

APPENDIX A
**Notice of Preparation and Notice of
Preparation Comments**



PUBLIC NOTICE OF PREPARATION

PLEASE TAKE NOTICE:

As the lead agency, the Planning Division of the City of Carlsbad intends to prepare an Environmental Impact Report for the following project:

- Project Number and Title:** EIR 2022-0005/PUD 2021-0003/SDP 2021-0008/
CDP 2021-0010/NCP 2021-0001
- Project Applicant:** John Beery, Beery Group, Inc.
- Project Address/Location:** 2685, 2687, and 2689 Garfield Street
- Project Description:** Demolition of an existing three-unit residential air-space condominium and construction of three attached, three-story residential air-space condominiums. Vehicular access is proposed to be provided via Beech Avenue. Each home includes an attached two-car garage with direct entrance into the unit. Two units contain two bedrooms, and one unit contains three bedrooms. The units range in size from 1,701 square feet to 1,713 square feet. All units include private balconies on the third floor. The entry doors to all three units faces Garfield Street.
- Potential Environmental Effects:** Aesthetics/Grading, Cultural/Paleontological Resources, Geology/Soils, Hydrology/Water Quality

An Initial Study **was not** prepared for this project.

Pursuant to CEQA Section 21080.4(a) and Section 15082 of the State CEQA Guidelines, responsible and trustee agencies and members of the public are asked to provide written comments regarding the scope and content of the EIR. Therefore, we need to know your views, or the views of your organization, regarding the effect this project might have on the environment and your suggestions for ways the project could be revised to reduce or avoid any significant environmental impacts. Your comments will help us decide what issues to analyze in the environmental review of this project.

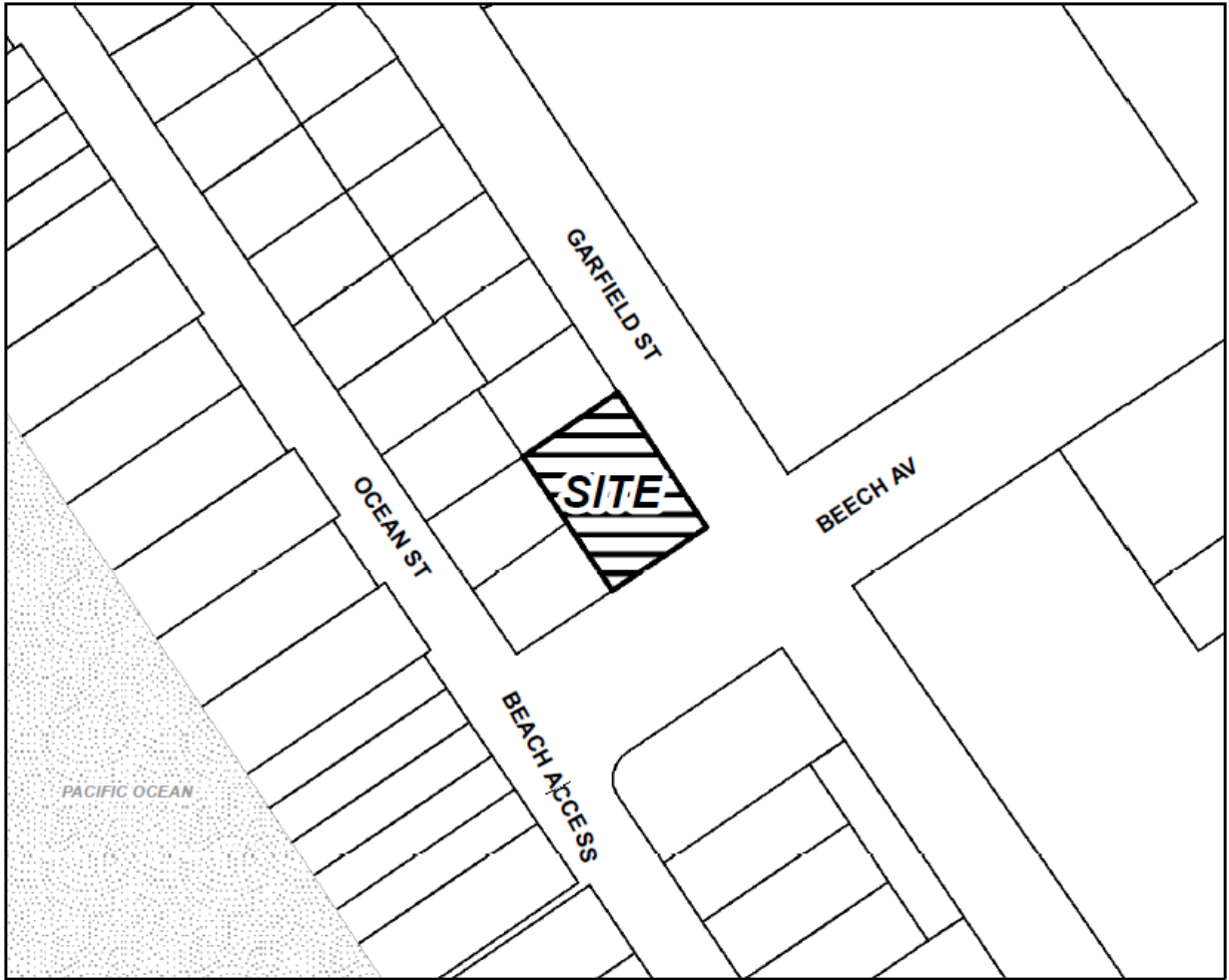
Due to the time limits mandated by State Law, your response must be sent at the earliest possible date but not later than 30 days after the date of publication of this notice. Your comments may be submitted in writing to the City of Carlsbad Planning Division (Attn: Esteban Danna, Associate Planner), 1635 Faraday Avenue, Carlsbad, California 92008, or via e-mail to esteban.danna@carlsbadca.gov no later than **December 17, 2022**. Please include in your response the name, email address, phone number and mailing address of the contact person.

PUBLIC COMMENT PERIOD: **November 17, 2022 – December 17, 2022**

PUBLISH DATE: **November 17, 2022**

Community & Economic Development
Planning Division

1635 Faraday Avenue | Carlsbad, CA 92008 | 760-602-4600 | 760-602-8560 fax



NOT TO SCALE

SITE MAP



NATIVE AMERICAN HERITAGE COMMISSION

November 21, 2022

City of Carlsbad

DEC 06 2022

Planning Division

Esteban Danna
City of Carlsbad
1635 Faraday Ave.
Carlsbad, CA 92008

Re: 2022110423, Three on Garfield Project, San Diego County

Dear Mr. Danna:

The Native American Heritage Commission (NAHC) has received the Notice of Preparation (NOP), Draft Environmental Impact Report (DEIR) or Early Consultation for the project referenced above. The California Environmental Quality Act (CEQA) (Pub. Resources Code §21000 et seq.), specifically Public Resources Code §21084.1, states that a project that may cause a substantial adverse change in the significance of a historical resource, is a project that may have a significant effect on the environment. (Pub. Resources Code § 21084.1; Cal. Code Regs., tit.14, §15064.5 (b) (CEQA Guidelines §15064.5 (b))). If there is substantial evidence, in light of the whole record before a lead agency, that a project may have a significant effect on the environment, an Environmental Impact Report (EIR) shall be prepared. (Pub. Resources Code §21080 (d); Cal. Code Regs., tit. 14, § 5064 subd.(a)(1) (CEQA Guidelines §15064 (a)(1))). In order to determine whether a project will cause a substantial adverse change in the significance of a historical resource, a lead agency will need to determine whether there are historical resources within the area of potential effect (APE).

CEQA was amended significantly in 2014. Assembly Bill 52 (Gatto, Chapter 532, Statutes of 2014) (AB 52) amended CEQA to create a separate category of cultural resources, "tribal cultural resources" (Pub. Resources Code §21074) and provides that a project with an effect that may cause a substantial adverse change in the significance of a tribal cultural resource is a project that may have a significant effect on the environment. (Pub. Resources Code §21084.2). Public agencies shall, when feasible, avoid damaging effects to any tribal cultural resource. (Pub. Resources Code §21084.3 (a)). **AB 52 applies to any project for which a notice of preparation, a notice of negative declaration, or a mitigated negative declaration is filed on or after July 1, 2015.** If your project involves the adoption of or amendment to a general plan or a specific plan, or the designation or proposed designation of open space, on or after March 1, 2005, it may also be subject to Senate Bill 18 (Burton, Chapter 905, Statutes of 2004) (SB 18). **Both SB 18 and AB 52 have tribal consultation requirements.** If your project is also subject to the federal National Environmental Policy Act (42 U.S.C. § 4321 et seq.) (NEPA), the tribal consultation requirements of Section 106 of the National Historic Preservation Act of 1966 (154 U.S.C. 300101, 36 C.F.R. §800 et seq.) may also apply.

The NAHC recommends consultation with California Native American tribes that are traditionally and culturally affiliated with the geographic area of your proposed project as early as possible in order to avoid inadvertent discoveries of Native American human remains and best protect tribal cultural resources. Below is a brief summary of portions of AB 52 and SB 18 as well as the NAHC's recommendations for conducting cultural resources assessments.

Consult your legal counsel about compliance with AB 52 and SB 18 as well as compliance with any other applicable laws.

AB 52

CHAIRPERSON
Laura Miranda
Luiṣeño

VICE CHAIRPERSON
Reginald Pagaling
Chumash

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COMMISSIONER
Stanley Rodriguez
Kumeyaay

COMMISSIONER
[Vacant]

COMMISSIONER
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EXECUTIVE SECRETARY
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NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,
California 95691
(916) 373-3710
nahc@nahc.ca.gov
NAHC.ca.gov

AB 52 has added to CEQA the additional requirements listed below, along with many other requirements:

- 1. Fourteen Day Period to Provide Notice of Completion of an Application/Decision to Undertake a Project:** Within fourteen (14) days of determining that an application for a project is complete or of a decision by a public agency to undertake a project, a lead agency shall provide formal notification to a designated contact of, or tribal representative of, traditionally and culturally affiliated California Native American tribes that have requested notice, to be accomplished by at least one written notice that includes:

 - a. A brief description of the project.
 - b. The lead agency contact information.
 - c. Notification that the California Native American tribe has 30 days to request consultation. (Pub. Resources Code §21080.3.1 (d)).
 - d. A "California Native American tribe" is defined as a Native American tribe located in California that is on the contact list maintained by the NAHC for the purposes of Chapter 905 of Statutes of 2004 (SB 18). (Pub. Resources Code §21073).

- 2. Begin Consultation Within 30 Days of Receiving a Tribe's Request for Consultation and Before Releasing a Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report:** A lead agency shall begin the consultation process within 30 days of receiving a request for consultation from a California Native American tribe that is traditionally and culturally affiliated with the geographic area of the proposed project. (Pub. Resources Code §21080.3.1, subds. (d) and (e)) and prior to the release of a negative declaration, mitigated negative declaration or Environmental Impact Report. (Pub. Resources Code §21080.3.1 (b)).

 - a. For purposes of AB 52, "consultation shall have the same meaning as provided in Gov. Code §65352.4 (SB 18). (Pub. Resources Code §21080.3.1 (b)).

