PLANNING COMMISSION MEETING

Agenda

Regular Meeting
April 17, 2024, 5 p.m.

Council Chamber
1200 Carlsbad Village Dr.
Carlsbad, CA 92008
carlsbadca.gov

Welcome to the Planning Commission Meeting

We welcome your interest and involvement in the city's legislative process. This agenda includes information about topics coming before the Planning Commission and the action recommended by city staff. You can read about each topic in the staff reports, which are available on the city website.

How to watch

In Person

City Council Chamber
1200 Carlsbad Village Drive

Online

Watch the livestream at
carlsbadca.gov/watch

How to participate

If you would like to provide comments to the Commission, please:

- Fill out a speaker request form, located in the foyer.
- Submit the form to the Clerk before the item begins.
- When it's your turn, the Clerk will call your name and invite you to the podium.
- Speakers have three minutes, unless the presiding officer (usually the chair) changes that time.
- You may not give your time to another person, but can create a group. A group must select a single speaker as long as three other members of your group are present. All forms must be submitted to the City Clerk before the item begins and will only be accepted for items listed on the agenda (not for general public comment at the beginning of the meeting). Group representatives have 10 minutes unless that time is changed by the presiding officer or the Commission.

- **In writing:** Email comments to planning@carlsbadca.gov. Comments received by 2 p.m. Wednesday, will be shared with the Commission prior to the meeting. When e-mailing comments, please identify in the subject line the agenda item to which your comments relate. All comments received will be included as part of the official record.

Reasonable accommodations

Reasonable Accommodations Persons with a disability may request an agenda packet in appropriate alternative formats as required by the Americans with Disabilities Act of 1990. Reasonable accommodations and auxiliary aids will be provided to effectively allow participation in the meeting. Please contact the City Manager's Office at 442-339-2821 (voice), 711 (free relay service for TTY users), 760-720-9461 (fax) or manager@carlsbadca.gov by noon on the Tuesday before the meeting to make arrangements. City staff will respond to requests by noon on Wednesday, the day of the meeting and will seek to resolve requests before the start of the meeting in order to maximize accessibility.

CALL TO ORDER:

ROLL CALL:

APPROVAL OF MINUTES:
Minutes of the Regular Meeting held on March 20, 2024

PRESENTATIONS: None.

PUBLIC COMMENT: *The Brown Act allows any member of the public to comment on items not on the agenda. Please treat others with courtesy, civility, and respect. Members of the public may participate in the meeting by submitting comments as provided on the front page of this agenda. The Commission will receive comments in the beginning of the meeting. In conformance with the Brown Act, no action can occur on these items.*

CONSENT CALENDAR: *The items listed under Consent Calendar are considered routine and will be enacted by one motion as listed below. There will be no separate discussion on these items prior to the time the Commission, votes on the motion unless members of the Commission, staff, or the public request specific items be discussed and/or removed from the Consent Calendar for separate action.*

DEPARTMENTAL REPORTS: None.

PUBLIC HEARINGS:

1. CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063 CARLSBAD BY THE SEA, SUMMERHOUSE: Adoption of a resolution approving a tentative tract map, Conditional Use Permit and Coastal Development Permit for the consolidation of five legal parcels totaling 0.62 acres into one lot and for the development of a 35,721-square-foot multilevel professional care facility use with 19 memory/23 professional care beds, operated by the Carlsbad by the Sea Retirement Community, on property generally located south of Beech Avenue between Garfield and Ocean Street (Assessor Parcel Numbers 203-144-04-00, 203-144-05-00, 203-144-06-00, 203-144-07-00, 203-144-08-00) in the R-3/BAO Zones, the Mello II Segment of the Local Coastal Program and Local Facilities Management Zone 1. ACTION TYPE: Quasi-Judicial

   ACTION TYPE: Quasi-Judicial
   STAFF RECOMMENDATION: Take public input, close the public hearing, and adopt the resolution.
   PLANNER: Jason Goff **ENGINEER**: David Rick

PUBLIC COMMENT: *Continuation of the Public Comments This portion of the agenda is set aside for continuation of public comments, if necessary, due to exceeding the total time allotted in the first public comments section. In conformance with the Brown Act, no Council action can occur on these items.*

PLANNER REPORT:

CITY ATTORNEY REPORT:

ADJOURNMENT:

PLANNING COMMISSION
Minutes

March 20, 2024, 5 p.m.

Council Chamber
1200 Carlsbad Village Drive
Carlsbad, CA 92008

CALL TO ORDER: 5 p.m.

ROLL CALL: Kamenjarin, Hubinger, Merz, Meenes, Lafferty, Stein (Sabellico – Absent)

PLEDGE OF ALLEGIANCE: Commissioner Stine led the Pledge of Allegiance.

APPROVAL OF MINUTES: Minutes of the Regular Meeting held on Feb. 21, 2024.

Minutes of the Regular Meeting held on Feb. 21, 2024, were approved as presented. – 4/0/2/1 (Merz, Hubinger – Abstain; Sabellico – Absent).

PRESENTATIONS: None.

PUBLIC COMMENT: None.

CONSENT CALENDAR: None

DEPARTMENTAL REPORTS:

1. LEGISLATIVE SUBCOMMITTEE UPDATE TO PLANNING COMMISSION: Receive a presentation regarding the Intergovernmental Affairs Program of the City of Carlsbad and the city's recent and ongoing legislative advocacy efforts related to land use planning and development and provide feedback as appropriate.

   City Planner, Eric Lardy introduced City Council Member Teresa Acosta and Intergovernmental Affairs Director Jason Haber who reviewed a PowerPoint presentation on the item. (on file in the Office of the City Clerk).

   The Commission received the report and responded to questions from the Planning Commission. There was no public comment on this item.

PUBLIC HEARINGS:

2. POULTER PROPERTIES MULTI-UNIT RESIDENTIAL PUD 2022-0004/SDP2023-0049/MS 2022-0006 Adoption of a resolution approving a Planned Development Permit, Site Development Plan, Coastal Development Permit, and a Tentative Parcel Map to demolish one of two single-family residences and rebuild it, convert both residences into detached condo units on a 0.14-acre site located 3900 Garfield St., within the Mello II segment of the Local Coastal Program and Local Facilities Management Zone 1.

ACTION TYPE: Quasi-Judicial
STAFF RECOMMENDATION: Take public input, close the public hearing, and adopt the resolution.
PLANNER: Edward Valenzuela **ENGINEER**: Jason Geldert

Chair Kamenjarin opened the duly noticed public hearing at 5:48 p.m.

At Chair Merz's request, each of the Commissioners disclosed that they were familiar with the site for this project.

City Planner, Eric Lardy introduced Associate Planner, Edward Valenzuela, who reviewed a PowerPoint presentation on the item. (on file in the Office of the City Clerk).

In response to Commissioner Stine's inquiry, Associate Planner, Edward Valenzuela explained that there was only one objection to the project regarding a neighbor's view protection rights the resident was informed that the city cannot protect views from private property.

Chair Kamenjarin opened public testimony at 6:01 p.m. and asked if there were any members of the public who wished to speak on the project.

Patrick Coffey requested an explanation regarding how the easement and right of way rules are applied consistently to all applicants since his property on Tamarack as well and has different easement requirements.

In response to the Planning Commission's questions related to Mr. Coffey's testimony, Engineering Manager Jason Geldert clarified that the property he was referring to was on a different block of Tamarack than that of the project under discussion so consequently, different rules apply depending on where on a particular road a project is located.

Hearing no one else wishing to speak, Chair Kamenjarin closed the public testimony at 6:03 p.m.

Motion by Commissioner Stine, seconded by Commissioner Meenes, to adopt Resolution No. 7507. Motion carried, 6/0/1 (Sabellico – Absent).

Chair Kamenjarin closed the duly noticed public hearing at 6:05 p.m.

3. <u>CDP 2023-0016/V 2023-0002 BEGONIA COURT RETAINING WALL</u>: Adoption of a resolution recommending that the City Council deny a Coastal Development Permit and variance to allow an unpermitted retaining wall system that exceeds standards on a manufactured uphill perimeter slope with a gradient greater than 40% and an elevation differential of greater than fifteen feet located at 939 Begonia Ct. within the Mello II segment of the city's Local Coastal Program and Local Facilities Management Zone 4.

ACTION TYPE: Quasi-Judicial
STAFF RECOMMENDATION: Take public input, close the public hearing, and adopt the resolution.
PLANNER: Kyle Van Leeuwen **ENGINEER**: David Rick

Commissioner Merz recused himself and left the room.

Chair Kamenjarin opened the duly noticed public hearing at 6:06 p.m.

Chair Kamenjarin asked if any of the Commissioners have disclosures regarding the item:
Commissioner Meenes has reviewed the site extensively.
Commissioner Lafferty has reviewed the site on Google Maps.
Chair Kamenjarin drove by the site.

City Planner, Eric Lardy, introduced Associate Planner, Kyle Van Leeuwen, who reviewed a PowerPoint presentation on the item. (on file in the Office of the City Clerk).

In response to Commissioner Stine's inquiry, Associate Planner Kyle Van Leeuwen responded that the project, from the toe of the slope upward, exceeds the size allowed by the ordinance by approximately three times the allowed height.

In response to Commissioner Hubinger's inquiry, Associate Planner Kyle Van Leeuwen clarified that the applicant's current proposal includes retention of all of retaining walls that are currently in place and retrofitting at least some at the bottom and staff does not support that solution.

In response to Commissioner Lafferty's inquiry, City Planner Eric Lardy explained that if the Applicant's request for a variance is denied by the Commission, the City would work with them to prepare plans in compliance with the Hillside Development Ordinance. He added that the controlling standard the variance to the Hillside development ordinance, located in the Zoning Ordinance. The Hillside Development Regulations are intended to limit the amount of grading into a slope.

In response to Commissioner Meenes inquiry, Engineering Manager Jason Geldert affirmed that the Applicant had proposed some other solutions prior to this hearing.

On behalf of the Applicant, Mr. Rivera, spoke to the Planning Commission regarding the project.

In response to Commissioner Stine's inquiry, the Applicant Representative, Johnny Rivera, indicated that the request before the Commission now is the same as they have submitted previously.

In response to Commissioner Lafferty's inquiry, a Contractor for the Applicant, Danny Cohen from Baldwin Construction explained the process of the building the retaining walls.

Chair Kamenjarin opened the public testimony at 7:02 p.m. and asked if there were any members of the public who wished to speak on the project.

Stephan Johnson and Linda Kranen spoke in support of the applicant's request for a variance. Jack Phelps spoke in opposition to the applicants request for a variance and in support of staff's recommendation.

Hearing no one else wishing to speak, Chair Kamenjarin closed the public testimony at 7:11 p.m.

Motion by Commissioner, Meenes and seconded by Commissioner Stine, to adopt Resolution No. 7508. Motion carried, 5/0/1/1 (Sabellico – Absent; Merz - Recused).

Chair Kamenjarin closed the duly noticed public hearing at 7:31 p.m.

PUBLIC COMMENT: Continuation of the Public Comments *This portion of the agenda is set aside for continuation of public comments, if necessary, due to exceeding the total time allotted in the first public comments section. In conformance with the Brown Act, no Council action can occur on these items.*

PLANNING COMMISSION MEMBER REPORTS:

Commissioner Lafferty gave updates from the last Historic Preservation Committee meeting held on March 11, 2024.

Chair Kamenjarin reported on the Planning Commissioners Academy he attended with Commissioner Merz.

Chair Kamenjarin also expressed that he would like to have the meeting materials for a longer review period prior to the meeting date, he asked that Agenda have a minimum of 2 or more Items whenever possible and requested city email addresses for commissioners. Additionally, he encouraged Commissioners to share any requests for process changes to the Planning Commission be emailed to City Planner, Eric Lardy with a copy to Chair Kamenjarin for consideration.

PLANNER REPORT: Mr. Lardy discussed recent City Council updates and future projects going before them. Mr. Lardy also reviewed the Planning Commission's tentative schedule of projects to be heard.

CITY ATTORNEY REPORT: City Attorney, Allegra Frost noted that she benefited from attending the 2024 Planning Commissioners Academy recently; commissioners should contact her if interested in viewing any of the materials.

ADJOURNMENT: 7:39 p.m.

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Cynthia Vigeland
Administrative Secretary

PLANNING COMMISSION

Staff Report

1

Meeting Date:	April 17, 2024
To:	Planning Commission
Staff Contact:	Jason Goff, Senior Planner, 442-339-2643, jason.goff@carlsbadca.gov
Subject:	Carlsbad by the Sea Summerhouse; request for approval to consolidate five lots into one and develop a 35,721-square-foot multilevel "professional care facility" use with 19 memory/23 professional care beds operated by the Carlsbad by the Sea Retirement Community.
Location:	APN(s) 203-144-04-00, 203-144-05-00, 203-144-06-00, 203-144-07-00, 203-144-08-00 / District 1
Case Numbers:	CT 2022-0003 / CUP 2022-0014 / CDP 2022-0047 (DEV2022-0063)
Applicant/Representative:	Paula Digerness, 760-435-2321, pdigerness@frontporch.net
CEQA Determination:	☐ Not a Project ☒ Exempt ☐ IS/ND or IS/MND ☐ EIR ☐ Other:
Permit Type(s):	☐ SDP ☒ CUP ☒ CDP ☒ TM ☐ GPA ☐ REZ ☐ LCPA ☐ Other:
CEQA Status:	☐ The environmental assessment IS on the Agenda for discussion ☒ A CEQA determination was already issued. That decision is final and IS NOT on the Agenda
Commission Action:	☒ Decision ☐ Recommendation to City Council ☐ Informational (No Action)

Recommended Actions

That the Planning Commission **ADOPT** the Planning Commission Resolution (Exhibit 1) **APPROVING** Carlsbad Tract Map, CT 2022-0003, Conditional Use Permit, CUP 2022-0014, and Coastal Development Permit, CDP 2022-0047, based upon the findings and subject to the conditions contained therein.

Existing Conditions & Project Description

Existing Setting

The subject site consists of five legal undeveloped parcels totaling 0.62 acres generally located south of Beech Avenue between Garfield and Ocean Street (Exhibit 2). Topographically, the site descends gently from Garfield Street in a westerly direction towards Ocean Street with elevations ranging from approximately 51 feet to 41 feet above mean sea level (MSL). The site is currently fenced along its perimeter for security and consists entirely of disturbed land. Public parking exists along the project's frontage with Ocean Street, Beech Avenue and Garfield Street. A private parking lot for the Beach Terrance Inn adjoins the site to the south. Beach public access is provided from Ocean Street directly across from the project site.

