

APPENDIX D
Feasibility Study



VICTOR CONDO BUILDING

FEASIBILITY STUDY

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- Prepared by Campbell-Anderson & Associates, Inc.

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INTRODUCTION

Purpose of the Report

The 1981 Victor Condo located at the northwest corner of Garfield Street and Beach Avenue in the City of Carlsbad, has been recommended as eligible for listing in the California Register of Historical Resources as an example of Postmodern architecture in San Diego County. This report is intended to provide information necessary to evaluate the feasibility of two potential project alternatives for the Victor Condo building as part of the Environmental Impact Report (EIR) being prepared for a proposed project to potentially demolish the structure and build three new condominium units on the same property. This report includes a summary of character-defining exterior and interior features, existing building conditions, applicable codes and guidelines for historical properties, and treatment recommendation for the two project alternatives. A separate report with estimated construction costs for each project alternative is also provided.

Field investigation for this report was conducted on July 20, 2023 by Carmen Pauli and Finn Pitman of Heritage Architecture & Planning.¹ The field investigation included a visual survey of accessible exterior and interior areas of the property.

Prior to preparing this report the team reviewed background information provided by the client including the following items:

- Original Construction Drawings, dated 1981.
- Draft Historical Assessment Report dated April 2023.
- Feasibility Analysis dated March 9, 2023 and accompanying Exhibits A-K.

Project Alternatives

This report addresses two possible project alternatives:

Alternative 1: Full Preservation Alternative

Under this alternative the Victor Condo building would be preserved in accordance with *The Secretary of Interior's Standards for the Treatment of Historic Properties*, following the Rehabilitation approach. The rehabilitation would focus on the structural issues, repair of foundation, and stabilization of the site. Repair of water damage and prevention of future moisture infiltration would also be addressed. There would be no impact to the historical resource with this alternative.

Alternative 2: Partial Preservation Alternative

Under this alternative the primary façade (facing Garfield Street) would be preserved and protected, and a new building could be constructed behind the façade and elements such as the glass block, spiral staircases, and skylight "chimneys" could also be referenced as part of the new design.

¹ Carmen Pauli meets the Secretary of the Interior's Professional Qualification Standards for Architecture and Historic Architecture.

ARCHITECTURAL DESCRIPTION

The Victor Condo building is located at the northwest corner of Garfield Street and Beech Avenue in the City of Carlsbad. The building is comprised of three attached condominium units with addresses 2685, 2687, and 2689 Garfield Street. It was designed in 1981 by Smith and Others, led by noted architect Armistead (Ted) Smith.

A distinctive feature of the property is the building's ornamental false front that was intended to reflect the Victorian architecture of the Shipley-Magee House which is located across the street. The false front is wood-framed with a paint finish and segmented into three parts that articulate the three units by providing variations in the form and color that are evocative of Victorian-era row houses. The false front is positioned approximately 4'-6" in front of the exterior building wall creating an interesting, layered effect and recessed entryways in front of each unit. In addition to the Victorian-inspired decorative elements the building includes decidedly contemporary elements, like the curved glass block stair enclosure, that reflect the Postmodern design.

Based on the Draft Historical Assessment Report prepared by ASM Affiliates, the Victor Condo, has been recommended as eligible for the California Register of Historical Resources (CRHR) under Criterion 3 as an example of Postmodern architecture in San Diego County. Therefore, this study presumes it is a historic resource as defined by CEQA.

The period of significance has been identified as 1981 for the year it was constructed.²

² Period of Significance is the length of time when a property was associated with important events, activities, or persons, or attained the characteristics which qualify it for National Register listing. Period of significance usually begins with the date when significant activities or events began giving the property its historical significance; this is often a date of construction.

SUMMARY OF CHARACTER-DEFINING FEATURES

Terminology

This Architectural Evaluation includes an identification of those architectural features that are character-defining due to their individual contribution to the overall historic value of the property and reflect the building or site's period of significance.

Character-defining features may be further described as "premiere" or "important" as defined below. Items that are non-character-defining may be historic or non-historic. They have been described as non-character-defining because, unless otherwise noted, they do not individually make a significant contribution to the overall historic value of the property. Non-character-defining features are further described as contributing or non-contributing as defined below. All premiere, important, and contributing features, elements and finishes should be preserved in the course of future project rehabilitation efforts.

1. Premiere

A feature (building, site, structure, or object) that adds to the historic architectural qualities, historic associations, or archaeological values for which a property is significant, because it was present during the period of significance and possesses historic integrity or is capable of yielding important information about the period. In addition, the feature possesses a high degree of specialized craftsmanship that would require all future restoration or replication to be completed by a qualified conservator or specialized craftsman. In other words, the feature cannot be restored or reproduced using current standard construction techniques, or readily available materials.

2. Important

A feature (building, site, structure, or object) that adds to the historic architectural qualities, historic associations, or archaeological values for which a property is significant, because it was present during the period of significance and possesses historic integrity or is capable of yielding important information about the period. In addition, the feature possesses a moderate degree of specialized craftsmanship that would require all future restoration or replication to be completed by a skilled contractor with specialized experience related to the specific construction techniques using currently available materials and tools.

3. Contributing

An item (building, site, structure, or object) that adds to the historic architectural qualities, historic associations, or archaeological values for which a property is significant, because it was present during the period of significance and possesses historic integrity or is capable of yielding important information about the period. The feature can be restored or replicated using standard construction practices by a qualified contractor or staff member.

4. Non-Contributing

A feature (building, site, structure, or object) that does not add to the historic architectural qualities, historic associations, or archaeological values for which a property is significant because (a) it was not present during the period of significance, or (b) due to alterations, disturbances, additions, or other changes, it no longer possesses historic integrity and it is incapable of yielding important information about the period. The feature can therefore be altered or replaced by a

contractor or maintenance staff using standard construction materials and methods. Care should always be exercised to eliminate impact to the adjacent or related character-defining features.

Character Defining Exterior Features

Premier Character-Defining Features

- None

Important Character-Defining Features

- Overall building height, form, scale, and massing.
- Wood-framed false front on the primary (east) façade.
- Glass block spiral stair enclosures (3).