- 3. Mandatory Topics of Consultation If Requested by a Tribe:** The following topics of consultation, if a tribe requests to discuss them, are mandatory topics of consultation:

 - a. Alternatives to the project.
 - b. Recommended mitigation measures.
 - c. Significant effects. (Pub. Resources Code §21080.3.2 (a)).

- 4. Discretionary Topics of Consultation:** The following topics are discretionary topics of consultation:

 - a. Type of environmental review necessary.
 - b. Significance of the tribal cultural resources.
 - c. Significance of the project's impacts on tribal cultural resources.
 - d. If necessary, project alternatives or appropriate measures for preservation or mitigation that the tribe may recommend to the lead agency. (Pub. Resources Code §21080.3.2 (a)).

- 5. Confidentiality of Information Submitted by a Tribe During the Environmental Review Process:** With some exceptions, any information, including but not limited to, the location, description, and use of tribal cultural resources submitted by a California Native American tribe during the environmental review process shall not be included in the environmental document or otherwise disclosed by the lead agency or any other public agency to the public, consistent with Government Code §6254 (r) and §6254.10. Any information submitted by a California Native American tribe during the consultation or environmental review process shall be published in a confidential appendix to the environmental document unless the tribe that provided the information consents, in writing, to the disclosure of some or all of the information to the public. (Pub. Resources Code §21082.3 (c)(1)).

- 6. Discussion of Impacts to Tribal Cultural Resources in the Environmental Document:** If a project may have a significant impact on a tribal cultural resource, the lead agency's environmental document shall discuss both of the following:

 - a. Whether the proposed project has a significant impact on an identified tribal cultural resource.
 - b. Whether feasible alternatives or mitigation measures, including those measures that may be agreed to pursuant to Public Resources Code §21082.3, subdivision (a), avoid or substantially lessen the impact on the identified tribal cultural resource. (Pub. Resources Code §21082.3 (b)).

- 7. Conclusion of Consultation:** Consultation with a tribe shall be considered concluded when either of the following occurs:
- a. The parties agree to measures to mitigate or avoid a significant effect, if a significant effect exists, on a tribal cultural resource; or
 - b. A party, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached. (Pub. Resources Code §21080.3.2 (b)).
- 8. Recommending Mitigation Measures Agreed Upon in Consultation in the Environmental Document:** Any mitigation measures agreed upon in the consultation conducted pursuant to Public Resources Code §21080.3.2 shall be recommended for inclusion in the environmental document and in an adopted mitigation monitoring and reporting program, if determined to avoid or lessen the impact pursuant to Public Resources Code §21082.3, subdivision (b), paragraph 2, and shall be fully enforceable. (Pub. Resources Code §21082.3 (a)).
- 9. Required Consideration of Feasible Mitigation:** If mitigation measures recommended by the staff of the lead agency as a result of the consultation process are not included in the environmental document or if there are no agreed upon mitigation measures at the conclusion of consultation, or if consultation does not occur, and if substantial evidence demonstrates that a project will cause a significant effect to a tribal cultural resource, the lead agency shall consider feasible mitigation pursuant to Public Resources Code §21084.3 (b). (Pub. Resources Code §21082.3 (e)).
- 10. Examples of Mitigation Measures That, If Feasible, May Be Considered to Avoid or Minimize Significant Adverse Impacts to Tribal Cultural Resources:**
- a. Avoidance and preservation of the resources in place, including, but not limited to:
 - i. Planning and construction to avoid the resources and protect the cultural and natural context.
 - ii. Planning greenspace, parks, or other open space, to incorporate the resources with culturally appropriate protection and management criteria.
 - b. Treating the resource with culturally appropriate dignity, taking into account the tribal cultural values and meaning of the resource, including, but not limited to, the following:
 - i. Protecting the cultural character and integrity of the resource.
 - ii. Protecting the traditional use of the resource.
 - iii. Protecting the confidentiality of the resource.
 - c. Permanent conservation easements or other interests in real property, with culturally appropriate management criteria for the purposes of preserving or utilizing the resources or places.
 - d. Protecting the resource. (Pub. Resource Code §21084.3 (b)).
 - e. Please note that a federally recognized California Native American tribe or a non-federally recognized California Native American tribe that is on the contact list maintained by the NAHC to protect a California prehistoric, archaeological, cultural, spiritual, or ceremonial place may acquire and hold conservation easements if the conservation easement is voluntarily conveyed. (Civ. Code §815.3 (c)).
 - f. Please note that it is the policy of the state that Native American remains and associated grave artifacts shall be repatriated. (Pub. Resources Code §5097.991).
- 11. Prerequisites for Certifying an Environmental Impact Report or Adopting a Mitigated Negative Declaration or Negative Declaration with a Significant Impact on an Identified Tribal Cultural Resource:** An Environmental Impact Report may not be certified, nor may a mitigated negative declaration or a negative declaration be adopted unless one of the following occurs:
- a. The consultation process between the tribes and the lead agency has occurred as provided in Public Resources Code §21080.3.1 and §21080.3.2 and concluded pursuant to Public Resources Code §21080.3.2.
 - b. The tribe that requested consultation failed to provide comments to the lead agency or otherwise failed to engage in the consultation process.
 - c. The lead agency provided notice of the project to the tribe in compliance with Public Resources Code §21080.3.1 (d) and the tribe failed to request consultation within 30 days. (Pub. Resources Code §21082.3 (d)).

The NAHC's PowerPoint presentation titled, "Tribal Consultation Under AB 52: Requirements and Best Practices" may be found online at: http://nahc.ca.gov/wp-content/uploads/2015/10/AB52TribalConsultation_CalEPAPDF.pdf

SB 18

SB 18 applies to local governments and requires local governments to contact, provide notice to, refer plans to, and consult with tribes prior to the adoption or amendment of a general plan or a specific plan, or the designation of open space. (Gov. Code §65352.3). Local governments should consult the Governor's Office of Planning and Research's "Tribal Consultation Guidelines," which can be found online at: https://www.opr.ca.gov/docs/09_14_05_Updated_Guidelines_922.pdf.

Some of SB 18's provisions include:

1. **Tribal Consultation:** If a local government considers a proposal to adopt or amend a general plan or a specific plan, or to designate open space it is required to contact the appropriate tribes identified by the NAHC by requesting a "Tribal Consultation List." If a tribe, once contacted, requests consultation the local government must consult with the tribe on the plan proposal. **A tribe has 90 days from the date of receipt of notification to request consultation unless a shorter timeframe has been agreed to by the tribe.** (Gov. Code §65352.3 (a)(2)).
2. **No Statutory Time Limit on SB 18 Tribal Consultation.** There is no statutory time limit on SB 18 tribal consultation.
3. **Confidentiality:** Consistent with the guidelines developed and adopted by the Office of Planning and Research pursuant to Gov. Code §65040.2, the city or county shall protect the confidentiality of the information concerning the specific identity, location, character, and use of places, features and objects described in Public Resources Code §5097.9 and §5097.993 that are within the city's or county's jurisdiction. (Gov. Code §65352.3 (b)).
4. **Conclusion of SB 18 Tribal Consultation:** Consultation should be concluded at the point in which:
 - a. The parties to the consultation come to a mutual agreement concerning the appropriate measures for preservation or mitigation; or
 - b. Either the local government or the tribe, acting in good faith and after reasonable effort, concludes that mutual agreement cannot be reached concerning the appropriate measures of preservation or mitigation. (Tribal Consultation Guidelines, Governor's Office of Planning and Research (2005) at p. 18).

Agencies should be aware that neither AB 52 nor SB 18 precludes agencies from initiating tribal consultation with tribes that are traditionally and culturally affiliated with their jurisdictions before the timeframes provided in AB 52 and SB 18. For that reason, we urge you to continue to request Native American Tribal Contact Lists and "Sacred Lands File" searches from the NAHC. The request forms can be found online at: <http://nahc.ca.gov/resources/forms/>.

NAHC Recommendations for Cultural Resources Assessments

To adequately assess the existence and significance of tribal cultural resources and plan for avoidance, preservation in place, or barring both, mitigation of project-related impacts to tribal cultural resources, the NAHC recommends the following actions:

1. Contact the appropriate regional California Historical Research Information System (CHRIS) Center (https://ohp.parks.ca.gov/?page_id=30331) for an archaeological records search. The records search will determine:
 - a. If part or all of the APE has been previously surveyed for cultural resources.
 - b. If any known cultural resources have already been recorded on or adjacent to the APE.
 - c. If the probability is low, moderate, or high that cultural resources are located in the APE.
 - d. If a survey is required to determine whether previously unrecorded cultural resources are present.
2. If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - a. The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum and not be made available for public disclosure.
 - b. The final written report should be submitted within 3 months after work has been completed to the appropriate regional CHRIS center.

3. Contact the NAHC for:
 - a. A Sacred Lands File search. Remember that tribes do not always record their sacred sites in the Sacred Lands File, nor are they required to do so. A Sacred Lands File search is not a substitute for consultation with tribes that are traditionally and culturally affiliated with the geographic area of the project's APE.
 - b. A Native American Tribal Consultation List of appropriate tribes for consultation concerning the project site and to assist in planning for avoidance, preservation in place, or, failing both, mitigation measures.

4. Remember that the lack of surface evidence of archaeological resources (including tribal cultural resources) does not preclude their subsurface existence.
 - a. Lead agencies should include in their mitigation and monitoring reporting program plan provisions for the identification and evaluation of inadvertently discovered archaeological resources per Cal. Code Regs., tit. 14, §15064.5(f) (CEQA Guidelines §15064.5(f)). In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American with knowledge of cultural resources should monitor all ground-disturbing activities.
 - b. Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the disposition of recovered cultural items that are not burial associated in consultation with culturally affiliated Native Americans.
 - c. Lead agencies should include in their mitigation and monitoring reporting program plans provisions for the treatment and disposition of inadvertently discovered Native American human remains. Health and Safety Code §7050.5, Public Resources Code §5097.98, and Cal. Code Regs., tit. 14, §15064.5, subdivisions (d) and (e) (CEQA Guidelines §15064.5, subds. (d) and (e)) address the processes to be followed in the event of an inadvertent discovery of any Native American human remains and associated grave goods in a location other than a dedicated cemetery.

If you have any questions or need additional information, please contact me at my email address: Pricilla.Torres-Fuentes@nahc.ca.gov.

Sincerely,

Pricilla Torres-Fuentes

Pricilla Torres-Fuentes
Cultural Resources Analyst

cc: State Clearinghouse



San Diego County Archaeological Society, Inc.

Environmental Review Committee

23 November 2022

To: Mr. Esteban Danna, Associate Planner
Planning Division
City of Carlsbad
1635 Faraday Avenue
Carlsbad, California 92008

Subject: Notice of Preparation of a Draft Environmental Impact Report
2685, 2687 and 2689 Garfield Street
EIR 2022-0005, PUD 2021-0003, SDP 2021-0008, CDP 2021-0010,
NCP 2021-0001

Dear Mr. Garcia:


Thank you for the Notice of Preparation for the subject project, which was received by this Society earlier this month.

We are pleased that cultural resources have been included in the list of subject areas to be addressed in the DEIR. Per Google Street View, the buildings currently present and which are to be demolished appear relatively new. The EIR should state what, if any, cultural resources studies we accomplished when they were constructed. If there was archaeological and Native American monitoring of grading with negative findings, and if grading for the proposed new construction would not be deeper, another monitoring program may not be necessary. We look forward to seeing the DEIR's recommendations.