Site Map

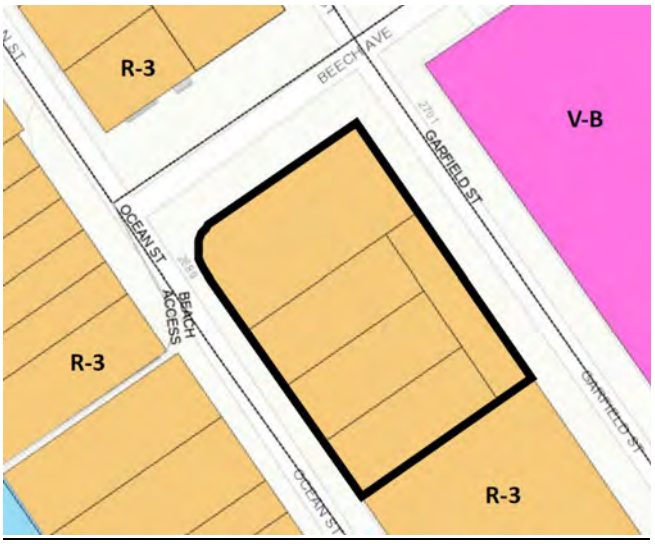
Table “A” below includes the General Plan designations, zoning and current land uses of the subject site and surrounding properties.

TABLE A – SITE AND SURROUNDING LAND USE

Location	General Plan Designation	Zoning Designation	Current Land Use
Site	R-15, Residential (8-15 dwelling units per acre)	Multiple-Family Residential (R-3) w/ Beach Area Overlay (BAO)	Undeveloped
North	R-15	R-3 w/ BAO	Beech Avenue followed by a 1-story single-family structure and a 2-story multiple-family residential structure.
South	R-15	R-3 w/ BAO	Private parking lot with covered parking for the Beach Terrace Inn. Access is provided from Ocean Street.
East	V-B, Village-Barrio	V-B, Village-Barrio	Garfield Street with public parking provided on both sides followed by St. Michael’s by-the-Sea Episcopal Church and related private Church parking lots.
West	R-23, Residential (15-23 dwelling units per acre)	R-3 w/ BAO	Ocean Street followed by multi-storied single-family and multiple-family residential structures and public beach access.

General Plan Designation

Zoning Designation



Proposed Project

The applicant proposes to consolidate five legal parcels totaling 0.62 acres into one lot and develop an approximately 35,721-square-foot multilevel building for a non-ambulatory “professional care facility” use. The project will be operated under the same license as the nearby adjacent Carlsbad by the Sea Retirement Community located south of the project site at 2855 Carlsbad Boulevard, and functionally, will serve as an extension of the existing facilities. The proposed “professional care facility” use will operate 19 memory care beds and 23 professional care beds for a total of 42 beds. The proposed building design consists of the following:

- Basement Level

Off-street parking is provided within a subterranean parking garage of approximately 16,704 square feet. This level includes 30 vehicle parking spaces and storage for 21 bicycles. Two elevator cabs and a stair tower provide pedestrian access to and from the parking garage through all floor levels. A stair tower accessing the Ocean Street frontage is provided in the southwest corner. Vehicular access is provided from Ocean Street via a ramp located along the south side of the proposed building.

- Level 1 (Ocean Street Grade Level)

  Considered the memory care level and consisting of approximately 14,447 square feet, Level 1 includes 19 licensed memory care beds and is situated at grade level with Ocean Street. Primary pedestrian access to the memory care level will be provided from Ocean Street. The proposed bedrooms generally consist of a single bed and bathroom each totaling approximately 308 square feet. All bedrooms exit into two corridors leading to a centralized common area for living, dining, and recreational activities, or onto one of two outdoor garden areas. Meals are provided from the existing nearby adjacent Carlsbad by the Sea Retirement Community.

- Level 2 (Garfield Street Grade Level)

  Level 2 consists of approximately 14,115 square feet and includes 16 licensed residential professional care beds within 10 units. Primary pedestrian access to Level 2 is provided from Garfield Street. There are four (4) one-bedroom/den units and six (6) two-bedroom units. Unit sizes range from approximately 992 square feet to 1,303 square feet. Each unit includes a kitchen/dining/living area, one or two bathrooms, and a private balcony overlooking the adjacent street or a private yard area fronting Garfield Street. All units are accessed via a centralized lobby and circulation corridor.

- Level 3 (Upper Level with Roof Terrace)

  Level 3 consists of approximately 7,160 square feet and includes seven (7) licensed residential professional care beds within five (5) units. Primary pedestrian access to Level 3 is provided from Garfield Street via the Level 2 lobby area. There is one (1) one-bedroom unit, two (2) one-bedroom/den units, and two (2) two-bedroom/den units. Unit sizes range from approximately 816 square feet to 1,527 square feet. Each unit includes a kitchen/dining/living area, and one or two bathrooms. Level 3 includes a roof top terrace overlooking Ocean Street towards the ocean. The roof top terrace includes both private and common areas with landscaping.

The building height and massing of the proposed structure, which steps down with topography from Garfield Street to Ocean Street, extends up to 29’-1” (3:12 pitched roof portion) and 18’-10” (flat roof portion) at its two highest points, which is a consistent building height with residential projects within the zone. Exempted from building height are three roof dormers with clerestory windows facing west and an elevator tower, which are considered allowed protrusions above height limits, and a subterranean parking garage that meets the definition of a basement.

Primary building materials consist of stone veneer, glass, and horizontal lapboard type siding with a standing seam metal roof. Primary building colors are presented in earth tone hues. Garfield Street, Ocean Street, and Beech Avenue are all proposed to receive new curb, gutter, sidewalk, and landscape improvements along each project street frontage. Grading includes 8,680 cubic yards of cut, 20 cubic yards of fill and 8,700 cubic yards of export. Project plans are attached to the staff report (Exhibits 8 & 9). The improvements and uses described above are hereinafter referred to as “Project”.

Public Outreach & Comment

The Applicant completed the Early Public Notice procedures pursuant to City Council Policy No. 84 (Development Project Public Involvement Policy). A notice of project application was mailed on Oct. 10, 2022 to all owners of property located within a 600-foot radius, and all occupants of property located within a 100-foot radius of the project site. The notice of project application was mailed to a total of 162 addresses. A two-foot-tall by three-foot-wide yellow sign was posted at the project site on Sept. 25, 2022, notifying all pass-by traffic of

the Project, which provides the project name, application numbers, description, as well as both applicant and city staff contact information.

In addition to the above, the Applicant also completed the Enhanced Stakeholder Outreach Program pursuant to City Council Policy No. 84 (Development Project Public Involvement Policy). One outreach meeting was conducted on Oct. 17, 2022 at 11:00 am, where the Applicant and development team assembled at the project site and were available to introduce and discuss the Project and answer follow-up questions.

A total of 29 guests attended the outreach meeting, 25 were residents of the existing nearby Carlsbad by the Sea Retirement Community and four were neighbors. The Applicant received a total of 33 comment cards from the outreach. All comment cards were in support of the project except for one which described the proposed building as too tall, the architecture as too modern, and the parking garage as not providing enough parking for staff or residents. The Enhanced Stakeholder Outreach report, including comment cards, is included (Exhibit

Additional public comments received leading up to the April 10, 2024, hearing are provided as Exhibit 11.

Project Analysis

General Plan Consistency

The City of Carlsbad General Plan includes several goals and policies that guide development and land use within the city. A discussion of how the project is consistent with the applicable General Plan policies is summarized in Exhibit 3.

Municipal Code Consistency

The City of Carlsbad Municipal Code, most notably Tile 21 Zoning Code, includes requirements and provisions that guide development and land use within the city, consistent with the General Plan. Specific compliance with these relevant requirements is described in Exhibit 3.

Local Coastal Program Consistency

The project site is in the Coastal Zone and requires a Coastal Development Permit. The project complies with the Local Coastal Program, including all goals and policies of the General Plan and all zoning code standards, as referenced above.

Discretionary Actions & Findings

The proposed Project requires approval of certain permit types, each of which is discussed below:

Tentative Tract Map (CT 2022-0003)

Approval of a Tentative Tract Map is necessary to consolidate the five legal parcels into one parcel to accommodate the development footprint of an approximately 35,721-square-foot multilevel building. Staff finds that the required findings for this application can be met as described in Exhibit 3.

Conditional Use Permit (CUP 2022-0014)

Approval of a Conditional Use Permit is required for a professional care facility use located in the R-3 zone. Staff finds that the required findings for this application can be met as described in Exhibit 3.

Coastal Development Permit (CDP 2022-0047)

Approval of a Coastal Development Permit is required because the project site is located within the Mello II Segment of the Coastal Zone. Staff finds that the required findings for this application can be met as described in Exhibit 3.

The project's discretionary applications are all within the purview of the Planning Commission per the Carlsbad Municipal Code. The Planning Commission's action on the project will be an approval or denial, with appeal

available to City Council. The project site is also located with the appeals jurisdiction of the California Coastal Commission; and therefore, the CDP is appealable to the State.

Environmental Review

In accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, the City Planner has determined that the project qualified for an exemption pursuant to CEQA Guidelines Section 15332, In-fill Development Projects. On Feb. 7, 2024, a notice of intended decision regarding the environmental determination was advertised and posted on the city's website. No comment letters or appeals were received and consistent with Chapter 21.54 (Procedures, Hearings, Notices, and Fees) of the Zoning Ordinance the City Planner's written decision is final. Refer to Exhibit 6 for additional support and justification.

Conclusion

Considering the information above and in the referenced attachments, staff has found that the proposed Project is consistent with all applicable policies of the General Plan, the Local Coastal Program, and the provisions of the Municipal Code and Local Facility Management Zone 1. All required public improvement and utilities are available to serve the proposed development. In addition, there are no environmental issues associated with the Project.

The Project is conditioned to ensure the proposed Project's compatibility with the surrounding properties and that the public health, safety, and welfare of the community are maintained. The Project would be required to comply with all applicable California Building Standards Codes and engineering standards through the standard building permit and civil improvement plan checking process. Staff recommends the Planning Commission adopt the resolution approving the proposed Project as described in this staff report.

Exhibits

1. Planning Commission Resolution
2. Location Map
3. Project Analysis
4. Disclosure Statement
5. Enhanced Stakeholder Outreach Program
6. CEQA Determination of Exemption
7. Informational Bulletin IB-131 – AB 2097 Parking Requirements
8. Reduced Project Exhibits
9. Full Size Project Exhibits "A" – "V" date Apr. 17, 2024 (on file in the office of the City Clerk)
10. List of Acronyms and Abbreviations
11. Additional Public Correspondence

PLANNING COMMISSION RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARLSBAD, CALIFORNIA, APPROVING A TENTATIVE TRACT MAP, CONDITIONAL USE PERMIT AND COASTAL DEVELOPMENT PERMIT FOR THE CONSOLIDATION OF FIVE LEGAL PARCELS TOTALING 0.62 ACRES INTO ONE LOT AND FOR THE DEVELOPMENT OF A 35,721-SQUARE-FOOT MULTILEVEL PROFESSIONAL CARE FACILITY USE WITH 19 MEMORY/23 PROFESSIONAL CARE BEDS, OPERATED BY THE CARLSBAD BY THE SEA RETIREMENT COMMUNITY, ON PROPERTY GENERALLY LOCATED SOUTH OF BEECH AVENUE BETWEEN GARFIELD AND OCEAN STREET (ASSESSOR PARCEL NUMBERS 203-144-04-00, 203-144-05-00, 203-144-06-00, 203-144-07-00, 203-144-08-00) IN THE R-3/BAO ZONES, THE MELLO II SEGMENT OF THE LOCAL COASTAL PROGRAM AND LOCAL FACILITIES MANAGEMENT ZONE 1.

CASE NAME: CARLSBAD BY THE SEA SUMMERHOUSE
CASE NO.: CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)

WHEREAS, **Front Porch Communities and Services**, "Developer/Owner," has filed a verified application with the City of Carlsbad regarding property described as

> **Lots 1, 2, 3, 4 and 5 of Carlsbad Tract No. 04-22, in the City of Carlsbad, County of San Diego, State of California, according to map thereof no. 15639, filed in the Office of County Recorder of San Diego County, Nov. 7, 2007, as may have been amended by that Certificate of Correction recorded on Oct. 20, 2008 as instrument no. 2008-0545070 of official records.**

("the Property"); and

WHEREAS, said verified application constitutes a request for a Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit as shown on Exhibit(s) **"A" – "V"** dated **April 17, 2024**, on file in the Planning Division, **CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063) – CARLSBAD BY THE SEA SUMMERHOUSE**, as provided by Chapters 20.12, 21.42, and 21.201 of the Carlsbad Municipal Code; and

WHEREAS, the Planning Division studied the Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit applications and performed the necessary investigations to determine if the project qualified for an exemption from further environmental review under the California Environmental Quality Act, (CEQA, Public Resources Code section 21000 et. seq.), and its implementing regulations (the State CEQA Guidelines), Article 14 of the California Code of Regulations section 15000 et.

seq. After consideration of all evidence presented, and studies and investigations made by the City Planner and on its behalf, the City Planner determined that the project was exempt from further environmental review pursuant to State CEQA Guidelines section 15332 – In-Fill Development Projects, in that project is consistent with the General Plan and Zoning Ordinance; the project site is located within the City limits, on a development area of less than five acres in size, and substantially surrounded by urban uses; there is no evidence that the project site has value as habitat for endangered, rare, or threatened species; approval of the project will not result in significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. The project will not have a significant effect on the environment and all the requirements of CEQA have been met; and

WHEREAS, on Feb. 7, 2024, the city distributed a notice of intended decision to adopt the "In-Fill Development Projects" exemptions. The notice was circulated for a 10-day period, which began on Feb. 7, 2024 and ended on Feb. 19, 2024. The city did not receive any comment letters on the CEQA findings and determination. The effective date and order of the City Planner CEQA determination was Feb. 19, 2024; and

WHEREAS, the Planning Commission did, on **April 17, 2024**, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of persons desiring to be heard, said Commission considered all factors relating to the Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Carlsbad as follows:

A) That the foregoing recitations are true and correct.

B) That based on the evidence presented at the public hearing, the Commission **APPROVES CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063) – CARLSBAD BY THE SEA SUMMERHOUSE**, based on the following findings and subject to the following conditions:

Findings:

Tentative Tract Map, CT 2022-0003

1. That the proposed map and the proposed design and improvement of the subdivision as conditioned, is consistent with and satisfies all requirements of the General Plan, any applicable specific plans, Titles 20 and 21 of the Carlsbad Municipal Code, and the State Subdivision Map Act, and will not cause serious public health problems, in that **the proposal to consolidate five parcels into one is consistent with the General Plan and satisfies the minimum requirements of Titles 20 and 21 of the Carlsbad Municipal Code with respect to the use, density, public facilities, access, parking and setbacks.**

2. That the design of the subdivision or the type of improvements will not conflict with easements of record or easements established by court judgment, or acquired by the public at large, for access through or use of property within the proposed subdivision, in that **the project has been designed and conditioned such that there are no conflicts with established easements.**

3. That the property is not subject to a contract entered into pursuant to the Land Conservation Act of 1965 (Williamson Act).