Contributing Features

- Front steps and railings. Note: the existing wood steps appear to have been replaced. However, they match the original design.
- Three recessed building entrances on the east façade.
- Elevated light well shafts along the east façade (mimic chimney forms).
- Location as size of original window openings throughout. Note: all of the actual windows have been replaced and are non-contributing with the exception of three small casement windows at the upper mezzanine niches, one double hung garage window, and two stained-glass windows on the east façade. However, the size and location of all window openings is important to the overall building design.
- Three original wood casement windows at the upper mezzanine niches.
- White stucco finishes on the exterior building walls.
- Wood façade accents on the south façade.
- Balconies on the west façade, including steel pipe rails and shaped stucco parapet walls.
- West-facing garage entrances. Note: the garage doors appear to have been replaced and are therefore non-contributing.
- Two original stained-glass windows at the east façade of Units 2685 and 2687. Note: the stained-glass window at the east façade of Unit 2689 appears to have been replaced. The stained-glass windows on the south façade are not noted on the original drawings and they appear to have been added later in an altered window opening.
- One original double-hung wood garage window on the south façade.
- Stucco site wall along the driveway entrance.
- Brick paved walkway at the southeast corner of the property.
- Staggered cast-in-place concrete pavers leading to the front entrances on the east side of the property.

Character-Defining Interior Features

Premier Character-Defining Features

- None

Important Character-Defining Features

- Steel spiral stairs at all three units including wood treads, steel structure, and steel rails.
- Fireplaces. Including red quarry tile hearth and ceramic tile surrounds. Note: the tile finishes have been replaced in Living Room A (Unit 2689).
- Open Mezzanines with shaped parapet walls and open stairs (all units).
- Mezzanine lightwell shafts. Note: the windows have been replaced and are therefore non-contributing.

Contributing Features

- Original black and white floor tile with red accents at the entry area and first floor bathrooms of Unit 2685.
- Original white ceramic tile wall tile with black tile trim at bathrooms in Unit 2685 and ½ bath 1B in Unit 2687. Note: tile at the basement shower room next to the garage of Unit 2685 and all other tile in Units 2687 and 2689 have been replaced and is non-contributing.
- 1 5/8" diameter steel pipe rails.
- Brick flooring in bathrooms 1B and 1C.
- Arched wall opening and pony wall detail at kitchen entrances in Units 2685 and 2687.
- Track lighting in living room/dining room of Units 2685 and 2689.
- Built-in wood cabinets at Unit 2685. Note: all other casework in Units 2687 and 2689 has been replaced.
- Original interior doors. The original interior doors were hollow-core wood doors with a clear finish.

EXISTING CONDITIONS ASSESSMENT

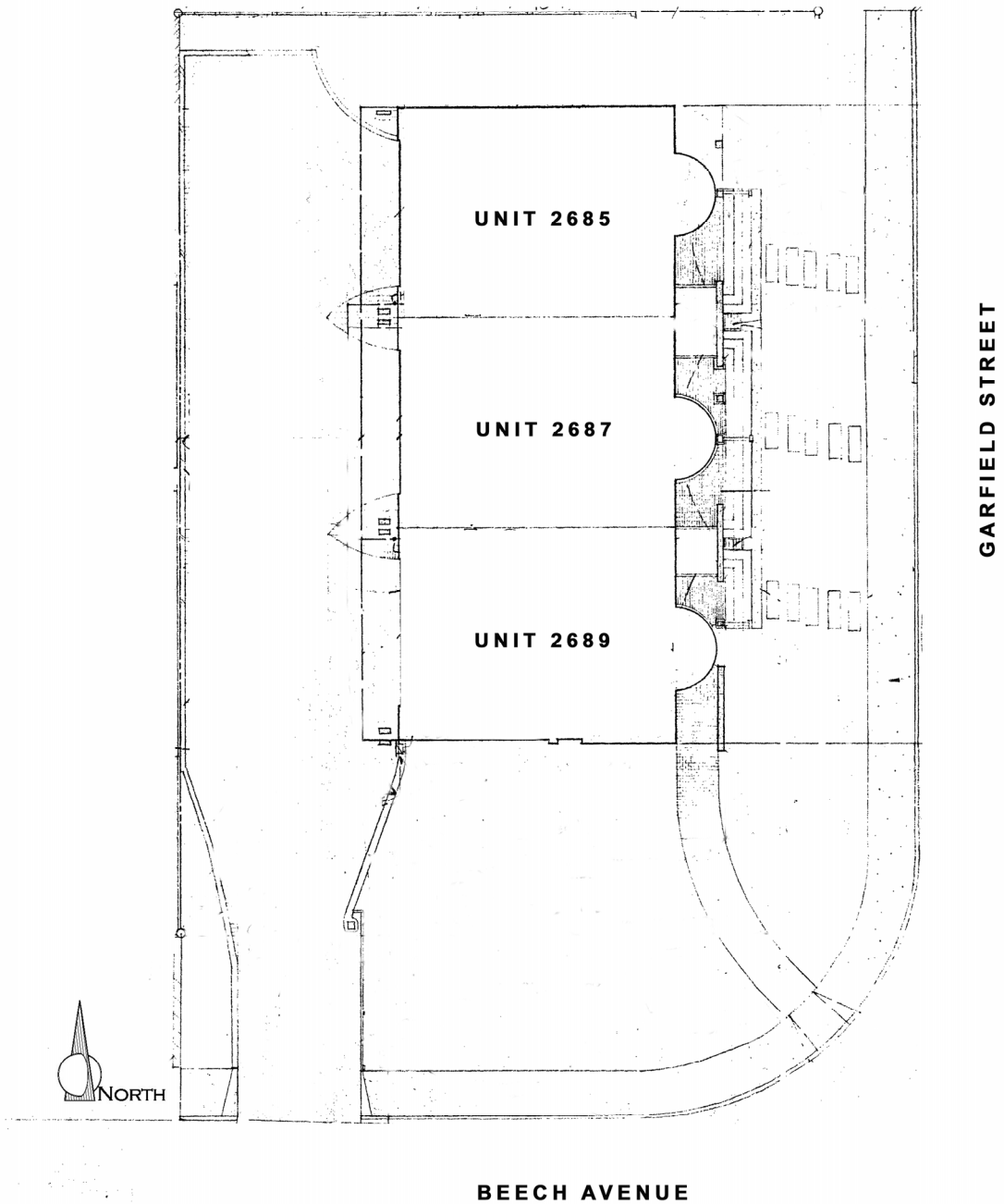


Figure 1: Site Plan.