As a side comment, this NOP was sent via certified mail. The City of Carlsbad should feel free to send our copies of such documents via regular mail, to save the City money and us the time standing in line at the Post Office to sign for them.

SDCAS appreciates being included in the environmental review process for this project.

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: SDCAS President

Attention City official responsible to collect public Comment

This letter is to summarize the attached documents transferred via We Transfer intended as to response to public comment period regarding:

EIR 2022-0005/PUD 2021-0003/SDP 2021-0008/ CDP 2021-0010/NCP 2021-0001 .

Demolition of an existing three-unit residential air-space condominium and construction of three attached, three-story residential air-space condominiums. 2685, 2687, and 2689 Garfield Street

1. Petition to save “Victor Condo” , and rebuttal to Historic review filed by Scott Moomjian in previous application for demolition. Pdf
.
2. Post Modern Practice , Kathleen McCormick and Ted Smith – Power Point presentation
 - A. Overview Post Modern Architecture in the California Context
 - B. First Practice. Combining styles of adjacent buildings to build the spirit of place
 - C. Victor Condo and Magee Park
 - D. Project recognition, publications and petition to save Victor Condo.
 - E. Victor Condo, the first Gohome, shared housing affordable housing prototype
 - F. Simple Mills Act solution to mitigate view compromised by neighbor’s addition
3. Proposal to relocate Victor Condo Façade to Magee Park as festival stage and café

Petitioners to Save Victor Condo



January 5, 2022,

City of Carlsbad
Development Services
1635 Faraday Avenue
Carlsbad California 92008

*Re: Historical analysis Letter for 2685,2687, 2689 Garfield Street, Carlsbad California, 92008:
Assessor's Parcel Numbers , 203-141-27-01,02,03, prepared by Scott A Moomjian*

Dear City of Carlsbad Planning Department:

This letter is in response to the Historical Analysis Letter Report prepared by Scott Moomjian Attorney at Law. We the petitioners disagree whole heartedly with Mr. Moomjian's conclusions Mr. Moomjian report begins with the following :

"Historical research indicates that the property is not historically and or architecturally significant, and is not eligible for designation under local, state, or national significance criteria." ... the building is not considered a representative example of the Postmodern architectural style. In this regard the building does not embody the distinctive characteristics of a style, type, period, or method of Postmodern construction."

"No historical evidence was identified to support the contention that Armistead Smith or Westward Construction are acclaimed builders, designers or architects. Further the building does not

represent the notable work of either Smith or Westward Construction. As a result the property is not eligible for designation under City of Carlsbad criteria C.”

We believe the building *is* a representative example , and even more than that a pivotal early example, of the Postmodern Style . The building *does* without doubt embody the distinctive characteristic style type and period, and we believe there is ample historical evidence supporting the contention that Armistead Smith and Kathleen McCormick *are* acclaimed builders. As a result, the property *is* eligible for designation under City of Carlsbad criteria C.

The following selected comments from the petitioners, argue for preservation. Signers include journalists, historians, architecture professors, urbanists, Fellows of the American Institute of Architects, as well as neighbors and past Victor Condo residents. The complete comments are attached at the finale of this rebuttal.

Journalists :

- Dirk Sutro
Dec 23, 2021

Smith & Others' Victor Condo project is as important to its era as San Diego-area buildings by Irving Gill, Lilian Rice, Richard Requa, William Templeton Johnson, Lloyd Ruocco, Lloyd Wright (Frank's son) and Homer Delawie. Smith and Others stands on an equal footing with prominent peers such as Quigley, Segal, PAPA, and Studio E. Carlsbad's Victor Condo project is an essential example of Smith's earliest work and is clearly worthy of preservation.

Dirk Sutro is the author of *West Coast Wave: New California Houses*, guides to San Diego Architecture and *Jazz for Dummies*. He was the architecture critic for the San Diego edition of the Los Angeles Times from 1988 to 1992 and editor of San Diego Home/Garden from 1993 to 1997. His articles have appeared in *Architecture*, *Landscape Architecture*, and *Garden Design* magazines. Sutro also hosted "The Lounge", a nightly arts and culture show on KPBS-FM (89.5) in San Diego

- Peter T Jensen
Dec 22, 2021

Victor Condo is clearly of cultural significance and -- depending on how many years are required to define something as "historic" -- a fine example of a pivotal historic time in Carlsbad's built-environment growth from a small coastal community to a vibrant city

worthy of vibrant architecture. This Cultural Resource Assessment, if its same logic had been applied in any community over the past 150+ years, would have allowed the tear-down of 35-year-old adobes, Victorians, Craftsman, Mid-Century Modern residences—all of which would eventually be revered by many rather than the few or the short-sighted. Are we arguing that every "stylish" building should be enshrined on our streets permanently? Of course not. But some, including Victor Condo, represent a highpoint of true and important architectural eras. They also are a key marker in the role Smith + McCormick have played in making the San Diego region "wake up" to the possibilities of affordable-yet-stylishly significant (not to mention excitingly livable) dwellings. In my role as an editor or contributor for both Sunset magazine and San Diego Home/Garden magazine for over 40 years, I reported many houses and the work of many architects and designers; few have been as thought provoking and humanistic as Smith + McCormick, and Victor Condo will stand during the next century as a perfect example of late 20th Century innovation in a region that too-often relies on stereotypical cookie-cutter architecture to fit in with some kind of mythical "norm." Please save this unique and important building.

Prolific writer for Sunset magazine, Jensen has authored books on San Diego and California, including "San Diego on my Mind." He wrote stories on local architecture for the Reader in the mid 1990s. Jensen, as a writer and editor of Sunset Magazine, wrote many articles about California Ranch, a style of architecture first introduced by Clifford May in the 1930s in San Diego that remained a dominant style well into the sixties. Peter has been President of the Board of Counselors for Torrey Pines Association as well as a board member of James Hubbell's Ilan-Lael Foundation

- Ann Jarmusch. Dec 02, 2021

Ted Smith and Kathy McCormick were then and continue to be at the forefront of innovative and intelligent architecture in San Diego. This condo is worthy of historic recognition and, when the time comes, of historic designation. To demolish it would be serious mistake reflecting very badly on the city.

Anne Jarmusch was the revered Architecture Critic at the San Diego Union Tribune from September 1990 through December 2007.

- Phyllis van Doren
Dec 22, 2021

It did and still has architectural significance. A first of its kind

Phyllis van Doren is a long time editor of San Diego Home Garden Life-Styles Magazine .

Architects :

- Lawrence Scarpa
Dec 01, 2021

This building is an important cultural resource and should be saved. It represents an important part of the local history and possess high artistic value.

Angela Brooks and Lawrence Scarpa are Winners of the 2022 AIA Gold Medal. They are renowned for their work in architecture, sustainable design, and affordable housing, and are the recipients of the Institute's highest honor.

- Rob Quigley FAIA
Dec 02, 2021

Victor Condo is among the most culturally significant buildings in Carlsbad and should be saved at all costs.

It has been praised and published around the world as a rich and refreshing response both to the thoughtless, banal anti contextual modernism of the period and its counterpart—the kitsch, faux historical styles still favored by developers.

History will regard Smith and McCormick as two of this region's most original and important architects. There are precious few built works at this level not only in Carlsbad but in the region as a whole.

We are the richer for Victor Condo.

Rob Quigley FAIA is the recipient of over 70 honors and awards, including the American Institute of Architects' prestigious Maybeck Award and the California Firm Award, Rob has been recognized as an early proponent of a regional Postmodernism and Green building techniques. Among his most notable works are the San Diego Central Library , the San Diego Children's Museum , and the Solana Beach train station .

- Ralph Roesling
Dec 22, 2021

The Victor condos are an iconic precedent for this period of architecture recognized by architects, editors, and academic theorists. It is an authentic version of "blendo" facades and associated color theory. Please save it as a significant moment in San Diego North County Architecture.

Ralph Roesling FAIA is the founding partner of Roesling Nakamura Terada Architects (RNT) in San Diego, California. He has been practicing architecture and planning since 1980. He is currently a member of the adjunct faculty at Cal Poly, San Luis Obispo, California where he has been a design instructor since 2004. He has served as full time faculty and department head at New School of Architecture in San Diego.

- Teddy Cruz
Dec 10, 2021

It is a mistake to erase cultural patrimony . Victor-Condo is a recognized architectural patrimony, an important part of the history of Carlsbad's urban fabric, a meaningful fragment of relevant regional architecture, in a context where history and memory is vulnerable. Smith's and McCormick's project is an icon of postmodern architecture tackling the housing crisis of its time and recognized by museums, journals and architecture critics across time. Instead of demolishing it, it should be elevated as a historical asset to guide future generations to recognize their own history, their community's own urban evolution. Be smart about it and recognize the cultural and economic value of history.

Teddy Cruz is an American architect, urbanist, Professor in Ancient Architecture and Urbanism in the Visual Arts Department at the University of California and is recognized internationally for his urban and architectural research of the Tijuana-San Diego border, advancing border immigrant neighborhoods .

- Marty Poirier FASLA
Dec 02, 2021

The San Diego region has been the stage for remarkable advances in architectural design over the last century and the Victor Condo is one of them. The current building owners and the City of Carlsbad have the opportunity to preserve this treasure and mark a significant time in history. Please save the Victor Condo.

Martin Poirier and Andrew Spurlock, as well as being the designers of numerous San Diego projects, were the Landscape Architects, in collaboration with artist Robert Irwin, for the Lower Central Garden at the J. Paul Getty Center in Los Angeles.

- Howard Blackson
Dec 09, 2021

It is deliciously scandalous to 'preserve' modernist development! While we should be as ruthless with modernist architecture as it was with what came before it... That said (Yes, I feel better now), I shall let my better angels prevail and support saving these unique buildings, but more importantly, to remind our decedents just how significant Smith + McCormick were in our region and history. And I do wonder how Ted feels about this petition? Cheers and good luck!

Howard Blackson is San Diego's premier proponent of "New Urbanism" and is currently Principal and Director of Planning, Place Makers, LLC, United States and Canada (2006 –date)

- Jonathan Segal
Nov 24, 2021

This is a significant piece of architectural history that should be saved.

Jonathan Segal FAIA & Development Company has been awarded six national AIA Honor Awards for their housing work. Segal has been the recipient of numerous accolades including 40 local, state and national AIA awards for residential and Urban Design.

Historians and Educators

- Diane Kane
Dec 16, 2021

Seminal work of Ted Smith and Kathleen McCormick, quintessential California Blendo, an important part of our 1980s coastal vibe. Save it.

Diane Kane is a former Senior Planner from the City of San Diego, she was the Heritage Resources Coordinator for Caltrans in Los Angeles, where she conducted environmental review of historic properties. Specializing in 19th and 20th Century architectural history and urban planning, Dr. Kane holds an MA in Art History from UC Berkeley and a PhD in Architectural History from UC Santa Barbara.

- Juliana Maxim
Dec 26, 2021

Victor Condo was innovative both stylistically and in terms of architectural type. Preserving this original piece of architecture makes sense for the entire City of Carlsbad, because it enhances its character and ultimately its economic appeal. Take the long view, City Council!