4. That the design of the subdivision and improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat, in that **the existing parcels are devoid of sensitive vegetation and any natural water features. Therefore, the proposed project does not impact any fish, wildlife, or habitat.**

5. That the discharge of waste from the subdivision will not result in violation of existing California Regional Water Quality Control Board requirements, in that **the project has been designed in accordance with the Best Management Practices for water quality protection in accordance with the City's sewer and drainage standards and the project is conditioned to comply with the National Pollutant Discharge Elimination System (NPDES) requirements.**

Conditional Use Permit, CUP 2022-0014

6. That the requested use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan, is not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use is to be located in that **the proposed professional care facility use is considered necessary and desirable to satisfy the needs of elderly in the community; the architecture and scale of the proposed building steps with topography and is compatible with existing surrounding land uses; and the fact that the existing nearby adjacent Carlsbad by the Sea Retirement Community (previously Carlsbad by the Sea Lutheran Home) has coexisted with the surrounding community for almost 70 years without incident is further evidence of its compatibility with the surrounding community.**

7. That the site for the proposed conditional use is adequate in size and shape to accommodate the yards, setbacks, walls, fences, parking, loading facilities, buffer areas, landscaping and other development features prescribed in this code and required by the City Planner, planning commission or City Council, in order to integrate the use with other uses in the neighborhood, in that **the project can be fit within the proposed development area without the need for any development standard modifications. Furthermore, the project has been designed to**

incorporate all of the required development standards of the Multiple-Family Residential (R-3) and Beach Area Overlay (BAO) Zone; and landscaping is being provided to visually enhance the surrounding public streets and areas within the site adjacent to the building, to ensure compatibility of the project with the surrounding community.

8. That the street system serving the proposed use is adequate to properly handle all traffic generated by the proposed use, in that **the project will take access from both Garfield Street and Ocean Street, both of which are connected by Beech Avenue. The existing street system is designed to adequately handle the 126 Average Daily Trips (ADT) generated by the project and no additional improvements are required. The project proposes new curb, gutter, sidewalks, and landscaping along all adjacent project street frontages, including expanding the sidewalk width along Beech Street from 4 feet to 8 feet, and enhancing street crossing and traffic calming on Ocean Street.**

Coastal Development Permit, CDP 2022-0047

9. That the proposed development is in conformance with the Certified Local Coastal Program and all applicable policies in that **the Local Coastal Program (LCP) Land Use designation for the property is R-15 Residential (R-15); and the LCP Zoning designation is Multiple-Family Residential (R-3) consistent with both the city's General Plan Land Use and Zoning designations. The R-3 zone implements the R-15 land use designation. Professional Care Facilities are an allowed use in the R-3 zone with a conditional use permit.**

10. The proposal is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act in that **the property is not located adjacent to the coastal shore; therefore, it will not interfere with the public's right to physical access or water-oriented recreational activities. However, the project is located across from an existing vertical public beach access on the west side of Ocean Street and has been designed to improve pedestrian access through a combination of an 8-foot-wide sidewalk on Beech Street, and enhanced street crossing and traffic calming on Ocean Street, including new public sidewalk**.

11. The project is consistent with the provisions of the Coastal Resource Protection Overlay Zone (Chapter 21.203 of the Zoning Ordinance) in that **it will adhere to the city's Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban runoff, pollutants, and soil erosion. No steep slopes or native vegetation is located on the subject property and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.**

General

12. The **Planning Commission** finds that the project, as conditioned herein, is in conformance with the Elements of the city's General Plan, based on the facts set forth in the staff report dated **April 17, 2024** including, but not limited to the following:

    a. **Land Use, Goal 2-G.2 – The project will provide a new "professional care facility" use in the form of 19 memory care beds and 23 professional care beds located near beaches, lagoons, and convenient neighborhood-serving commercial services. The project provides parking onsite within an underground parking garage and has convenient access to beaches, lagoons, parks, and shopping, as well as public transit via the Carlsbad Village mass transit station which provides bus, train, and Coaster service.**

b. **Land Use, Goal 2-G.4 – The proposed project adds additional housing types for seniors in need of special care.**

c. **Mobility, Goal 3-G.3 – The proposed project has been designed to meet circulation requirements, which include maintaining or enhancing frontage improvements consisting of new sidewalks and landscaping along all adjacent project street frontages, expanding the sidewalk width along Beech Street from 4 feet to 8 feet, and enhancing street crossing and traffic calming on Ocean Street. The proposed project is located less than one-quarter mile from the Carlsbad Village train station, which provides rail and bus service throughout the day. Furthermore, the project supports walkability and mobility by locating the project and its future residents near existing goods and services within the Village.**

d. **Public Safety, Goal 6-G.1 – The proposed project is not located in any Very High Fire Severity Zone, Flood Zones, or Earthquake Fault Zones. The proposed structural improvements would be required to meet all seismic design standards at time of building permit in accordance with the California Building Code. The Fire Department has approved the proposed conceptual building design with fire sprinklers included throughout the building per the National Fire Protection Association (NFPA) standards. Therefore, the proposed project is consistent with the applicable fire safety requirements.**

e. **Public Safety, Policy 6-P.6 – The project has been conditioned to develop and implement a program of "best management practices" for the elimination and reduction of pollutants which enter and/or are transported within storm drainage facilities.**

f. **Public Safety, Policy 6-P.34 – The project is required to comply with all Building and Fire codes to ensure that fire protection standards are met by the proposed structures. Therefore, the proposed project is consistent with the applicable fire safety requirements.**

g. **Public Safety, Policy 6-P.39 – The project is required to construct or pay applicable fees for necessary improvements, public utilities, and facilities in accordance with Growth Management requirements; Fire Station No. 1 is located within emergency response timeframes; and the project will not affect the city's ability to implement its Emergency Operations Plan.**

h. **Sustainability, Policy 9-P.1 – The project implements and is consistent with measures identified in the Climate Action Plan (CAP) through the provision of renewable energy generation (photovoltaic systems), energy conservation (Green Building Code), and by accommodating Zero-Emission vehicles and other greenhouse gas reduction measures and features. At building permit, the project will also be reviewed for compliance with the CAP ordinances.**

13. The project is consistent with the Citywide Facilities and Improvements Plan, the Local Facilities Management Plan for Zone **1** and all city public facility policies and ordinances. The project includes elements or has been conditioned to construct or provide funding to ensure that all facilities and improvements regarding sewer collection and treatment; water; drainage; circulation; fire; schools; parks and other recreational facilities; libraries; government administrative facilities; and open space, related to the project will be installed to serve new development prior to or concurrent with need. Specifically,

a. The project has been conditioned to provide proof from the **Carlsbad Unified** School District that the project has satisfied its obligation for school facilities.

b. The Public Facility fee is required to be paid by Council Policy No. 17 and will be collected prior to the issuance of building permit.

c. The Local Facilities Management fee for Zone **1** is required by Carlsbad Municipal Code Section 21.90.050 and will be collected prior to issuance of building permit.

14. The project has been conditioned to pay any increase in public facility fee, or new construction tax, or development fees, and has agreed to abide by any additional requirements established by a Local Facilities Management Plan prepared pursuant to Chapter 21.90 of the Carlsbad Municipal Code. This will ensure continued availability of public facilities and will mitigate any cumulative impacts created by the project.

15. This project has been conditioned to comply with any requirement approved as part of the Local Facilities Management Plan for Zone **1**.

16. That all necessary public facilities required by the Growth Management Ordinance will be constructed or are guaranteed to be constructed concurrently with the need for them created by this project and in compliance with adopted city standards.

17. The Planning Commission hereby finds that all development in Carlsbad benefits from the Habitat Management Plan, which is a comprehensive conservation plan and implementation program that will facilitate the preservation of biological diversity and provide for effective protection and conservation of wildlife and plant species while continuing to allow compatible development in accordance with Carlsbad's Growth Management Plan. Preservation of wildlife habitats and sensitive species is required by the Open Space and Conservation Element of the City's General Plan which provides for the realization of the social, economic, aesthetic and environmental benefits from the preservation of open space within an increasingly urban environment. Moreover, each new development will contribute to the need for additional regional infrastructure that, in turn, will adversely impact species and habitats. The In-Lieu Mitigation Fee imposed on all new development within the City is essential to fund implementation of the City's Habitat Management Plan. **Pursuant to the HMP, the project has been conditioned to pay habitat in-lieu fees in compliance with adopted regulatory practices for the removal of 0.62 acres of disturbed lands (Habitat Group F).**

18. That the project is consistent with the city's Landscape Manual and Water Efficient Landscape Ordinance (Carlsbad Municipal Code Chapter 18.50).

19. The City Planner has determined that the project belongs to a class of projects that the State Secretary for Resources has found do not have a significant impact on the environment, and it is therefore categorically exempt from the requirement for preparation of environmental documents pursuant to **Section 15332 – In-Fill Development Projects** of the State CEQA Guidelines. In making this determination, the City Planner has found that the exceptions listed in Section 15300.2 of the State CEQA Guidelines do not apply to this project.

20. The Planning Commission has reviewed each of the exactions imposed on the Developer contained in this resolution, and hereby finds, in this case, that the exactions are imposed to

mitigate impacts caused by or reasonably related to the project, and the extent and the degree of the exaction is in rough proportionality to the impact caused by the project.

Conditions:

NOTE: Unless otherwise specified herein, all conditions shall be satisfied prior to the issuance of a grading or building permit, or approval of the final map, whichever occurs first.

1. If any of the following conditions fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the city shall have the right to revoke or modify all approvals herein granted; deny or further condition issuance of all future building permits; deny, revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation. No vested rights are gained by Developer or a successor in interest by the city's approval of this **Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit**.

2. Staff is authorized and directed to make, or require the Developer to make, all corrections and modifications to the **Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit** documents, as necessary to make them internally consistent and in conformity with the final action on the project. Development shall occur substantially as shown on the approved Exhibits. Any proposed development, different from this approval, shall require an amendment to this approval.

3. Developer shall comply with all applicable provisions of federal, state, and local laws and regulations in effect at the time of building permit issuance.

4. If any condition for construction of any public improvements or facilities, or the payment of any fees in-lieu thereof, imposed by this approval or imposed by law on this Project are challenged, this approval shall be suspended as provided in Government Code Section 66020. If any such condition is determined to be invalid, this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.

5. Developer/Operator shall and does hereby agree to indemnify, protect, defend, and hold harmless the City of Carlsbad, its Council members, officers, employees, agents, and representatives, from and against any and all liabilities, losses, damages, demands, claims and costs, including court costs and attorney's fees incurred by the city arising, directly or indirectly, from (a) city's approval and issuance of this **Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit**, (b) city's approval or issuance of any permit or action, whether discretionary or nondiscretionary, in connection with the use contemplated herein, and (c) Developer/Operator's installation and operation of the facility permitted hereby, including without limitation, any and all liabilities arising from the emission by the facility of electromagnetic fields or other energy waves or emissions. This obligation survives until all legal proceedings have been concluded and continues even if the city's approval is not validated.

6. Prior to submittal of the building plans, improvement plans, grading plans, or final map, whichever occurs first, developer shall submit to the City Planner, a 24" x 36" copy of the **Tentative Map/Site Plan or other**, conceptual grading plan and preliminary utility plan reflecting the conditions approved by the final decision making body. The copy shall be submitted to the City Planner,

reviewed and, if found acceptable, signed by the city's project planner and project engineer. If no changes were required, the approved exhibits shall fulfill this condition.

7. Prior to the issuance of a building permit, the Developer shall provide proof to the Building Division from the **Carlsbad Unified** School District that this project has satisfied its obligation to provide school facilities.

8. This project shall comply with all conditions and mitigation measures which are required as part of the Zone **1** Local Facilities Management Plan and any amendments made to that Plan prior to the issuance of building permits.

9. This approval shall become null and void if building permits are not issued for this project within 24 months from the date of project approval.

10. Building permits will not be issued for this project unless the local agency providing water and sewer services to the project provides written certification to the city that adequate water service and sewer facilities, respectively, are available to the project at the time of the application for the building permit, and that water and sewer capacity and facilities will continue to be available until the time of occupancy. **A note to this effect shall be placed on the Final Map.**

11. Developer shall pay the Citywide Public Facilities Fee imposed by City Council Policy #17, the License Tax on new construction imposed by Carlsbad Municipal Code Section 5.09.030, and CFD #1 special tax (if applicable), subject to any credits authorized by Carlsbad Municipal Code Section 5.09.040. Developer shall also pay any applicable Local Facilities Management Plan fee for Zone **1**, pursuant to Chapter 21.90. All such taxes/fees shall be paid at issuance of building permit. If the taxes/fees are not paid, this approval will not be consistent with the General Plan and shall become void.

12. **Prior to issuance of grading permit(s),** developer shall **make a separate formal landscape construction drawing plan check submittal to the Planning Division** and obtain City Planner approval of a Final Landscape and Irrigation Plan showing conformance with the approved Preliminary Landscape Plan and the city's Landscape Manual. Developer shall construct and install all landscaping and irrigation as shown on the approved Final Plans. All landscaping shall be maintained in a healthy and thriving condition, free from weeds, trash, and debris. All irrigation systems shall be maintained to provide the optimum amount of water to the landscape for plant growth without causing soil erosion and runoff.

13. The first submittal of Final Landscape and Irrigation Plans shall be pursuant to the landscape plan check process on file in the Planning Division and accompanied by the project's building, improvement, and grading plans.

14. Developer shall submit to the city a Notice of Restriction executed by the owner of the real property to be developed. Said notice is to be filed in the office of the County Recorder, subject to the satisfaction of the City Planner, notifying all interested parties and successors in interest that the City of Carlsbad has issued a **Tentative Tract Map, Conditional Use Permit, and Coastal Development Permit** by Resolution on the property. Said Notice of Restriction shall note the property description, location of the file containing complete project details and all conditions of approval as well as any conditions or restrictions specified for inclusion in the Notice of Restriction. The City Planner has the authority to execute and record an amendment to the notice

which modifies or terminates said notice upon a showing of good cause by the Developer or successor in interest.