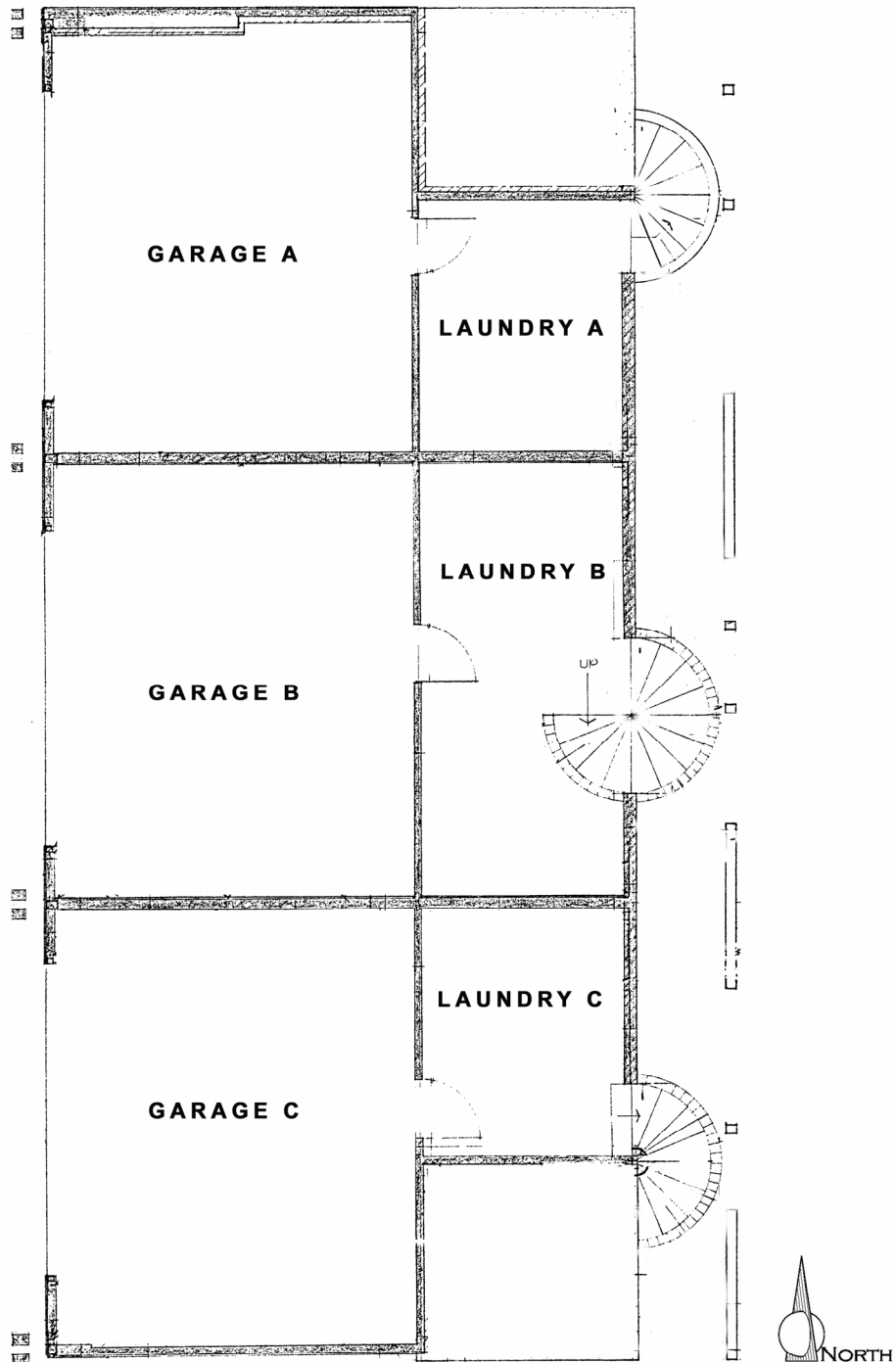


Figure 2: Basement Plan

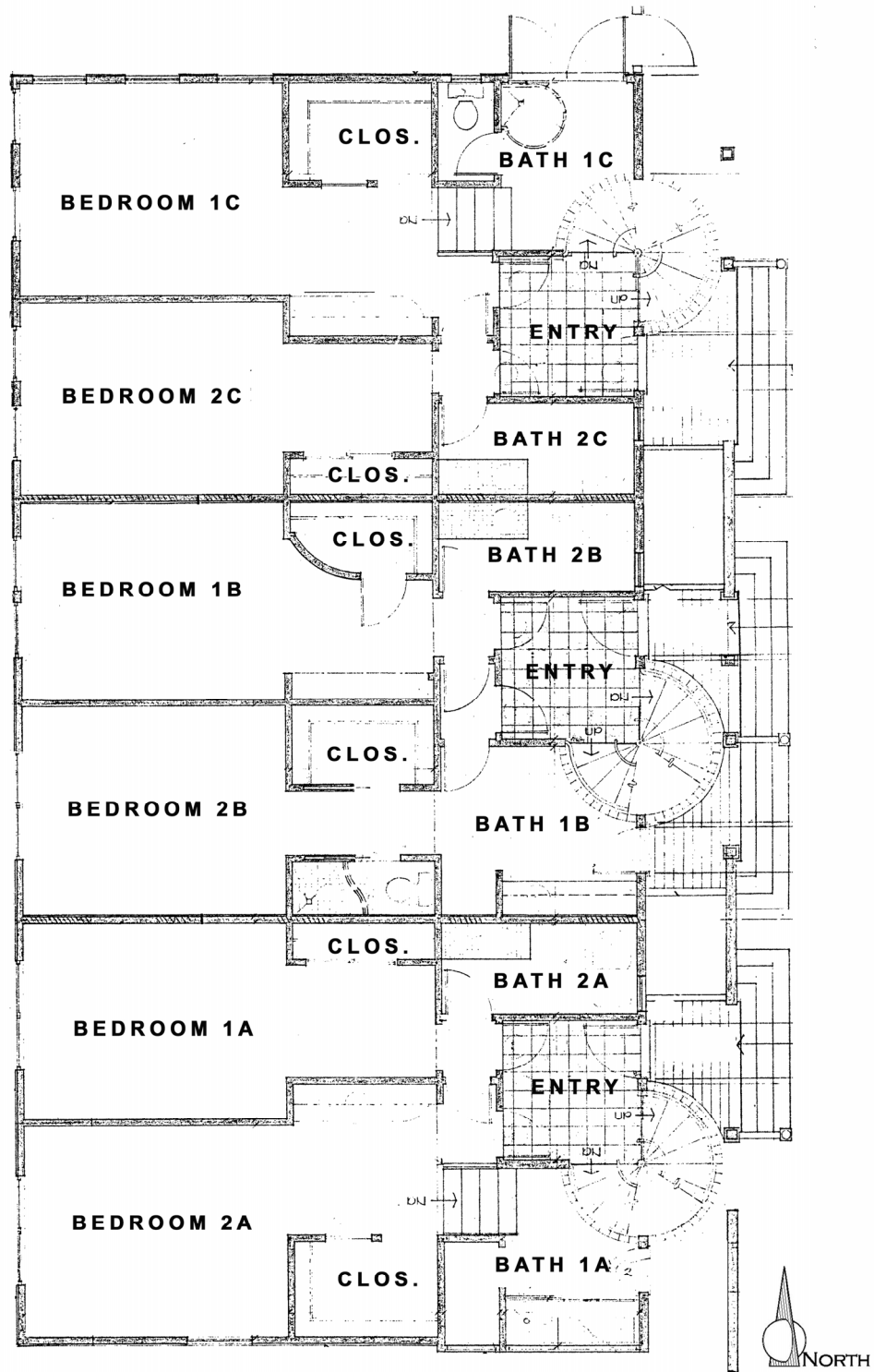


