nandina species</i>	Heavenly bamboo
<i>Nerium oleander</i>	Oleander
<i>Phormium tenax</i>	New Zealand flax
<i>Pittosporum species</i>	Pittosporum

**Table IV-7 (cont.)
ENHANCED ENTRY CORRIDOR PLANT LIST**

Species	Common Name
<i>Rhapiolepis indica</i>	Indian hawthorn
<i>Rosmarinus officinalis</i>	Rosemary
<i>Strelitzia reginae</i>	Bird of paradise
<i>Verbena species</i>	Verbena
<i>Xylosma congestum</i>	Xylosma
 <u>Groundcover species such as:</u>	
<i>Baccharis species</i>	Prostrate coyote bush
<i>Begonia species</i>	Begonia
<i>Gazania species</i>	Gazania
<i>Lysimachia nummularia</i>	Moneywort
<i>Pelagonium pelatum</i>	Ivy geranium
<i>Potentilla verna</i>	Spring cinquefoil
<i>Trachelospermum jasminoides</i>	Star jasmine
 <u>Vine species such as:</u>	
<i>Clytostoma callistegiodes</i>	Violet trumpet vine
<i>Distinctus buccinitoria</i>	Blood red trumpet vine
<i>Ficus repens</i>	Creeping fig
<i>Gelsemium sempervirens</i>	Carolina jasmine
<i>Jasminum species</i>	Jasmine

similar to those of the buffer corridor zone. Similarly, plants reflective of the character of the upland areas shall transition into the western edges of the development areas.

The landscaping of the retail center and residential area will be characterized by irregular, clustered planting rather than a regular, evenly spaced pattern typical of many retail centers and parking areas. This concept will continue the theme of an informal, natural landscape pattern proposed along the riparian buffer corridor. It will also extend clusters of landscaping that are planned along that corridor into the retail center and residential area. The clustered landscaped theme will also be used to visually divide the overall retail center parking area into smaller areas without interfering with clear, coherent circulation patterns.

Plant species proposed for the development areas are listed in Table IV-8, Development Planning Areas Plant List.

**Table IV-8
DEVELOPMENT PLANNING AREAS PLANT LIST**

Species	Common Name
<u>Tree species such as:</u>	
<i>Bauhinia blakeana</i>	Orchid tree
<i>Brachychiton populneus</i>	Bottle tree
<i>Caryota mitis</i>	Clustered fishtail palm
<i>Chamerops humilis</i>	Mediterranean fan
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Erythrina coralloides</i>	Naked coral
<i>Ficus microcarpa nitida</i>	Indian laurel fig
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Koelreuteria paniculata</i>	Golden raintree
<i>Liquidambar styraciflua</i>	Sweetgum
<i>Nerium oleander</i>	Oleander
<i>Pinus torreyana</i>	Torrey pine
+ <i>Platanus racemosa</i>	California sycamore
<i>Prunus ilicifolia</i>	Holly leafed cherry
<i>Pyrus kawakamii</i>	Evergreen pear
+ , # <i>Quercus agrifolia</i>	Coast live oak
<u>Shrub species such as:</u>	
<i>Agapanthus africanus</i>	Lily of the Nile
# <i>Artemisia californica</i> 'Canyon Grey'	Canyon Grey wormwood
<i>Carrisa species</i>	Natal plum
<i>Ceanothus species</i>	Wild lilac
<i>Cistus corsicus</i>	Rock rose
<i>Dicksonia anatarctic</i>	Tasmanian tree fern
<i>Dietes bicolor</i>	Fortnight lily
# <i>Eriogonum fasciculatum</i> 'Dana Pt.'	Dana Pt. buckwheat
<i>Galvezia speciosa</i> 'Firecracker'	Island bush snapdragon
<i>Hibiscus species</i>	Hibiscus
+ <i>Iva hayesiana</i>	Hayes iva
<i>Leptospermum species</i>	Tea tree
<i>Liriope species</i>	Turf lily
<i>Nandina species</i>	Heavenly bamboo
<i>Nerium oleander</i>	Oleander

Table IV-8 (cont.)
DEVELOPMENT PLANNING AREAS PLANT LIST

Species	Common Name
<i>Phormium tenax</i>	New Zealand flax
<i>Pittosporum species</i>	Pittosporum
# <i>Rhamnus californica</i>	Coffeeberry
<i>Rosmarinus officinalis</i>	Rosemary
<i>Strelitzia reginae</i>	Bird of paradise
<i>Verbena species</i>	Verbena
<i>Xylosma congestum</i>	Xylosma
<i>Zauchneria californica</i>	California fuchsia
 <u>Groundcover species such as:</u>	
+ , # <i>Baccharis species</i>	Prostrate coyote bush
<i>Begonia species</i>	Begonia
<i>Gazania species</i>	Gazania
<i>Lysimachia nummularia</i>	Moneywort
<i>Pelagonium pelatum</i>	Ivy geranium
<i>Potentilla verna</i>	Spring cinquefoil
<i>Trachelospermum jasminoides</i>	Star jasmine
Lawn Dwarf fescue	
 <u>Vine species such as:</u>	
<i>Bougainvillea species</i>	Bougainvillea
<i>Clytostoma callistegiodes</i>	Violet trumpet vine
<i>Distinctus buccinitoria</i>	Blood red trumpet vine
<i>Ficus repens</i>	Creeping fig
<i>Gelsemium sempervirens</i>	Carolina jasmine
<i>Hibbertia scandens</i>	Guinea gold vine
<i>Jasminum species</i>	Jasmine
<i>Parthenocissus tricuspidata</i>	Boston ivy

- + Indicates species to be planted as transitional elements from riparian buffer corridor.
- # Indicates species to be planted as transitional elements from upland vegetation.

D. SIGNAGE

The purpose of the Green Valley sign plan and visual identification program is to provide the necessary project identification and directional information in a coherent, sequential manner throughout the project and to coordinate with the landscape and architectural design themes. As the principal Green Valley retail buildings will be set back 600 to 800 feet from El Camino Real and often screened from view by the Encinitas Creek riparian woodland, the sign plan and visual identification program will be a particularly important part of the establishment of an overall identity for the project.

The signage and visual identification program for the Green Valley Master Plan consists of a set of general provisions and also four specific categories for signage and visual identification. The general provisions detail signage standards which are common to all signs within the project. The four specific categories of signs each have specific design criteria. The first of the specific categories of signage is the program for project entry identification (i.e. the Green Valley retail center). This signage identification will be located at the project entryways at the intersections of El Camino Real with Calle Barcelona and at the Calle Barcelona entrance at the City boundary. The second is the individual tenant signage for the retail center and signage for the residential area. The third is directional and informational signage. The fourth is the temporary signage that may be present from the initiation of project construction through completion of all phases of the project. Each of these specific signage elements is discussed in further detail within this section.

The general provisions common to all of the specific signage categories are as follows.

General Provisions

1. All signage shall be in conformance with the Carlsbad Municipal Sign Code (Chapter 18.20), the Carlsbad Zoning Ordinance (Chapter 21.41), the El Camino Real Corridor Development Standards and the Local Coastal Program unless specifically provided for in this Master Plan and is subject to approval of the Planning Director prior to the issuance of a sign permit and construction.
2. A sign program with specific designs must be approved by the Planning Director prior to the issuance of any sign or building permits.
3. All signs require approval of a Coastal Development Permit as determined by the California Coastal Commission.
4. Signs shall be designed as a comprehensive signage package with selected theme elements such as materials, form, lighting, colors, typestyles, and layout remaining consistent throughout.

5. The sign program shall demonstrate responsiveness to the overall Green Valley design theme and to the individual project architecture.
6. The sign program shall establish the fewest number of signs necessary to serve the purpose. Appropriate examples of this are consolidation of information onto one sign, directional signs at key decision points, and identification signs reasonably visible from adjacent rights-of-way.
7. Graphics and typography shall fit comfortably onto designated sign or architectural spaces, leaving sufficient margins and negative space on all sides.
8. Wall signs shall appear visually balanced and in scale with the context of the sign space and the surrounding building environment.
9. All logo images and typestyles shall be accurately reproduced.
10. Sign colors shall provide accent and interest appropriate to the building or use to which the signs are associated.
11. Sign construction shall be of permanent materials. Treated wood is considered a permanent material.
12. Stamped pre-drilled metal rails as a visible means of signage mounting shall not be allowed (e.g. handicapped and fire lane notice signage).
13. Wall signs, including dimensional letters and plaques, shall be affixed individually without visible means of attachment, unless attachments are a part of the design. No lighted signs or light fixtures shall have exposed conduits or raceways.
14. Monument signs shall be positioned so that safe sight distances are maintained at entrances to the public right-of-way.
15. The following sign types and treatment are prohibited within the Green Valley Master Plan area.
 - Signs mounted on equipment screens.
 - Rooftop signs and signs projecting above roof lines or parapets.
 - Moving, rotating, blinking, flashing, or otherwise animated signs.
 - Window signs that are attached to the interior or exterior of any glazing visible from the exterior of the buildings, except for building sign types specifically permitted by this document.

- Billboards.
 - Pole signs.
 - Other as identified in the Carlsbad Sign Ordinance.
16. The following lighting techniques should be considered acceptable for the illumination of permanent signs within the Green Valley Master Plan area.
- Internally illuminated channel letters and logos (building-mounted only).
 - Front lighting (ground-mounted and building-mounted signs).
 - Silhouette lighting (building-mounted only).
17. Ambient lighting from signage should be controlled so that it does not reflect onto adjacent areas.

Project Entrance Signage and Visual Identification Concepts

The concept of including visual identification as an integral part of the signage program is very important. The development of appropriate project entry signage may be augmented by additional elements and design themes that will establish a visually significant but tasteful entry statement. These potential design themes may include monuments, architectural features, lighting, and landscaping.

The Green Valley project entry signage program shall be designed in tiers, or levels of visual identification significance. Each tier is given a level of significance based upon signage information, relative location, and degree of visibility. This signage hierarchy as illustrated in Figure IV-8, Entry Signage, is as follows; project identification sign, project entry signs or monuments and retail center or residential entry signage.

A project identification sign may be located at the corner of El Camino Real and La Costa Avenue and will contain only the name of the project. Commercial and residential project entry signs may be located at two points on El Camino Real; at Levante Street and Calle Barcelona and one point on Calle Barcelona at the City boundary. At each of these locations there may be a monument sited on either side of the entry roadways so that they will be visible from vehicular traffic. These signs will act as the formal project signage and visual identification for the entire Green Valley development.

A second level of project identification signage may be at the retail center entry. The entrances to the retail center along Calle Barcelona may have identification signage primarily indicating the name of the retail center but may also indicate the major tenants.

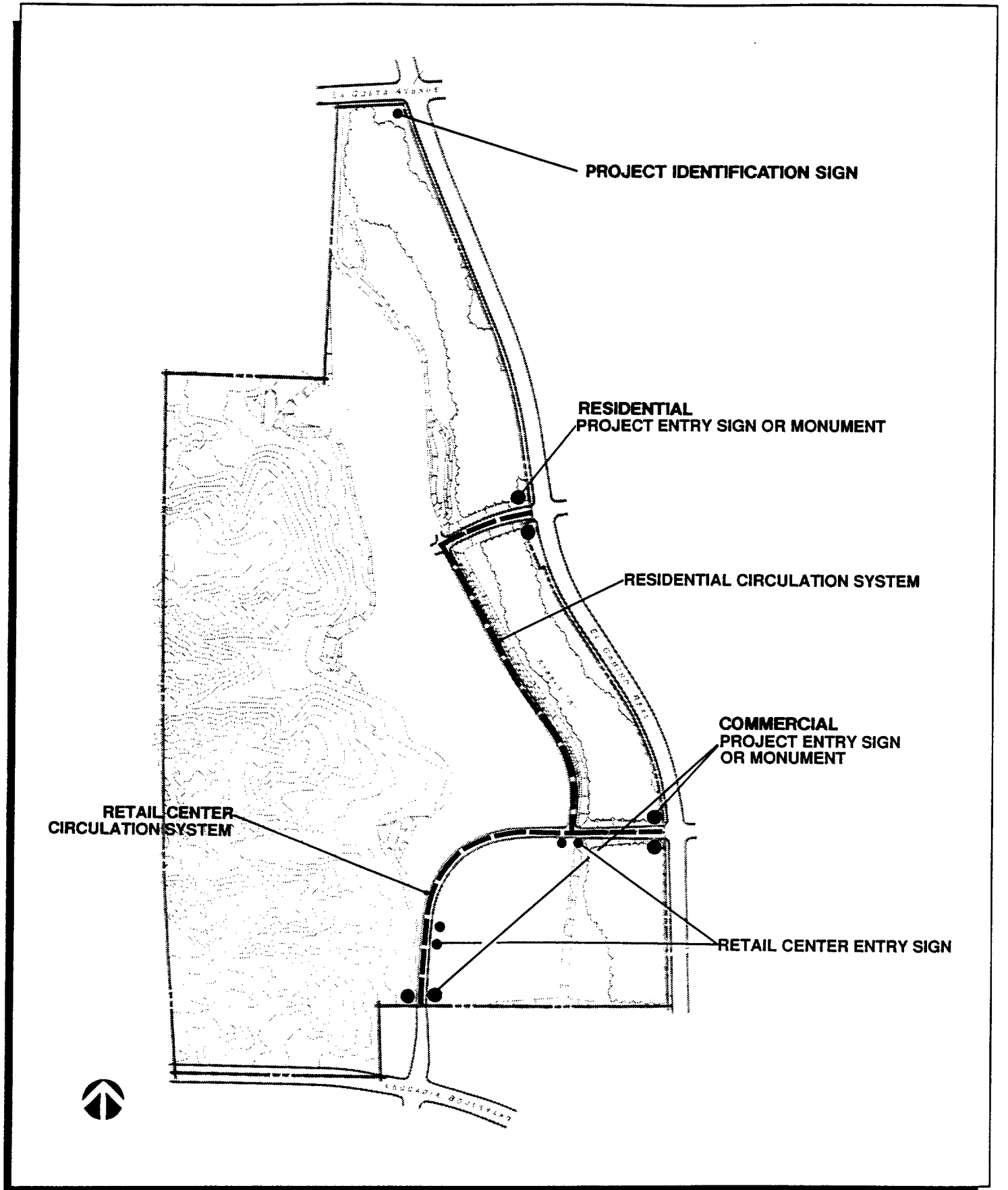


Figure IV-8



The residential area, located to the north of the retail center, may also be identified with entry signage. The single-family residential development may have signage at each of two project entry points. These locations are the Levante Street entrance and Road "A" north of Calle Barcelona. Information on this signage shall be limited to the development name only.

Project entry signage will be subject to all provisions listed below:

1. Project name identification shall be ground-mounted.
2. One pair of signs or monuments will be allowed at each of the three principal site entries as shown on Figure IV-8.
3. One pair of signs will be allowed as shown at each of the retail center entries along Calle Barcelona.
4. Copy shall be limited to the project name and logo (and the name of the primary tenants). Copy and logo heights should be graphically appropriate to the copy area.
5. Monument signage may be lit.
6. Materials for monument signage located along the El Camino Real corridor should be responsive to the El Camino Real Corridor Development Standards. The signage area should not exceed five feet (5') above adjacent street grade or twelve feet (12') in length.

Retail Tenant Identification Signage Concepts

It is very important that each onsite use is adequately identified. This is especially true for the retail portion of the Green Valley Master Plan area where the retail stores are set back from El Camino Real and are therefore not readily visible to the consumer. Some design guideline flexibility is necessary to allow for major retail stores to use their pre-established sign styles of logos. The scale, positioning, and general design of a sign, however, must stay within the confines of the overall design guidelines. The following signage guidelines are provided to ensure that tenant signage conforms to this general theme.

1. Commercial tenants shall be limited to one building-mounted identification sign.
2. Signage shall identify the user, not advertise a product. Information displayed should be limited to the name and logo of the tenant.
3. Wall type signs must be located immediately adjacent to (above or alongside) the individual building or tenant entry. Signage colors, configuration, format, and placement shall be consistent for all building entrance signage within the project.

4. Letter and logo heights shall be graphically appropriate to the copy area.

Directional and Informational Site Signage

1. Directional site signage shall be incorporated as necessary to orient, inform, and direct pedestrian and vehicular traffic. Examples of this include directional signs (entrance, exit, etc.), parking, and traffic control.
2. All directional site signage, other than standard traffic control signs, shall be designed as part of a complete signage package with selected elements such as type style, layout, form, colors, and materials remaining consistent throughout. Signage shall form a strong connection to the project design in terms of scale, form, lighting, and use of permanent materials.
3. The needs and requirements of the handicapped shall be considered in the design of all directional and informational signs.
4. Directional site signage should be ground-mounted and, if illuminated, may be either front lit or internally illuminated.

Temporary Signage

Temporary signs are an important and necessary element of a comprehensive signage program. Temporary signs are needed to provide information prior to project implementation (future facilities identification), during project construction (construction site identification), and prior to occupancy or subsequent to project completion (marketing and for lease/sale signs). Temporary signage may also be desired to indicate a special event. The regulation of temporary signs shall be per 18.20.085 of the Carlsbad Municipal Code. This section is intended to provide guidelines for temporary signs that are consistent with the overall Green Valley theme, while maintaining flexibility for individual temporary identification needs for each development or activity.