15. This project has been found to result in impacts to wildlife habitat or other lands, **such as disturbed lands (Group F Habitat)**, which provide some benefits to wildlife, as documented in the city's Habitat Management Plan and the environmental analysis for this project. Developer is aware that the city has adopted an In-lieu Mitigation Fee consistent with Section E.6 of the Habitat Management Plan and City Council Resolution No. 2000-223 to fund mitigation for impacts to certain categories of vegetation and animal species. The Developer is further aware that the city has determined that all projects will be required to pay the fee in order to be found consistent with the Habitat Management Plan and the Open Space and Conservation Element of the General Plan. Developer or Developer's successor(s) in interest shall pay the **Habitat In-Lieu mitigation fee, consistent with the City's Habitat Management Plan (HMP) for the removal of 0.62 acres of disturbed lands (Group F Habitat)** prior to recordation of a final map, or issuance of a grading permit or building permit, whichever occurs first. If the In-lieu Mitigation Fee for this project is not paid, this project will not be consistent with the Habitat Management Plan and the General Plan and any and all approvals for this project shall become null and void.

16. **CUP 2022-0014** shall be reviewed by the City Planner annually to determine if all conditions of this permit have been met and that the use does not have a substantial negative effect on surrounding properties or the public health, safety and general welfare. If the City Planner determines that: 1) the Conditional Use Permit was obtained by fraud or misrepresentation; or 2) the use for which such approval was granted is not being exercised; or 3) the Conditional Use Permit is being or recently has been exercised contrary to any of the terms or conditions of approval or the conditions of approval have not been met; or 4) the use for which such approval was granted has ceased to exist or has been suspended for one year or more; or 5) the use is in violation of any statute, ordinance, law or regulation; or 6) the use permitted by the Conditional Use Permit is being or has been so exercised as to be detrimental to the public health, safety or welfare or so as to constitute a nuisance, the City Planner shall recommend that the Planning Commission hold a public hearing and after providing the permittee the opportunity to be heard, the Planning Commission may revoke and terminate the Conditional Use Permit in whole or in part, reaffirm the Conditional Use Permit, modify the conditions or impose new conditions.

17. **CUP 2022-0014** is granted without an expiration date. This permit may be revoked at any time after a public hearing, if it is found that the use has a substantial detrimental effect on surrounding land uses and the public's health and welfare, or the conditions imposed herein have not been met.

18. **Prior to issuance of grading and building permits, Developer shall list the following condition on all grading and building permit construction plans.** Construction activities shall take place during the permitted time and day per Carlsbad Municipal Code Chapter 8.48. Developer shall ensure that construction activities for the proposed project are limited to the hours from 7:00 a.m. to 6:00 p.m. Monday through Friday, and 8:00 a.m. to 6:00 p.m. on Saturdays; no work shall be conducted on Sundays or on federal holidays.

19. All roof appurtenances, including air conditioners, shall be architecturally integrated and concealed from view and the sound buffered from adjacent properties and streets, in substance as provided in Building Department Policy No. 80-6, to the satisfaction of the **City Planner and Building Official**.

20. No outdoor storage of materials shall occur onsite unless required by the Fire Chief. When so required, the Developer shall submit and obtain approval of the Fire Chief and the City Planner of an Outdoor Storage Plan, and thereafter comply with the approved plan.

21. Developer shall submit and obtain City Planner approval of an exterior lighting plan including parking areas. All lighting shall be designed to reflect downward and avoid any impacts on adjacent homes or property.

22. **Prior to issuance of a grading permit or the commencement of any ground-disturbing activities, whichever occurs first, Developer shall provide written confirmation to the City Planner that a qualified paleontologist has been retained to draft and implement a paleontological monitoring program in accordance with the provisions of the City of Carlsbad Tribal, Cultural, and Paleontological Resources Guidelines (September 2017). Prior to release of the grading bonds, the paleontologist shall complete a report describing the methods and results of the paleontological monitoring and data recovery program and file a copy of the report at the San Diego Natural History Museum, to the satisfaction of the City Planner.**

23. **Prior to issuance of a grading permit or the commencement of any ground-disturbing activities, whichever occurs first, Developer shall:**

    a. **Retain the services of a qualified archaeologist who shall be on-site to monitor ground disturbing activities. In the event cultural resource material is encountered, the archaeologist is empowered to temporarily divert or halt grading to allow for coordination with the Luiseno Native American monitor and to determine the significance of the discovery. The archaeologist shall follow all standard procedures for cultural resource materials that are not Tribal Cultural Resources, in accordance with applicable laws and regulations including but not limited to the Carlsbad Tribal, Cultural and Paleontological Resources Guidelines (2017).**

    b. **Enter into a Pre-Excavation Agreement, otherwise known as a Tribal Cultural Resources Treatment and Tribal Monitoring Agreement, with the San Luis Rey Band of Mission Indians or other Luiseno Native American tribe that meets all standard requirements of the tribe for such Agreements, in accordance with applicable laws and regulations including but not limited to the Carlsbad Tribal, Cultural and Paleontological Resources Guidelines (2017). This agreement will address provision of a Luiseno Native American monitor and contain provisions to address the proper treatment of any Tribal Cultural Resources and/or Native American human remains inadvertently discovered during the course of the project. The agreement will outline the roles and powers of the Luiseno Native American monitor and the archaeologist.**

<u>Engineering</u>:

General

24. Prior to hauling dirt or construction materials to or from any proposed construction site within this project, developer shall apply for and obtain approval from, the City Engineer for the proposed haul route.

25. This project is approved upon the express condition that building permits will not be issued for the development of the subject property unless the District Engineer has determined that

adequate water and sewer facilities are available at the time of permit issuance and will continue to be available until time of occupancy.

Fees/Agreements

26. Developer shall cause property owner to execute and submit to the City Engineer for recordation, the city's standard form Geologic Failure Hold Harmless Agreement.

27. Developer shall cause property owner to execute and submit to the City Engineer for recordation the city's standard form Drainage Hold Harmless Agreement.

28. Developer shall cause property owner to submit an executed copy to the City Engineer for recordation a city standard Permanent Stormwater Quality Best Management Practice Maintenance Agreement.

29. Developer shall cause owner to execute, for recordation, a city standard Local Improvement District Agreement to pay fair share contributions for undergrounding of all existing overhead utilities and installation of street lights, as needed, along the subdivision frontage, should a future district be formed.

Grading

30. Based upon a review of the proposed grading and the grading quantities shown on the tentative map, a grading permit for this project is required. Developer shall prepare and submit plans and technical studies/reports as required by City Engineer, post security and pay all applicable grading plan review and permit fees per the city's latest fee schedule.

31. Prior to issuance of the grading permit, the contractor shall submit a Construction Plan to the City Engineer for review and approval. Said Plan may be required to include, but not be limited to, identifying the location of the construction trailer, material staging, bathroom facilities, parking of construction vehicles, employee parking, construction fencing and gates, obtaining any necessary permission for off-site encroachment, addressing pedestrian safety, and identifying time restrictions for various construction activities.

32. Developer shall include shoring plans as part of the grading plans to the satisfaction of the City Engineer and building official, **unless the design engineer in coordination with the geotechnical engineer can demonstrate that construction of the project is feasible without shoring walls.** Structural calculations for all shoring shall be submitted for review and approval **with the grading plan check**. Developer shall pay all deposits **and fees** necessary to cover any third party review **of the shoring design and structural calculations**.

Storm Water Quality

33. Developer shall comply with the city's Stormwater Regulations, latest version, and shall implement best management practices at all times. Best management practices include but are not limited to pollution control practices or devices, erosion control to prevent silt runoff during construction, general housekeeping practices, pollution prevention and educational practices, maintenance procedures, and other management practices or devices to prevent or reduce the discharge of pollutants to stormwater, receiving water or stormwater conveyance system to the

maximum extent practicable. Developer shall notify prospective owners and tenants of the above requirements.

34. Developer shall complete and submit to the City Engineer a Determination of Project's SWPPP Tier Level and Construction Threat Level Form pursuant to City Engineering Standards. Developer shall also submit the appropriate Tier level Storm Water Compliance form and appropriate Tier level Storm Water Pollution Prevention Plan (SWPPP) to the satisfaction of the City Engineer. Developer shall pay all applicable SWPPP plan review and inspection fees per the city's latest fee schedule.

35. This project is subject to 'Priority Development Project' requirements**.** Developer shall prepare and process a Storm Water Quality Management Plan (SWQMP), subject to City Engineer approval, to comply with the Carlsbad BMP Design Manual latest version. The final SWQMP required by this condition shall be reviewed and approved by the City Engineer with final grading plans. Developer shall pay all applicable SWQMP plan review and inspection fees per the city's latest fee schedule.

36. Developer is responsible to ensure that all final design plans (grading plans, improvement plans, landscape plans, building plans, etc.) incorporate all source control, site design, pollutant control BMP and applicable hydromodification measures.

Dedications/Improvements

37. Developer shall design the private drainage systems, as shown on the tentative map to the satisfaction of the City Engineer. All private drainage systems (12-inch diameter storm drain and larger) shall be inspected by the city. Developer shall pay the standard improvement plan check and inspection fees for private drainage systems.

38. Prior to any work in city right-of-way or public easements, Developer shall apply for and obtain a right-of-way permit to the satisfaction of the City Engineer.

39. Developer shall prepare and process public improvement plans and, prior to City Engineer approval of said plans, shall execute a city standard Subdivision Improvement Agreement to install and shall post security in accordance with CMC Section 20.16.070 for public improvements shown on the tentative map. Said improvements shall be **designed and** installed to city standards to the satisfaction of the City Engineer. These improvements include, but are not limited to:
    a. **Replacement of existing sidewalk fronting Beech Avenue with new 8-foot wide sidewalk.**
    b. **Replacement of curb, gutter, and sidewalk fronting Ocean Street.**
    c. **Addition of driveways and replacement of existing driveways with new curb, gutter, and sidewalk on Garfield Street and Ocean Street.**
    d. **Installation of potable water, fire service, landscape irrigation services, and related meters and backflows, and removal of existing services, all as shown on the tentative tract map.**
    e. **Installation of sewer laterals and removal of existing sewer laterals, all as shown on the tentative tract map.**
    f. **Installation of pedestrian ramps and crosswalks as shown on the tentative tract map.**
    g. **Two-inch pavement grind and overlay on Ocean Street frontage.**

Additional public improvements required in other conditions of this resolution are hereby included in the above list by reference. Developer shall pay the standard improvement plan check and inspection fees in accordance with the fee schedule. Improvements listed above shall be constructed within 36 months of approval of the subdivision or development improvement agreement or such other time as provided in said agreement.

40. **Developer shall have the public improvement plans reviewed by a Certified Access Specialist person (CASp) for disabled accessibility compliance with local, state, and federal regulations and submit a letter from the CASp confirming that the designed plans are in conformance with said regulations followed by another letter upon completion of the public improvements to confirm that installed improvements comply with said disability access regulations.**

41. Developer is responsible to ensure utility transformers or raised water backflow preventers that serve this development are located outside the right-of-way as shown on the [Tentative Map/Site Plan] and to the satisfaction of the City Engineer. These facilities shall be constructed within the property.

Non-Mapping Notes

42. Add the following notes to the final map as non-mapping data:

A. Developer has executed a city standard Subdivision improvement Agreement and has posted security in accordance with CMC Section 20.16.070 to install public improvements shown on the tentative map. These improvements include, but are not limited to:

1) **Replacement of existing sidewalk fronting Beech Avenue with new 8-foot wide sidewalk.**
2) **Replacement of curb, gutter, and sidewalk fronting Ocean Street.**
3) **Addition of driveways and replacement of existing driveways with new curb, gutter, and sidewalk on Garfield Street and Ocean Street.**
4) **Installation of potable water, fire service, landscape irrigation services, and related meters and backflows, and removal of existing services, all as shown on the tentative tract map.**
5) **Installation of sewer laterals and removal of existing sewer laterals, all as shown on the tentative tract map.**
6) **Installation of pedestrian ramps and crosswalks as shown on the tentative tract map.**
7) **Two-inch pavement grind and overlay on Ocean Street frontage.**

B. Building permits will not be issued for development of the subject property unless the appropriate agency determines that sewer and water facilities are available.

C. Geotechnical Caution:

1) **Temporary** slopes steeper than two parts horizontal to one part vertical **will be graded** within the boundaries of this subdivision.
2) The owner of this property on behalf of itself and all of its successors in interest has agreed to hold harmless and indemnify the City of Carlsbad from any action that may arise through any geological failure, ground water seepage or land subsidence and subsequent damage that may occur on, or adjacent to, this subdivision due to its construction, operation or maintenance.

D. No structure, fence, wall, tree, shrub, sign, or other object may be placed or permitted to encroach within the area identified as a sight distance corridor as defined by City of Carlsbad Engineering Standards or line-of-sight per Caltrans standards.

E. The owner of this property on behalf of itself and all of its successors in interest has agreed to hold harmless and indemnify the City of Carlsbad from any action that may arise through any diversion of waters, the alteration of the normal flow of surface waters or drainage, or the concentration of surface waters or drainage from the drainage system or other improvements identified in the city approved development plans; or by the design, construction or maintenance of the drainage system or other improvements identified in the city approved development plans.

Utilities

43. Developer shall meet with the fire marshal to determine if fire protection measures (fire flows, fire hydrant locations, building sprinklers) are required to serve the project.

44. The developer shall agree to design landscape and irrigation plans utilizing recycled water as a source and prepare and submit a colored recycled water use map to the Planning Department for processing and approval by the District Engineer.

45. Developer shall install potable water and/or recycled water services and meters at locations approved by the District Engineer. The locations of said services shall be reflected on public improvement plans.

46. The developer shall agree to install sewer laterals and clean-outs at locations approved by the City Engineer. The locations of sewer laterals shall be reflected on public improvement plans.

47. The developer shall design and agree to construct public water, sewer, and recycled water facilities substantially as shown on the tentative map to the satisfaction of the District Engineer and City Engineer.

Code Reminders

The project is subject to all applicable provisions of local ordinances, including but not limited to the following:

48. Approval of this request shall not excuse compliance with all applicable sections of the Zoning Ordinance and all other applicable city ordinances in effect at time of building permit issuance, except as otherwise preempted by SB 330 or specifically provided herein.

49. Developer shall report, in writing, to the City Planner within 30 days, any address change from that which is shown on the permit application, any change in the telecommunications provider, or any transfer in ownership of the site.

50. Premise identification (addresses) shall be provided consistent with Carlsbad Municipal Code Section 18.04.320.

51. Any signs proposed for this development shall at a minimum be designed in conformance with the city's Sign Ordinance and shall require review and approval of the City Planner prior to installation of such signs.

52. Developer shall pay planned local area drainage fees in accordance with Section 15.08.020 of the City of Carlsbad Municipal Code to the satisfaction of the City Engineer.