Figure 3: First Floor Plan

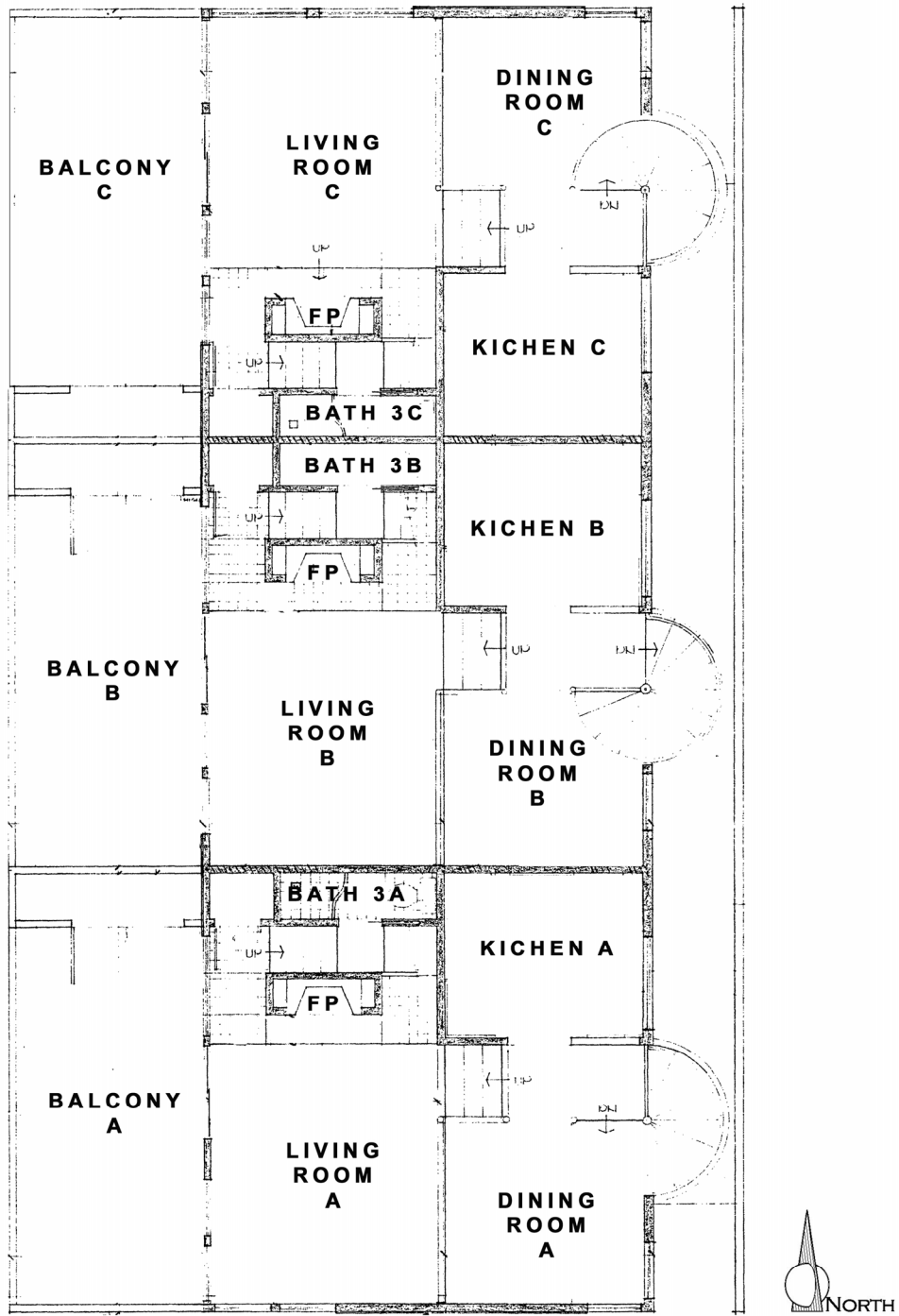


Figure 4: Second Floor Plan.