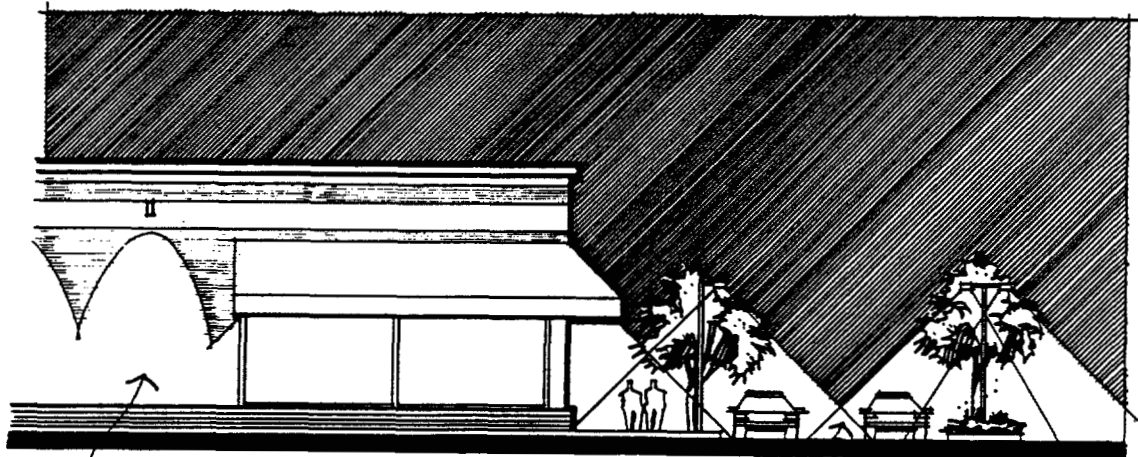
1. Temporary signage should be designed and constructed in conformance with these general guidelines and shall be consistent with the Carlsbad Municipal Sign Code.
2. Signage may display copy either single- or double-sided and may be placed either parallel or perpendicular to the roadway.
3. Add-ons, flags, and other post-design attachments are not allowed.
4. Temporary signage may be uplit. Backlighted signs are not permitted.
5. All temporary signage shall be maintained in good visual condition and removed upon completion of the purpose to which it relates.

6. The City of Carlsbad may have all signage not consistent with these guidelines removed at the owners expense.
7. Display information criteria. Future facility, construction site, and project marketing signage shall be limited to displaying the following information types.
 - For sale, For lease, Future Home of, etc,
 - Type or name of development;
 - Type and area of space available;
 - Major tenant or developer;
 - Architect, financial institution, general contractor, leasing agent;
 - Occupancy date;
 - Optional rendering.
8. Sign posts shall extend below grade sufficient to securely anchor the sign in place. Surface bracing is not allowed.
9. Signage not specifically outlined herein can be established for a limited period of time with the approval of the Carlsbad Planning Department. Examples of this signage would include temporary graphics for retail uses associated with business promotional events and temporary graphics related to civic events and public displays.
10. Business promotional signage shall be properly composed, erected, and maintained. All such signage shall be removed in a timely manner.

E. LIGHTING

General Provisions

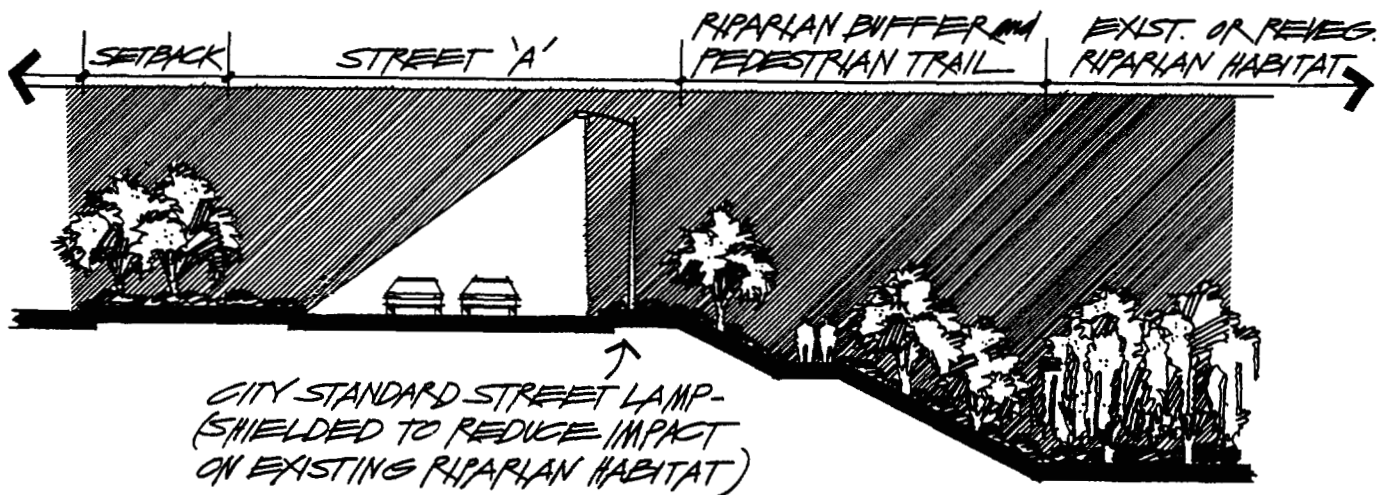
1. A carefully conceived architectural lighting scheme is required for the Green Valley Project. Exterior illumination by means of source shielded up-lighting and wall washing, and/or internal building lighting that spills outside is to be the primary means of lighting (see Detail 1 of Figure IV-9). Project lighting concepts shall be specifically reviewed as a part of the site development plan process. Omission of this element will necessitate another submittal and review.
2. Lighting fixtures shall be complimentary to the overall project design and architectural style.
3. Variations in lighting types shall be kept to a minimum.
4. Lighting systems shall consider the latest energy conservation techniques and concepts.



TYPICAL SHIELDED
WALL LIGHTING

PARKING AREA LIGHTING
(SHIELDED NEAR HABITAT
OR RESIDENTIAL AREAS)

Detail 1



CITY STANDARD STREET LAMP -
(SHIELDED TO REDUCE IMPACT
ON EXISTING RIPARIAN HABITAT)

Detail 2

Figure IV-9



5. Ground-mounted lighting incidental to commercial development shall be appropriately screened with solid walls and/or landscaping.
6. Lighting systems shall be designed and installed so as not to cast any glare onto adjacent lots or streets, decrease the ambiance of adjacent areas, or reduce the safety of pedestrian and vehicular movement.
7. Lighting shall be specifically designed to minimize the impact of glare or light in the habitat areas (see Detail 2 of Figure IV-9, and Detail 3 of Figure IV-10).

Service Area Lighting

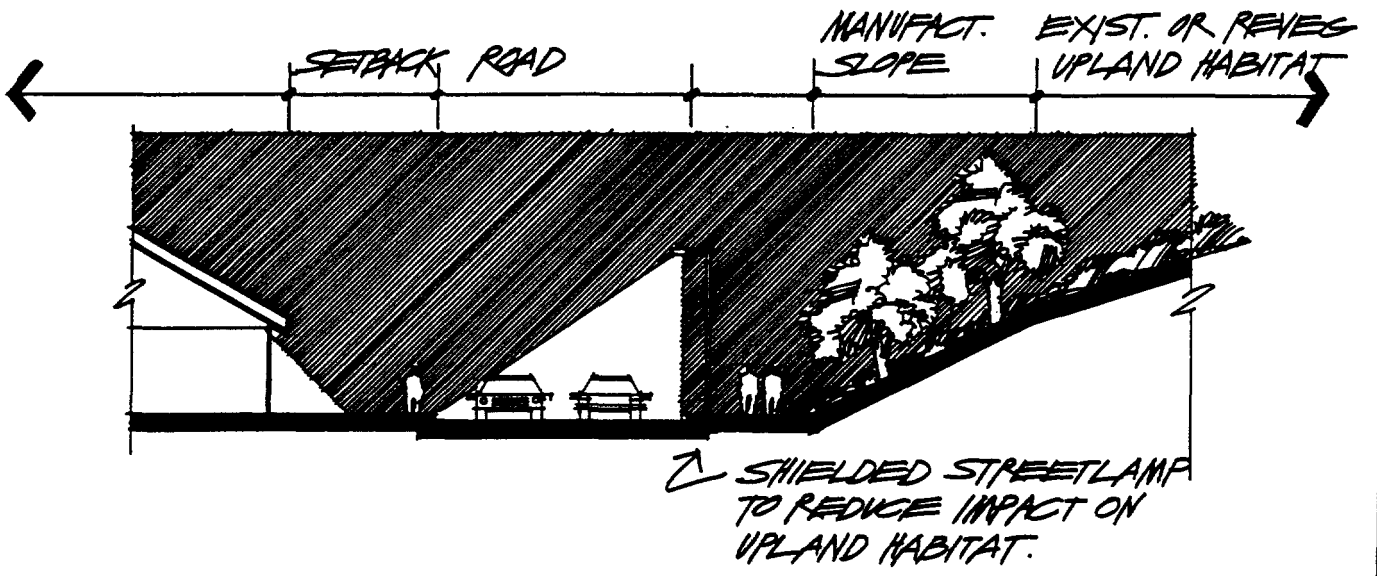
1. Service area lighting shall be contained within the rear service area of the retail center. Shielded light sources should be required.
2. "Wall-pack" type fixtures shall be limited specifically to service areas not visible from the street. For areas that may be visible, building-mounted or pole-mounted downlighting may be substituted.

Parking and Vehicular Circulation Area Lighting

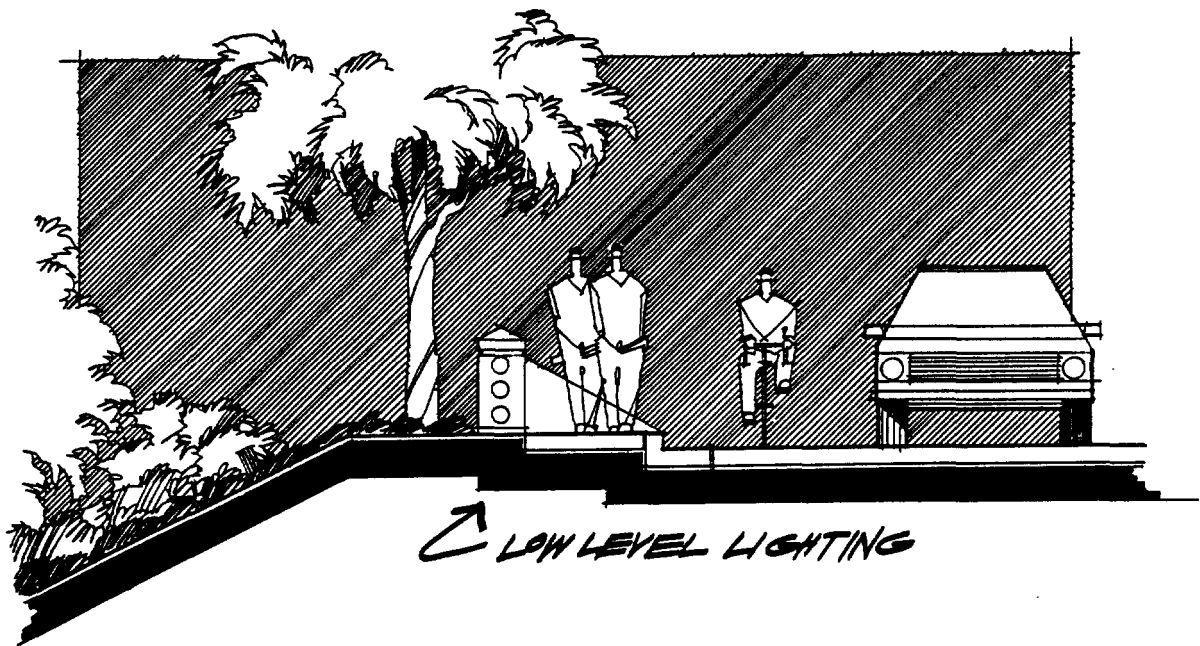
1. All onsite parking area and vehicular circulation area lighting fixtures shall be of the sharp cut-off rectangular (shoe box) or circular (disk) type.
2. Fixture design shall be uniform throughout the project. These fixtures shall be complimentary in design and color to the overall project design and architectural style and may be mounted up to a maximum height of thirty feet.

Pedestrian Lighting

1. Area illumination shall be provided for entry areas, courtyards, and other people gathering places to provide for security and safety.
2. Low level lighting may be provided for pedestrian walkways (see Detail 4 of Figure IV-10).



Detail 3



Detail 4



Figure IV-10



V. OPEN SPACE AND HABITAT PROTECTION AND ENHANCEMENT PLAN

A. INTRODUCTION

A large percentage of the Green Valley Master Plan area consists of open space in various forms. The onsite pre-existing native open space is contained in two large areas; the riparian woodland along Encinitas Creek (approximately 42.0 acres) in the eastern portion of the site, and the upland bluff area (approximately 118.2 acres) in the western portion of the site, or 57% of the total site. In addition, new native areas will be developed as part of an enhancement and mitigation program. These total approximately 34.6 acres for an approximate total of 194.8 acres of open space within Green Valley or 69% of the site.

There are four categories of open space in the Carlsbad open space program;

- 1) Open space for the preservation of natural resources,
- 2) Open space for the managed production of resources,
- 3) Open space for outdoor recreation, and
- 4) Open space for public health and safety.

The proposed Green Valley open space areas relate to the open space program as follows.

Open Space for Preservation of Natural Resources

Encinitas Creek Conservation Area - Pre-existing and new native riparian woodland will be preserved within permanent open space lots. This habitat area will remain in a natural state to preserve and protect sensitive plant and animal species. The open space lots will include all of the area between the El Camino Real and the Street "A" right-of-way or commercial/residential development areas. Also included in the open space lots will be a minimum fifty-foot (50') riparian woodland buffers, pedestrian and bicycle trail, and desiltation/depollutant basins.

Upland Bluff Area - Pre-existing and new native chaparral and coastal sage scrub area on the western slopes of the property will be permanently preserved in open space lots or as part of an approved mitigation area which include the three existing canyon areas. The open space lots or mitigation area will include storm drainage structures and debris removal areas which will prevent erosion and, in the same vicinity, permanent water sources will be provided to enhance wildlife in this area.

Open Space for the Managed Production of Resources

Encinitas Creek Conservation Area - No areas of the Encinitas Creek Conservation Area will be permanently reserved for the managed production of resources. Several areas adjacent to the existing riparian woodland habitat, however, will be graded and planted with native

species to expand the sensitive biological corridor as part of the overall project mitigation program and natural open space enhancement plan.

Upland Bluff Area - No upland bluff area will be permanently reserved for the managed production of resources. New native vegetation will be planted and several areas will be revegetated to expand the upland bluff area and, in particular, to establish habitat in the upper portions of the canyons.

Open Space for Outdoor Recreation

Encinitas Creek Conservation Area - A segment of the Carlsbad regional trail system will be located within the western half of the fifty-foot (50') riparian buffer corridor on the western side of the Encinitas Creek. This trail will be constructed to accommodate pedestrian and bicycle traffic and will follow a meandering alignment within the western portion of the buffer area. The vertical separation of this trail from the riparian woodland and the native vegetation areas will form an effective separation between the trail and riparian woodland area and prevent any access to the riparian woodland area via this trail.

Upland Bluff Area - No outdoor recreation is planned for the upland bluff area. The terrain is generally much too steep and the habitat too sensitive to allow for any access or recreational activities.

Open Space for Public Health and Safety

Encinitas Creek Conservation Area - The Encinitas Creek conservation area does protect the public health and safety by containing the floodwaters in their natural channel and locating all development well away from the flood zone. As a result, no portion of Green Valley will be subject to flood impacts.

Upland Bluff Area - The upland bluff area is characterized by moderate to steeply sloping hills and valleys. As such, any development in the area would be difficult and require extensive use of manufactured slopes. Preserving the area in permanent open space will prevent any potential hazard due to natural or manufactured slope failure in the hillside area.

B. DESILTATION AND DEPOLLUTANT PLAN

The Green Valley Master Plan for desiltation and depollution is a system of one or two combination desiltation/depollutant basins (see Figure V-1). The basins will be located within the area between the development area and the existing riparian woodland which is designated for riparian woodland expansion and as a buffer area for the riparian woodland corridor.