Juliana Maxim PhD, associate professor and director of the Architecture Program at the University of San Diego, is an art and architectural historian whose work focuses on the history of modern aesthetic practices—from photography to urbanism

- Can Bilsel
Dec 25, 2021

Kathleen McCormick and Ted Smith are among the most significant contributors to California architecture since the 1980s, just as “Go Homes” are among the most original experiments with housing. Demolishing Victor Condo would be a terrible mistake! Let’s unite in trying to appeal to public officials and other parties about our architectural heritage.

Can Bilsel is professor of architecture at the University of San Diego. His research bridges the history of modern architecture and urbanism, the history of archaeology, museum reconstructions, and architectural conservation with cultural theory, and postcolonial studies.

- Heather Crane

Dec 16, 2021

The City and property owners would be shortsighted to demolish such an excellent example of postmodern architecture.

Heather Crane is a licensed Architect and Project Manager at IS Architecture, assisting with both custom projects and historic preservation. Ms. Crane is intimately familiar with the Secretary of the Interior's Standards for the Treatment of Historic Properties, CEQA, National Park Service Preservation Briefs, and National and Local Register of Historic Places.

- Catherine Herbst

Nov 29, 2021

Why? The only affordable housing in CA is the housing that already exists. How can any process in the face of a catastrophic housing shortage demolish 3 homes to build 3. Net zero for zero leadership. Stand Up!

- Todd Rinehart

Nov 29, 2021

If Architects and owners continue to not see distinctive and irreplaceable buildings right in front of them, then other actions should protect them. To the Carlsbad residents, politicians and officials: Please stand up here. Know that a generic product will replace Ted Smith's witty, pleasant architecture. And to the owners: Please abandon plans to destroy these one-of-a kind gems. Covet them instead.

Catherine Herbst most recently has been Undergraduate chair, architecture at Woodbury University. She earned her license to practice Architecture in 1995. In 2000, she formed Rinehart Herbst, with her husband, Todd Rinehart. Rinehart Herbst was included in MIX: Nine San Diego Architects and Designers, an exhibit at the Museum of Contemporary Art San Diego.

- Keith York

Dec 02, 2021

This project is important. Period. Any doubters should consider their motives (both long- and short-term).

Keith York is a Mid-Century Modern architecture historian and has an encyclopedic knowledge of the period which has been curated in his internet reference site HistoricSanDiego.com. Mr. York has curated numerous exhibits on the late and great Julius Shulman and has hosted talks throughout the City on the subject.

Neighbors

- Janice Immekus

Dec 02, 2021

Save the buildings, I was first in the building back in 1979 and always loved them

- Benjamin Link

Dec 02, 2021

Lived here years ago. It's a landmark of the village!

- Anonymous

Dec 02, 2021

Used to live here, keep it !!

- Linda S Menne Wood

Dec 02, 2021

These homes are so unique and special. I lived a block away from them and had a friend who lived in one of them. They add to the beauty of Carlsbad.

- larry henderson
Dec 01, 2021

I have lived in Carlsbad for almost 40 years and Victor Condo need to remain as is.

Architect's Rebuttal

It is certainly uncomfortable for an old architect to plead for significance. In that regard especially, Kathy and I are very thankful for the support of the petitioners. Their kind words and help preparing this response are much appreciated. Bolstered by that support, I have prepared the following rebuttal.

Mr. Moomjian's historical research could have quite understandably missed pre internet records, and so I have provided an accounting of architectural publications, museum shows and honors at the time of construction as well as a short history of the period.

Design Integrity

Mr. Moomjian also states that the building qualifies for recognition based on design that still has integrity " *Over the years the property has not been substantially modified and/or altered from it's original appearance. As such the property retains its design element for integrity purposes.*" We agree with Mr. Moomjian.

Mr. Moomjian confirms that the building is in good condition as regards the integrity of the original architecture. The building has been carefully maintained as originally designed. For forty years, the owners have periodically repainted the façade the exact colors originally specified by Kathleen McCormick.

Brief History of Post Modernism

Mr. Moomjian explains briefly. " *The Postmodern movement generally occurred between the late 1960's to the present.*" We would add, the period owes much to the critique of Modernism that was ushered in along with the societal changes brought on by the sixties. The movement was a complete questioning and reconsideration of the principals of design in architecture and urban planning. The Postmodern movement was a sea change in architectural philosophy that continues to be foundational even today.

But 1980 was not just another year in a long California Postmodern history as Mr. Moomjian would have you believe. This turn of the decade is the pivotal period when the California version of Postmodernism matured into a style soon to be described as Deconstructivism. This is the important place in time Victor Condo inhabits.

A slightly longer description than Mr. Moomjian presents may serve to illuminate this particular moment in history. Robert Venturi wrote “Complexity and Contradiction” in the late sixties, and the revolution in architectural thought that that book created became what we call Postmodernism today. The philosophical phenomenon that occurred in universities at the time was nothing short of revolutionary. For the balance of the decade and well into the seventies, debates between the Modernists and Post Modernists prevailed with little built to represent the new thinking.

The new principals were mostly exhibited in work by academics on the East Coast where the ideas had originated. In Venturi’s Philadelphia most buildings are red bricks. Among many things Postmodernists believe is that a building should blend into the surroundings and enhance the existing place rather than disrupt it. But this conversation was more complicated in California. The context in California was and still is inconsistent, a mix of every style and materiality.

Here, in the seventies, a Postmodern tenet that setting should dictate the style coincided with a well-established regionalism as best illustrated by the wooden barn context of Northern California in works by Charles Moore at Sea Ranch.

In San Diego, beginning in 1973 far from Northern California Barns but within range of Moore’s influence, I began making houses. By 1975 I had built a home for my small family, “the Blue Wall,” in a Postmodern style. The house was like a Sea Ranch barn but with old fashioned small pane windows and a blue tile wall reflecting and complimenting the yellow sandstone that surrounded the site. The building was published in Abitari magazine and appeared on the cover of the LA Times that same year. But these earlier works had only begun to incorporate Postmodern principals.

As it was, Southern California architects struggled to find context. In 1978, Frank Gehry broke with all precedent in the acclaimed remodel of his bungalow house. In Los Angeles, he chose from a city wide palette of materials that included most famously chain link. On first seeing Gehry’s house in 1982, I remember thinking how far afield the contextual ideas of Postmodernism had come.

Our Early Postmodern Years.

In the same years, 1976- 1979 , my young collaborators and I were combining the materials of the neighborhood, not the entire city as Gehry was doing, but in similar collages of desperate parts. There was no chain link or corrugated metal derived from the city as a whole, instead the materials came directly from the adjacent houses. Since the neighboring houses were all different styles, the architecture was made up of parts and pieces of the palette at hand.

Victor Condo is our first specific example, where the facades and forms of adjacent buildings are “deconstructed” and collaged into a single composition. Unlike Gehry’s Deconstructivism, Victor Condo sought a design that fits things together, making a place out of the composition of the surrounding buildings rather than a single object of architecture. Victor Condo builds context in disparate surroundings, in an attempt to add to the place.



I believe Magee Park is far the better complimented by a building made in reverence to the historic structures preserved across the street. Look closely at the architecture. The materials, the colors, the porches, the steps, the ornament and Victorian style are reflected directly. The historic park is not only better because Victor Condo is the neighbor, making the place bigger, but also because another building is added to the complex making it far denser. Certainly, all the buildings together reach an effective critical mass strengthening the power of the place and its reverence for history.

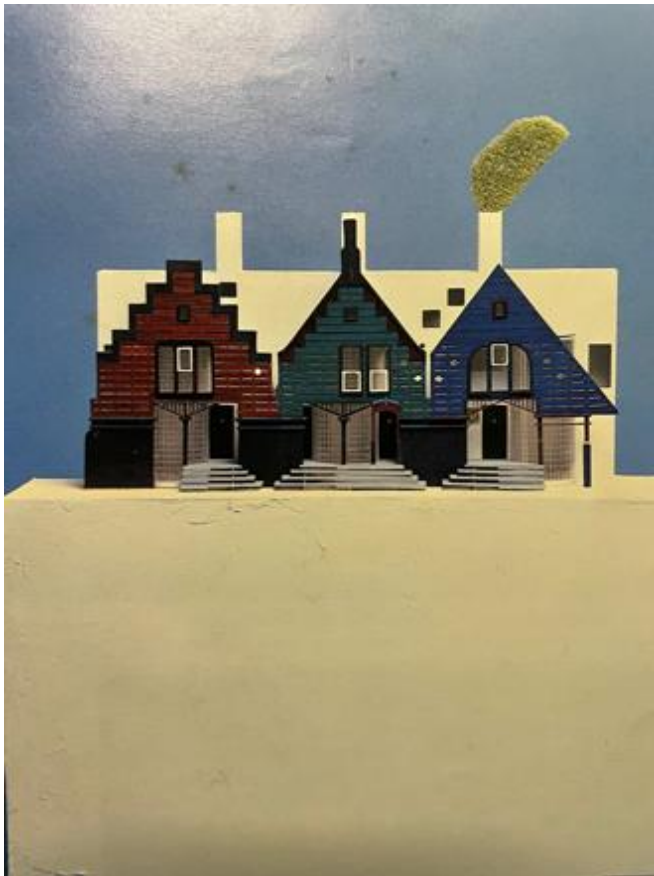
By 1979 I had completed and published a number of Postmodern residences in Del Mar. Victor Condo was designed during that year in collaboration with Kathleen McCormick, the first building of our 40-year plus career together. Lacking evidence to the contrary, Victor Condo appears to be Carlsbad's earliest recognized Postmodern building and certainly the city's first Deconstructivist building.

Art and Architecture, the celebrated reissue of the classic magazine originally published by John Entenza, the father of the Case Study movement, published a guide in 1983 in which Victor Condo is included as one of a short list of

“Significant new places, buildings, and public art in California.”