53. Developer shall pay traffic impact and sewer impact fees based on Section 18.42 and Section 13.10 of the City of Carlsbad Municipal Code, respectively. The Average Daily Trips (ADT) and floor area contained in the staff report and shown on the tentative map are for planning purposes only.

54. Subdivider shall comply with Section 20.16.040(D) of the Carlsbad Municipal Code regarding the undergrounding of existing overhead utilities.

NOTICE TO APPLICANT

An appeal of this decision to the City Council must be filed with the City Clerk at 1200 Carlsbad Village Drive, Carlsbad, California, 92008, within ten (10) calendar days of the date of the Planning Commission's decision. Pursuant to Carlsbad Municipal Code Chapter 21.54, section 21.54.150, the appeal must be in writing and state the reason(s) for the appeal. The City Council must make a determination on the appeal prior to any judicial review.

NOTICE

Please take NOTICE that approval of your project includes the "imposition" of fees, dedications, reservations, or other exactions hereafter collectively referred to for convenience as "fees/exactions."

You have 90 days from date of approval to protest imposition of these fees/exactions. If you protest them, you must follow the protest procedure set forth in Government Code Section 66020(a) and file the protest and any other required information with the City Manager for processing in accordance with Carlsbad Municipal Code Section 3.32.030. Failure to timely follow that procedure will bar any subsequent legal action to attack, review, set aside, void, or annul their imposition.

You are hereby FURTHER NOTIFIED that your right to protest the specified fees/exactions DOES NOT APPLY to water and sewer connection fees and capacity charges, nor planning, zoning, grading, or other similar application processing or service fees in connection with this project; NOR DOES IT APPLY to any fees/exactions of which you have previously been given a NOTICE similar to this, or as to which the statute of limitations has previously otherwise expired.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Carlsbad, California, held on **April 17, 2024**, by the following vote, to wit:

AYES:

NAYES:

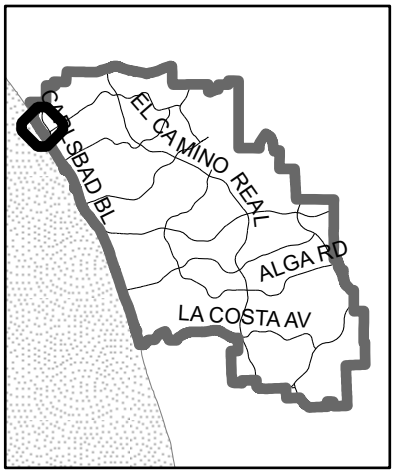
ABSENT:

ABSTAIN:

_____
WILLIAM KAMENJARIN, Chairperson
CARLSBAD PLANNING COMMISSION

ATTEST:

_____
ERIC LARDY
City Planner



SITE MAP

NOT TO SCALE

CARLSBAD BY THE SEA SUMMERHOUSE
CT 2022-0003 / CUP 2022-0014 / CDP 2022-0047

Map generated on: 2/15/2024

PROJECT ANALYSIS

The project is subject to the following regulations:

A. General Plan Land Use Designation, R-15 Residential (R-15).
B. Multiple-Family Residential (R-3) Zone (CMC Chapter 21.16) and Beach Area Overlay (BAO) Zone (CMC Chapter 21.82).
C. Conditional Use Permits (CMC Chapter 21.42).
D. Coastal Development Procedures for the Mello II Segment of the Local Coastal Program (CMC Chapter 21.201); and Coastal Resource Protection Overlay Zone (CMC Chapter 21.203).
E. Growth Management Ordinance (CMC Chapter 21.90) and Local Facilities Management Plan Zone 1.

The recommendation for approval of this project was developed by analyzing the project's consistency with the applicable regulations and policies. The project's compliance with each of the above regulations is discussed in detail within the sections below.

A. General Plan Land Use Designation, R-15 Residential (R-15)

The subject 0.62-acre property has a General Plan Land Use designations of R-15 Residential.

The R-15 land use designation allows for development of multiple-family residential within a density range of 8-15 du/ac. The Multiple-Family Residential (R-3) Zone implements the R-15, Residential land use designation. The proposed "Professional Care Facility" use is a conditionally permitted use in the R-3 Zone; and therefore, is consistent with the R-15 Residential land use. Furthermore, the "Professional Care Facility" Use is a commercial use and not subject to the residential density.

The project also complies with the other Elements of the General Plan as outlined in Table "A" below:

TABLE A – GENERAL PLAN COMPLIANCE

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
Land Use & Community Design	Goal 2-G.2 – Promote a diversity of compatible land uses throughout the city, to enable people to live close to job locations, adequate and convenient commercial services, and public support systems such as transit, parks, schools, and utilities.	The project will provide a new "professional care facility" use in the form of 19 memory care beds and 23 professional care beds located near beaches, lagoons, and convenient neighborhood-serving commercial services. The project provides parking onsite within an underground parking garage and has convenient access to beaches, lagoons, parks, and shopping, as well as public transit via the Carlsbad Village mass transit station which provides bus, train, and Coaster service.	Yes

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
Land Use & Community Design	Goal 2-G.4 – Provide balanced neighborhoods with a variety of housing types and density ranges to meet the diverse demographic, economic and social needs of residents, while ensuring a cohesive urban form with careful regard for compatibility.	The proposed project adds additional housing types for seniors with special care needs.	Yes
Mobility	Goal 3-G.3 – Provide inviting streetscapes that encourage walking and promote livable streets.	The proposed project has been designed to meet circulation requirements, which include maintaining or enhancing frontage improvements consisting of new curb, gutter, sidewalks, and landscaping along all adjacent project street frontages, expanding the sidewalk width along Beech Street from 4 feet to 8 feet, and enhancing street crossing and traffic calming on Ocean Street. The proposed project is located less than one-quarter mile from the Carlsbad Village train station, which provides rail and bus service throughout the day. Furthermore, the project supports walkability and mobility by locating the project and its future residents near existing goods and services within the Village.	Yes
Public Safety	Goal 6-G.1 - Minimize injury, loss of life, and damage to property resulting from fire, flood, hazardous material release, or seismic disasters.	The proposed project is not located in any Very High Fire Severity Zone, Flood Zones, or Earthquake Fault Zones. The proposed structural improvements would be required to meet all seismic design standards at time of building permit in accordance with the California Building Code. The Fire Department has approved the proposed conceptual building design with fire sprinklers included throughout the building per the National Fire Protection Association (NFPA)	Yes

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
		standards. Therefore, the proposed project is consistent with the applicable fire safety requirements.	
Public Safety	Policy 6-P.6 – Enforce the requirements of Titles 18, 20, and 21 pertaining to drainage and flood control when reviewing applications for building permits and subdivisions.	The project has been conditioned to develop and implement a program of "best management practices" for the elimination and reduction of pollutants which enter and/or are transported within storm drainage facilities.	Yes
Public Safety	Policy 6-P.34 - Enforce the Uniform Building and Fire codes, adopted by the city, to provide fire protection standards for all existing and proposed structures.	The project is required to comply with all Building and Fire codes to ensure that fire protection standards are met by the proposed structures. Therefore, the proposed project is consistent with the applicable fire safety requirements.	Yes
Public Safety	Policy 6-P.39 - Ensure all new development complies with all applicable regulations regarding the provision of public utilities and facilities.	The project is required to construct or pay applicable fees for necessary improvements, public utilities, and facilities in accordance with Growth Management requirements; Fire Station No. 1 is located within emergency response timeframes; and the project will not affect the city's ability to implement its Emergency Operations Plan.	Yes
Sustainability	Policy 9-P.1 – Enforce the Climate Action Plan (CAP) as the city's strategy to reduce greenhouse gas emissions.	The project implements and is consistent with measures identified in the Climate Action Plan (CAP) through the provision of renewable energy generation (photovoltaic systems), energy conservation (Green Building Code), and by accommodating Zero-Emission vehicles and other greenhouse gas reduction measures and features. At building permit, the project will also be reviewed for compliance with the CAP ordinances.	Yes

B. Multiple-Family Residential (R-3) Zone (CMC Chapter 21.16) and Beach Area Overlay (BAO) Zone (CMC Chapter 21.82).

The Project is required to comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC) including the Multiple-Family Residential (R-3) zone (CMC Chapter 21.16) and the Beach Area Overlay (BAO) zone (CMC Chapter 21.82). Professional Care Facilities are an allowed use in the R-3 zone with a conditional use permit (CUP). Table "C" below covers the necessary findings to support approval of the proposed CUP.

Additionally, the proposed project meets all applicable requirements of the R-3 and BAO zones as demonstrated in Tables "B" and "C" below.

TABLE B – R-3/BAO ZONE DEVELOPMENT STANDARDS

STANDARD	REQUIRED/ALLOWED	PROVIDED	COMPLY
Setback – Front (Along Ocean Street)	20 feet	≥ 20 feet	Yes
Setback – Street Side (Along Beech Avenue)	10 feet	10 feet	Yes
Setback – Interior Side	10 feet	10 feet	Yes
Setback – Rear (Along Garfield Street)	20 feet	20 feet	Yes
Minimum Lot Area	7,500 sq. ft.	26,892 sq. ft.	Yes
Lot Coverage	60 percent	58 percent	Yes
Building Height	30 feet for roof pitch ≥ 3:12 or 24 feet for roof pitch < 3:12	3:12 pitched roof = 29'-1" Flat roof = 18'-10"	Yes

Per California Assembly Bill (AB) 2097, effective as of January 1, 2023, the city is prohibited from requiring minimum parking standards on certain private development projects, including the proposed professional care facility, that are located within one-half mile of public transit.[1] Under AB 2097, developers can still provide onsite parking, but the number of parking spaces provided is based on builder preference and market demand, not by city-established minimum parking standards. The parking spaces provided meet the minimum parking location and design standards. A summary of how the project would comply if the city could impose the minimum parking standards is provided in Table "C" below.

TABLE C- PARKING STANDARDS

Use	Ratio	Spaces Required	Spaces Proposed	Comply
Professional Care Facility	0.45 space per bed	0.45 x 42 beds (19 spaces)	30 spaces (subterranean garage)	Yes

[1] Refer to Exhibit 7 for an info-bulletin that provides more information on restrictions imposed by the state legislature under AB 2097 that limit the city's ability to require minimum parking standards on certain private development projects, including professional care facility projects. In Carlsbad there are currently only two major public transit stops (i.e. Carlsbad Village Station and Poinsettia Station).

C. Conditional Use Permit (CMC 21.42)

Pursuant to the R-3 zone, a conditional use permit (CUP) is required for a professional care facility. The proposed Carlsbad by the Sea Summerhouse professional care facility provides an alternative for long-term residential, social, and health care needs of elderly residents. In addition, this project assists in providing a continuum of care for the overall Carlsbad by the Sea operations through the addition of its memory care beds, which helps to minimize the trauma associated with a transfer from one setting to another. Operating under the same license of Carlsbad by the Sea, the proposed Summerhouse facility also allows for the provision of social and health care services in an appropriate State-licensed setting.

Conditional uses such as the proposed professional care facility possess characteristics of such unique and special form as to make impracticable to be included automatically in any land use classification. In granting a CUP, certain safeguards to protect the health, safety and general welfare of the public may be required as conditions of approval. Pursuant to Section 21.42 of the Carlsbad Municipal Code, CUPs may only be granted when the appropriate findings of fact can be made. Staff has reviewed the proposed project and found that all the necessary findings can be made to approve the CUP. The required findings and satisfaction of these findings are provided in Table "D" below.

TABLE D - CONDITIONAL USE PERMIT FINDINGS

FINDING	PROJECT CONSISTENCY
That the requested use is necessary or desirable for the development of the community, is in harmony with the various elements and objectives of the general plan and is not detrimental to existing uses or to uses specifically permitted in the zone in which the proposed use is to be located.	The proposed professional care facility use is considered necessary and desirable to satisfy the needs of elderly in the community; the architecture and scale of the proposed building steps with topography and is compatible with existing surrounding land uses; and the fact that the existing nearby adjacent Carlsbad by the Sea (previously Carlsbad by the Sea Lutheran Home) has coexisted with the surrounding community for almost 70 years without incident is further evidence of its compatibility with the community.
That the site for the proposed conditional use is adequate in size and shape to accommodate the yards, setbacks, walls, fences, parking, loading facilities, buffer areas, landscaping and other development features prescribed in this code and required by the City Planner, planning commission or City Council, in order to integrate the use with other uses in the neighborhood.	The project can be fit within the proposed development area without the need for any development standard modifications. Furthermore, the project has been designed to incorporate all of the required development standards of the Multiple-Family Residential (R-3) and Beach Area Overlay (BAO) Zone; and landscaping is being provided to visually enhance the surrounding public streets and areas within the site adjacent to the building, to ensure compatibility of the project with the surrounding community.
That the street system serving the proposed use is adequate to properly handle all traffic generated by the proposed use	The project will take access from both Garfield Street and Ocean Street, both of which are connected by Beech Avenue. The existing street system is designed to adequately handle the 126 Average Daily Trips (ADT) generated by the project and no additional improvements are required. The project

	proposes new curb, gutter, sidewalks, and landscaping along all adjacent project street frontages, including expanding the sidewalk width along Beech Street from 4 feet to 8 feet, and enhancing street crossing and traffic calming on Ocean Street.

D. Coastal Development Procedures for the Mello II Segment of the Local Coastal Program (CMC Chapter 21.201); and Coastal Resource Protection Overlay Zone (CMC Chapter 21.203).

The project site is located within the appeals area of the Coastal Zone and within the Mello II Segment of the Local Coastal Program (LCP). The site is also located within and subject to the Coastal Resources Protection Overlay Zone (Chapter 21.203). The project's compliance with each of these programs and ordinances is discussed below:

1. Mello II Segment of the Certified Local Coastal Program and all applicable policies.

The Local Coastal Program (LCP) Land Use designation for the property is R-15 Residential (R-15); and, the LCP Zoning designation is Multiple-Family Residential (R-3) consistent with both the city's General Plan Land Use and Zoning designations. The R-3 zone implements the R-15 land use designation. Professional care facilities are an allowed use in the R-3 zone with a conditional use permit.