The desiltation/depollutant basin(s) will receive the initial one half inch of stormwater from the retail center and single-family residential area in order to ensure that no significant silt or

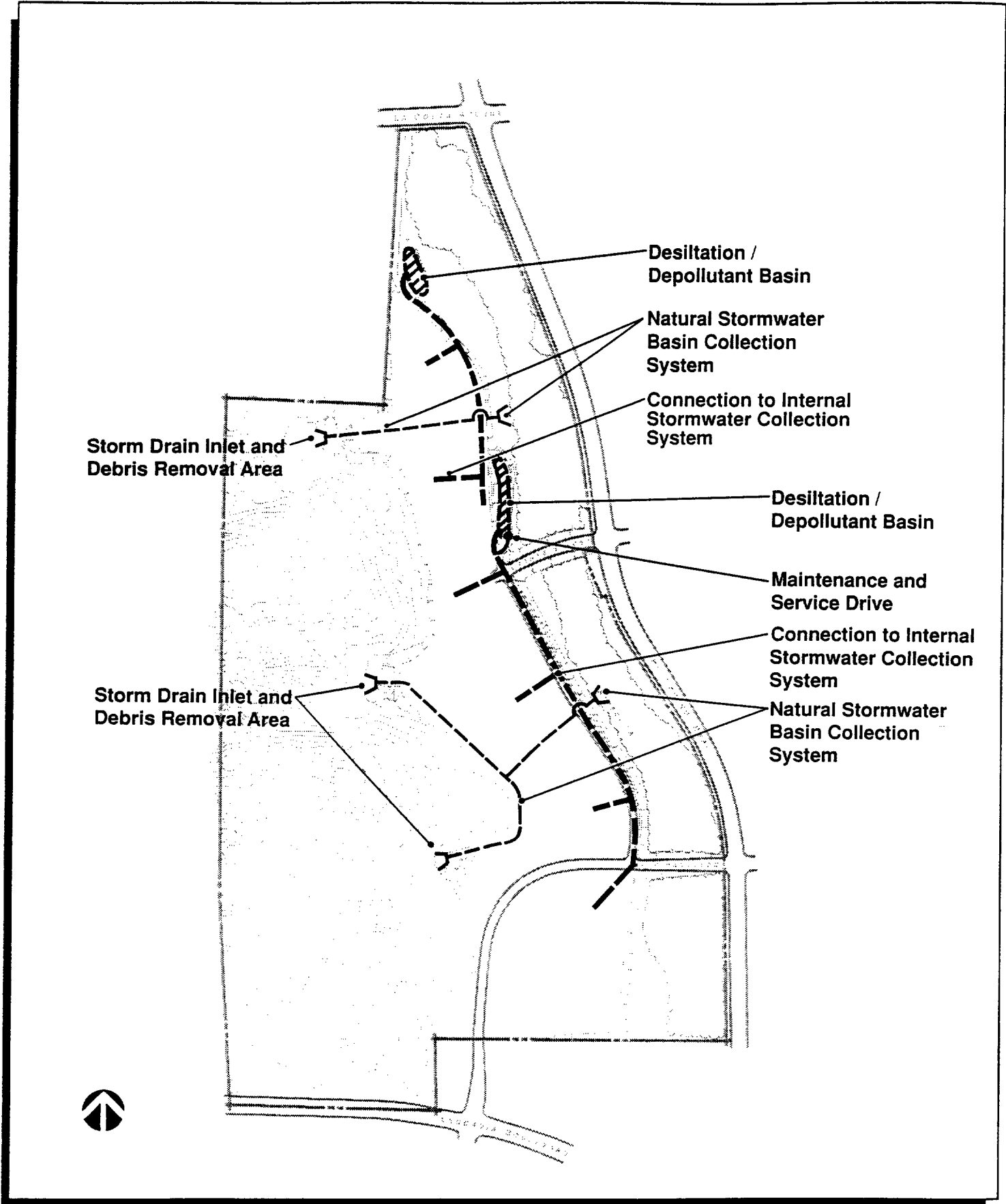


Figure V-1

Storm Drainage and Desiltation/Depollutant Plan

pollution from this development area will discharge into the Encinitas Creek. The purpose of separate basins is to permit the retail and residential projects within Green Valley to proceed as two separate phases of development. The desiltation/depollutant basin(s) will be subject to periodic maintenance by the developer, property manager, owner, and/or homeowners' association to remove accumulated silt and other material.

C. RESOURCE PRESERVATION

In order to preserve and maintain the pre-existing onsite riparian woodland and upland bluff habitats, certain guidelines must be followed. These general guidelines are as follows:

1. An open space easement shall be established over the entire area, which includes the pre-existing riparian woodland, the new native riparian woodland areas, and the riparian buffer corridor.
2. Acknowledging the disturbance required to construct the Levante and Calle Barcelona street crossings, the riparian woodland shall be preserved to the greatest extent possible. All disturbance to the riparian woodlands shall be mitigated in accordance with an approved mitigation program.
3. The upland bluff area shall be preserved as a significant biological and visual resource through the establishment of an open space easement or mitigation area.
4. All development shall comply with Chapter 21.9 occurring within the residential area. The purpose of the two separate basins is to permit the retail and residential projects within Green Valley to proceed as two separate phases.
5. All development shall comply with the requirements of Chapter 21.90 (Growth Management) of the Carlsbad Municipal Code and the Zone 23 LFMP.
6. To protect the Encinitas Creek riparian woodland and Batiquitos Lagoon, all grading shall be done in conformance with an approved desiltation plan. Grading shall only occur between March 31st and October 1st of each year unless an extension of the grading period is approved by the City Engineer and as part of any required permit including a Coastal Development Permit.
7. Existing riparian woodland shall be protected during grading and construction by fencing and other measures in accordance with the City of Carlsbad's Grading Ordinance (Figure IV-4).
8. To protect the Encinitas Creek riparian woodland corridor and Batiquitos Lagoon, no building permits will be granted for any planning area until a desiltation/depollutant plan is approved for the storm drainage from that planning area.

9. To enhance the habitat value of the upland bluff area, up to three permanent water sources should be constructed for use by wildlife. These are proposed to be located in the vicinity of the three storm drain inlets and debris removal areas so that they can be routinely maintained using the maintenance and service road.
10. To protect the upland bluff area from fire, an area of upland transition landscaping should be placed between residential or commercial development areas and the existing native upland bluff area (see Chapter IV, Section D).

D. OPEN SPACE AND BIOLOGICAL HABITAT ENHANCEMENT PLAN

The Encinitas Creek riparian woodland and the upland bluff areas are important open space and biological resources. These areas have been placed in open space lots as part of the implementation of the Green Valley Master Plan. In addition to the creation of open space lots over the existing habitat, the Green Valley Master Plan includes an enhancement plan designed specifically to improve the long-term habitat value of these areas. The main features of this plan are illustrated in Figure V-2 and are described as follows:

1. The expansion of the riparian woodland includes approximately 20 acres of new native riparian woodland. Some of this acreage is mitigation for the disturbance of pre-existing habitat that is caused by the two road crossings. Mitigation for riparian impacts shall be at a 3:1 ratio, and mitigation for wetland impacts shall be at a 4:1 ratio by the creation of new habitat from existing upland area on-site. All of the new acreage is adjacent to the pre-existing riparian woodland. The location of these new riparian areas has been determined to maximize the habitat benefit. The largest area is on the west side of the riparian woodland corridor at the northerly end of the property. This has been determined to be the best area to expand the habitat because it is near Batiquitos Lagoon and additional habitat to the west.

A second area is on the west side of the riparian woodland between Levante Street and Calle Barcelona. This is the area where the pre-existing riparian woodland is the most narrow. The expansion plan makes the width approximately 400 feet (at its narrowest point), which is consistent with the remaining portions of the habitat.

2. The Riparian Buffer Corridor is an area adjacent to the western edge of the riparian woodland extending throughout the property. The Riparian Buffer Corridor will provide a buffer and potential foraging area for birds and other wildlife in the riparian woodland habitat. The total corridor is a minimum of 150 feet between the edge of the existing or new native riparian woodland and any buildings. The corridor contains a minimum fifty-foot (50') buffer immediately adjacent to the riparian woodland. All landscaping within the Riparian Buffer Corridor shall be compatible with creating a foraging habitat and keeping exotic or invasive plants out of the riparian woodland.

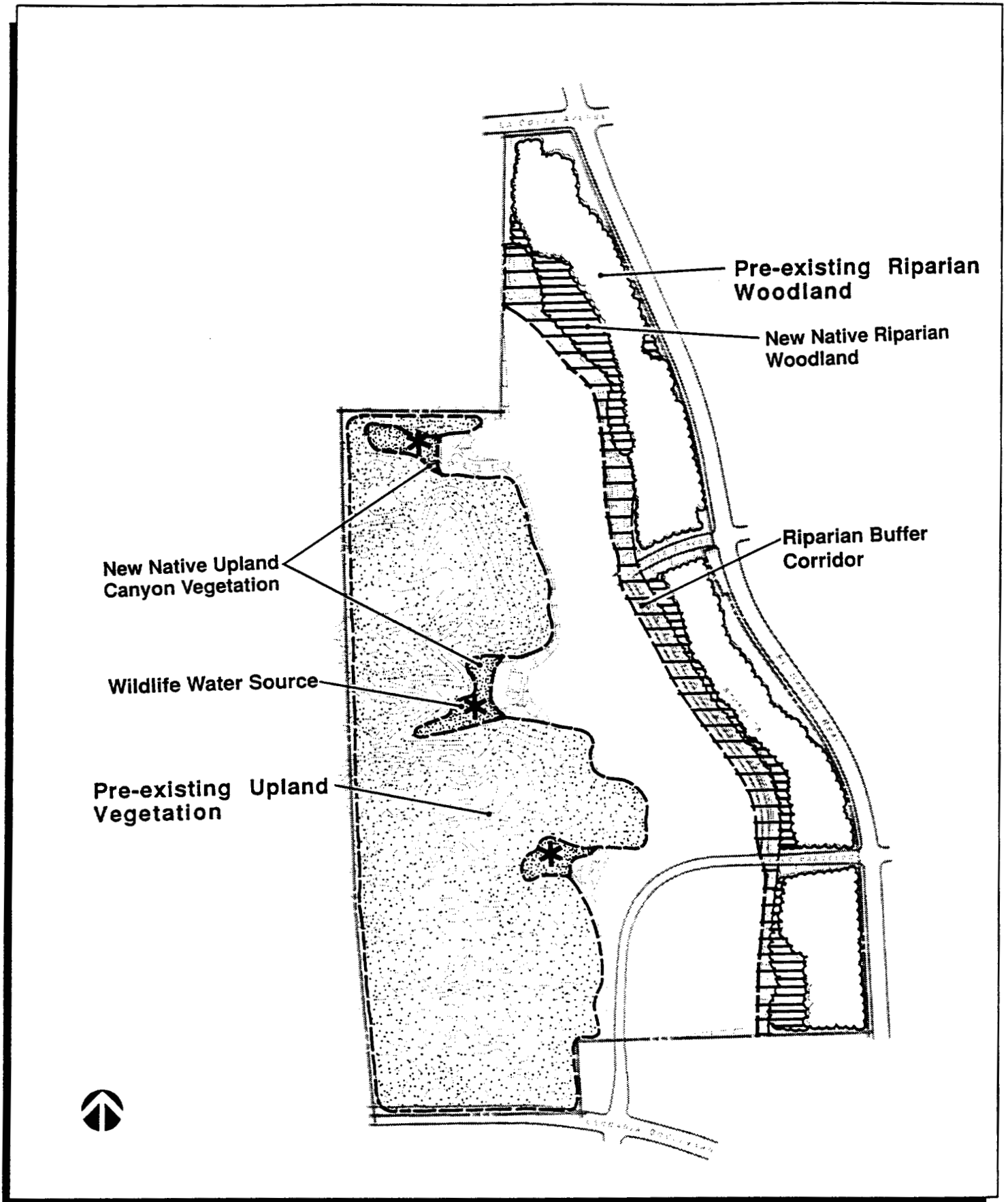


Figure V-2



3. The pre-existing riparian woodland does contain some exotic and invasive plant species that may, over time, interfere with the native plant community. Some of these plants include ice plant, giant reed, eucalyptus trees, and palm trees. Under the direction of a biologist, a restoration plan shall include the removal of these plants to the extent practical and replanting native riparian species without damaging the native plants. This restoration plan will be included in the project mitigation program. This will also be a permanent program as part of the landscape maintenance and management of the property.
4. The current cultivated portions of the property include the three canyons that extend into the upland bluff area. Under the habitat enhancement plan, new native upland vegetation will be placed in the upper portions of these canyons. This includes planting of oak trees to expand and re-establish an oak grove in each of these canyons. These revegetation areas are west of the debris removal areas that are typically located in the lower portion of these canyons.
5. In conjunction with the oak revegetation areas described above, the enhancement plan for the upland bluff area includes the establishment of small permanent wildlife water sources in each of the three canyons in the vicinity of the new oak groves. This will provide a water source for wildlife in the area and further improve the habitat value of the emerging oak groves.

E. BIOLOGICAL MITIGATION PROGRAM

Both pre-existing riparian woodland and upland habitats are proposed to be enhanced with new native vegetation sites. This effort is designed to fully mitigate impacts associated with both of these habitats. In accordance with the Local Coastal Program, riparian woodland habitat will be mitigated at a 3:1 ratio for any disturbance to existing habitats. Five different locations along the existing creek will be utilized for native riparian enhancement. These areas are adjacent to the pre-existing habitat and will be protected with a permanent open space easement. The new native upland habitats will be located primarily within the three finger canyons that are currently under agricultural production. Both the new native riparian and upland sites will require minor grading to recontour the sites suitable for each habitat.

In order to ensure that the measures for the preservation and enhancement of on-site riparian woodland and upland habitats are implemented and maintained, a program of mitigation monitoring will be established. A mitigation monitoring program is a requirement of the State of California (A.B. 3180, 1/1/89) and is a function of the California Coastal Commission and the California Department of Fish and Game. The mandatory mitigation monitoring program must be adopted by the City of Carlsbad at the time of certification of the final EIR. As there are no State guidelines for the preparation and content of mitigation programs the program that is prepared should be comprehensive, easily monitored, and sensitive to the long-range welfare of the sensitive habitat.

Once adopted, the mitigation monitoring program shall be subject to all conditions established by the City of Carlsbad and other agencies. It shall be the City's responsibility to appoint a staff member to monitor the program with the owner remaining responsible for the cost of the monitoring biologist. In addition to monitoring by the City of Carlsbad, the mitigation monitoring program for the wetlands area shall be subject to the requirements of the U.S. Army Corps of Engineers (ACOE) and the California Department of Fish and Game (CDFG). The ACOE will require a Section 404 permit of the Clean Water Act for any construction in a wetland area which exceeds one acre of fill. The CDFG requires a Streambed Alteration Agreement (Section 1603) for any disturbance in a streambed. Both the ACOE and the CDFG require mitigation monitoring reports for a period of three to five years.

The primary goal of the mitigation program for the riparian woodland, wetlands, and upland habitats of Green Valley is to create new habitat areas to offset areas lost due to construction of the proposed project so that the net loss in both quantity and quality of the various habitats does not occur. Additionally, it will protect the pre-existing habitat areas from the impacts associated with construction of the proposed project. The specific details of the mitigation and monitoring will be developed at the time of development permit review.

F. MAINTENANCE RESPONSIBILITY

The riparian woodland will be covered by open space lots. The upland bluff area will also be covered by an open space lot.

Both open space areas may be maintained by a landowners' association consisting of the owners of the various development areas. Another method for continued maintenance of the open space areas is to transfer the areas to a suitable public entity or to a public land trust. The open space areas would be donated or sold to a nonprofit public land trust which would then assume the responsibility to preserve and maintain those areas, or lease them to the City for a nominal fee.

VI. PLANNING AREA DEVELOPMENT STANDARDS AND GUIDELINES

A. INTRODUCTION

This chapter of the Master Plan presents a set of policies and design and development standards for each of the five individual planning areas which comprise Green Valley. The policies and standards provided for each planning area in this chapter, combined with the general community development standards of Chapter IV, become the official development standards for these planning areas. Figure VI-1 shows the location and predominant land use of each planning area.

Two of the planning areas are designated as Open Space and are not scheduled for any development beyond access roadways, pathways, utilities, and desiltation/depollutant basins. The two remaining planning areas are proposed for commercial and residential development respectively.

For consistency and easy reference, the development standards for each planning area are organized into three sections.

- The first section is an introduction to the planning area and describes its general configuration and the location of major land uses.
- The second section contains site development standards including land use allocations, permitted uses, building height, setbacks, parking, and phasing requirements.
- The third section considers special design criteria such as architecture, site planning, landscape treatments, project entryways, and trails. Special design criteria exhibits are included for each of the planning areas which illustrates design concepts or criteria that are specific for that area.

B. PLANNING AREA 1 - ENCINITAS CREEK CONSERVATION AND BUFFER CORRIDOR

Description

This approximately 83-acre planning area is located along the eastern side of the property from La Costa Avenue to the southern boundary near Olivenhain Road (Figures VI-2, VI-3, VI-4, and VI-5). It includes all of the pre-existing riparian woodland, the two planned crossings of Encinitas Creek at Levante Street and Calle Barcelona, a riparian buffer corridor and Street "A" along the western edge.