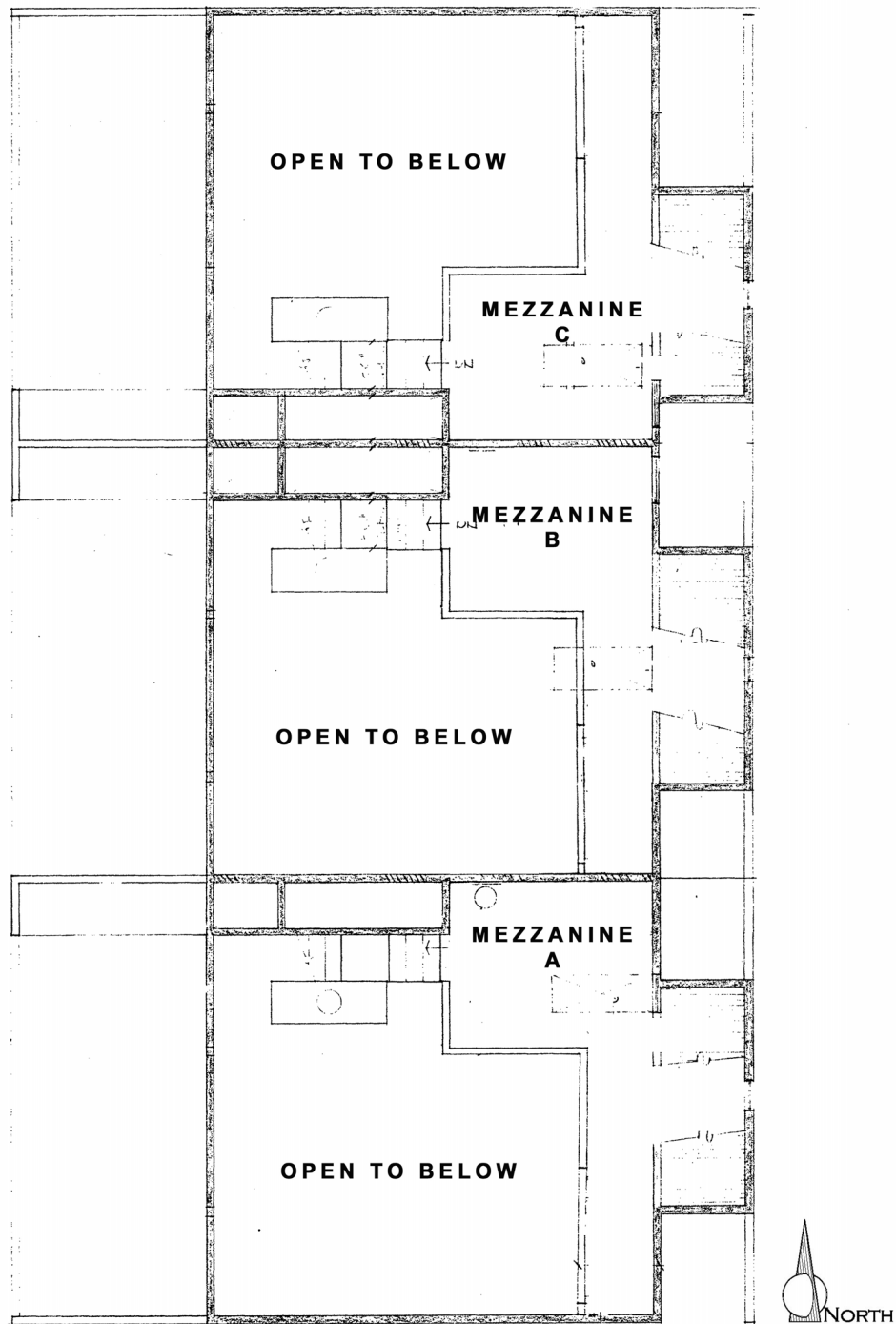


Figure 5: Mezzanine Plan.

Exterior

Site:

In general, the site is in good/fair condition. Some grading will be required to direct water away from the foundation walls. Additionally, the wood fence at the north side of the property is in poor condition.

Front False Façade:

The wood-framed false façade is in poor condition with significant dry rot throughout.

Front Stair and Decks:

The wood stairs and decorative wood railings at the front (east) are in poor overall condition.

Exterior Walls:

The existing CMU foundation walls are in poor condition with significant efflorescence and some structural cracks. Upper building walls are wood framed with stucco cladding and sections of wood horizontal siding on the south façade. The upper walls are generally in good overall condition.

Windows:

All of the original windows have been replaced with the exception of three small casement windows on the east façade at the upper mezzanine niches, one double-hung wood garage window on the south façade, and two stained glass windows at the east facades of Units 2685 and 2689. All of the windows are generally in poor condition.

Exterior Doors:

Exterior doors are in poor condition.

Interior Unit 2685:

Unit 2685 is located at the north end of the building. It is the most original of the three units. The interior spaces retain the highest degree of historical integrity with minimal alterations to original interior finishes. However, the condition of the existing interior features and finishes in this unit are generally deteriorated and in need of maintenance, repair, and in many cases, replacement.

Garage C:

Floor Finish:	Concrete – fair condition.
Wall Finish:	Painted CMU and Gyp Board – fair condition, damage at CMU foundation walls.
Ceiling Finish:	Gyp board – poor condition with sections missing.

Laundry C:

Floor Finish:	Non-historic ceramic tile – fair and poor condition.
Wall Finish:	Non-historic ceramic tile over original CMU – fair condition.
Ceiling Finish:	Gyp Board – fair condition.
Plumbing Fixtures:	Non-historic walk-in shower and spa tub – poor condition.

Stairs C:

Stairs: Original steel spiral stairs with wood treads with non-historic carpet, steel structure, and steel rails. Concrete stairs at basement level – good/fair condition.

Wall Finish: Glass block with concrete at basement level – poor condition at the base of the glass block, fair condition above.

Entry C:

Floor Finish: Original 8” square black and white tile with red accent – fair condition.

Wall Finish: Gyp Board – fair condition.

Ceiling Finish: Gyp Board – fair condition.

Bathroom 2C:

Floor Finish: Original tile matching Entry C – fair condition.

Wall Finish: Gyp Board – fair condition.

Ceiling Finish: Gyp Board – fair condition.

Cabinets: Original wood cabinets with Plastic laminate countertops – fair/poor condition.

Plumbing Fixtures: Fair condition.

Bedroom 1C:

Floor Finish: Original tile matching Entry C at bathroom vanity area – fair condition. Non-historic wood flooring in bedroom, stairs, and closet – poor condition.

Wall Finish: Gyp Board – fair condition.

Ceiling Finish: Gyp Board – fair condition.

Bedroom 2C:

Floor Finish: Missing.

Wall Finish: Gyp Board – poor condition, part missing.

Ceiling Finish: Gyp Board – poor condition, part missing.

Bathroom 1C:

Floor Finish: Original brick – fair condition.

Wall Finish: Gyp Board – fair condition.

Ceiling Finish: Gyp Board – fair condition.

Plumbing Fixtures: Fair condition.

Dining C:

Floor Finish: Non-historic faux wood – poor condition.

Wall Finish: Gyp Board – fair condition.

Ceiling Finish: Gyp Board – fair condition.

Kitchen C:

Floor Finish: Missing.

Wall Finish: Missing.

Ceiling Finish: Missing.
Fixtures & Appliances: Missing.
Cabinetry: Missing.

Living Room C:

Floor Finish: Non-historic faux wood – poor condition.
Wall Finish: Gyp Board – poor condition.
Ceiling Finish: Gyp Board – fair condition.
Fireplace: Historic fireplace with tile hearth and surround – good condition.

Bath 3C (1/2 bath):

Floor Finish: Original ceramic tile – fair condition.
Wall Finish: Original ceramic tile wainscot – good condition.
Ceiling Finish: Gyp Board – fair condition.
Plumbing Fixtures: Fair condition.

Mezzanine C:

Floor Finish: Missing
Wall Finish: Gyp Board – poor condition, sections missing.
Ceiling Finish: Gyp Board – poor condition, sections missing.

Interior Unit 2687:

Unit 2687 is located in the middle of the building. This interior has been remodeled to replace bathroom and kitchen finishes, appliances, and fixtures. However, important character-defining architectural features like the open living room, mezzanine, and fireplace remain. The interior is generally in fair/good condition.