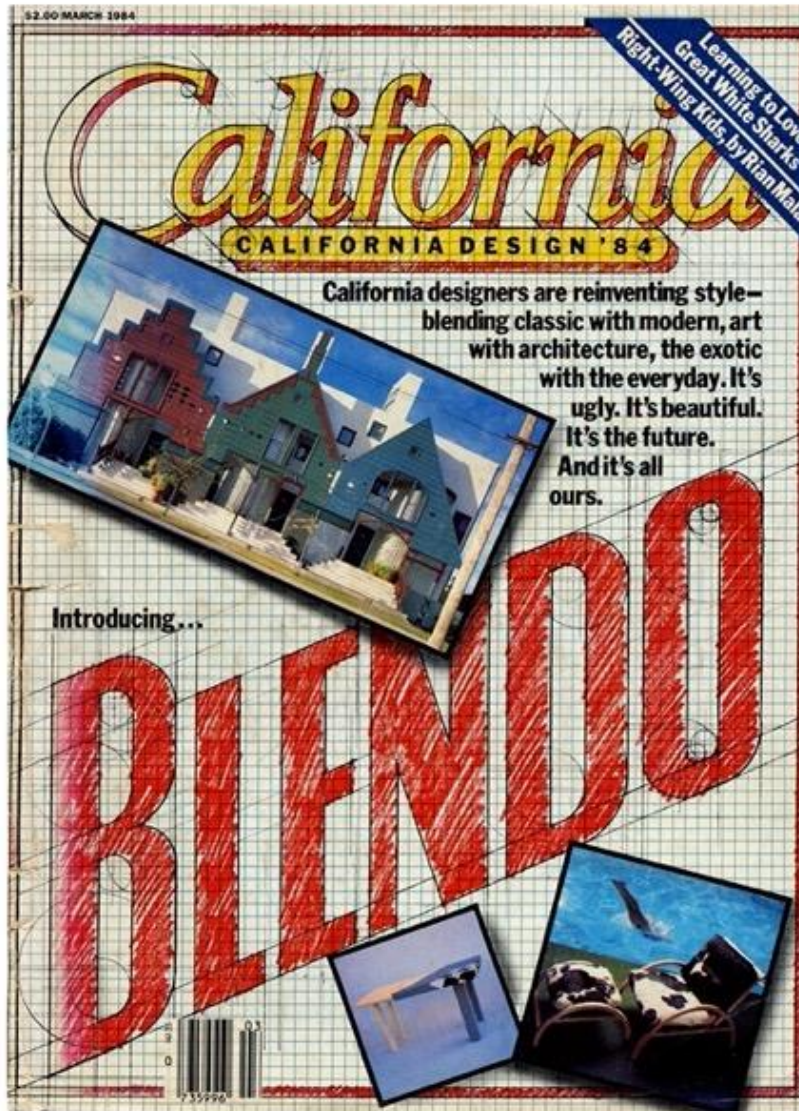
In 1982, Stanley Tigerman the well-known architect and Chicago proponent of Postmodernism co-curated “the California Condition, a pregnant architecture,” a show that examined the Postmodern movement as it had evolved in the California context. The exhibit was the first architectural exhibition held by the La Jolla Museum of Contemporary Art in more than a decade. Subsequently, in testament to the important date of the show, the museum did not mount another

about architecture for twenty five years. Along with our architecture the curators selected the work of 14 notable California architects including, The father figures, Frank Gehry and Charles Moore, along with the younger generation, Thom Mayne, Eric Owen Moss, Rob Wellington Quigley, and Tom Grondona. Victor Condo, along with 3 additional postmodern buildings represented our work. We were especially happy to be selected to be a part of this pivotal museum exhibition.



Kathy and I made the model illustrated above for the show, and in the exhibit catalogue I opined as a 34 year old might,

“Blendo” became a big deal to me in the seventies. I dreamed of European streets where buildings flow together but found in San Diego only poor replicas of last month’s magazine centerfolds plopped by the architectural flock on 5000-square-foot lots. My project neighbors were various styles from Sea Ranch Modern to California Gwathmey, and my clients flashed dreams from House Beautiful and Architectural Digest. Attempts at contextual abstraction left me explaining my intentions, so I turned to direct imitation, blending the styles of the houses to the left and right into concoctions I called contextual.”



Architecture California, the journal of the California AIA, published Victor Condo along with an essay in 1982 and in March of 1984, California Magazine ran a story about the new architecture beginning to be built in the state, that featured Victor Condo on the cover along with “Blendo,” the term we jokingly coined to describe our architecture,

Global Architecture, the Japanese publication, published Victor Condo in 1984 in an article covering our work along with that of Rob Quigley and Tom Grondona, “*three San Diego Postmodernists.*”

Blendo was further recognized in 1985, in the publication *Architectural Record* on the cover of the April issue, "Record Houses." The Upas Street Houses also exhibited in the "California Condition" exhibit were described by the journalists as follows.

"the Blendo contextualism of Ted Smith's three houses is so convincing his buildings are sometimes hard to pick out in the photographs."

Victor Condo was published in *Techniques & Architecture*, a French publication, in 1986, and the New York Architectural League included our practice in their review "Emerging Voices" in 1986. I was invited to New York to lecture at the League, and Victor Condo was included in the catalogue recognizing emerging voices in the United States.

Nearly a decade later in 1994, with a bit more perspective, Van Nostrand Reinhold published "West Coast Wave" by the noted journalist and historian Dirk Sutro. "The book is the first to offer a comprehensive look at California's innovative 20th century residential designs." In San Diego, "Irving Gill's pioneering designs opens a discussion that also covers the work of Emmor Brooke Weaver, Richard Requa, Lloyd Ruocco, Homer Delewie, Hal Sadler, and the new wave that began with Dalrymple, Grondona, Quigley, and Smith." placing Victor Condo's architects among a very short list of 20th century notable San Diego Architects. At least Kathy and I like to think that Dirk didn't just run out of space on the cover flap.

Perhaps Mr. Moomjian should defer judgement to the critics at *Architectural Record*, *California Magazine*, *Architecture California*, *Global Architecture*, *Techniques and Architecture*, the curators of the California Condition exhibit at the La Jolla Museum of Contemporary Art, the author of *West Coast Wave*, the editors of *Arts and Architecture*, and the board of directors at the New York Architectural League.

OVERALL CAREER

Criterion 3 also considers the designers overall career as regards grounds for preservation of an important work.

So, we must include here that our architectural practice continues today. If you are accepting already that there is some continuing significant, please skip to the conclusions at the end of the document. If not, allow me to continue. During those 40 years since completing Victor Condo, there are additional accomplishments we even think might be extraordinary. Mr. Moomjian's brief description and discount of significant includes only a few of those years.

There is only space in this writing to mention a small part of that practice. Hopefully this brief account is sufficient to illustrate some continuing relevance of our work. As Mr. Moomjian does note, during the balance of the eighties most importantly, we created the GoHomes in Del Mar. This 5 year series of projects built 32 affordable lofts on the edge of the commercial strip on Carmel Valley Road. The lofts also stabilized the eroding edge of the single family zone by preventing apartment up zoning from encroaching up the hill.

Victor Condo was the first architectural commission where we experimented with the use of these shared housing ideas to create affordability. I had first employed the concept in the design of my personal residence, the Blue Wall, which was shared with my brother. He occupied the master bedroom suite which had a separate entry. Each of the three units at Victor Condo has included suites with private exterior doors and through the years these spaces have provided affordable housing in Carlsbad. (It should be mentioned here that outside the petition concerning the historical significance of the building stylistically, demolition and replacement of this affordable housing with three luxury condominiums is working against Carlsbad's housing goals.)

In 1989 Kathy and I moved the practice to San Diego's burgeoning downtown, building the Richman-Poorman building on Cortez Hill. The project incorporated GoHomes and the city's first new row houses designed by McCormick.

In 1997 we built the Merrimac building in Little Italy as a part of the much celebrated Little Italy Neighborhood Development, where three developers divided the full block into smaller projects matching the human scale of the existing urban fabric. The project also saved and renovated the historic Harbor Marine Building originally built in 1887. The LIND project has been credited as instigating the rebirth of Little Italy.

I taught at the New School of Architecture beginning in 1990, and in 1998 was central in bringing Woodbury University's School of Architecture to San Diego. In 2004 I founded Woodbury's master's in real estate development program (Mred) which I directed thru 2019. The program has graduated 120 architect developers, many of whom have gone on to build most all of the new infill housing projects in San Diego's inner ring. Please visit the link attached to see a map of the projects completed by 2014 when the program celebrated its tenth year. This year intelligent.com judged Mred "best studio based real estate master's degree program in the nation."



Mred affiliated projects

<https://www.google.com/maps/d/viewer?mid=11jqJzmg9XIE9X8wQiNm3jAkvfk&usp=sharing>

Our work of has been exhibited many times since the California Condition show. A few highlights should include:

Museum of the City of New York "Making Room" exhibition , Models for housing New Yorkers Jan –Sept 2013
Venice Biennale US Pavilion "Essex model", 2008, Venice Italy 11th International Architecture Exhibition
A&D Museum Los Angeles Enlightened Development,
Livable Places, Exhibition, May 31, 2007
ICBC Tijuana Otra/Another Habitando La Frontera lecture and exhibition November 2006
Exhibition "Urban Life, Housing in the Contemporary City, New York, Oct.2003
La Jolla Athenaeum, Architecture Exhibition, "This Is Not a House", 1994

National Competitions

NEA, Livable Places competition, winner, 50 unit low cost housing project Long Beach, Ca., 2003
Chicago Low Cost Housing Competition, Finalist, 2002
C.C.D.C., Winner, RFP Little Italy Housing Demonstration Block, 1995
3rd Place, KOMA International Competition, Korean Museum, Los Angeles 1995
Finalist, 1st Interstate Housing Competition, South Central L.A., 1994
Progressive Architecture New Public Realm Competition Traveling Exhibit, 1992

Significant lectures

Citizen's Housing and Planning Council, presentation New York, New York" The GoHomes" 2010 and 2011
New York Architectural League, repeat Lecturer April 2003

Thank you for your consideration and my apologies for this long bit of vanity. If Victor Condo is to receive a reprieve it will have been worth the embarrassment.

Ted Smith

Conclusions

We the petition signers disagree with the Cultural Resource Assessment identifying no cultural significances as regards the building known as Victor Condo. We believe the building qualifies under Carlsbad's Criterion 3 as a design on the vanguard of an important architectural movement of the early nineteen eighties where Post Modernism was first expressed in the California context. We believe this first "Blendo" example of California Post Modernism should not be demolished.

Based on the City of Carlsbad's Criterion 3. for cultural significance:

Criterion 3. It embodies the distinctive characteristics of a type, period, region or method of installation, or represents the work of an important creative individual, or possesses high artistic values.

The Carlsbad's General plan goes on to list the following goals pertaining to the cultural resources.

Goal 1.0: Recognize, protect, preserve, and enhance the city's diverse heritage

Goal 2.0: Make Carlsbad's history more visible and accessible to residents and visitors.

Goal 3.0: Provide incentives and expand education efforts for historic preservation.

Goal 4.0: Identify and preserve archaeological and cultural resources.

Saving Victor Condo will go a long way toward achieving these goals, especially Goal 1.0. The building clearly compliments and enhances the historic buildings in Magee Park. But Victor Condo is more than a homage to Carlsbad's heritage saved in the park. It is also a building intimately intertwined in the history of California architecture itself. Victor Condo is the seminal work of Kathleen McCormick and Ted Smith, their first building produced together and the first successful "Blendo" project constructed.

Additional comments by the petitioners

- Laura DuCharme Conboy
Dec 16, 2021

Important early work of Ted Smith and of the postmodern movement in San Diego.

- Heather Crane
Dec 16, 2021

The City and property owners would be shortsighted to demolish such an excellent example of postmodern architecture.

- Anonymous
Dec 13, 2021

Save the condos

-

Ian Kaplan
Dec 08, 2021

This is an architectural gem symbolizing the best of post-modern architecture in all of California. It would be a real shame to see it torn down. There aren't many of these left.

- Christian Prado

Dec 07, 2021

Please save the building!

- Richard Hemmen

Dec 06, 2021

Working with my friend Ted was one of the most enjoyable highlights of my engineering career. Losing this project would be a regrettable step in degrading the Village from a classic California beach town into another Irvine.

- Stephens Smith Farrell

Dec 05, 2021

If this isn't deemed worth saving, we're obviously lost (but making good time).

- Maria C Araujo

Dec 04, 2021

Preserve the gracious and unique Carlsbad landmark. The action will be increasingly appreciated by the newer generations and all that follow.

- Mikaela Pearson

Dec 03, 2021

These are a strong representation of a unique and valid historical style. Post Modern Architecture is a historical style that adds to the city scape - especially when it is such a unique and thoughtful project.