The Project involves construction of an approximately 35,721-square-foot multilevel building for a non-ambulatory "professional care facility" use. The Summerhouse will be operated under the same license as the nearby adjacent Carlsbad by the Sea Retirement Community located south of the project site at 2855 Carlsbad Boulevard, and functionally, will serve as an extension of the existing facilities. Topographically, the site descends gently from Garfield Street in a westerly direction towards Ocean Street with elevations ranging from approximately 51 feet to 41 feet above mean sea level (MSL). The proposed building steps with topography and is compatible with the surrounding development of one- and two-story single-family residences, church buildings, and the existing nearby adjacent three-story Carlsbad by the Sea buildings. The two visible stories will not obstruct views of the coastline as seen from public lands or the public right-of-way, nor otherwise damage the visual beauty of the coastal zone. No agricultural uses or sensitive resources exist on this site. The proposed structure is not located in an area of known geologic instability or flood hazard. While the site is near the coast, no public opportunities for coastal shoreline access or water-oriented recreational activities are available from the site directly; however, the project does benefit from being located directly across the street from an existing beach access. This structure will bring additional tenants closer to the beach and be an improvement over the existing vacant parcels. s

2. Coastal Resource Protection Overlay Zone

The Project is consistent with the provisions of the Coastal Resource Protection Overlay Zone (CMC Chapter 21.203 of the Zoning Ordinance) in that it will adhere to the city's Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban run-off, pollutants, and soil erosion. The project site also does not include steep slopes (equal to or greater than 25% gradient) or native vegetation; and, is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.

E. GROWTH MANAGEMENT

The proposed project is located within Local Facilities Management Zone 1 in the Northwest Quadrant of the city. The impacts on public facilities created by the project, and its compliance with the adopted performance standards, are summarized in Table "E" below.

TABLE E – GROWTH MANAGEMENT COMPLIANCE

Standard	Impacts/Demand
City Administration	N/A
Library	N/A
Wastewater Treatment	34 EDU
Parks	N/A
Drainage	3.40 CFS, Basin A
Circulation	126 ADT
Fire	Fire Station 1
Open Space	N/A
Schools	N/A
Sewer Collection System	34 EDU
Water	80 GPM

City of Carlsbad

DISCLOSURE STATEMENT
P- 1(A)

Development Services
Planning Division
1635 Faraday Avenue
(442) 339-2610
www.carlsbadca.gov

Applicant's statement or disclosure of certain ownership interests on all applications which will require discretionary action on the part of the City Council or any appointed Board, Commission or Committee.

The following information **MUST** be disclosed at the time of application submittal. Your project cannot be reviewed until this information is completed. Please print.

Note:
Person is defined as "Any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, in this and any other county, city and county, city municipality, district or other political subdivision or any other group or combination acting as a unit."

Agents may sign this document; however, the legal name and entity of the applicant and property owner must be provided below.

1. **APPLICANT** (Not the applicant's agent)
Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person N/A
Title
Address

Corp/Part Front Porch Communities and Services
Title
Address 800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

2. **OWNER** (Not the owner's agent)
Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having any ownership interest in the property involved. Also, provide the nature of the legal ownership (i.e., partnership, tenants in common, non-profit, corporation, etc.). If the ownership includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person N/A
Title
Address

Corp/Part Front Porch Communities and Services
Title
Address 800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

3. **NON-PROFIT ORGANIZATION OR TRUST**

If any person identified pursuant to (1) or (2) above is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the non-profit organization or as trustee or beneficiary of the.

Non Profit/Trust Front Porch Communities and Services
Title
Address SEE ATTACHED

Non Profit/Trust
Title
Address

4. Have you had more than $500 worth of business transacted with any member of City staff, Boards, Commissions, Committees and/or Council within the past twelve (12) months?

☐ Yes ☒ No If yes, please indicate person(s):

NOTE: Attach additional sheets if necessary.

I certify that all the above information is true and correct to the best of my knowledge.

Rachel Vranich 7.29.2022
Signature of owner/date

Rachel Vranich 7.29.2022
Signature of applicant/date

Front Porch Communities and Services by Rachel Vranich, Secretary
Print or type name of owner

Front Porch Communities and Services by Rachel Vranich, Secretary
Print or type name of applicant

Signature of owner/applicant's agent if applicable/date

Print or type name of owner/applicant's agent

Attachment to Disclosure Statement
P-1(A)
Front Porch Communities and Services

Front Porch Communities and Services, the applicant and owner, is a California nonprofit public benefit corporation. The following are the names and addresses of the officers and directors.

Officers

John Woodward, President and Chief Executive Officer
800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

Eduardo Salvador, Chief Financial Officer
800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

Rachel Vranich, Secretary and Chief Legal Officer
800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

Jeff Sianko, Chief Operating Officer
800 N. Brand Blvd., 19th Floor
Glendale, CA 91203

Directors

Peter Dunckel, Director
1661 Pine Street
Apartment 711
San Francisco, CA 94109

Nancy Duranteau, Director
280 Caldecott Lane 314
Oakland, CA 94618

Vince Forte, Vice Chair
1237 Rose Lane
Lafayette, CA 94549

Joanne Handy, Director
70 Taraval Street
San Francisco, CA 94116

Mary Ellen Heising, Director
5555 Montgomery Drive A4
Santa Rosa, CA 95409

Laura Jacobs, Director
10154 Bridlevale Drive
Los Angeles, CA 90064

Jimmie Kennedy, Director
891 S. Walnut Street Unit 205
Anaheim, CA 92802

Kevin Kroeker, Director
5048 Humphrey Way
La Crescenta, CA 91214

Marion McGovern, Director
2423 Broadway
San Francisco, CA 94115

Kay Murphy, Director
650 Harrison Avenue
Claremont, CA 91711

Deborah Proctor, Chair
701 Poppy Avenue
Corona Del Mar, CA 92625

Suanne Ramar, Director
18600 Blythswood Drive
Los Gatos, CA 95030

Lannie Tonnu, Director
290 W. Duarte Road
Arcadia, CA 91007

Oliver Wesson Jr., Director
7 Kingsbury Street
Alameda, CA 94501

Susan Whittaker, Director
3958 Mediterranean Lane
Lake Havasu City, AZ 86406

November 2nd, 2022

Mr. Jason Goff
Senior Planner
CITY OF CARLSBAD
1635 Faraday Ave.
Carlsbad, CA 92008

CARLSBAD BY THE SEA
Retirement Community
a front porch community

RE: PART B - ENHANCED STAKEHOLDER OUTREACH REPORT
CARLSBAD BY THE SEA SUMMERHOUSE
CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063) - 2710; 2720; 2730 and 2740 Ocean Street

Dear Mr. Goff:
We have completed the Part B - Enhanced Stakeholder Outreach for the Carlsbad by the Sea Summerhouse project. The following is a summary report of the activities completed and the results of this Outreach.

1. PROGRAM DESCRIPTION
A Notice and Project Description with postage-paid mail-back comment form was mailed to all property owners within 600-feet (to ensure a minimum of 20 properties) of the subject property, and all occupants within 100-feet, including all present occupants of the onsite building. This postage-paid mail-back postcard program is one of the options allowed pursuant to the Guidance of Development Project Public Involvement handout provided by the Planning Division pursuant to City Council Policy Statement 84.

2. INFORMATIONAL PACKET CONTENTS
The information packet contained a Public Notice of the proposed project, including project number, a project description, the project location, and the applicant name. The Public Notice requested the receivers review the information provided, and to provide comments they may have regarding the project on a comment card. My phone number and email address was also included on the Public Notice for stakeholders who preferred verbal communication.
A copy of the information packet and comment cards is attached as Exhibit A to this report.

3. NEIGHBORING PROPERTIES LIST AND STAKEHOLDERS
The Informational Packet was mailed to a total of 162 addressees. All addressees were property owners within the 600-foot radius of the subject property and occupants within the 100-foot radius, as described above. We were not aware of any additional stakeholders to be added to the list. A list of the property owners to which the Informational Packet was mailed is attached as Exhibit B.

4. DATES AND TIMEFRAMES
The Informational Packets were mailed and postmarked from the Carlsbad Post Office on Oct 10, 2022.
The comment cards were returned after the meeting.

5. COMMENTS RECEIVED
In the on-site meeting, there are 29 guests signed in: 25 are residents of CBTS, 4 are neighbors. We received 33 comment cards: all affirming the project except for the last one thinks this project is too tall, there is not enough parking and he doesn't like the modern design. There are 9 returned letters from "Notice of Project Application" neighbor mailout, all undeliverable and returned to sender.

A copy of the returned Informational Packet envelope is attached as Exhibit C.
Sincerely,

Paula Digerness

Paula Digerness
Front Porch Communities and Services

2855 Carlsbad Boulevard • Carlsbad, CA 92008
(760) 720-4580 • FAX (760) 729-0938
www.carlsbadbythesea.org

Exhibit A

ENHANCED STAKEHOLDER OUTREACH NOTICE

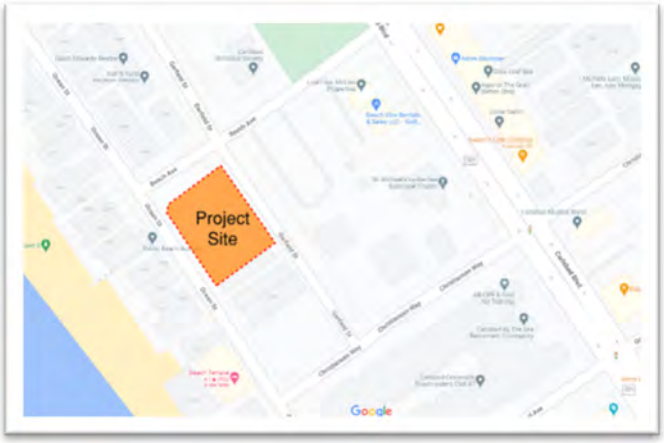
October 5th, 2022

[Front Porch Communities and Services]

SUBJECT: Informational Meeting on a Proposed Development Project at 2710; 2720; 2730 and 2740 Ocean Street – Project No. CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)

Dear Neighbors and Interested Stakeholders:

This letter is to invite you to an informational meeting on a proposed development project in your area. Front Porch Communities and Services has submitted a development application to the City of Carlsbad for a Tentative Tract Map (CT 2022-0003), a Conditional Use Permit (CUP 2022-0014) and Coastal Development Permit (CDP 2022-0047) (DEV2022-0063) to permit the construction of a 38,000 square-foot Professional Care Facility, with on-site parking and landscaping at 2710; 2720; 2730 and 2740 Ocean Street (see map below and attached site plan and building elevations) The project is currently under review by the City of Carlsbad and will be subject to a future Planning Commission hearing where the Commission will vote on the project. Project is expected to go in front of the Planning commission in June 2023 and Construction to start 9 months after that. Construction is estimated to last 18 months. As an affected neighbor or interested stakeholder, you will be notified of the future Planning Commission hearing on the project.



The informational meeting will be held at:

11:00 a.m.
Monday, October 17, 2022
2710 - 2740 Ocean Street
(Project Site) Carlsbad, CA

At the meeting, representatives of Front Porch Communities and Services will be available to describe the proposed project and discuss questions or concerns you may have. Maps and plans of the proposed project will also be available for review at the meeting.

If you have any questions, please do not hesitate to contact me at (760) 435-2321 or PDIGERNESS@frontporch.net

Sincerely,

Paula Digerness

Paula Digerness,
Executive Director of Carlsbad by the Sea Retirement Community
2855 Carlsbad Blvd. Carlsbad, CA 92008
Front Porch Communities and Services