PLANNING AREA	DESCRIPTION	LAND USE
1	Encinitas Creek Conservation Area/ Riparian Buffer Corridor	Open Space
2	Retail	Community Commercial
3	Residential	Single Family Residential
4	Upland Bluff	Open Space
5	'Red Barn'	Open Space

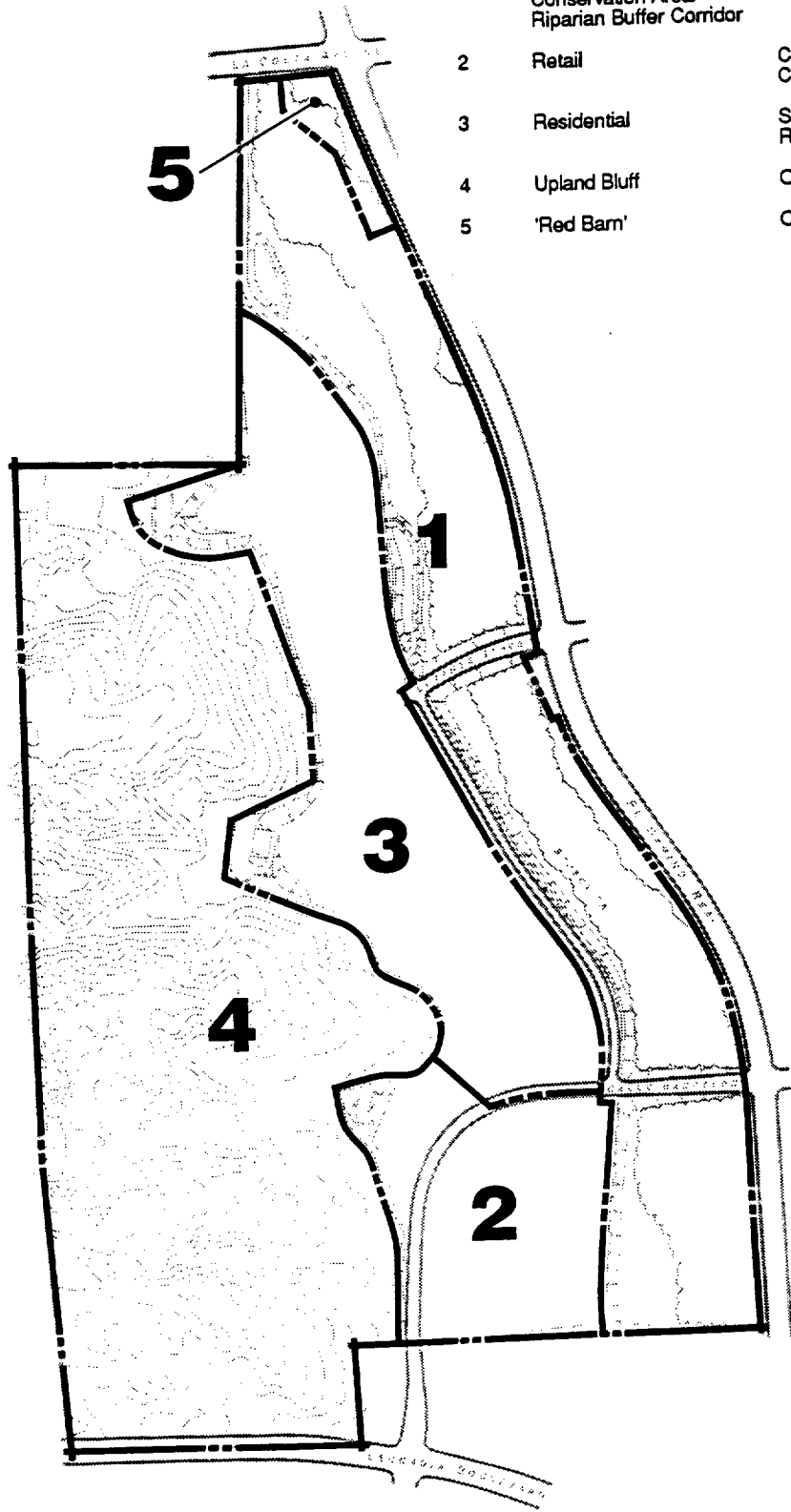


Figure VI-1



Planning Areas

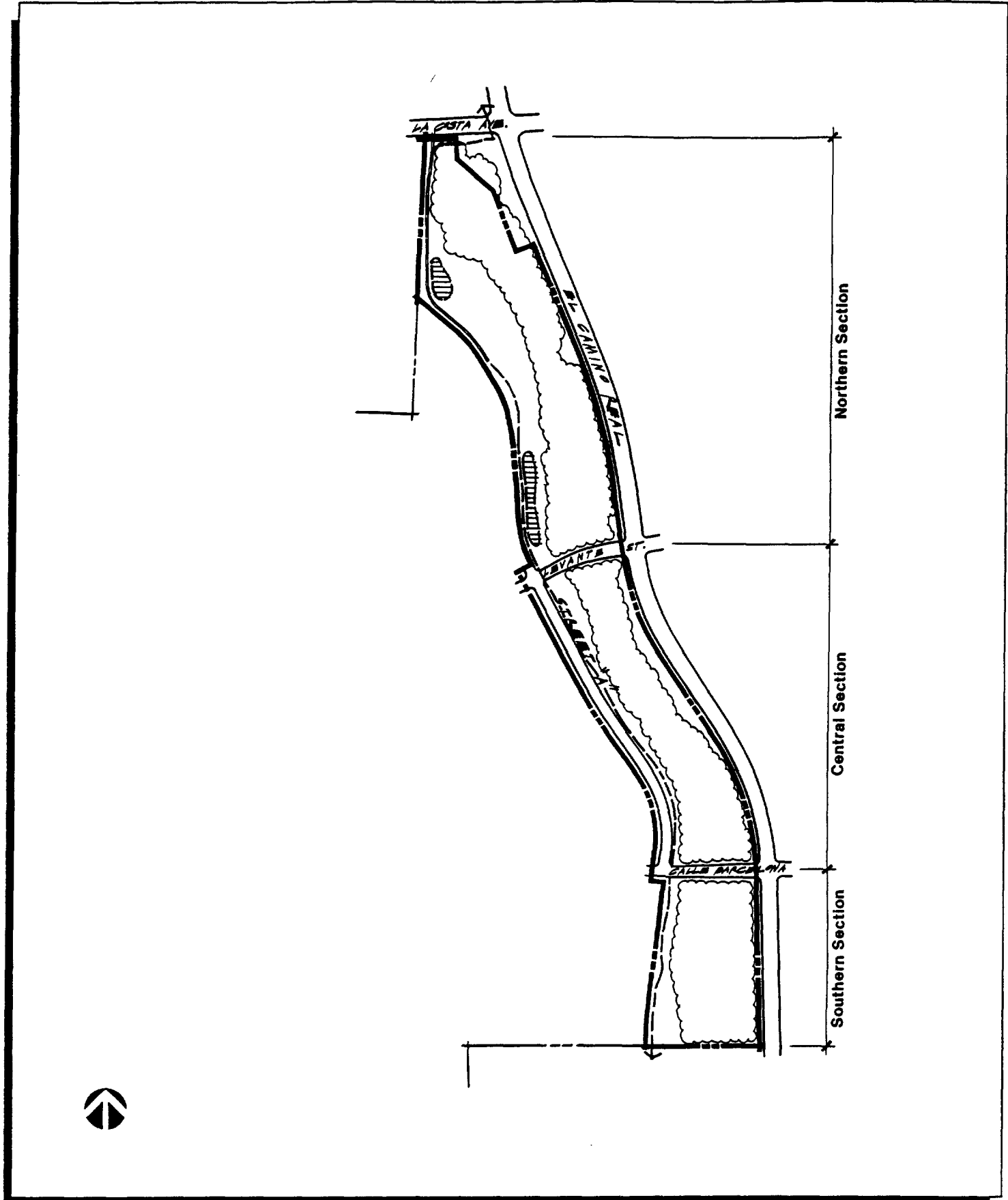




Figure VI-2



 PLANNING SYSTEMS 

Planning Area 1 - Land Use and Key Map

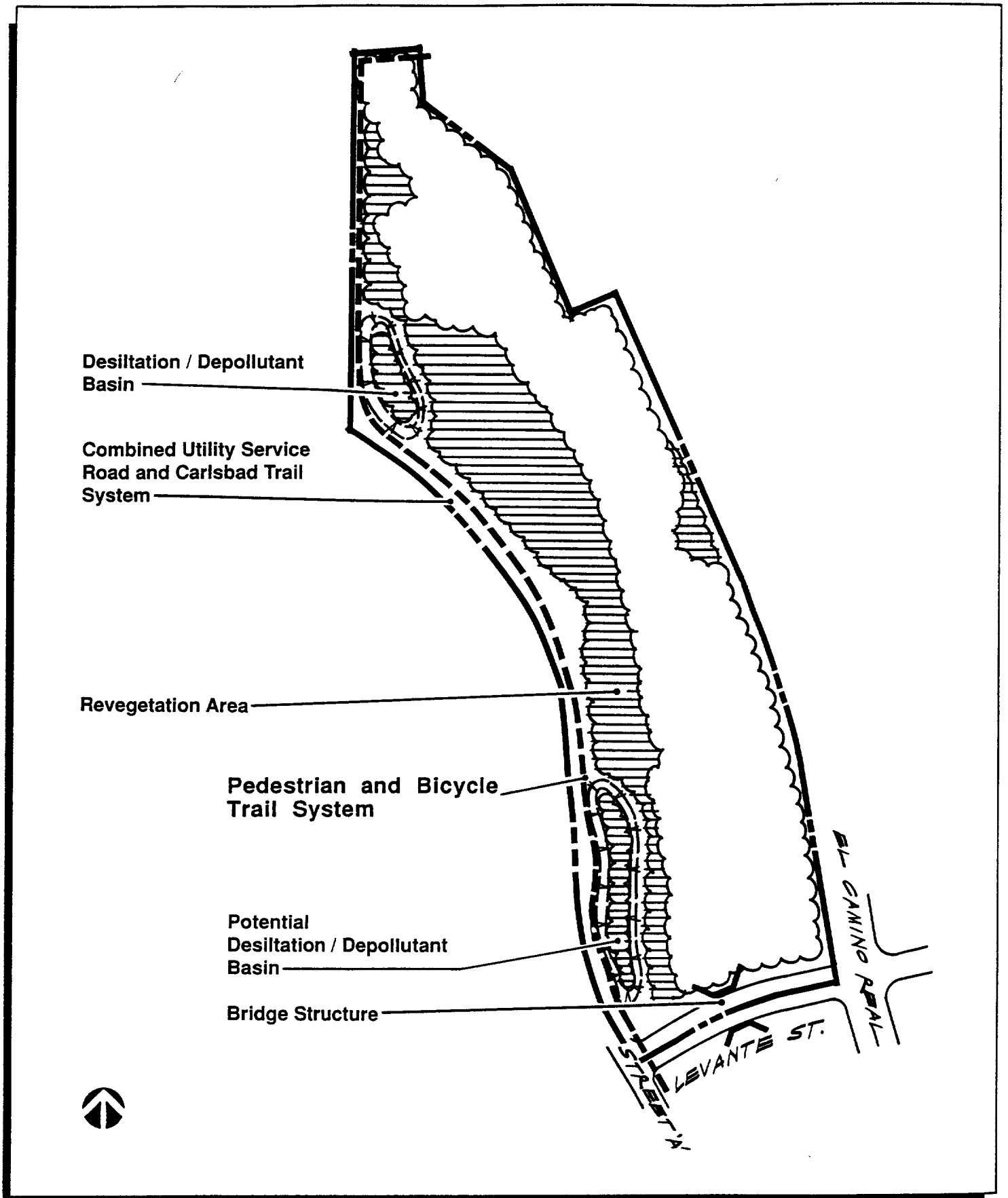


Figure VI-3



Northern Section

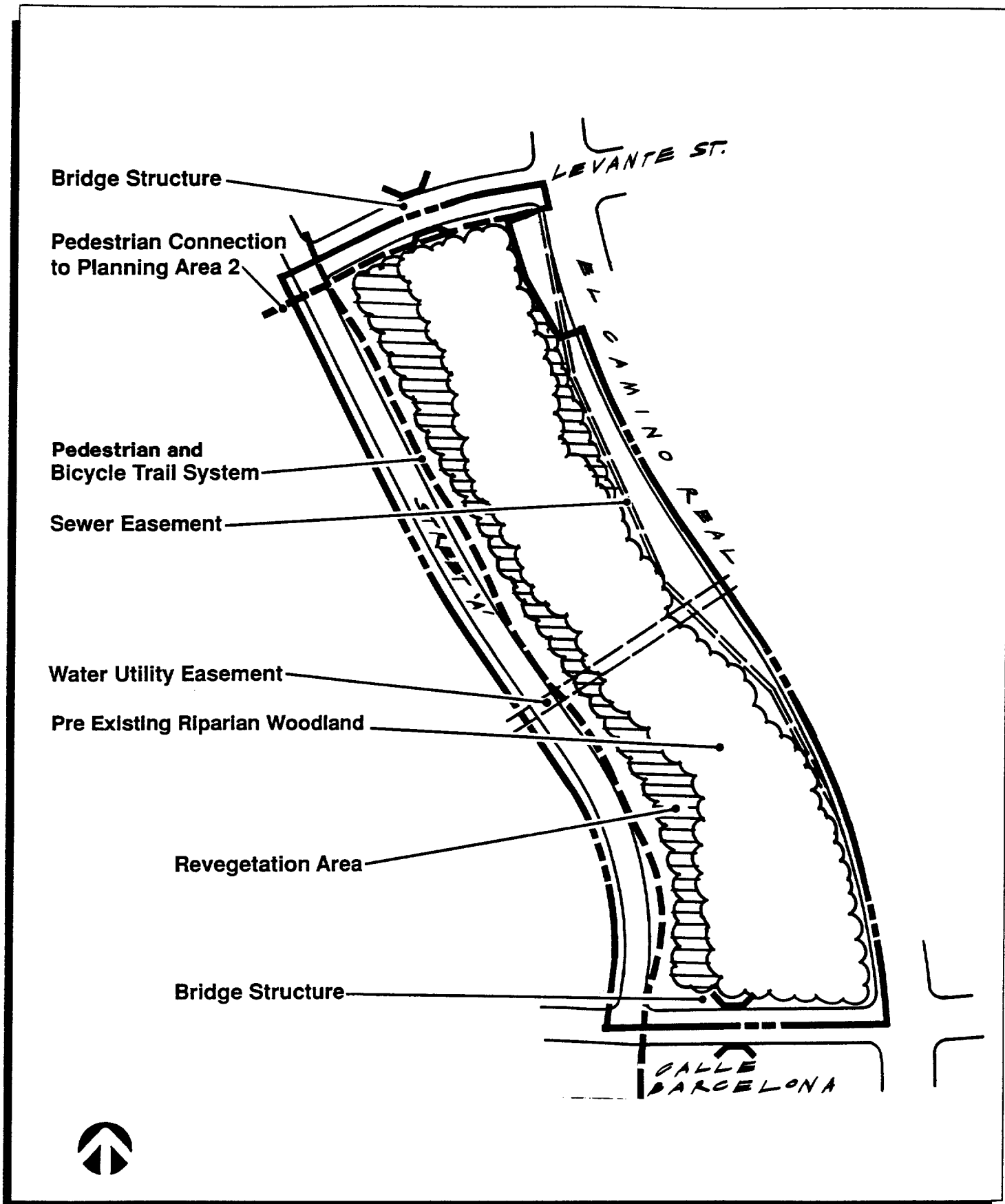
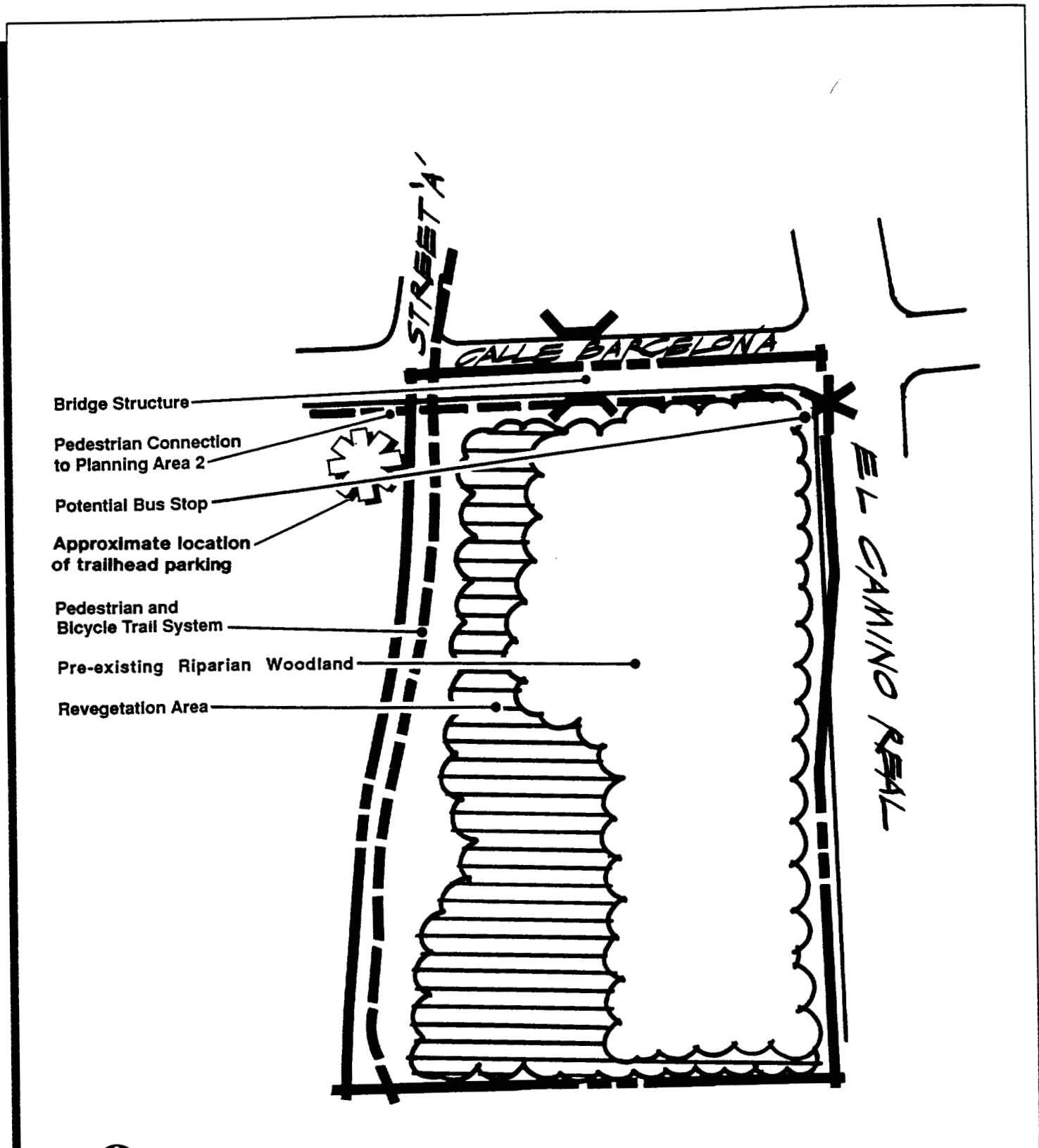


Figure VI-4

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PLANNING SYSTEMS

Central Section



Planning Area Development Standards and Guidelines

Development Standards

All development within Planning Area 1 shall be in conformance with the O-S Open Space Zone (Carlsbad Municipal Code, Chapter 21.33) and the East Batiquitos Lagoon/Hunt

Development Standards

All development within Planning Area 1 shall be in conformance with the O-S Open Space Zone (Carlsbad Municipal Code, Chapter 21.33) and the East Batiquitos Lagoon/Hunt Properties segment of the Carlsbad Local Coastal Program, except as otherwise noted in this chapter.