Garage B:

Floor Finish: Concrete – fair condition.
Wall Finish: Gyp Board – fair condition.
Ceiling Finish: Gyp board – fair condition.

Laundry B:

Floor Finish: Concrete – good condition.
Wall Finish: Gyp board – fair condition. Painted CMU – fair condition.
Ceiling Finish: Gyp Board – fair condition.
Built-in Cabinets: Non-historic- good condition.

Stairs B:

Stairs: Original steel spiral stairs with wood treads with non-historic carpet, steel structure, and steel rails. Concrete stairs at basement level – good/fair condition.
Wall Finish: Glass block with concrete at basement level – fair condition.

Entry B:

Floor Finish: Non-historic wood – good condition.

Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.

Bathroom 2B:

Floor Finish: Non-historic – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.
Cabinets: Non-historic – good condition.
Plumbing Fixtures: Non-historic - good condition.

Bedroom 1B:

Floor Finish: Non-historic wood - good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – poor condition.

Bedroom 2B:

Floor Finish: Non-historic wood – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – poor condition.

Bathroom 1B:

Floor Finish: Original ceramic tile in toilet/shower area - fair condition. Non-historic wood flooring at sink area - good condition.
Wall Finish: Original ceramic tile in toilet/shower area – fair condition. Non-historic tile at sink area – good condition.
Ceiling Finish: Gyp Board – good condition.
Plumbing Fixtures: Poor condition.

Dining B:

Floor Finish: Non-historic wood – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.

Kitchen B:

Floor Finish: Non-historic resilient flooring – good condition.
Wall Finish: Non-historic tile and gyp board – good condition.
Ceiling Finish: Gyp board – good condition.
Fixtures & Appliances: Non-historic – good condition.
Cabinetry: Non-historic – good condition.

Living Room B:

Floor Finish: Non-historic wood – fair condition, damage near sliding glass doors.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.
Fireplace: Historic fireplace with tile hearth and surround – good condition.

Bath 3B (1/2 bath):

Floor Finish: Non-historic resilient flooring - good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.
Plumbing Fixtures: Good condition.

Mezzanine B:

Floor Finish: Non-historic wood – good condition
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – fair condition.

Interior Unit 2689:

Unit 2689 is located at the south end of the building. This interior has been remodeled to replace interior finishes, appliances, and fixtures. However, important character-defining architectural features like the open living room, mezzanine, and fireplace remain. The interior is generally in fair condition.

Garage A:

Floor Finish: Concrete – fair condition.
Wall Finish: Painted CMU and Gyp Board – fair condition, damage at CMU foundation walls.
Ceiling Finish: Gyp board – fair condition.

Laundry A:

Floor Finish: 12” resilient tile – fair condition.
Wall Finish: Gyp board – fair condition. Painted CMU – poor condition with structural deterioration.
Ceiling Finish: Gyp Board – fair condition.

Stairs A:

Stairs: Original steel spiral stairs with wood treads, steel structure, and steel rails. Concrete stairs at basement level – fair condition, poor condition at basement level.
Wall Finish: Glass block with concrete at basement level – fair/poor condition.

Entry A:

Floor Finish: Non-historic tile – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.

Bathroom 2A:

Floor Finish: Non-historic – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.
Cabinets: Non-historic – good condition.
Plumbing Fixtures: Non-historic - good condition.

Bedroom 1A:

Floor Finish: Non-historic wood - good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – fair condition, some water damage.

Bedroom 2A:

Floor Finish: Non-historic wood – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – fair condition, some water damage.

Bathroom 1A:

Floor Finish: Non-historic tile – fair condition.
Wall Finish: Non-historic tile - fair condition.
Ceiling Finish: Gyp Board – good condition.
Plumbing Fixtures: Fair/poor condition.

Dining A:

Floor Finish: Non-historic wood – good condition.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.

Kitchen A:

Floor Finish: Non-historic wood – good condition.
Wall Finish: Non-historic tile and gyp board – good condition.
Ceiling Finish: Gyp board – good condition.
Fixtures & Appliances: Non-historic – good condition.
Cabinetry: Non-historic – good condition.

Living Room A:

Floor Finish: Non-historic wood – fair condition, damage near sliding glass doors.
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – good condition.
Fireplace: Historic fireplace with altered hearth and surround – good condition.

Bath 3A (1/2 bath):

Floor Finish: Original ceramic tile – fair condition.
Wall Finish: Original ceramic tile wainscot – fair condition.
Ceiling Finish: Gyp Board – fair condition.
Plumbing Fixtures: Fair condition.

Mezzanine A:

Floor Finish: Non-historic wood – fair condition
Wall Finish: Gyp Board – good condition.
Ceiling Finish: Gyp Board – fair condition.

Existing Conditions Photographs



Photo 1: The Victor Condo Building looking west at the primary (east) façade showing the building's distinctive false front façade.



Photo 2: The south façade looking north. There is one original wood double-hung window. The other windows have been replaced.



Photo 3: The rear (west) façade looking northeast. All of the windows and exterior doors on the west façade have been replaced.



Photo 4: the north façade. All of the windows have been replaced.



Photo 5: One of four pairs of damaged structural columns on the west façade.



Photo 6: Front façade showing the existing wood steps, wood rails, and other decorative elements.



Photo 7: A damaged wood rail on the front (east) steps.



Photo 8: The base of the curved glass block wall at Unit 2689 showing the rusted steel sill and damaged/blocked bottom row of glass blocks.