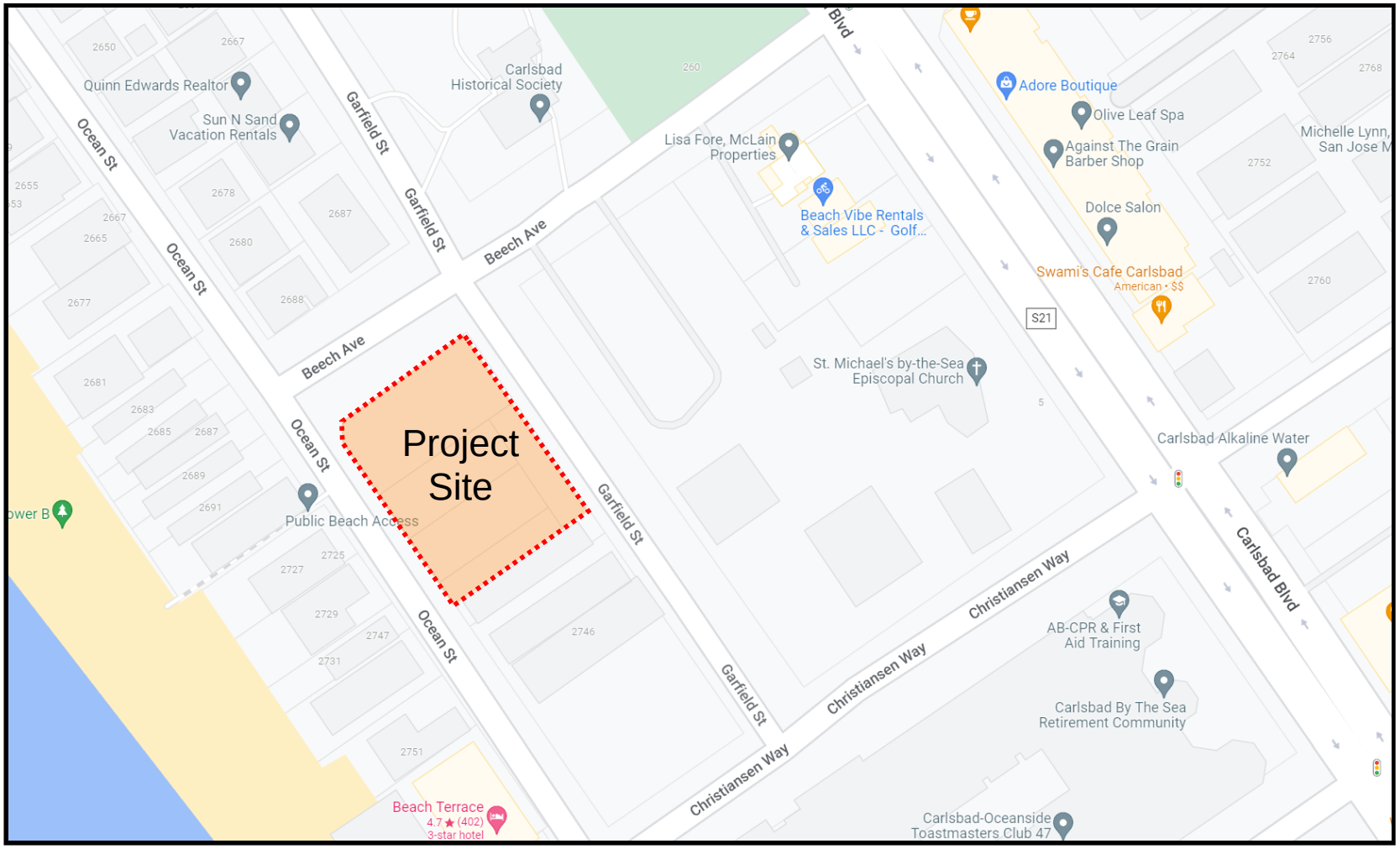
Exhibit A

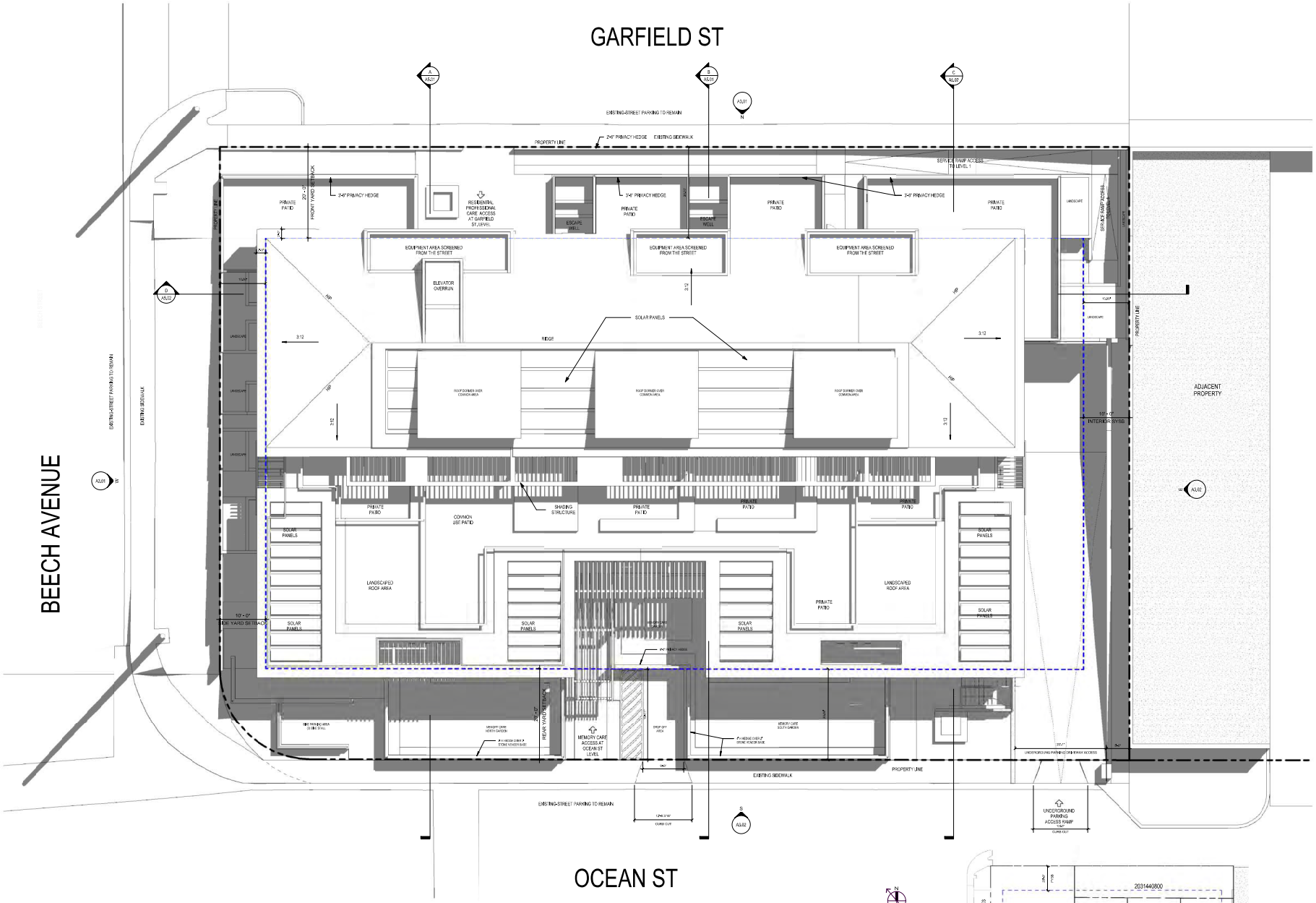
Informational Meeting on a Proposed Development Project

Project No. CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)

LOCATION :
2710-2740 OCEAN STREET
CARLSBAD, CA 92008
(PROJECT SITE)

DATE:
11.00 AM
MONDAY OCTOBER 17TH, 2022

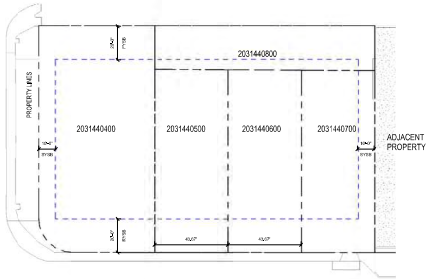




SITE PLAN - ROOF PLAN
1/8" = 1'-0"

DEVELOPMENT STANDARDS SUMMARY - PER CARLSBAD MUNICIPAL CODE

ZONING	R-3	BEACH AREA OVERLAY (BOA) ZONE
LAND USE DISTRICT	N/A	
BUILDING HEIGHT	35' SUPERSEDED →	MAX. OF 30' IF A MIN. 3/12 ROOF PITCH OR 24' IF LESS THAN A 3/12 PITCH
FRONT SETBACK (Garfield St)	MINIMUM OF 20'	
SIDE SETBACK	10% OF WIDTH OF LOT, MIN. 5' AND MAX OF 10'	
REAR SETBACK (Ocean St)	TWICE THE REQUIRED SIDE SETBACK = 20'	
LOT COVERAGE	60% MAX of Total Lot area	15,586.53 SF
OPEN SPACE	20% MUST BE OPEN SPACE	
PARKING REQUIREMENTS	PROFESSIONAL CARE FACILITIES - .45 PARKING SPACES PER EVERY BED	0.25 SPACE PER EACH UNIT OR FRACTION THEREOF - WITH 11 UNITS OR MORE



EXISTING PARCEL MAP
1" = 30'-0"

Agency Approval
CT 2023-0003/CUP 2023-0014/CDP 2023-0047 (DEV2023-0003)

Cuningham

1020 G Street | San Diego | CA 92101
cuninghamcore

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase	SD	Date	08.01.2022
Project No.	17-0350	PIC / ARC	WH

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title
Site Plan

Sheet Number
A1.01

Current Revision

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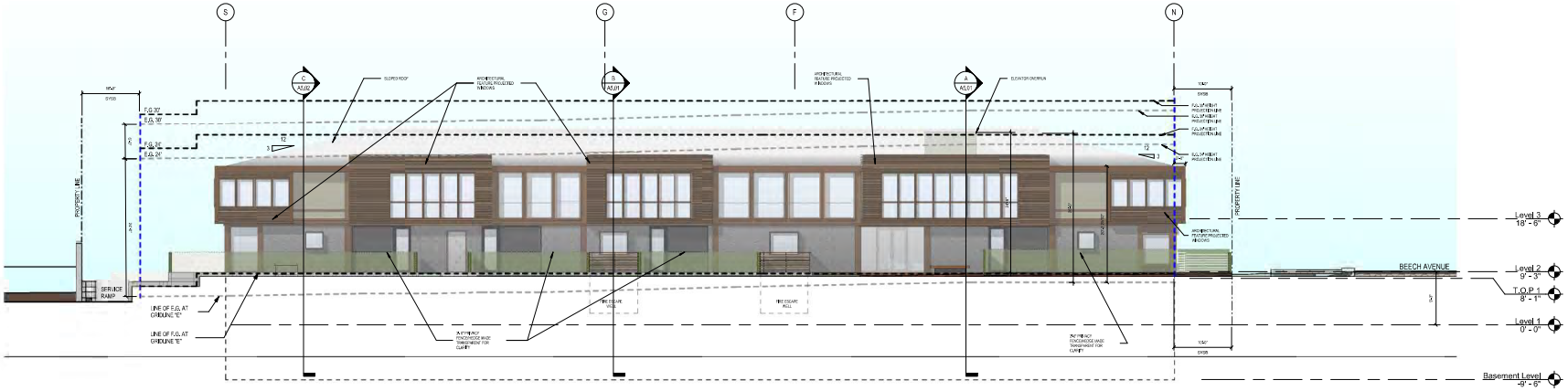
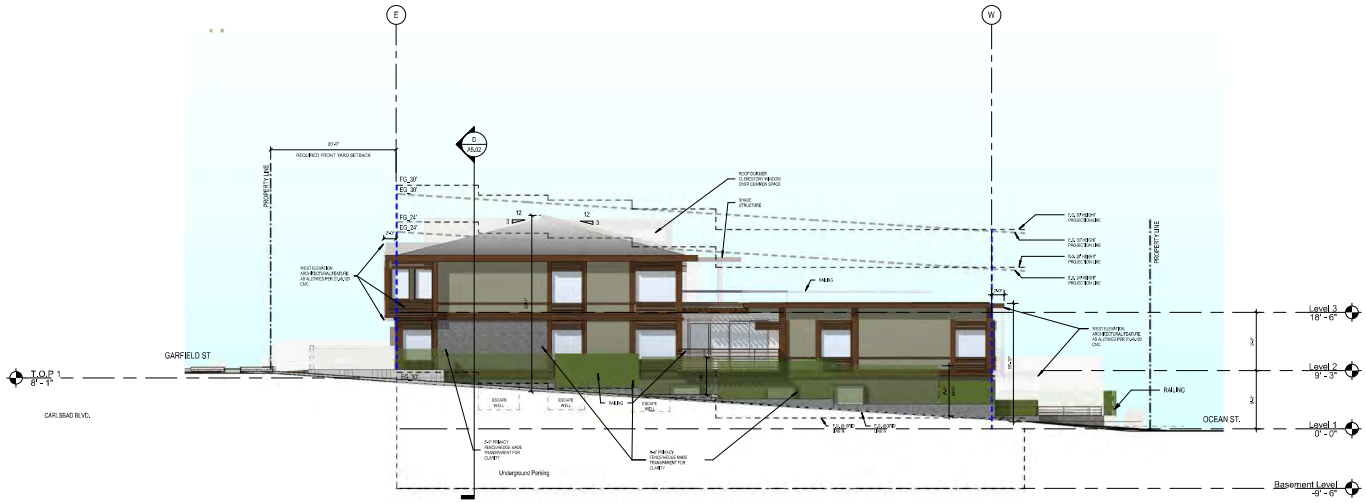
Exhibit A



N A3.01 NORTH ELEVATION
1/8" = 1'-0"



W A3.01 WEST ELEVATON
1/8" = 1'-0"

Agency Approval
CT 2023-2003/CUP 2023-0014/CDP 2023-0047 (DEV2023-0003)

Cuningham

1030 G Street | San Diego | CA 92101
cuninghamarc.com

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase	SD	Date	08.01.2022
Project No.	17-0350	PIC / ARC	WH

CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title
Conceptual Elevations

Sheet Number
A3.01

Current Revision

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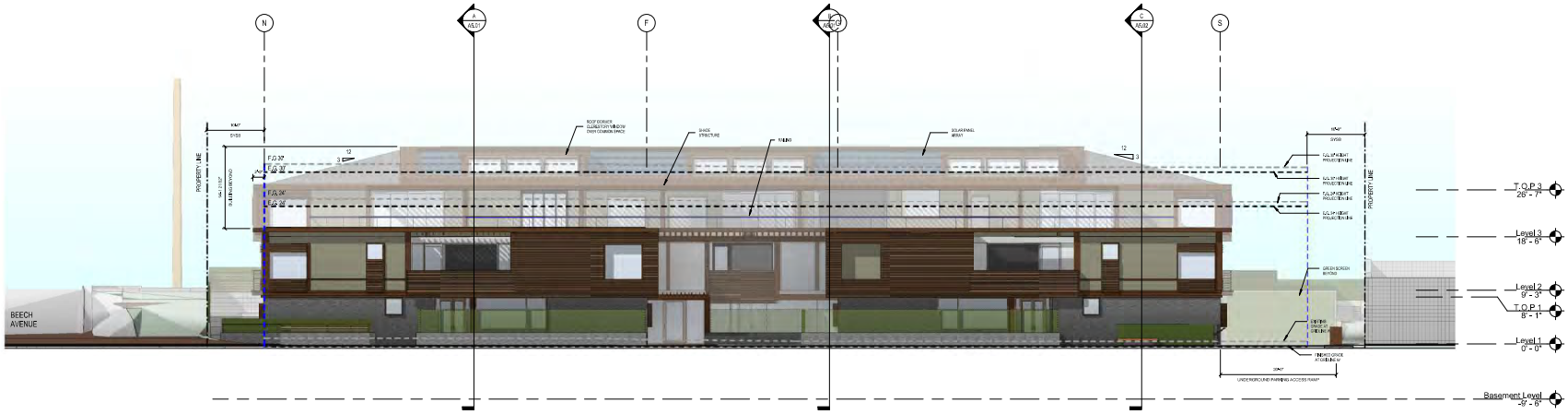
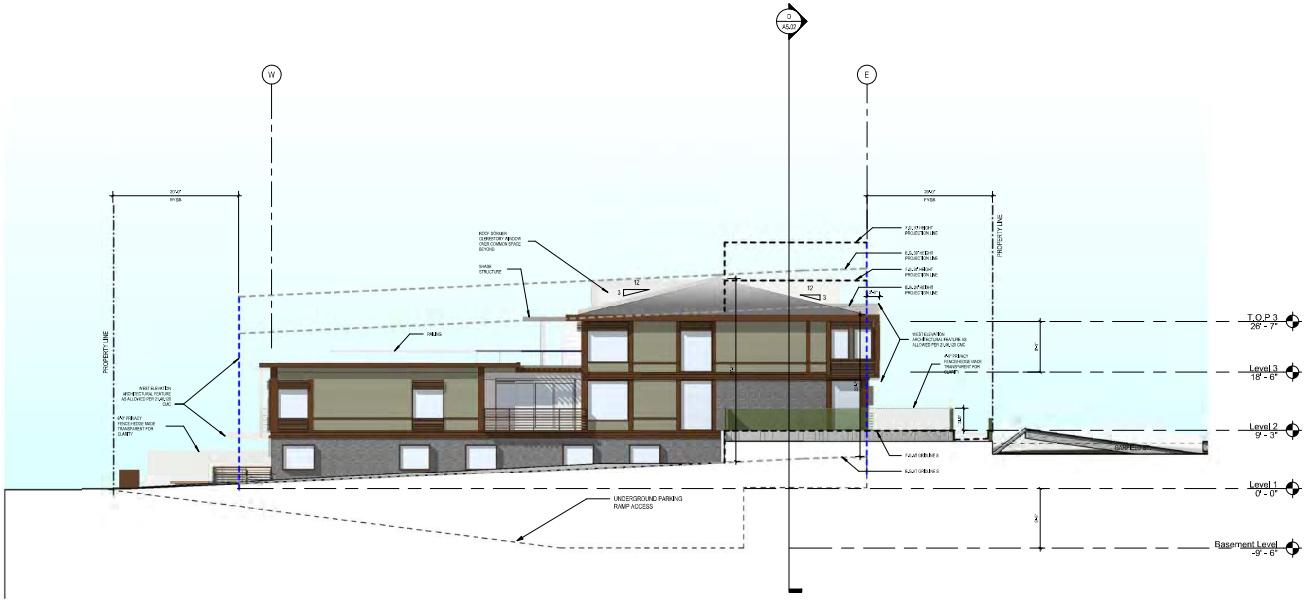
Exhibit A



S A3.02 WEST ELEVATION
1/8" = 1'-0"



E A3.02 EAST ELEVATION
1/8" = 1'-0"

Agency Approval
CT 2023-2003/CUP 2023-0014/CDP 2023-0047 (DEV2023-0003)

Cuningham

1020 G Street | San Diego | CA 92101
cuninghamarc.com

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase	SD	Date	08.01.2022
Project No.	17-0350	PIC / ARC	WH

CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title
Conceptual Elevations

Sheet Number
A3.02

Current Revision

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Exhibit A

AERIAL VIEW 1 - CORNER OF BEECH AND GARFIELD

AERIAL VIEW 2 - CORNER OF BEECH ST AND OCEAN ST.