Zoning: OS

General Plan: C/O/RMH/OS

Use Allocation

No urban development of construction improvements, including grading, is permitted in this planning area except as noted below.

Permitted Uses

Open space compatible urban support uses are permitted as follows:

- Restoration and Enhancement Projects
- Transportation rights-of-way and improvements
- Bus shelters
- Utility corridors
- Pedestrian/bicycle paths
- Desiltation/depollutant basins
- Slope easements and manufactured slopes
- Project signage
- Lighting (limited)
- Trailhead parking at grade

Pedestrian/Bicycle Trail

A portion of the Citywide trail system shall be located along the riparian buffer corridor, either adjacent to and partially within the street right-of-way of Street "A", or within the buffer area adjacent to the riparian woodland. The portion of the Citywide trail system located in this planning area shall be permanently reserved for use by the public through an offer to dedicate a trail easement to the City of Carlsbad at the time of approval of subdivision of the site. In addition, all pedestrian trail improvements shall be constructed concurrent with site development and open and available for use by the public prior to occupancy of any structures.

Trailhead Parking

The Citywide trail System Plan shows a secondary staging area on the Green Valley property. This staging area is proposed to be located near the intersection of Street "A" and Calle Barcelona and will consist of a small parking area of six (6) spaces and a connection to the pedestrian/bicycle trail. The trailhead parking shall be constructed concurrent with site development and open and available for use by the public prior to occupancy of any structures.

Height

No habitable buildings are allowed in this planning area; however, some freestanding elements such as Bus shelters, signage and street lighting will be within the area boundary. Height limits are as follows:

Bus shelters	12'
Signage	5'
Street lighting	30'

Setbacks

There is no setback requirement for those uses allowed within the area.

Parking

Parking shall only be permitted within this planning area for the trailhead. No on-street parking shall be allowed on Levante Street or Calle Barcelona.

Design Criteria

Vehicular Circulation

The planning area includes two roadways; Levante Street and Calle Barcelona. These roads which cross Encinitas Creek, will be designed to minimize the impact on the riparian woodland and to maintain the continuity of the habitat corridor. Optional designs shall be permitted to be proposed as part of the final engineering and landscape plans. This may include the use of walls or engineered slope stabilization that could increase the standard slope from 2:1 to a steeper slope up to a vertical wall. This may be used to decrease the area of disturbance of the riparian woodland.

The road section of the Levante Street and Calle Barcelona crossings of Encinitas Creek are shown in Figure VI-6. The ten-foot (10') parkway will be improved with a guardrail, sidewalk, landscaping, and lighting and architectural elements as may be included and approved in final landscape and site development plans for the project.

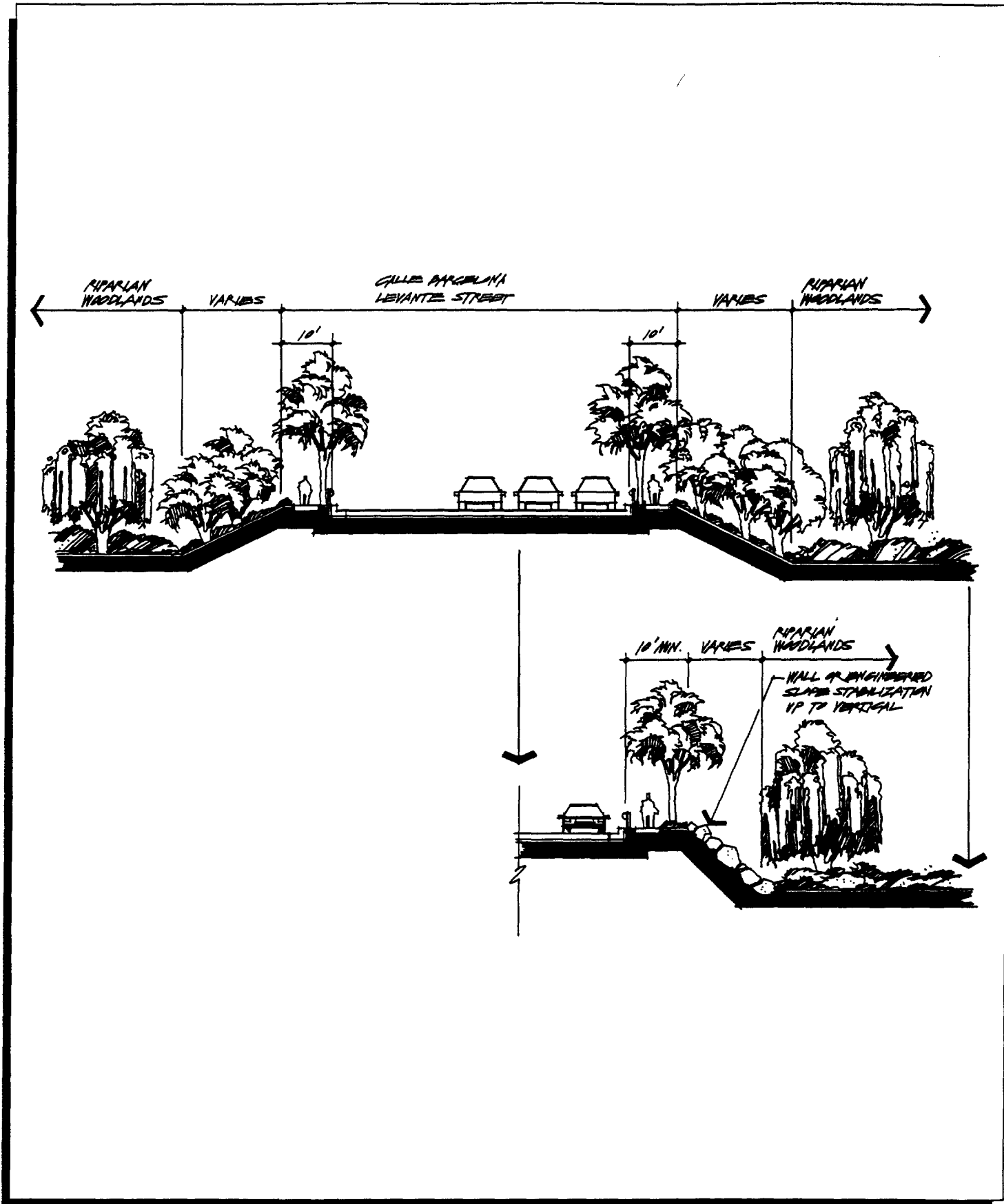


Figure VI-6



Both road crossings of Encinitas Creek will employ bridge structures rather than use conventional box culverts. The bridges will have a minimum width to span ratio of 2:1. This approach will maximize the "look through" capacity of the structure and prevent it from being a barrier to wildlife movement. This is illustrated in Figure VI-7. The final bridge designs may vary from this design but will, in no case, have less than a width to span ratio of 2:1. The final bridge design must also be approved through a streambed alteration agreement issued by the California Department of Fish and Game.

Pedestrian/Bicycle Trail

A portion of the Citywide trail system shall be located along the riparian buffer corridor, either adjacent to and partially within the street right-of-way of Street "A", or within the upper one-half of the buffer area adjacent to the riparian woodland. The trail shall not be located closer than twenty-five feet (25') to the pre-existing or revegetated riparian woodland. The portion of the Citywide trail system located in this planning area shall be permanently reserved for use by the public through an offer to dedicate a trail easement to the City of Carlsbad at the time of approval of subdivision of the site. In addition, all pedestrian trail improvements shall be constructed concurrent with site development and open and available for use by the public prior to occupancy of any structures. The details of the trail are illustrated in Figures VI-9 and VI-10 (see Figure VI-8 for Detail Key Map).

Trailhead Parking

The Citywide Trail System Plan shows a secondary staging area on the Green Valley property. This staging area is proposed to be located near the intersection of Street "A" and Calle Barcelona and will consist of a small parking area of six (6) spaces and a connection to the pedestrian/bicycle trail. The design of the trailhead parking will be integrated into the site design of the retail center and the spaces will not be counted as part of the retail center parking requirement. It will contain, at a minimum, six (6) parking spaces and a direct connection to the trail system. The trailhead parking shall be constructed concurrent with site development and open and available for use by the public prior to occupancy of any structures.

Utilities

Public utilities, including water, sewer, storm drainage, electrical power, and telecommunication/cable service are permitted within the rights-of-way of the roadways in Planning Area 1 or within utility easements shown in this Master Plan. To the extent feasible, all utilities will be located in the roadways, particularly Levante Street and Calle Barcelona, to minimize any further impacts or crossings of the riparian corridor.

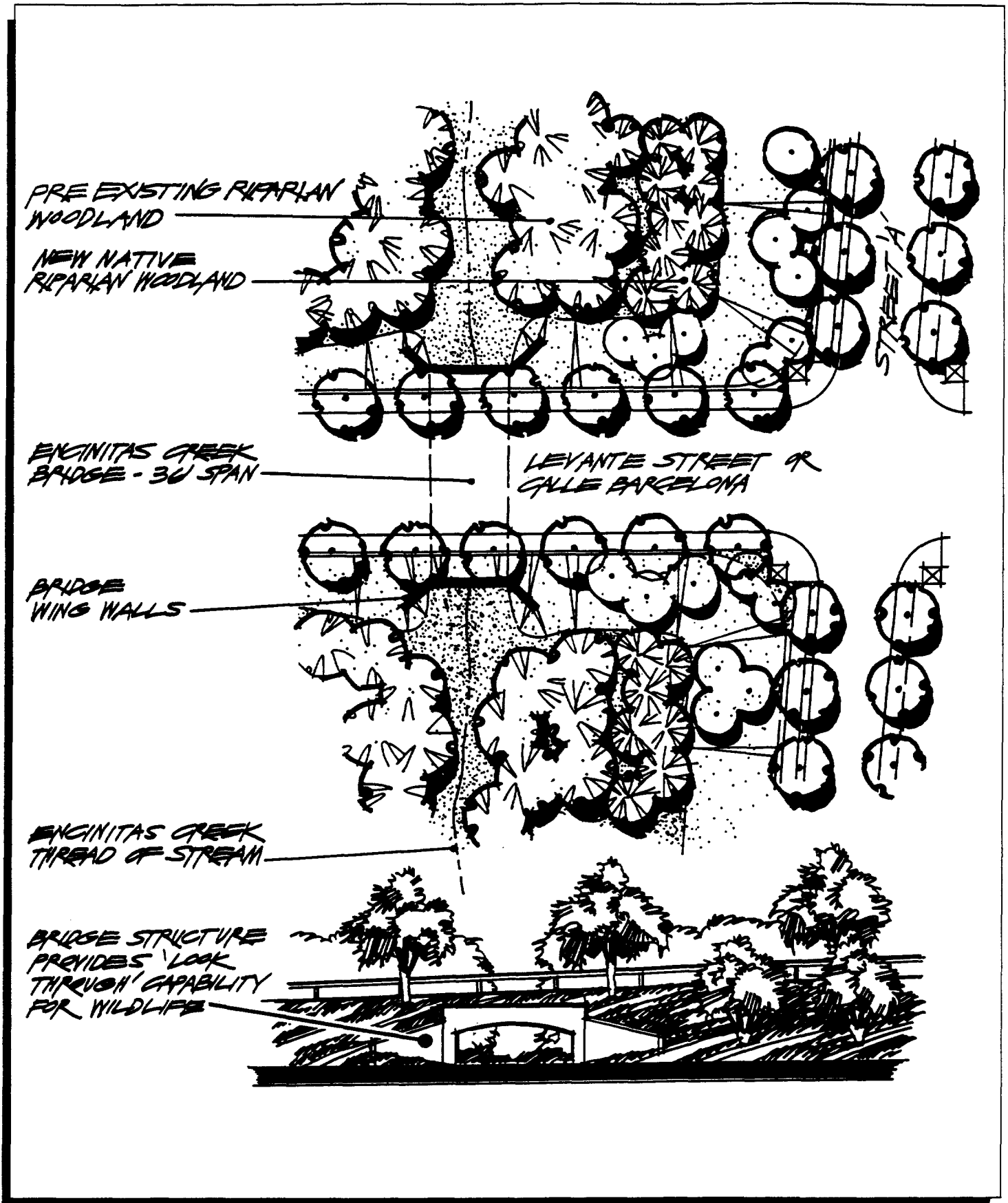


Figure VI-7



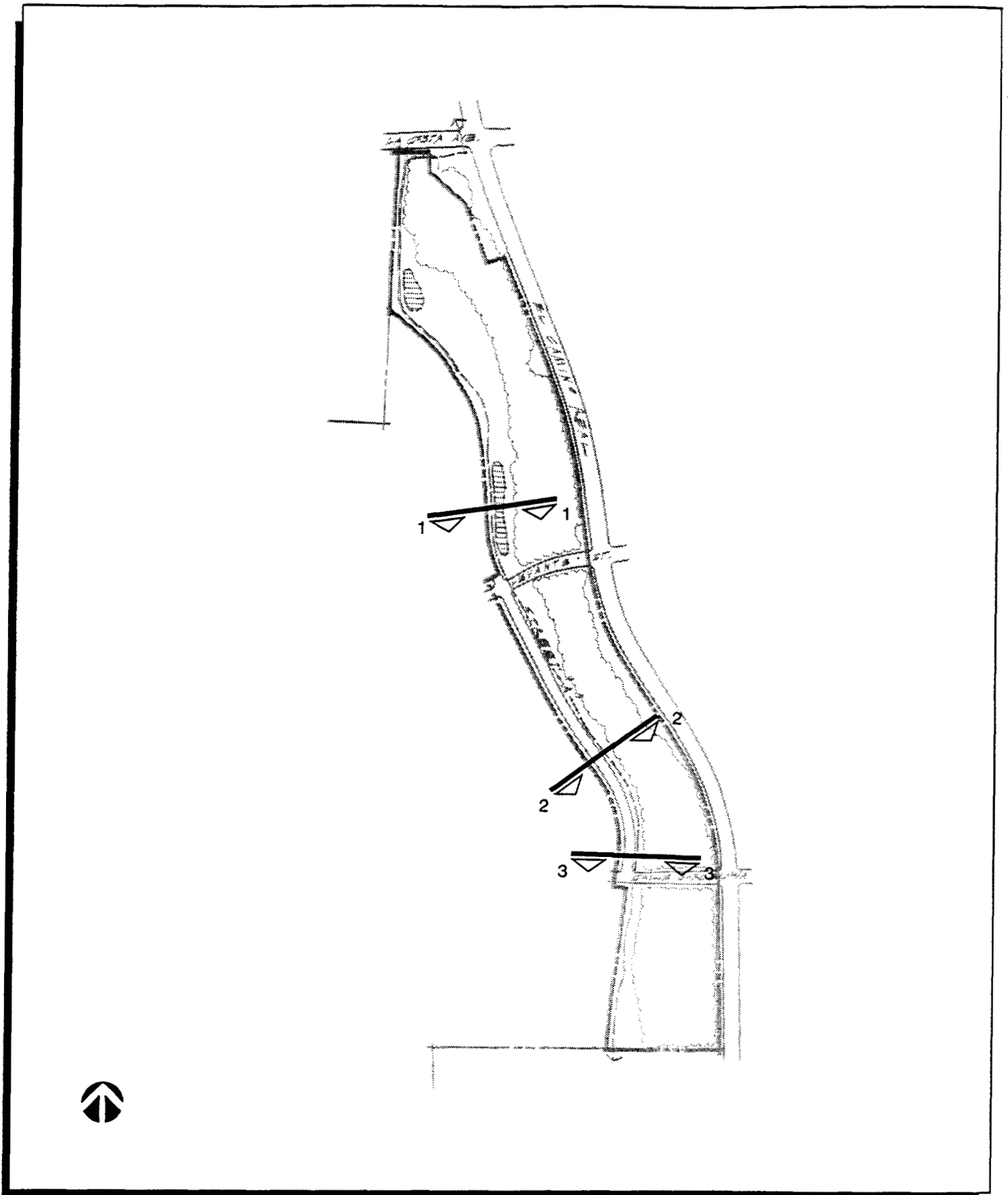
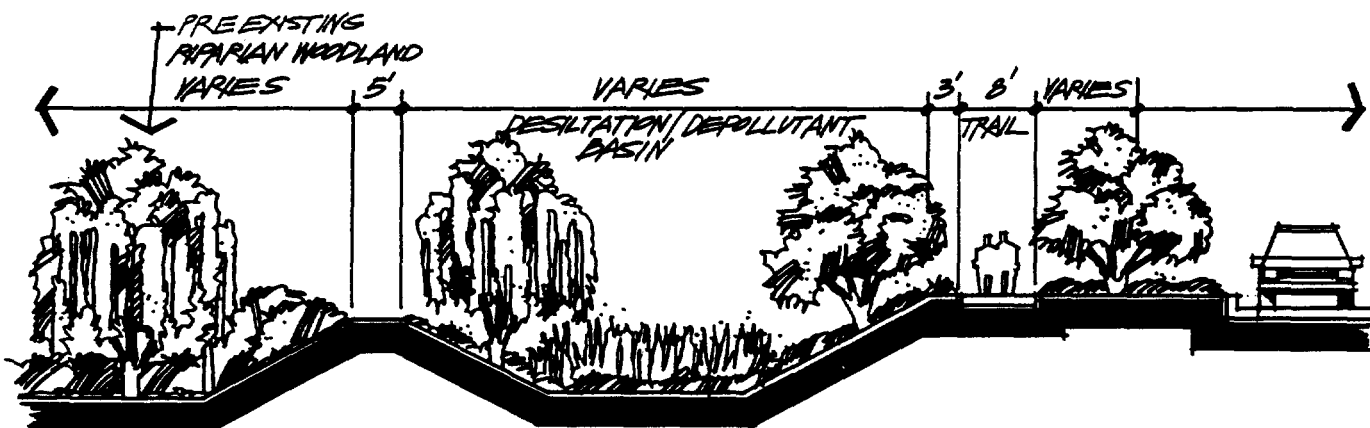