- Patrick Cordelle

Dec 02, 2021

Save this important part of San Diego architectural history.

- John Gallagher

Dec 02, 2021

This building has so much character and makes Carlsbad more interesting!

- Sidney Aulds

Dec 02, 2021

There is a surplus of buildings that should be removed from history, but this is not one of them. Victor Condo is a significant building with great historical value, and demolishing this structure would be a disappointment to both the neighborhood and the state of California.

- Benjamin Link
Dec 02, 2021

Lived here years ago. It's a landmark of the village!

- Albert Dan Morone
Dec 02, 2021

great architecture must be saved.

- Jacqueline Ridge
Dec 02, 2021

The publications and information presented about the Victor Condos definitely support the stated goals of Carlsbad's criteria for recognition of and saving the buildings .

- Linda S Menne Wood
Dec 02, 2021

These homes are so unique and special. I lived a block away from them and had a friend who lived in one of them. They add to the beauty of Carlsbad.

- Anonymous
Dec 02, 2021

Let's keep great architecture alive!

- James Brown
Dec 02, 2021

).


- Peggy Ann Wallace
Dec 02, 2021

Like it or don't like it is by a nationally recognized architect. Keep it and recognize it as such. I support architectural preservation!

- John Bins
Dec 02, 2021

Save them!

- Diego Valerio
Dec 02, 2021

Let do this. Save this property 

- David Cohn
Dec 02, 2021

Recognize, Protect and Preserve. Amen

- Philipp C Bosshart
Dec 01, 2021

Save them

Maribel Veaz
Dec 01, 2021

Save the building!

- Alberto Montenegro
Dec 01, 2021

Save unique architecture for future generations

- Naveen Waney
Dec 01, 2021

The work is a great example of who were once budding Architects, and who are now or will be soon significant architects in southern California's fabric.

- Beri Varol
Dec 01, 2021

Ted Smith should be considered a Master Architect and all of his work should be preserved, as with the work of any other Master Architect.

- Sam Scott
Dec 01, 2021

Save them

- Kathleen Hallahan
Dec 01, 2021

This project is an extremely important and rare reference point for influential work by these internationally known San Diego architects.

- Fausto Rivas
Dec 01, 2021

Save It

- Bruce T Haglund
Dec 01, 2021

A must-save artifact of post-modernism.

- Rammy Cortez
Dec 01, 2021

I support the fact that this project is a significant cultural resource.

- Andrew Wagner
Dec 01, 2021

fyi Postmodernism is back in vogue

- Susan Lanier
Nov 28, 2021

I have found memories of my time spent with friends at Victor Condo. It paved the way for more architecturally thoughtful development in Carlsbad.

- Adam S Mayberry
Nov 24, 2021

Distinct Architecture should be preserved because of its relevance not just its age. This is unique Architecture to the world and should be preserved

- David Iseri
Nov 24, 2021

This is a work of ART!

- Andrew Sieger
Nov 24, 2021

Victor Condo is a truly remarkable piece of architecture, and a key representative of a style, place, and time now fading into distant memory. Unfortunately, it's common practice for buildings of a certain age to be demolished before a true appreciation of their cultural value has registered. Please don't allow this to happen to this important piece of Carlsbad history - save Victor Condo before it's too late!

- Robin Brisebois
Nov 23, 2021

To allow the destruction of this significant piece of Architecture would be a black eye on the city of Carlsbad. As Carlsbad matures and becomes a more significant player in north county and California culture it should recognize and preserve it's own contributions to our shared history.

- Anonymous
Nov 23, 2021

Ted smith is a pioneer in housing typologies like this and has been an innovator and mentor to hundreds of thousands of young architects. Do not allow the removal of this amazing example of urban housing meant to serve a middle and lower income need.

- Jeff Svitak
Nov 23, 2021

I support the fact that this project is a significant cultural resource.

- Keith Weibrecht
Nov 23, 2021

These condos are a substantially important and rare example of Post Modern architecture in southern California.

- Ann Francis
Nov 23, 2021

Please don't do this. 3 units to be replaced with 3 units? No

- Matthew Segal
Nov 23, 2021

Save important San Diego History

- Pedro Tavares
Nov 23, 2021

Ted Smith is an architectural staple in the San Diego region and preserving his early works ought to be of utmost importance in maintaining the rich architectural history of San Diego's past. Ted's accomplished will be celebrated long into the future and these gems of architectural thinking and innovation much like his other works deserve a spot in the cherished memories of our built environment. Few architects in the area have given so much as Ted Smith who has influenced generations of architects and designers and educated and collaborated with the brightest minds practicing and influencing our spaces today.

Victor Condo

Since the story is about Context, I have provided a few opening slides describing my recollection of the “context” of architectural theory at the time Victor Condo was constructed. Ted Smith

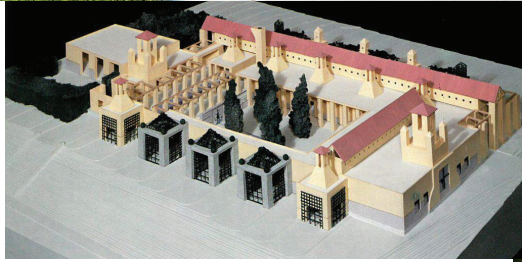


My professors had always revered context. “Mies van der Rohe’s universal buildings could ruin the campus.” At UVA Venturi’s Postmodern critique fit right in.

Still the product of that thought during those years resulted in some pretty mediocre additions to the campus.



In California, Postmodernism's contextual underpinning was best expressed in Northern California, where there were beautiful landscapes and old agricultural buildings to reference. Charles Moore was a regionalist before becoming a father of Postmodern architecture.



- Michael Graves, was also referencing context in his circa 1980 library building adjacent to the San Juan Capistrano Mission. In rare locations opportunities are presented to build on the existing place. But this is not the typical setting one finds in California.

In Los Angeles, this same Postmodern thinking produced a *regionalism* combining bits and pieces of a chaotic city, where there was no consistency or dominant architecture in any one particular place.

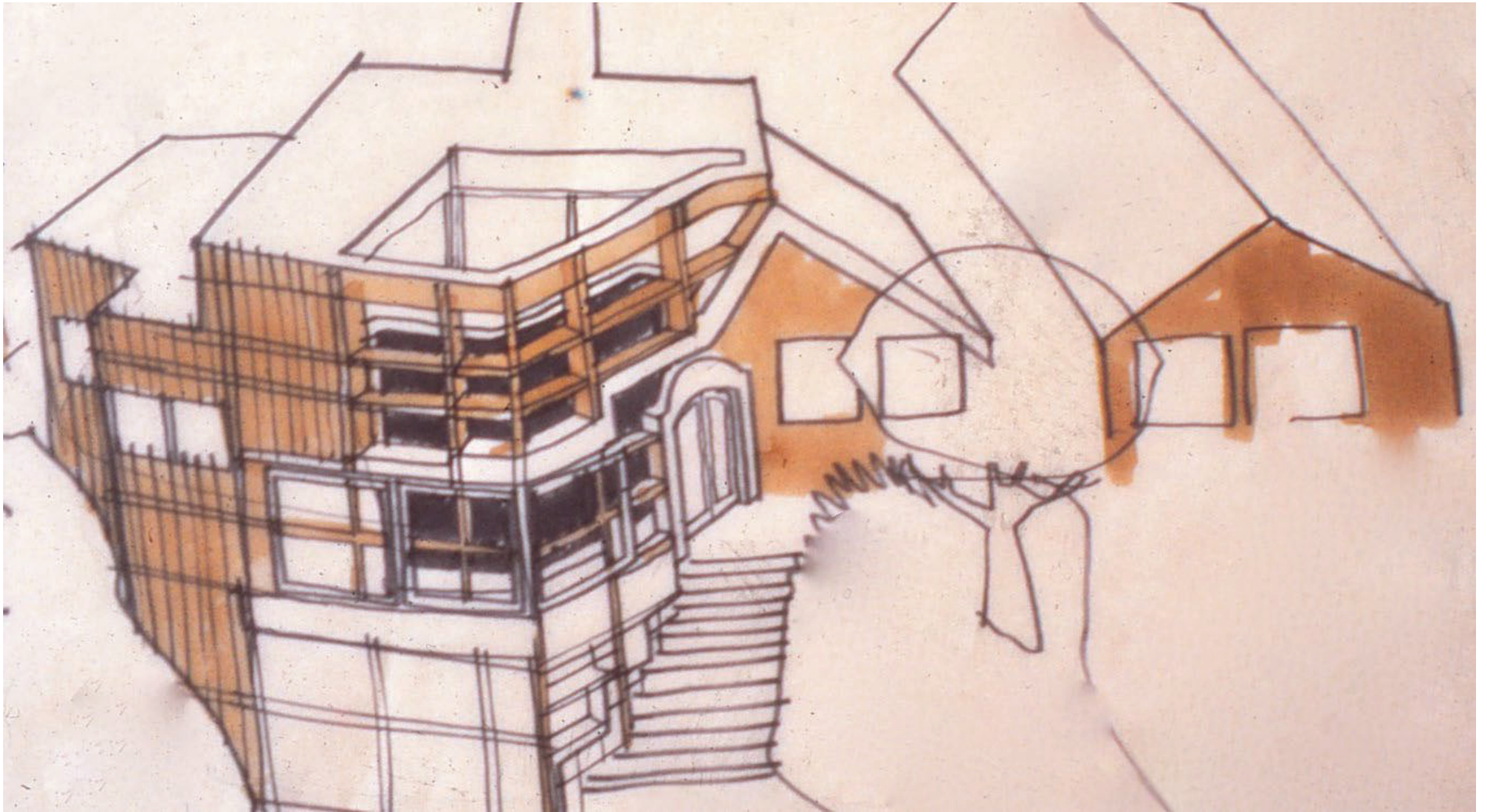
The famous Frank Gehry house, circa 1978 illustrates the difficulty Californian architects were having translating Postmodern thinking into the California context.



My first architecture combined a Sea Ranch aesthetic with bits of traditional detailing like the multi-pane French windows that we liked in the neighborhood. The blue tile wall seemed to compliment the adjacent sandstone cliff. .

“The Blue Wall”
circa 1975





Soon thereafter, I was experimenting with combining neighboring facades into contextual compositions, as pictured in this unbuilt design for the Gallagher residence about 1977.

the Siggins residence designed and completed at the same time as Victor Condo combines the architecture of adjacent buildings.





Where there was no architectural context, we were incorporating the forms of the landscape, like this project in Vista California, “the Grove House” designed in 1980/81, that references the rows of trees in an avocado grove.



So it was that at this particular moment in the evolution of my understanding of current architectural theory, Victor Condo's Postmodernism would be grounded in context.



Building on the context is not just theory, it makes a better place. We believe Victor Condo's contextualism compliments and completes the rose garden space and makes the historic park wider, more enclosed and richer as a result.



The the Magee house has South-West facing porches rendered with Victorian flourishes added to this craftsman / federalist design.



Note the siding , fascia boards and architectural trim-work ,especially the spindle porch ornament



At Victor Condo, the fascia boards, horizontal siding, the steps, cut out railings, and spindle details come directly from the Magee Park buildings



We especially liked the deep red color of the barn, which seemed to us central to the power of the place.