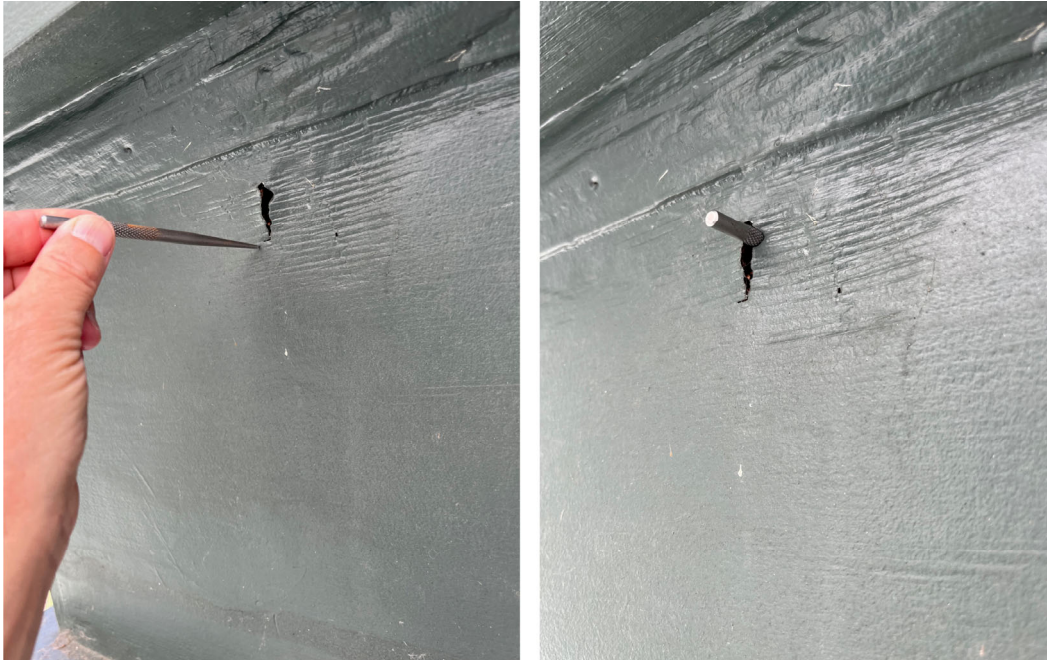


Photo 9: Wood beam damage at the false front. An awl is easily inserted into deteriorated wood framing indicating a large void.



Photo 10: Additional wood damage (circled) in the structural framing of the false front.



Photo 11: Two original stained-glass windows of the east façade.



Photo 12: The garage at Unit 2685 showing missing ceiling finishes and efflorescence at the base of the east wall.



Photo 13: Basement Laundry Room at Unit 2685 which has been converted to a shower room. The existing wall and floor finishes are non-historic.



Photo 14: Original finishes in Bathroom 2C.



Photo 15: Bathroom 1C showing original brick flooring and ceramic tile wall finishes.



Photo 16: Bedroom 2C showing missing finishes.



Photo 17: Original kitchen entrance in Unit 2685. Looking south from the Dining Room.



Photo 18: Missing cabinets, finishes, appliances, and fixtures Kitchen C.



Photo 19: Dining Room C looking west toward the Living Room.



Photo 20: Living Room C looking east toward the Dining Room and Mezzanine.



Photo 21: Living Room C looking south at the fireplace.



Photo 22: Balcony C at Unit 2685 looking south at the mechanical closet.



Photo 23: Damaged/stained wall under a mechanical closet on the south wall of Living Room C.



Photo 24: Damaged/missing wall and floor finishes at Mezzanine C.



Photo 25: Garage B in Unit 2687 looking south.



Photo 26: Entry B looking east at the original spiral stairs.



Photo 27: Bathroom 2B showing non-historic fixtures and finishes.



Photo 28: Bedroom 1B looking west.



Photo 29: Bathroom 1B the sink and vanity area have been converted to a kitchenette.



Photo 30: Original ceramic tile wall and floor finishes in the toilet/shower room of Bathroom 1B.



Photo 31: Water damages at the ceiling of Bedroom 2B.



Photo 32: Kitchen B showing non-historic cabinets, tile back splash, appliances, and countertops.



Photo 33: Living Room B showing the original fireplace.



Photo 34: Shaped parapet walls at Mezzanine B.



Photo 35: Balcony B showing damages/sealed double doors leading to the mechanical closet.



Photo 36: Wall damage at the base of the curved glass block wall in Unit 2689. Moisture is seeping through the CMU foundation wall and the bottom row of glass blocks are covered with non-historic tile on the interior to conceal damage.



Photo 37: Entry C looking west toward the front entrance and spiral stairs.



Photo 38: Bathroom 2A showing non-historic fixtures and finishes and the replaced stained-glass window.



Photo 39: Bedroom 1A looking west.

APPLICABLE HISTORICAL CODES AND GUIDELINES

California Environmental Quality Act (CEQA)

Enacted in 1970, CEQA is the principal statute mandating environmental assessment of land use and development projects in California. The primary goal of CEQA is to (1) evaluate a project's potential to have an adverse impact on the environment, and (2) minimize these impacts to the greatest extent feasible through the analysis of project alternatives and, if needed, implementation of mitigation measures.

Historical resources are considered to be a part of the environment and are thereby subject to review under CEQA. Section 21084.1 of the California Public Resources Code states that for purposes of CEQA, "a project that may cause a substantial adverse change in the significance of a historical resource is a project that may have a significant effect on the environment."³ This standard involves a two-part inquiry. First, it must be determined whether the project involves a historical resource. If it does, then the second part involves determining whether the project may result in a "substantial adverse change in the significance" of the historical resource.

To address these issues, guidelines relating to historical resources were formally codified in October of 1998 as Section 15064.5 of the CEQA Guidelines. The guidelines state that for purposes of CEQA compliance, a "historical resource" shall be defined as any one of the following:⁴

- A resource listed in or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources.
- A resource included in a local register of historical resources, or identified as significant in a qualified historical resource survey, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrate that it is not historically or culturally significant.
- Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be a historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing in the California Register of Historical Resources.

Once it has been determined that a historical resource is present, it must then be determined whether the project may result in a "substantial adverse change" to that resource. The CEQA Guidelines state that a "substantial adverse change in the significance of a historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired." A resource is considered to be "materially impaired" if it:

³ California Code of Regulations, Title 14, Chapter 3, Section 15064.5.

⁴ Ibid.

- Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
- Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources...or its identification in a historical resources survey...unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- Demolishes or materially impairs in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

CEQA requires a lead agency (the City of Carlsbad in this case) to identify measures to mitigate significant adverse impacts to historical resources. The CEQA Guidelines state that “the lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures” deemed prudent and feasible.⁵

The Secretary of the Interior’s Standards for Rehabilitation (The Standards)

The Standards were developed as general principles to govern work on a historic resource. There are treatment standards for almost every type of preservation project including Preservation, Rehabilitation, Restoration, and Reconstruction. Regardless of the treatment selected, all proposed work should preserve the character and integrity of the historic resource.

Rehabilitation is “The act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.”⁶ The Standards for Rehabilitation are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

⁵ Ibid.

⁶ National Park Service, “The Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings,” 1995.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Of the four treatments (preservation, rehabilitation, restoration, and reconstruction), rehabilitation is the only treatment that includes the opportunity to make possible an efficient contemporary use through alterations or additions. The goal of rehabilitation is to encourage the continued use and repair of a historic building while allowing appropriate alterations and additions, ensuring a contemporary use.