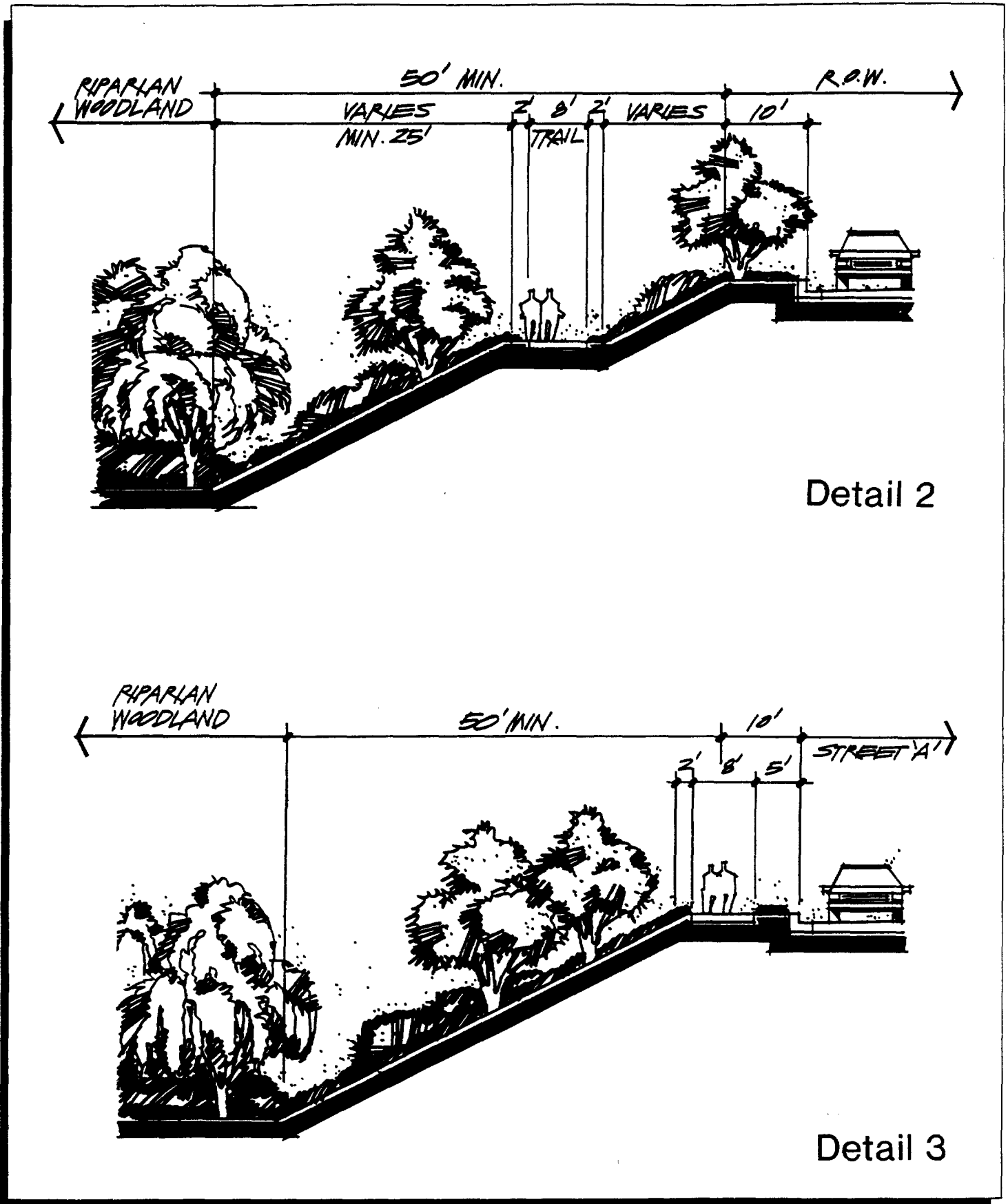
Figure VI-8



Pedestrian/Bicycle Trail - Detail Key Map



Detail 1



Detail 2

Detail 3



Figure VI-10



One new combination utility and trail easement, as shown on Figure VI-3, will be permitted through the riparian corridor in the northernmost part of the planning area. This will parallel the western property line. This multiple use easement may contain a sewer line, water line, and combination service road and pedestrian/bicycle trail. This consolidation of functions, with a multiple use of the easement, will reduce the disturbance to the riparian woodland. Utility boxes will be located underground or shall be screened visually from public rights-of-way and the proposed pedestrian trail.

Water System

The pre-existing utility easement across Encinitas Creek that contains two 16" water mains will remain.

Desiltation/Depollutant System

Desiltation/depollutant basin(s) will be located along the western edge of Planning Area 1. The desiltation/depollutant basin(s) will receive the initial one half inch of stormwater from the retail center and single-family residential area in order to ensure that no significant pollution from the development will discharge into the Encinitas Creek. The purpose of separate basins would be to permit the retail and residential projects within Green Valley to proceed as two separate phases of development.

1. The desiltation/depollutant basin(s) shall be subject to periodic maintenance by the developer, property manager, owner, or homeowners' association.
2. Maintenance access for both desiltation/depollutant basins will be provided by service driveways.
3. Storm water from the developed portion of Green Valley (Planning Areas 2 and 3) shall be directed to the desiltation/depollutant basins. Storm water from the open space areas may be directed to Encinitas Creek.

Wastewater Collection System

The easement for two sewer lines near El Camino Real in the central portion of the property will remain.

C. PLANNING AREA 2 - RETAIL CENTER

Description

This 18.3-acre (approximately) planning area is located south and west of Calle Barcelona extending from the proposed single-family residential area on the north to the southerly

Planning Area Development Standards and Guidelines

property line. The area is the site of a retail center (see Figure IV-11). Major uses in the retail center are typical of community retail.

Development Standards

Development within PA-2 is subject to the development standards of Chapter 21.28 (C2) except as modified below.

All commercial development in Planning Area 2 shall be in conformance with the development standards and architectural guidelines as noted in this chapter. Development is subject to the approval of a Site Development Plan.

Zoning: C2 and OS

General Plan: C/O/RMH and OS

Use Allocation

A maximum of 300,000 square feet of gross floor area of retail commercial uses which cater directly to the consumer shall be allowed.

Permitted Uses

Uses are permitted as defined in Chapters 21.28 (General Commercial) and 21.42 (Conditional Uses) of the Carlsbad Municipal Code.

Building Height

1. Buildings shall be limited to a maximum height of 35 feet including any roof mounted equipment and screening elements.
2. Non-habitable architectural design features may extend to a maximum height of 45 feet, but may not exceed three percent (3%) of the total roof area.
3. Building heights shall be varied in order to provide additional visual relief and to enhance the appearance of the retail center.

Lot Coverage

1. The maximum allowable coverage for structures, parking and vehicular circulation shall be determined by compliance with setback, City landscape standards, parking and circulation requirements.
2. A maximum of 300,000 square feet of combined building area shall be allowed.

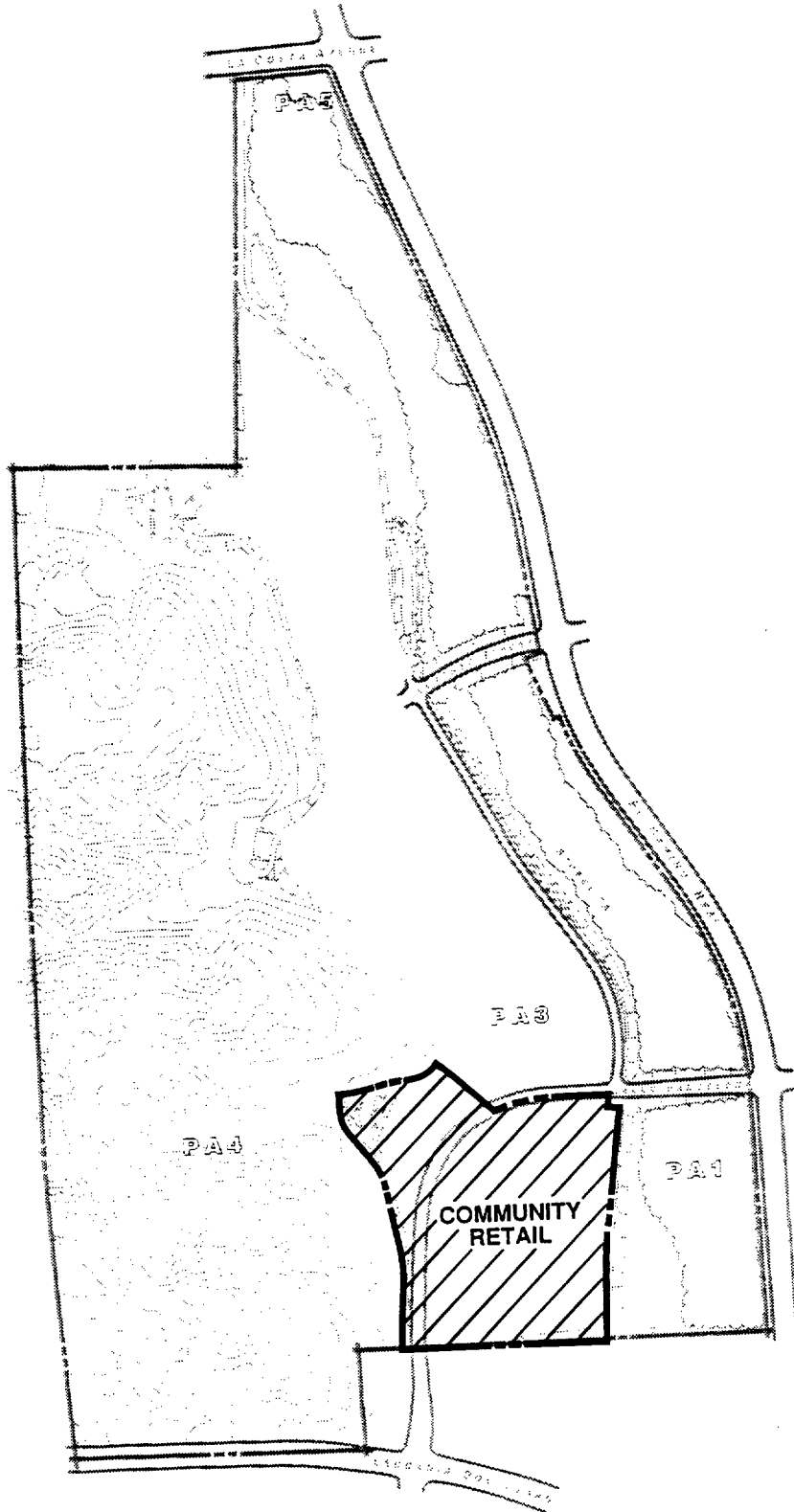


Figure VI-11



Setbacks

Setbacks from streets shall be measured from the right-of-way line in the case of public streets and from the edge of travelways, outside edge of curb or sidewalk, whichever is closer to the building, in the case of a private street, driveway or circulation aisle.

1. Buildings less than 25 feet in height shall maintain a minimum setback of 35 feet from Calle Barcelona.
2. Buildings greater than 25 feet in height shall have a minimum 35-foot setback from Calle Barcelona plus an additional setback of 1½ feet for every foot over 25 feet in height.
3. Parking and vehicle circulation aisles shall maintain a minimum 10-foot setback from Calle Barcelona.
4. Buildings shall maintain a minimum 15-foot setback from general public vehicular circulation aisles and parking.
5. Maintenance, emergency and delivery circulation aisles may be located contiguous to buildings provided it is screened from the general public and access is limited to maintenance, emergency and delivery vehicles.
6. Buildings shall maintain a minimum 5-foot setback from public utility easements.
7. Buildings shall maintain a minimum 25-foot setback from perimeter property lines.
8. Buildings shall be either contiguous or shall maintain a minimum separation equal to the height of the taller of the two adjacent buildings.
9. Fencing or walls greater than 42 inches in height shall maintain a minimum 35-foot setback from Calle Barcelona. This setback is not applicable to the landscaped retaining walls on the west side of Calle Barcelona adjacent to Planning Area 4.

Parking

Parking shall be provided per Chapter 21.44 of the Carlsbad Municipal Code except as identified as or modified below:

1. Public parking stalls shall be 8½' X 20'.
2. Public parking stalls may be 8½' X 17½' if it faces an unencumbered landscaped area no less than 5 feet in depth which in turn provides a 2-1/2-foot overhang.

3. Designated employee parking may be comprised of no more than 40% compact parking stalls (8'X 15') with no overhang permitted. Designated employee parking may comprise up to 15% of the total parking requirement.
4. Parking shall be provided at 90° to two-way vehicle circulation aisles whenever possible.
5. Onsite vehicular circulation shall be clearly marked, direct, and efficient. Dead-end parking aisles shall not be allowed.
6. Designated bicycle parking areas shall be required. Bicycle parking areas shall have racks and shall not block pedestrian circulation.
7. Parking areas for commercial-type company vehicles shall be sized and arranged in the service area so as not to adversely affect other activities.
8. Should drive-through facilities be developed, circulation design shall preclude car stacking into adjacent parking lots or interior circulation driveways.
9. Parking shall be provided at a minimum ratio of one stall per 200 square feet of building for an integrated shopping center. Individual uses may require a greater number of parking spaces per Chapter 21.44 of the Carlsbad Municipal Code and shall be parked accordingly.
10. The minimum parking circulation aisle width shall be 24 feet.
11. Parking for the handicapped shall be provided in pairs whenever possible and shall be located as close as is practical to building entrances.
12. One percent of the total parking requirement shall be made available to motorcycles. Motorcycle parking stalls shall be 5½'X10'.

Design Criteria

Architecture

General

1. The design of the entire retail center shall reflect a consistent architectural design theme which is rich in detailing. Variations on the theme may be used to accent specific areas or stores in the retail center.

2. Each individual building or cluster of buildings shall reflect compatibility with adjacent buildings including harmonious building styles, size, materials, colors, design elements, and roof lines.
3. All elements shall appear integrated into the overall project design concept. Designs that appear arbitrary or are inconsistent in form or composition shall not be allowed.
4. Detached structures and satellite buildings shall be integrated into the overall project design.

Building Massing and Form

1. Building massing shall possess a balance in form and composition.
2. Special concern shall be directed toward reducing the visual impact of the large scale of the buildings. Building facades facing public rights-of-way and circulation systems shall have a relationship to a human scale.
3. The arrangement and design of windows and doors shall be carefully composed to compliment a building's solid massing.
4. Columns and other vertical supports shall be balanced with the loads that they visually carry.
5. Large, flat, unarticulated building elevations shall not be permitted on the facade of the buildings facing Calle Barcelona or El Camino Real.

Building Entries

1. Primary building entries shall be obvious and easily accessible. A clearly defined entry sequence linking the building to a substantial hardscaped foreground shall be required for each major tenant building.
2. A relationship between site and building shall be firmly established. Site features that create a link to the building and develop a sense of place shall be integrated into every project. Appropriate examples of this would include entry courts or arcades framed by special planters and plantings, and enhanced hardscape areas. An inappropriate example of this would be a major tenant building entry served solely by a narrow, undifferentiated sidewalk.
3. Primary building entries shall be emphasized by design features such as overhangs, recesses, and roof forms that are integrated into the overall building design.