McCormick's contextual color work augments the dense hues of the park







The South elevation combines the small-scale image of the adjacent beach bungalows with the larger white stucco massing of the circa 1980 Army Navy Academy campus.



Oddly, Victor Condo dates from the same time the park was established. It has inhabited the site nearly as long as some of the relocated historic buildings.



McCormick's color work is also derived from the natural setting

The California Condition

a pregnant architecture

La Jolla Museum of Contemporary Art
curated by Stanley Tigerman, 1982



["California Condition" my museum catalogue quote](#)

"Blendo" became a big deal to me in the seventies. I dreamed of European streets where buildings flow together but found in San Diego only poor replicas of last month's magazine centerfolds plopped by the architectural flock on 5000-square-foot lots.

My project neighbors were various styles from Sea Ranch Modern to California Gwathmey, and my clients flashed dreams from House Beautiful and Architectural Digest.

Attempts at contextual abstraction left me explaining my intentions, so I turned to direct imitation, blending the styles of the houses to the left and right into concoctions I called contextual."



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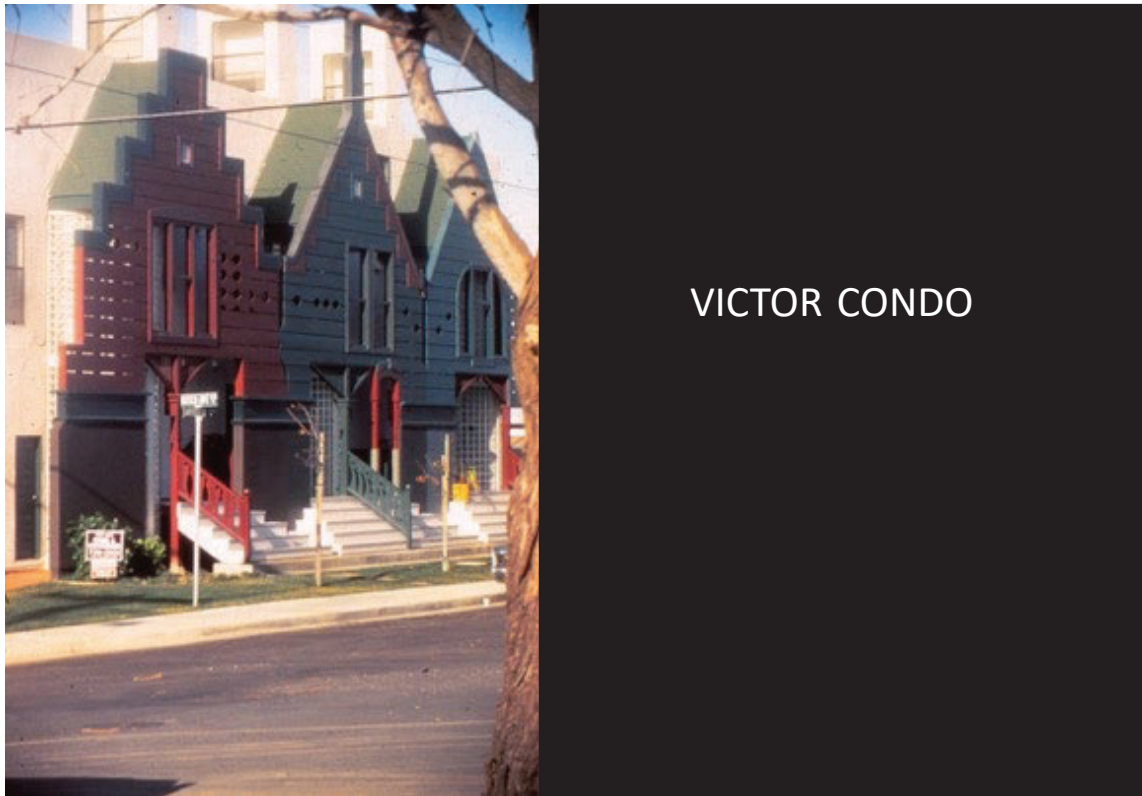
Architecture California, the journal of the California AIA, published Victor Condo along with an essay in 1982,

and in March of 1984, California Magazine ran a story about the new architecture beginning to be built in the state, that featured Victor Condo on the cover.

“Blendo,” the term we jokingly coined to describe our work, was taken by the editors *at least*, to describe the work of this new generation of California Architects

Petition

to save Victor Condo has over 500 signatures, and comments of support from noted historians, academics, journalists, architects, and Carlsbad neighbors



PLANS

VICTOR CONDO



GoHomes

Our initial work was as postmodernists, but the central thesis since has been developing housing alternatives, primarily shared housing.

Victor Condo is our first built example employing the GoHome concepts to achieve affordability in market rate projects.

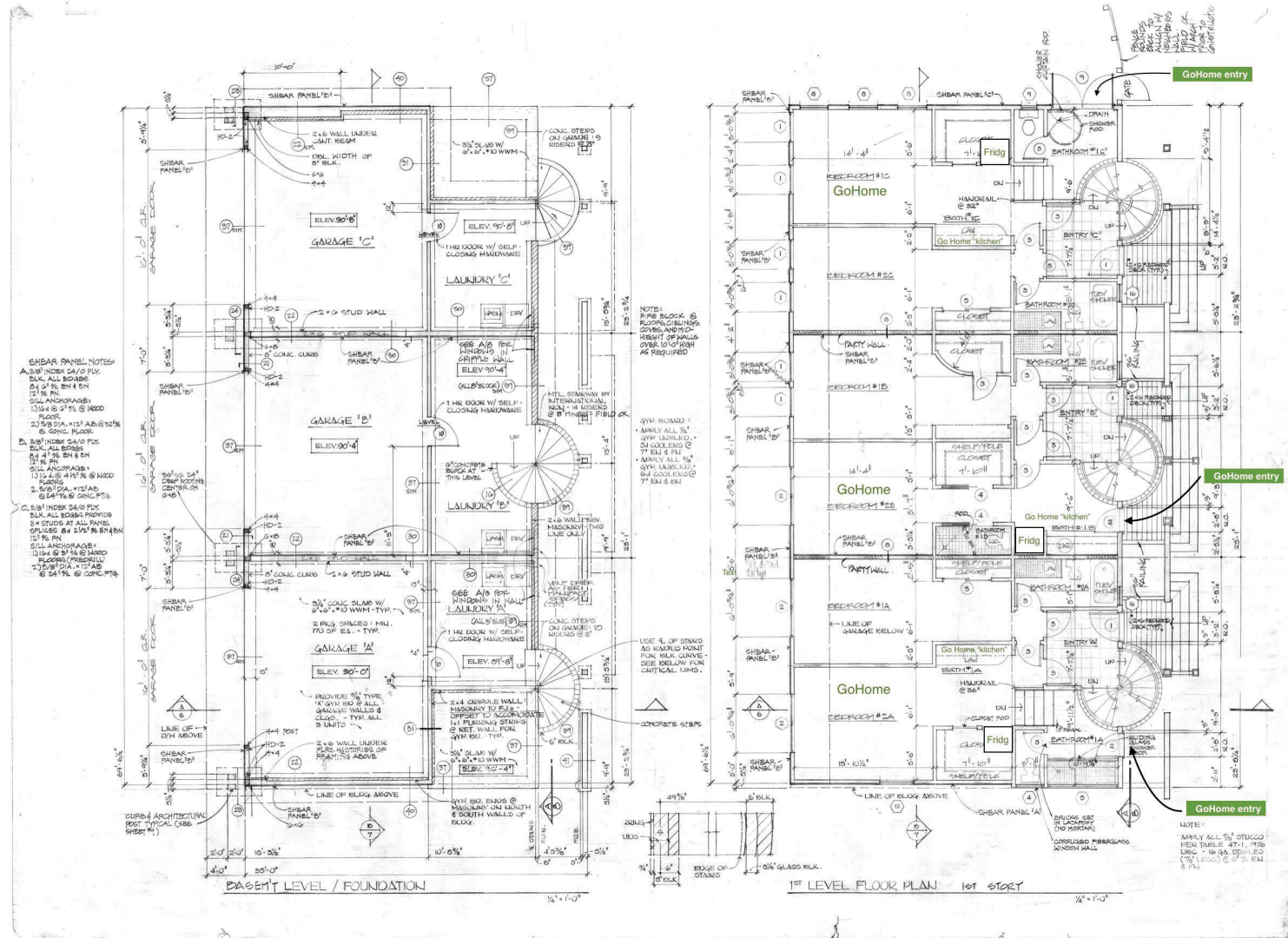
Pictured Via Donada GoHome 1983, Del Mar where 5 suites share a kitchen. Each has a private entrance, and bathroom and often a private patio. The single house has 5 facades adding to the individual value of each GoHome



Victor Condo is the first built example of the GoHome concept. Through the years this shared housing proposition has provided affordable housing in Carlsbad.

Note that the two downstairs bed-room suites in each unit can function for room mates with more or less connection to the up stairs living room and loft bedroom.

The three-bedroom three-bath design can function for a large extended family or a smaller one with a tenant to help with the rent, or as a house for three unrelated adults who would like to share the cost and amenity of a nice condo at the beach.



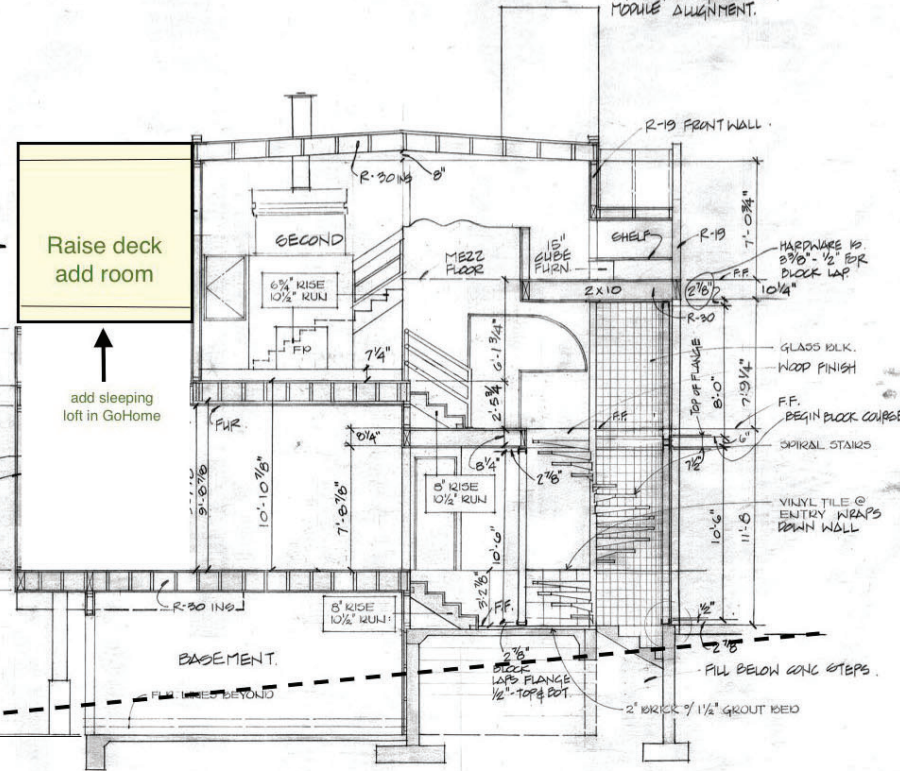
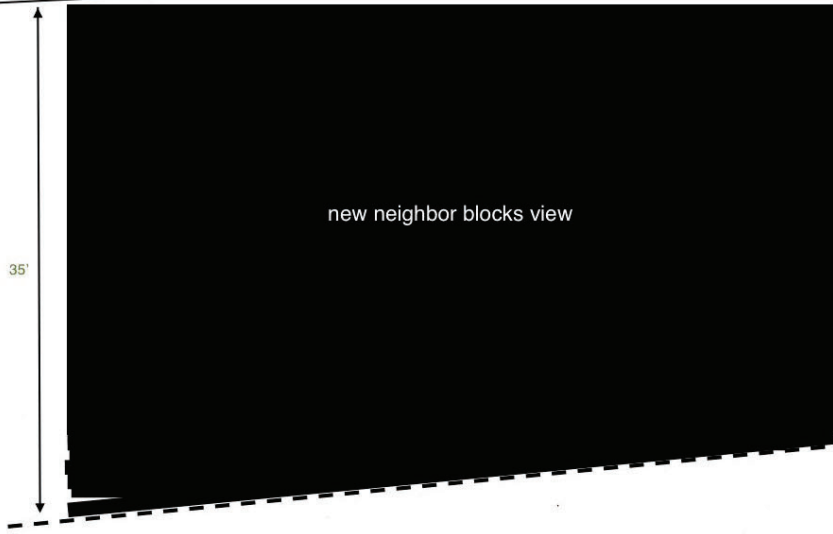
View Impact

- A recent addition to the west of Victor Condo has ruined the view contributing to the owner's decision to demolish.
- A small addition could solve that issue.