California Historical Building Code (CHBC)

The purpose of the CHBC is to provide alternative regulations to the regular code for the structural safety, fire protection, egress, accessibility, mechanical, plumbing, and electrical systems of buildings designated as qualified historical buildings or properties. The CHBC requires enforcing agencies to accept any reasonably equivalent alternatives to the regular code when dealing with qualified historical buildings or properties.

TREATMENT RECOMMENDATIONS

Alternative 1: Full Preservation Alternative

Under this alternative the Victor Condo building would be preserved in accordance with *The Secretary of Interior's Standards for the Treatment of Historic Properties*, following the Rehabilitation approach. The rehabilitation would focus on the structural issues, repair of foundation, and stabilization of the site. Repair of water damage and prevention of future moisture infiltration would also be addressed. There would be no impact to the historical resource with this alternative. Full building restoration including the installation of more period appropriate interior fixtures and finishes in the two recently remodeled Units (2687 and 2689) is optional and therefore not included in the required scope and accompanying cost summary.

Alternative 1 Treatment Recommendations:

- Site grading to direct water away from the foundation at the north, east, and south sides of the property.
- Replace landscaping, sprinklers and hardscape impacted by grading and other rehabilitation work.
- Replace the existing wood fence at the east side of the north side-yard.
- Reconstruct wood-framed false front façade in-kind.
- Reconstruct wood deck and front stairs at east façade in-kind, including decorative wood railings and wood decking. Note: the front stairs have been reconstructed using painted pressure treated lumber, new stairs and rails should be constructed from redwood with paint finish.
- Stabilize and partially reconstruct existing curved glass block walls (2 locations). Provide temporary shoring during construction. Stabilization for the glass block walls at Units 2685 and 2689 may include removing and salvaging the existing block so that the deteriorated metal sill and compressed/broken blocks can be removed and replaced. It may be feasible to retail the upper portion of the wall that is located above the steel frame which occurs at the second-floor level. Additional investigation and structural design will be required to verify the final scope. Any glass block that is removed should be salvaged and reinstalled if feasible. Missing/broken glass block should be replaced in-kind.
- Repair and stabilize the curved glass block wall at Unit 1687. The steel sill at this location appears to be in fair condition and could potentially be stabilized and in place without removing or replacing the glass blocks above.
- Excavate along north, east, and west building facades to depth of existing footings. Removed existing bituminous waterproofing and install new waterproof membrane. Replace perforated drain lines, connect to new sub-surface drain system that drains to the west and backfill with gravel.
- Due to prolonged water intrusion from failed waterproofing, it is likely that steel reinforcing within the existing foundation walls has deteriorated. Additional investigation would be required to verify the structural integrity of the walls. For the purposes of this report, we assume some intervention will be required to stabilize the foundation. Depending on the severity of the damage, it may be necessary to remove and replace some of the CMU walls. Another option could be adding 4" to 5" thick layer of steel reinforced shot-crete on the interior face of the existing walls. Additional investigation and structural design will be required to verify the final scope.
- Replace existing wood-framed stucco-clad structural columns on the garage level of the west façade. There are a total of eight posts in pairs located between the garage bays.

- Address waterproofing issues at three balconies on the west façade. This may include adding additional scuppers and re-sloping (re-framing) the decks to improve drainage and direct water away from existing doors on the balcony level.
- Repair interior damage related to previous balcony leaks. This will include removal and replacement of existing interior gyp board wall and ceiling finishes in the six bedrooms along the west side of the building to a distance of approximately 12-feet from the west wall. Existing framing and structural beams should then be inspected and repaired as needed, batt insulation should be replaced, and new gyp board should be installed to blend with adjacent finishes.
- Repair interior damage related to previous roof leaks around the light soffits at the mezzanine level. This will include removal and replacement of existing interior gyp board wall and ceiling finishes surrounding the three shafts. Existing ceiling framing should then be inspected and repaired as needed, batt insulation should be replaced, and new gyp board should be installed to blend with adjacent finishes. Note: it is assumed that the roof flashing deficiencies that caused the leaks have been corrected with recent re-roofing. Inspect the existing roofing to verify and repair as needed.
- Replace all existing windows (55 total). This excludes the two existing original stained-glass windows, three small wood casement windows on the east façade, and one double-hung wood window on the south facade. Existing original windows should be restored and retained.
- Replace all existing exterior doors, including three sliding glass doors at the balconies, five solid-core wood entry doors on the east facade, three solid-core wood double doors at the balcony mechanical rooms, and one pair of wood French doors on the north facade. This should include new frames, flashing, trim, finishes, and weatherstripping.
- Install new kitchen in Unit 2685 including custom cabinets, counter tops, appliances, fixtures, and finishes (existing kitchen has been gutted). The kitchens in Units 2687 and 2689 have been remodeled and are in working condition, therefore kitchen upgrades in these units are not included in the required scope.
- Remove shower, spa tub, and ceramic tile finishes from basement at Unit 2685. Repair walls, install new flooring, and provide washer/dryer for new laundry room.
- Install new wood flooring in Bedroom 2C, mezzanine, mezzanine stairs, living room, dining room, and kitchen in Unit 2685 (existing flooring missing or in poor condition in these areas).
- Repair water damage at interior wall below closet door at mezzanine stairs in Unit 2685.
- Replace missing and deteriorated gyp board at walls and ceiling of garage at Unit 2685.
- Prep, prime, and paint all interior and exterior walls, ceilings, doors, and trim.
- Provide updated termite inspection and complete recommended repairs. Note: Termite inspection report completed in 2018 noted and estimated repair cost of \$9,165.00.
- Complete mold remediation as required, including replacement of interior wall/ceiling finishes as required.
- Install GFCI outlets at all bathrooms and kitchens.

Alternative 2: Partial Preservation Alternative

Under this alternative the primary façade (facing Garfield Street) would be preserved or restored, and a new building would be constructed behind the façade. The design of the proposed building would have to be modified to provide surfaces on the east elevation for the reattachment of the façade. The east elevation would also have to be redesigned to incorporate or reference character-defining elements visible to the public, such as the glass block and skylight “chimneys.”

- Reconstruct wood-framed false front façade in-kind.
- Redesign the proposed building to provide surfaces for attachment of the façade and incorporate or reference other character-defining elements, such as the glass block and skylight “chimneys.”
- This project alternative would require additional mitigation pursuant to the California Environmental Quality Act (CEQA). Mitigation may include Historic American Buildings Survey (HABS) documentation, interpretive exhibits, and partial salvage of character-defining historic features.

CONCEPTUAL OPINION OF PROBABLE COSTS

Prepared by Campbell-Anderson & Associates, Inc.