Building Materials and Finishes

1. Exterior materials selected for buildings shall be consistently applied throughout the project.
2. Corrugated, metal-sided, pre-fabricated, and high gloss contemporary buildings are not allowed.
3. Color palettes shall be predominantly warm in character and sensitive in the use of color accents. The principal colors used will be selected to be responsive or complementary to the natural shades of the riparian and upland bluff areas.
4. The use of tinted and/or moderately reflective glazing (such as green, blue, gray, or bronze) is encouraged.
5. Monolithic glazing shall not be used as a dominant design theme. "Glass boxes" shall not be permitted.
6. Exterior wood may be used, but must be finished with paint or solid based stain.

Building Roof Design

1. Most buildings within the Green Valley retail center will use parapet-screened, built-up flat roof forms. Sloped or curved roof forms may be used if they are expressed as part of and overall architectural design. Mansard roof forms shall not be permitted.
2. Due to the grade differences between the retail center and surrounding areas, the flat portion of roofs within the retail center may be visible from some existing and planned future development. For this reason, all roofs within the Green Valley retail center, unless part of a specific design element (e.g. a standing seam roof portion), shall be finished in a uniform color regardless of whether it is visible from ground level. All roof elements; including roof-mounted equipment and components, the inside faces of equipment screens, and back side of parapet walls; shall be painted to match roof color.
3. Built-up or membrane roofing shall be effectively screened on all sides by the building parapet. Parapet height must equal or exceed the height of the highest point of the flat roofing.
4. Sloping roofs which reflect the slope angle of the upland bluffs is encouraged.

Roof Drainage

1. Roof downspouts shall be routed internally except in service areas not visible from public circulation.
2. A cover piece shall be required for roof overflow drains. This cover piece may be either flush hinge-mounted or forward fixed-mounted. Cover pieces may be painted to match the background building color or in a contrasting color and developed as a design element.
3. Storm water from roof downspouts shall not be drained into landscape areas.

Mechanical Equipment Screening

1. Exterior components, whether roof- or ground-mounted, shall be screened on all sides by the building itself, such as an extended roof or parapet wall, or by a screen specifically designed to blend with the building architecture.
2. Equipment screening shall be at least the height of the exterior components to be screened and shall effectively screen all such equipment as might be viewed from the ground elevation.
3. Screening material shall be consistent with other materials used on the building exterior.

Screen Walls, Fences, and Retaining Walls

1. Screen walls and fences shall not typically exceed eight (8) feet in height. Screen walls directly adjacent to loading and dock areas may extend up to twelve (12) feet in height if not in the Calle Barcelona setback area.
2. Retaining walls visible from street frontages or public parking areas shall be adjacent to a landscaped area in conformance with an approved project landscape plan.
3. Fencing and screening treatments must be designed as an integral part of the overall architecture and landscape design.
4. All fencing shall be constructed of durable materials and shall be maintained in good repair. Painted wrought iron, metal picket, masonry block (split face, stucco-coated, plaster-coated, or texture finished) or tilt-up concrete panels are examples of acceptable fencing materials.

Loading Areas

1. All loading and storage areas shall be located to the rear of the retail center. Loading and storage areas shall be screened to minimize visibility from the principal public rights-of-way or public parking areas.
2. Loading areas must be designed to accommodate complete backing and maneuvering within the service area, and shall not interfere with public streets or public parking areas. All service roadways shall have a minimum width of 24 feet (24').
3. Roll-up loading doors shall not be permitted on the facade of the buildings facing the main entrance road to the retail center and shall not be directly visible from public rights-of-way or customer parking areas.

Outdoor Storage

1. No outdoor storage shall be permitted unless adequately screened and placed in the rear service area of the retail center as approved by the Planning Director and Fire Marshal.
2. All vehicles stored on site must be inside a closed building or within a service area screened from public rights-of-way and public parking areas.

Refuse Collection and Storage

1. Outdoor refuse enclosures shall be constructed of permanent materials compatible in scale, finish, and color with the overall project. Enclosures shall be of sufficient height to completely screen the bins within and shall be provided with a gate.
2. Refuse collection areas shall be designed to contain all refuse generated on site during the time between regularly scheduled collections so as not to be in view from public circulation areas.
3. Recycling areas shall be included in accordance with Section 21.105.060 of the Carlsbad Municipal Code.

Utilities and Communication Devices

1. Exterior onsite utilities, including, but not limited to, irrigation and drainage systems; gas lines; water and sewer lines; and electrical and telecommunications, shall be installed and maintained underground. Exceptions to this provision are electrical transformers and other similar equipment not typically placed underground.

2. Antenna and/or dishes for transmission or reception of any type of signals shall not be visible from public circulation areas. All such devices require specific approval within the site development plan process.
3. Electrical equipment shall be mounted on the interior of a building wherever practical. When interior mounting is not practical, such equipment shall be screened with architectural elements, walls, berms, and/or landscaping.
4. Onsite transformers shall not be placed within the building setback from public rights-of-way, nor where readily visible upon site entrance. All transformer areas shall be screened by landscaping, berms, walls or any such combination.
5. All backflow preventers, including fire sprinkler backflow preventers and above-grade utility connections shall be screened by landscaping and painted, when allowed by code, so as to blend in with the adjacent background.
6. Fire sprinkler valves and alarms shall be placed to minimize their visual presence.

Vehicular Circulation

1. The primary vehicular circulation system for the retail center will be a loop consisting of the extension of Calle Barcelona. This primary loop will be clearly delineated to facilitate ingress and egress to the center.
2. The secondary vehicular circulation system will add additional driveways to form further loop circulation opportunities. The secondary circulation system will be comprised of additional internal private driveways within the retail center.
3. Traffic control will occur at the intersection of Levante Street and El Camino Real, the intersection of Calle Barcelona and El Camino Real and the intersection of Calle Barcelona and Leucadia Boulevard.

Pedestrian/Bicycle Circulation

1. A comprehensive pedestrian circulation system shall be provided throughout Planning Area 2 and 3.
2. Efficient, safe pedestrian access shall be provided between all of the retail center stores. Where possible, pedestrian corridors shall be provided to separate pedestrian activity from the traffic in parking areas and vehicular circulation.
3. On-street pedestrian corridors shall be clearly marked with paint or decorative paving.

4. Each store within the retail center shall provide an adequate area in front of the building for pedestrian traffic which is unobstructed by pillars, columns, tables and chairs, shopping cart racks, or decorative elements. Pedestrian focal points or "mini-plazas" will be placed at key points along the pedestrian system in front of the retail center.
5. Bicycle racks shall be provided in a convenient, yet unobtrusive location.
6. When a bus stop is sited on or near the retail center, a clearly defined pedestrian link between the bus stop and the retail stores shall be provided.

Utilities

Water System

Planning Area 2 will be served by water mains located in Calle Barcelona.

Desiltation/Depollutant Plan

1. The Green Valley master plan for siltation and pollution control is contained in Chapter V.
2. Storm drain inlets and debris removal areas will be located in the canyon areas of the upland bluff. A maintenance driveway is provided to each area.
3. Storm water from this planning area will be directed to the desiltation/depollutant basin(s).

Wastewater Collection System

1. Wastewater shall be collected and transported to existing sewer main in El Camino Real.

D. PLANNING AREA 3 - SINGLE-FAMILY RESIDENTIAL

Description

This 55.8-acre (approximately) planning area is located between Planning Areas 1 and 4 and north of Planning Area 2. Planning Area 3 is intended for single-family detached and attached residential units (Figure VI-12).

To the maximum effect allowed by the law, the planning area may potentially be developed with up to 400 single-family residential units inclusive of any future density bonus under state law and/or Chapter 21.86 of the Carlsbad Municipal Code of which 15% shall be "Affordable" to lower income households. If approved through an affordable Housing Agreement, an

alternative to construction of the affordable residential units on site is participation in an off-site combined affordable housing project located in the Southwest Quadrant of the City of Carlsbad.

Development Standards

All development within Planning Area 3 shall be in conformance with the standards as noted in this chapter. A Planned Unit Development (PUD) is required for projects with lots less than 7500 square feet. A Site Development Plan (SDP) is required for all other development in this planning area.

Zoning: RD-M

General Plan: C/O/RMH

Use Allocation

To the maximum effect allowed by the law, the maximum number of dwelling units shall be 400 single-family dwelling units inclusive of any future density bonus under state law and/or Chapter 21.86 of the Carlsbad Municipal Code. A minimum of 15% of the approved number of units shall be "affordable" (CMC Chapter 21.85). The actual number of units achieved will be determined during project review.

Permitted Use

Uses are permitted as defined in Chapters 21.24 and 21.42 of the Carlsbad Municipal Code including but not limited to detached and attached single-family dwelling units and associated ancillary buildings such as community recreation building(s). Other associated uses include, but are not limited to, sales office, recreation areas and RV storage.

A Professional Care Facility in association with an on-site retirement housing community with a Conditional Use Permit.

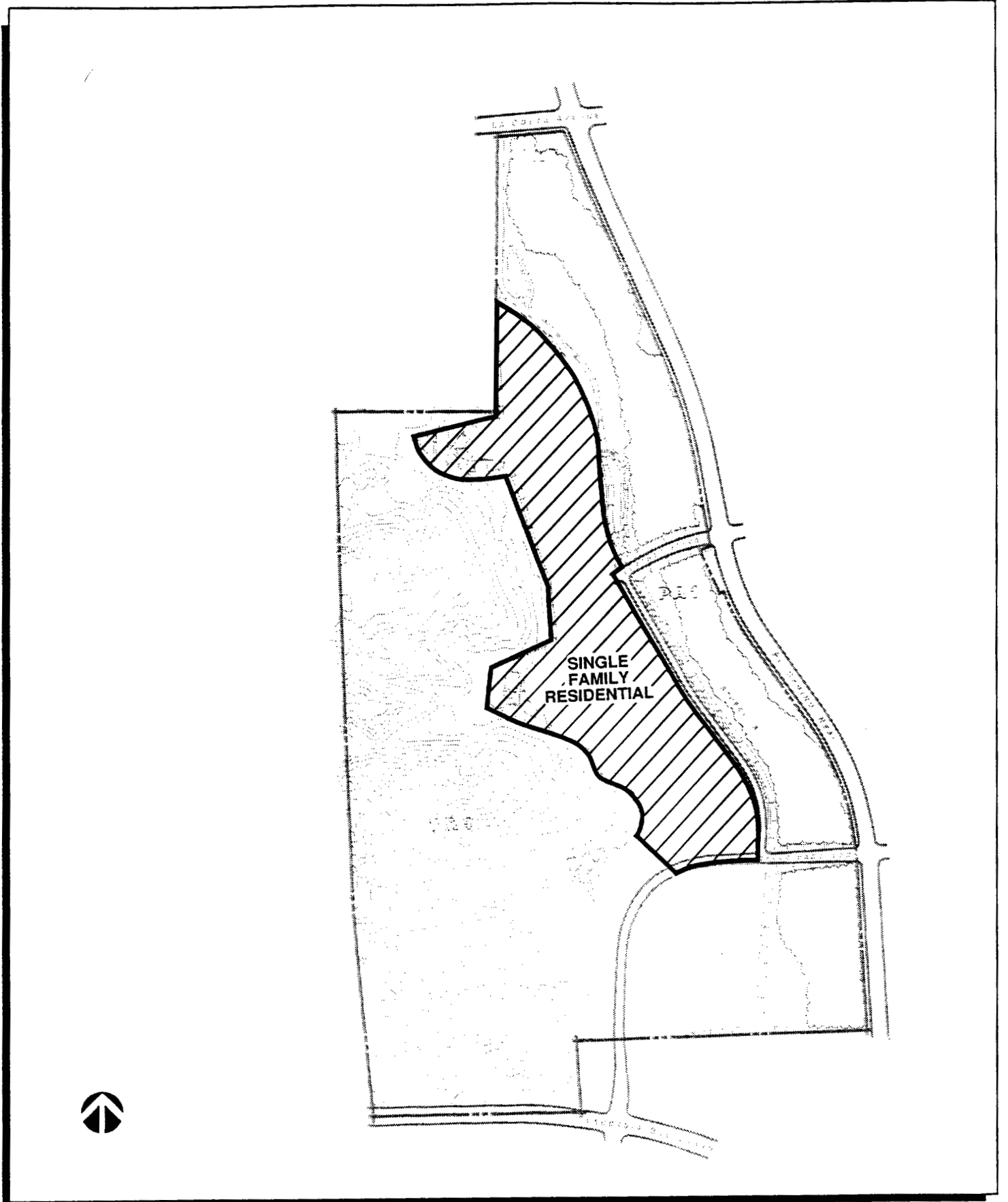
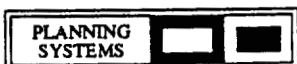


Figure VI-12



GENERAL STANDARDS

The general site design criteria which follows is applicable to all residential development including single-family detached, townhomes, garden and patio units.

Private Streets/Driveways

1. The minimum width of private, common driveways shall be 24 feet from face of curb to face of curb. A private, common driveway is a paved accessway to the garage of an individual residential unit which is also shared by one or more additional residential units. The maximum length of a private, common driveway is 160 feet, and the maximum number of residential units served by a private, common driveway is four. No parking is allowed within the private, common driveway.
2. The minimum width of private streets shall be 30 feet from face of curb to face of curb. A private street is a paved accessway for vehicular traffic which is not a direct garage accessway and that is not dedicated as a public right-of-way and is not part of the public street system. It may be part of a private, gated residential neighborhood.
3. Maximum length of a private street with a single point of access to a public street shall be 250 feet. The minimum width of a private street is 30 feet with no parking, 32 feet with parking on one side and 36 feet with parking on two sides.

Recreational Vehicle Storage

For projects other than single-family detached on individual lots greater than 7500 square feet, an area of no less than 20 square feet per unit shall be provided on-site for the secure storage of recreational vehicles. The storage area shall be for the exclusive use of the residents of the development and shall be designed to reasonably accommodate all varieties of recreational vehicles.

Recreational Open Space

For projects other than single-family detached on individual lots greater than 7500 square feet, common recreational open space shall be provided at a ratio of 200 square feet per unit. A minimum 25% of the total required recreational open space area shall be improved as "active" which may include:

- Swimming Pools
- Tennis Courts
- Volleyball Court
- Racquetball Courts
- Children's Playground and other similar facilities

A 10% credit of the total required recreational open space area may be granted for the provision of an on-site indoor exercise facility.

For the purpose of determining compliance with the open space requirement, common recreational open space shall be those areas accessible to all residents which are clearly intended and can be used by individuals or groups for active or passive recreation. Recreation areas may be of a variety of surface materials (sand, grass, concrete, decomposed granite, etc.) and should be designed to encourage the use of the space.

Retirement Residential Project

A retirement residential project may involve customized residential unit types and site plans. For a retirement residential project, development standards and design criteria for both single-family detached and attached are subject to Section 21.24.025 (RD-M) of Title 21 of the Carlsbad Municipal Code and is subject to the approval of a Site Development Plan.

STANDARD SUBDIVISION 7500 LOT STANDARDS OR GREATER

Standard subdivisions with lots greater than 7500 square feet are subject to Chapter 21.10 of the Carlsbad Municipal Code except as modified below.

The single-family individual lot standards which are illustrated on Figure VI-13 are applicable to units on lots of 7500 square feet or greater.

Parking

1. Each residential unit shall be provided with a minimum of two enclosed attached or detached garage spaces.

Setback: General

1. Bay windows, greenhouse windows, fireplaces and similar architectural features may protrude into a required side, rear yard or building separation up to two (2) feet if any one or combination thereof does not exceed ten (10) feet in width along any building side.
2. Architectural embellishments such as window or door surrounds, sills and buttresses may protrude into any required yard or building separation up to six (6) inches.
3. Roof elements, such as eaves and cornices may protrude into any yard or building separation up to a maximum of two (2) feet.

FIGURE VI-13
Standard Subdivision Standards: 7500 Square Feet Lots or Greater

Minimum Lot Size	7,500 square feet
Minimum Lot Dimension:	
Width	60 feet
Depth	65 feet
Maximum Lot Coverage	40 percent
Setbacks:	
Calle Barcelona*	35 feet minimum
rear property line	20 percent lot width / 10 feet minimum / 20 feet maximum
side property line	
center plot	10 percent lot width / 5 feet minimum / 10 feet maximum
zero lot	20 percent lot width / 10 feet minimum / 20 feet maximum
street - public/private:	
structure	15 feet minimum / 20 feet minimum average
garage: front loading	20 feet minimum
side loading	15 feet minimum / 20 feet minimum average
driveway:	
structure	10 feet minimum / 15 feet minimum average
garage: front loading	20 feet minimum
side loading	10 feet minimum / 15 feet minimum average
Building Separation: **	
1 story / 1 story	10 feet
1 story / 2 story	15 feet
2 story / 2 story	20 feet
Building Height:	30 feet @ 3:12 roof pitch 24 feet @ less than 3:12 roof pitch

* This setback is applicable to all structures and all fences or walls greater than 42 inches in height.

** Building separation is based on 1 story and 2 story elements defined as follows:
 1 story - Maximum first floor plate height of 12 feet; and/or a maximum building height of 15 feet 5 feet from the first floor building face.
 2 story - First floor plate height greater than 12 feet; and/or a building height greater than 15 feet 5 feet from the first floor building face.

4. Unenclosed patios and second floor decks are permitted in the required rear yard but must maintain a minimum five (5) foot setback from rear and side property lines and may not cover more than 50% of the required rear yard.

Setbacks: Public Streets

The setbacks from public residential streets shall be measured from the right-of-way line.