- 1) NOTE: THIS SHEET GOVERNS. VERTICAL DIMENSIONS CALL ARCHITECT IF DISCREPANCIES W/ OTHER SHEETS ARISE
- 2) VERIFY STEEL SECTIONS DIMENSIONS W/ AS BUILT CONDITIONS PRIOR TO FABRICATION. FOR PROPER GLASS BLOCK MODULE ALIGNMENT.

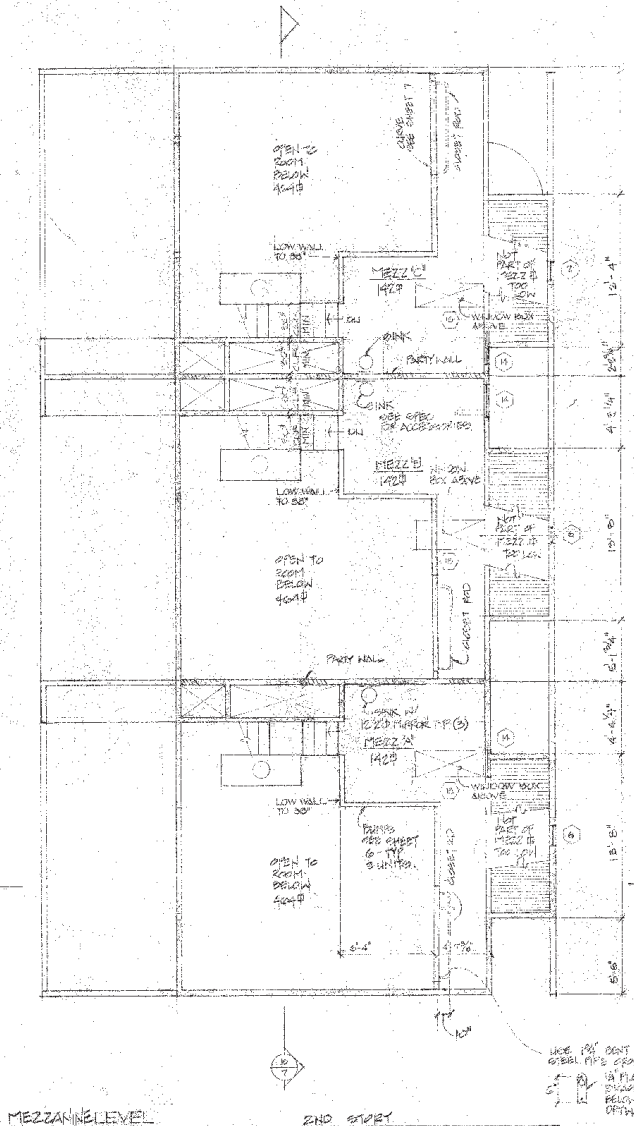
regain view over new neighbor

new neighbor blocks view

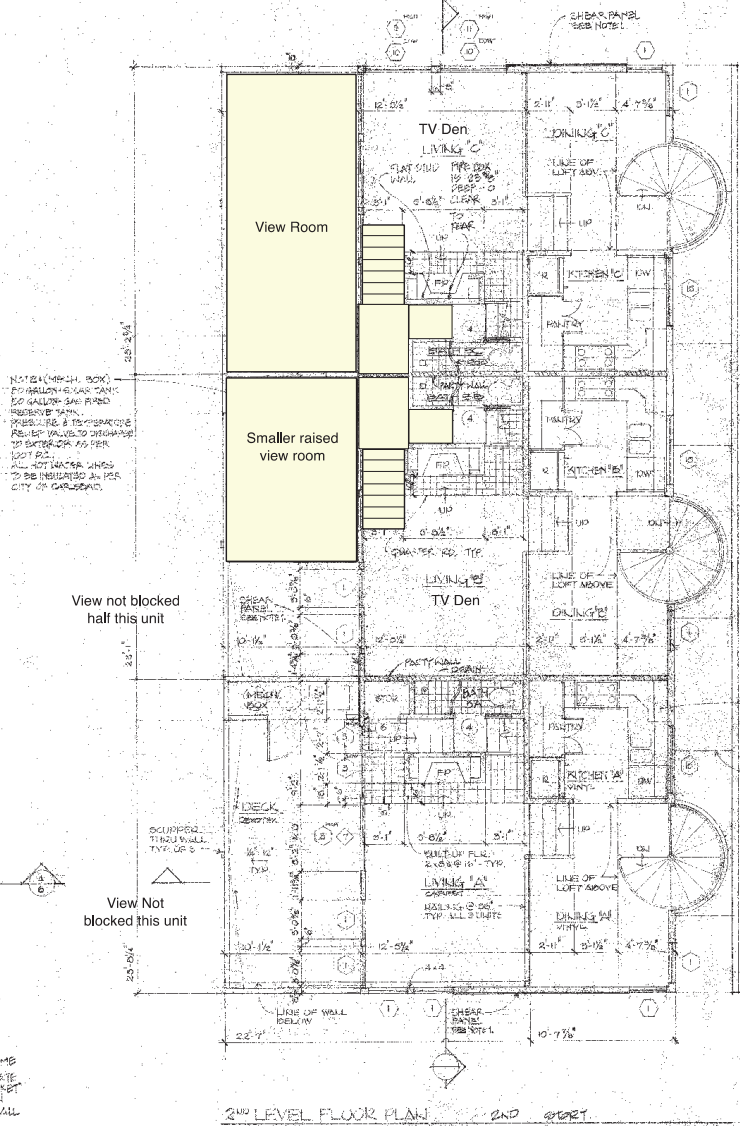


SECTION 'A'

1/4" = 1'-0"



MEZZANINE LEVEL 2ND STORY



2ND LEVEL FLOOR PLAN 2ND STORY

NOTE 4 (MESH BOX)
 20 GALLON HEAVY DUTY
 20 GALLON SINK BIRD
 RESERVE TANK.
 PRESSURE & TEMPERATURE
 RATED VALVES TO DISCHARGE
 TO OUTDOOR AS PER
 LOCAL P.C.
 ALL OUTLET VALVES
 TO BE INSTALLED AS PER
 CITY OF CARLSBAD

NOTE 1: LOW WALL AND PARTIAL
 WALL TYPES 0-1 & 0-2
 SHALL BE USED AT
 ALL PANEL JOINTS
 AS SHOWN IN PLAN
 TO BE 1/2"

NOTE 2: TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 3:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 4:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 5:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 6:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 7:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 8:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 9:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

NOTE 10:
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 & 1/2" DIA.

NOTE 11:
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 & 1/2" DIA.

NOTE 12:
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 & 1/2" DIA.

NOTE 13:
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 & 1/2" DIA.

NOTE 14:
 TYPICAL BELL ANCHORS
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 & 1/2" DIA.

NOTE 15:
 TYPICAL BELL ANCHORS
 SHALL BE USED TO BE 1/2"
 & 1/2" DIA.

Victor Condo Property Tax Reduction, Mills Act

Current Tax estimate

		\$	1,265,202.00	
		\$	893,499.00	
		\$	959,842.00	
		\$	3,118,543.00	total assessment (purchase price)
tax rate	0.0125	\$	38,981.79	current yearly tax estimate

Mills Act Tax estimate

		\$	5,500.00	market rental rate each for Mills Act ?
		\$	16,500.00	assume all three the same
		\$	198,000.00	yearly Gross Scheduled Income
or more ?	30%	\$	59,400.00	typical operating expenses and vacancy
		\$	138,600.00	Net Operating Income

Mills Act Cap Rate	
6.75%	interest component
4%	Historic Property risk component
1.67%	Amortization component
1.24%	property tax component
13.66%	total Cap rate

		\$	1,014,641.29	Mills Act determination of value for Taxes
tax rate	0.0125	\$	12,683.02	yearly tax
		\$	26,298.77	yearly tax savings

Calculation of potential matching borrowed budget

rate 4%		\$	(26,294.59)	yearly mortgage portion of refi or 2nd TD
		(\$)	1,191.22	Refurbish budget monthly payment @
			1504	Existing Square footage (no garage)
			4512	Total Three Buildings
		\$	108.15	Loan Budget per foot tax savings would finance
		\$	487,972.80	remodel and refurbish budget



Victor Condo thanks you for your consideration

One alternative to demolishing this bit of Carlsbad history would be to relocate the Victor Condo facade to the North East corner of Magee park, as a part of a new café and festival stage





A café terrace on the down hill location away from the other historic buildings, would provide sloping lawn seating facing the stage along the Easterly edge of the park. The façade would provide a special backdrop for festival events

Such a café operation would provide much needed occupancy reducing the need for police surveillance, which is currently an expensive issue.





The sunny terrace would be a popular place to enjoy the park, providing operational rental revenue

To support the preservation effort, the architect would provide pro-bono services to develop, design, permit and build the project. The Victor Condo owners have indicated their willingness to gift the Victor Condo façade to the city.



From: Dustin <dwailes3@hotmail.com>
Sent: Thursday, December 15, 2022 7:52 PM
To: Esteban Danna <Esteban.Danna@carlsbadca.gov>
Subject: 2685, 2687, 2689 Garfield St Carlsbad

Greetings,

I believe that the demolition of the current structure and the replacement with a newer updated structure will be a significant improvement for the neighborhood. The current structure is dated, is no longer attractive, and can use total updating. Since the proposed new structure will be the same number of units with similar square footage, I have no concerns about the actual environmental impact. The insinuation by some that the building is architecturally significant is absurd. It has one facade (the east facing) that may have once been attractive, but is no longer.

Dustin Wailes
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Carlsbad, CA 92008
760-500-0437
dwailes3@hotmail.com