1. Fences no higher than 42 inches may be allowed up to the right-of-way.
2. Individual unit privacy fencing shall maintain a minimum 15-foot setback and a combined street average of 20 feet.
3. Unenclosed second floor decks and patio covers shall maintain a minimum 15-foot setback and a street average of 20 feet. No overhang is allowed within this required setback.

Setbacks: Private Streets

The setbacks applied to Public Streets shall apply to Private Streets, however, the outer edge of the travelway, curb or sidewalk shall be used in lieu of the right-of-way.

REDUCED LOT SIZE SUBDIVISION STANDARDS

Projects which propose single-family lots less than 7500 square feet are subject to Chapter 21.45 (Planned Development Ordinance) except as modified below.

The planned unit development individual lot standards which are illustrated on Figure VI-14 are applicable to detached units on common lots or on individual lots of 3500 square feet or greater.

Parking

1. Each residential unit shall be provided with a minimum of two enclosed attached or detached garage spaces.
2. Projects designed with private streets or common driveways shall demonstrate that additional on-site parking is provided at a ratio of five spaces for the first ten residential units and .25 for each unit thereafter.

**Figure VI-14
Planned Unit Development Standards: 3500 Square Feet Lots or Greater**

Minimum Lot Size	3,500 square feet
Minimum Lot Dimension:	
width	45 feet
depth	65 feet
Maximum Lot Coverage	55 percent
Setbacks:	
Calle Barcelona*	35 feet minimum
rear property line	15 feet minimum
side property line	
center plot	10 percent lot width / 5 feet minimum / 10 feet maximum
zero lot	20 percent lot width / 10 feet minimum / 20 feet maximum
street - public/private:	
structure	15 feet minimum / 20 feet minimum average
garage: front loading	20 feet minimum
side loading	15 feet minimum / 20 feet minimum average
driveway:	
structure: ground floor	5 feet minimum
second floor	15 feet minimum
garage: front loading	5 feet minimum
side loading	10 feet minimum
Building Separation: **	
1 story / 1 story	10 feet minimum
1 story / 2 story	15 feet minimum
2 story / 2 story	20 feet minimum
Building Height:	30 feet @ 3:12 roof pitch 24 feet @ less than 3:12 roof pitch

* This setback is applicable to all structures and all fences or walls greater than 42 inches in height.

** Building separation is based on 1 story and 2 story elements defined as follows:

- 1 story - Maximum first floor plate height of 12 feet; and/or a maximum building height of 15 feet 5 feet from the first floor building face.
- 2 story - First floor plate height greater than 12 feet; and/or a building height greater than 15 feet 5 feet from the first floor building face.

Setback: General

1. Bay windows, greenhouse windows, fireplaces and similar architectural features may protrude into a required side, rear yard or building separation up to two (2) feet if any one or combination thereof does not exceed ten (10) feet in width along any building side.
2. Architectural embellishments such as window or door surrounds, sills and buttresses may protrude into any required yard or building separation up to six (6) inches.
3. Roof elements, such as eaves and cornices may protrude into any yard or building separation up to a maximum of two (2) feet.
4. Unenclosed patios and second floor decks are permitted in the required rear yard but must maintain a minimum five (5) foot setback from rear and side property lines and may not cover more than 50% of the required rear yard. Unenclosed patio and second floor decks may protrude into a required side yard or building separation up to two feet. No part of an unenclosed patio or second floor deck may occupy any portion of a front yard setback.

Setbacks: Public Streets

The setbacks from public residential streets shall be measured from the right-of-way line.

1. Fences no higher than 42 inches may be allowed up to the right-of-way.
2. Individual unit privacy fencing higher than 42 inches shall maintain a minimum 15-foot setback and a combined street average of 20 feet.
3. Unenclosed second floor decks and patio covers shall maintain a minimum 15-foot setback and a street average of 20 feet. No overhang is allowed within this required setback.

Setbacks: Private Streets

The setbacks applied to Public Streets shall apply to Private Streets, however, the outer edge of the travelway, curb or sidewalk shall be used in lieu of the right-of-way.

Subdivision or Project Boundaries

1. Buildings shall maintain a minimum 10-foot setback from property line. This setback shall take precedent over lesser side yard setback requirements.
2. Individual unit and project fencing may be allowed up to the property line.

3. Unenclosed second floor decks and patio covers shall maintain a minimum 5-foot setback from property line.

Exclusive Use Areas

For clusters of up to four single-family residential units served by a common, private driveway, the minimum size exclusive use area for individual units is 2500 square feet inclusive of the unit footprint. For clusters of more than four single-family units served by a private street, the minimum exclusive use area for individual units is 3500 square feet inclusive of the unit footprint.

ATTACHED UNIT STANDARDS

An attached unit project is subject to 21.24 (RD-M) if no subdivision is included and 21.45 (PD) of the Carlsbad Municipal Code if it includes subdivision except as modified below.

The attached residential unit standards which are illustrated on Figures VI-15 are applicable to attached residential product of three or more units on individual or common lots.

Parking

1. Each residential unit shall be provided with a minimum of two enclosed attached or detached garage spaces.
2. Projects designed with private streets or common driveways shall demonstrate that additional on-site parking is provided at a ratio of five spaces for the first ten residential units and .25 for each unit thereafter.
3. All open, off-street parking shall be screened from the public right-of-way through the use of screen fences or walls, berming and/or landscaping.

Setbacks

Setbacks from streets shall be measured from the right-of-way line in the case of public streets and from the outside edge of travelway, curb or sidewalk, whichever is closer to the building, in the case of a private street or driveway.

1. Bay windows, greenhouse windows, fireplaces and similar architectural features may protrude into a required side or rear yard or building separation up to two (2) feet if any one or combination thereof does not exceed ten (10) feet in width along any building side.

**FIGURE VI-15
ATTACHED UNIT STANDARDS**

Minimum Lot Size	10,000 square feet
Minimum Lot Coverage	55 percent
Setbacks:	
<i>Calle Barcelona</i> •	35 feet minimum
subdivision / project boundaries:	
structure: front of dwelling	10 feet minimum
side of dwelling	10 feet minimum
rear of dwelling	15 feet minimum
street - public/private:	
dwelling	10 feet minimum / 15 feet minimum average
garage: front loading	20 feet minimum
side loading	10 feet minimum / 15 feet minimum average
driveway:	
dwelling: first floor	10 feet minimum
second floor	15 feet minimum
garage: front loading	5 feet minimum
side loading	10 feet minimum
Building Separation: **	
1 story / 1 story	10 feet
1 story / 2 story	15 feet
2 story / 2 story	20 feet
Building Height:	30 feet @ 3:12 roof pitch 24 feet @ less than 3:12 roof pitch

• This setback is applicable to all structures and all fences or walls greater than 42 inches in height.

** Building separation is based on 1 story and 2 story elements defined as follows:

1 story - Maximum first floor plate height of 12 feet; and/or a maximum building height of 15 feet 5 feet from the first floor building face.

2 story - First floor plate height greater than 12 feet; and/or a building height greater than 15 feet 5 feet from the first floor building face.

2. Architectural embellishments such as window or door surrounds, sills and buttresses may protrude into any required yard or building separation up to six (6) inches.
3. Roof elements, such as eaves and cornices and patio cover or deck overhangs may protrude into any required yard or building separation up to a maximum of two (2) feet.
4. Unenclosed patios and second floor decks are permitted in required rear yards and exclusive use areas but must maintain a minimum five (5) foot setback from rear and side property lines and/or fences delineating exclusive use and may not cover more than 50% of the required rear yard or exclusive use area. Unenclosed patio and second floor decks may protrude into a required side yard or building separation up to two feet. No part of an unenclosed patio or second floor deck may occupy any portion of a front yard setback.

Subdivision or Project Boundaries

1. Buildings shall maintain a minimum 10-foot setback from property line. This setback shall take precedent over lesser conflicting setbacks.
2. Individual unit and project fencing may be allowed up to the property line.
3. Unenclosed second floor decks and patio covers shall maintain a minimum 5-foot setback from property line.

Exclusive Use Areas

For clusters of up to four single-family residential units served by a common, private driveway, the minimum size exclusive use area for individual units is 2500 square feet inclusive of the unit footprint. For clusters of more than four single-family units served by a private street, the minimum exclusive use area for individual units is 3500 square feet inclusive of the unit footprint.

E. PLANNING AREA 4 - UPLAND BLUFF AREA

Description

This approximately 123-acre area is the westernmost portion of Green Valley and is comprised of the upland bluff area, which will generally remain undisturbed and protected by an open space easement (Figure VI-13). No development is proposed for this area.

Site Development Standards and Design Criteria

Uses and improvements in the upland bluff area shall be in conformance with the standards of the O-S Open Space Zone (Carlsbad Municipal Code, Chapter 21.33), unless otherwise noted in this chapter.

Zoning: OS

General Plan: C/O/RMH/OS

Permitted Uses

Open space compatible urban uses such as:

- Restoration and Enhancement projects
- Utility corridors
- Upland mitigation and revegetation areas
- Lands for mitigation
- Wildlife enhancements
- Storm drainage structures and debris removal areas
- Water mains
- Slope easements

Height

No buildings or structures are allowed in the area; therefore, there are no applicable height standards.

Setbacks

No buildings or structures are allowed in this area; therefore, there are no applicable setback standards.

Parking

No urban development, except as noted, is allowed in this area; therefore, no public parking is required or proposed. Maintenance driveways are permitted for the water mains and storm drainage facilities. Areas for temporary use by maintenance vehicles may be provided.

Architecture

No buildings or structures are allowed in this area; therefore, there are no applicable architectural standards.

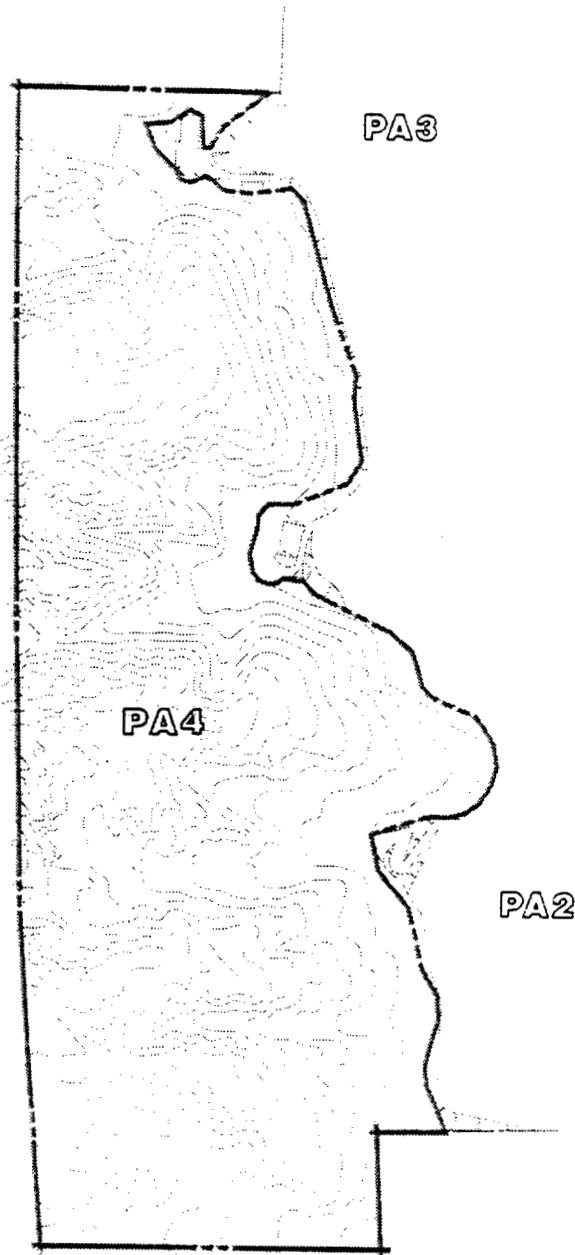


Figure VI-16



Planning Area 4 - Land Use

Utilities

Water System

Two pre-existing water mains of the Olivenhain Municipal Water District are located in the southern portion of the planning area; a 16-inch high pressure main and a 16-inch low pressure main. These water mains will remain in their present location.

F. PLANNING AREA 5 - OPEN SPACE

Description

This 1.7-acre area is the northeastern corner of Green Valley and is comprised of the site of the commercial building known as the "Red Barn" and associated parking lots.

Site Development Standards and Design Criteria

Uses and improvements in Planning Area 5 shall be in conformance with the standards of the O-S Open Space Zone (Carlsbad Municipal Code, Chapter 21.33), unless otherwise noted in this chapter.

Zoning: OS

General Plan: OS/C

Permitted Uses

Open space compatible urban uses such as:

- Existing "Red Barn" and associated parking as a legal non-conforming use
- Restoration and enhancement areas
- Utility corridors
- Riparian mitigation and revegetation areas
- Lands for mitigation
- Project signage

Height

No buildings or structures are allowed in the area other than the existing structure; therefore, there are no applicable height standards.

Setbacks

No buildings or structures are allowed in this area other than the existing structure; therefore, there are no applicable setback standards.

Parking

No parking is allowed in this area other than the two existing parking lots.

Architecture

No buildings or structures are allowed in this area other than the existing structure; therefore, there are no applicable architectural standards.

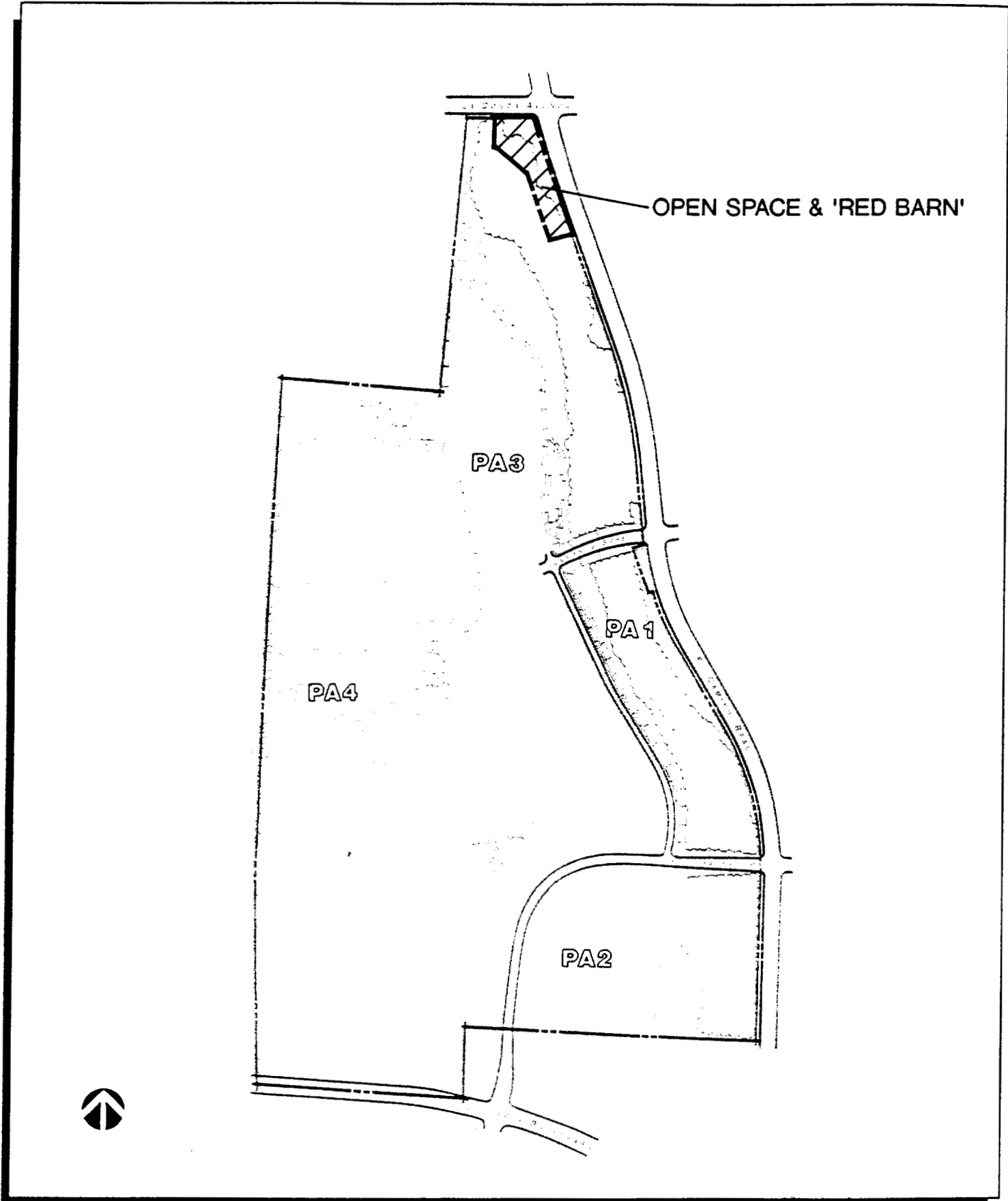


Figure VI-17



Planning Area 5

VII. PUBLIC FACILITIES AND SERVICES

The public facility requirements for this Master Plan are fully addressed within the Zone 23 Local Facilities Management Plan (LFMP). This zone plan was prepared pursuant to the City of Carlsbad's Growth Management Program. The Zone 23 LFMP; 1) provides a detailed description of how the Master Plan will be developed, 2) demonstrates how and when each required facility and improvement will be constructed to accommodate phased development within the Master Plan area, and 3) provides a complete description of how each facility and improvement will be financed when mitigation is necessary.