AERIAL VIEW 3 - OCEAN ST

CORNER OF BEECH AND GARFIELD

CORNER OF BEECH AND OCEAN ST

ENTRANCE - MEMORY CARE - OCEAN ST.

NORTHEAST 1 - BEECH STREET

SOUTHEAST 1 - OCEAN ST

ENTRANCE - INDEPENDENT LIVING - GARFIELD

TIPICAL FIRE ESCAPE WELL

Agency Approval

CT 2022-2003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0003)

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PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase	SD	Date	08.01.2022
Project No.	17-0350	PM / ARC	WH

CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title

Conceptual Renderings

Sheet Number — Current Revision

A6.01

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Exhibit A

ATTACHMENT B-3
ENHANCED STAKEHOLDER OUTREACH
SIGN-IN SHEET

PROPOSED DEVELOPMENT PROJECT AT 2710; 2720; 2730 and 2740 Ocean Street
(CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063))
PROJECT OUTREACH MEETING
October 17, 2022

(NOTE: This information will be included in the city's project file and become part of the public record.)

Name (please print)	Address	Phone Number	Email Address	Yes, please include me in project mailing list (✓)	Would like to ask questions (✓)
MITCHI KLASKIN	2855 CARLSBAD BLVD APT. N209	760-432-2478		✓	
MARY KRAKOWSKI	201 GRAND AVE CARLSBAD, CA 92008	760-435-2418		✓	
Sandy Sweeney	201 Grand Carlsbad CA	760-435-2373		✓	
GERALD ANDERSON	2855 CARLSBAD BLVD #135	760-435-2411		✓	
KEN HARTMAN	2855 CARLSBAD BLVD	760-435-2370		✓	
MIKE BUCKLEY	2855 CARLSBAD BLVD	707-631-7226		✓	
Corinna Jim Bud	" "			✓	
Kathleen Libero	2764 Carlsbad Blvd #103			✓	
JOHN SANDERS	2855 Carlsbad Blvd Apt 0-101	760-435-2533	drjohnsand@yahoo.com	✓	
TIM BUSH	CBB	7608456[illegible]	TimBush@cbcal.com	✓	
LEO NIKORA	CBB	7604352434	LEO@NIKORA-COM	✓	

Exhibit A

ATTACHMENT B-3
ENHANCED STAKEHOLDER OUTREACH
SIGN-IN SHEET

PROPOSED DEVELOPMENT PROJECT AT 2710; 2720; 2730 and 2740 Ocean Street
(CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063))
PROJECT OUTREACH MEETING
October 17, 2022
(NOTE: This information will be included in the city's project file and become part of the public record.)

Name (please print)	Address	Phone Number	Email Address	Yes, please include me in project mailing list (✓)	Would like to ask questions (✓)
Bev Nikora	2855 Carlsbad Blvd Carlsbad, CA	760-4352434	bev@nikoraCom		
Lou Wirin	P-417	760 772 7997	louwirin@gmail.com		
Marian Reed	201 Grand Ave. Carlsbad 92008	760-435-2452	marianreed060@gmail.com		
Brendan Foote	2727 Roosevelt #B	619-840-7721	brendan@fabricinvestments.com		
Jill Vonderreith	2755 Carlsbad Bl.	760-425-2404	jvreith@sbcglobal.net		
Rocco Liberio	2744 Carlsbad Blvd	(626)792-4175	same		
Renee Wales	2729 Ocean St	858-243-0770	reneersf@gmail.com	✓	

Exhibit A

ATTACHMENT B-3
ENHANCED STAKEHOLDER OUTREACH
SIGN-IN SHEET

PROPOSED DEVELOPMENT PROJECT AT 2710; 2720; 2730 and 2740 Ocean Street
(CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063))
PROJECT OUTREACH MEETING
October 17, 2022

(NOTE: This information will be included in the city's project file and become part of the public record.)

Name (please print)	Address	Phone Number	Email Address	Yes, please include me in project mailing list (✓)	Would like to ask questions (✓)
KEN VOERTMAN	2588	7607246671	KVB3YTHESEAAGAIN@GMAIL.COM	✓	
JO VOERTMAN	2853 CBD BLVD	"	JVB3YTHESEAAGAIN@GMAIL.COM		
FRAN Overton	" " "	760-435-2467	overs1000@AOL.COM	✓	

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

Carlsbad By the Sea definitely needs a memory care center in order to make our care for seniors complete. It is important that friends are able to visit - a place close to where they have lived. A place they are able to walk to. "Friends" are important.

(Optional, if you want to be included in future mailings)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Memory Care is needed at Carlsbad by the Sea in order to provide a full range of services. We strongly support the Summer House Project.

(Optional, if you want to be included in future mail notices)

Name: D Bellama / N McCharen

Address: 2855 Carlsbad Blvd Apt S-219

Carlsbad, CA 92008

Phone:

Email:

Date: 10-17-22

Return Comment Card To:

Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: As a resident I am so excited about Summers House Memory Care. I just pray that it will be completed by the time I need the services. Hurry

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

The professional care facility proposed at Beech/Garfield Sts will result In a facility which is an enhancement to the City of Carlsbad and its residents, local and citywide. Strongly recommend the City of Carlsbad proceed with the project.

Corinna Bush Jim Bush

(future mail notices)

Corinna and James Bush

2855 Carlsbad Blvd. N 213

Carlsbad, CA 92008

760-435-2484

JaasBush@aol.com

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

October 17, 2022

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I am very much in favor of the proposed assisted care building to be built by Carlsbad By the Sea on Carlsbad Blvd. It is an important and much needed facility for the city of Carlsbad. It will be a first class dwelling for individuals in Carlsbad By the Sea. I highly recommend this project!

(Optional, if you want to be included in future mail notices)

Name:

Address: Barbara Havens (maybe)

Phone:

Email:

Date:

Return Comment Card To:

Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: THIS PROJECT IS "PLUS" FOR ALL CONCERNED! CITY, RESIDENTS OF CARLSBAD BY THE SEA, NEIGHBORS. CITY WILL GET REVENUE, RESIDENTS WILL HAVE OPPORTUNITY IF EVER NEEDED TO HAVE MEMORY CARE VERY CLOSE BY, NEIGHBORS A NICE FACILITY INSTEAD OF A DIRT LOT!

(Optional, if you want to be included in future mail notices)

Name: KEN HARTMAN

Address: 2855 CARLSBAD BLVD #135 CARLSBAD, CA 92008

Phone:

Email:

Date: 10/17/22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Summer House Memory Care is very important for the well being of the residents of CBTS. There have been many residents who, due to mobility, health issues, transportation problems, etc., have been unable to see their spouses who have been moved to a memory care facility.

(Optional, if you want to be included in future mail notices)

Name: Alice Spruing

Address: Carlsbad By The Sea

Phone:

Email:

Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Having memory care on site is probably most important to spouses of those who have dementia. If they can no longer drive, there is no way for them to spend time with their loved one - to read to them or feed them or hold their hand. We need Summer House.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Having memory care at their senior living community was the only way my father was able to see my mother after she developed dementia and he could no longer drive. We need it here at CBTS.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: The Summer House Memory Care is very important to me as a Carlsbad By The Sea Retirement Home resident. If either my husband or myself needs to go into a memory care facility, we will only be separated by a short, walkable block.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: HAVING MEMORY CARE AT CBTS IS VERY IMPORTANT TO ME. I, AND MANY OTHER RESIDENTS HERE, EXPECT TO NEED MEMORY CARE. WE DON'T WANT TO MOVE TO GET IT.

(Optional, if you want to be included in future mail notices)

Name: LEO NIKORA
Address: 2855 CARLSBAD BLV.
CARLSBAD, CA
92008
Phone: 760-435-2434
Email: LEO@NIKORA.COM
Date: 10/17/2022

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 436-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Can't think of a better use for this blighted property, which has been an eyesore for far too long. Will be a welcome upgrade for the whole neighborhood.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Two major factors caused me to choose to move to Carlsbad by the Sea: Near-by train station & the promise of a memory care facility. I have no family to care for me, and I have a mother & grandmother who developed dementia & alzheimers respectively, so I am very much in support of this needed facility.

(Optional, if you want to be included in future mail notices)

Name: Diana Clark, CBTS Resident

Address: N-316

Phone:

Email: diana@clarksonizn.com

Date: 10-15-22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: My wife and I are both in our 80's. We look forward that one of us could develop mental problems or was Alzheimer's Disease. Having a Summer House nearby will allow the other party to remain in our apartment at Carlsbad By The Sea and maintain regular contact.

(Optional, if you want to be included in future mail notices)

Name: John Sanders

Address: Apt O-101

Phone: 843-991-6066

Email: drjohnsanders@yahoo.com

Date: 10/17/24

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Carlsbad by the Sea enjoys being a good neighbor and looks forward to continuing this relationship with the addition of the Summer House. The architecture will enhance the existing neighborhood.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I NEED AND ~~ASK~~ THIS PROJECT BE APPROVED AS SOON AS POSSIBLE.

(Optional, if you want to be included in future mail notices)

Name: ALBERT ZEIS

Address: 2855 CARLSBAD BLVD N-215 92008

Phone: 760 435-2354

Email:

Date: 10/15/2022

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: PLEASE APPROVE THIS PROJECT ASAP

(Optional, if you want to be included in future mail notices)

Name: LOIS ZEIS

Address: 2855 CARLSBAD BLVD N-215 92008

Phone:

Email: 760 435 2354

Date: 10/15/2022

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: This is an important component to complete our scope of care. It will add flexibility to our services and be an important addition to Carlsbad community services for years to come.

Architecture looks much too sterile and not like the Village.

(Optional, if you want to be included in future mail notices)

Name: Betty Fitzpatrick

Address: 201 Grand Ave #255

Phone: 760-845-4784

Email: betty@fitz-art.com

Date: 10/15, 22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I hope CBTS memory care facility will come to fruition in case I need it in the future.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: YES- we need this facility - Summerhouse. It will be a great asset to Carlsbad and CBTS

(Optional, if you want to be included in future mail notices)

Name: R.M. Teutsch

Address: 2855 Carlsbad Blvd. S225
Carlsbad, CA 92008

Phone: 760-435-2475

Email:

Date: 10-15-22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: My husband & I came to CBTS because we love the area. We also were told they were working on a memory care center - that was 6 yrs ago. Sadly we have seen couples leave here because of memory problems. That is a tragedy!!

(Optional, if you want to be included in future mail notices)

Name: Trudy + Gary Garner

Address: 2801 Ocean St.

Phone:

Email:

Date: 10-16-22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: We wholeheartedly support the proposed memorycare and senior living addition (Summer House) to CBTS. This badly needed resource will be a positive addition to the Carlsbad community. Additionally our support is based on this facility being owned & managed by Front Porch Senior living, a recognized leader in all levels of senior living community management.

(Optional, if you want to be included in future mail notices)

Name: Buckley

Address: 2855 Carlsbad Blvd S-224
Carlsbad, CA 92008

Phone: 707-631-7276

Email: shirleymike@frontiernet.net

Date: 10/17/2022

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I fully support the Summer House Memory Care Project. Although I hope to not need the services myself, you never know. I have seen too many residents who had to move out of CBTS because of the lack of a memory care facility.

(Optional, if you want to be included in future mail notices)

Name: Penny Held

Address: 2855 Carlsbad Blvd N-113 Carlsbad, CA 92008

Phone: 760-435-2405

Email: Pennyheld66@gmail.com

Date: 10/17/22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: Having a Memory care center close by OBTS would be a "God Send" for many people.

As our population grows older and we live longer, this type of care is needed. Summer House will be an attractive building with a quiet population

(Optional, if you want to be included in future mail notices)

Name: Sybil Ward

Address:

Phone:

Email:

Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: It would be lovely to have this kind of care if I ever need it in my neighborhood. Hope this project happens.

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: We moved to CBTS to spend our final days. It would be very calming to know that we are here for life regardless of the circumstances. It would be an asset for Carlsbad to offer a complete care facility.

(Optional, if you want to be included in future mail notices)

Name: BETTY LEAF

Address: 2855 CARLSBAD BLVD
CARLSBAD, CA 92008

Phone: 480-540-9277

Email: bggeorgel@gmail.com

Date: 10/16/22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I am excited about the plans for Summer House. Memory care is a much needed resource and service. Summer House expands the care offered by Carlsbad By the Sea to residents + to the greater community.

(Optional, if you want to be included in future mail notices)

Name: Candace Young-Schuet

Address: 201 Grand 141, 92028

Phone: 760 435-2351

Email: candaceys141@gmail.com

Date: 10/16/22

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: ONE MAJOR PROBLEM WITH CBTS IS THAT IT DOES NOT HAVE MEMORY CARE! OVER THE YEARS MANY COUPLES HAVE BEEN SEPARATED. THE ONE WITH MEMORY PROBLEMS HAS HAD TO MOVE AWAY FOR CARE, LEAVING THEIR PARTNER BEHIND. AND IN MANY CASES THEY CANNOT DRIVE!

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 436-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments:

I am very interested in + pleased with the Summer House Memory Care project.

Jill Vander Reid
CBJS resident

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

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Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I suggest some interested could visit area memory cares, as a basis for judging and ideas.. Wesley Palms comes to mind e.g - not literally but as good ambiance I had visited some OTHERS when family members were living there.

(Optional, if you want to be included in future mail notices)

Name: CHRISTA STAHL

Address: N/14

Phone: X2439

Email:

Date: 10/15/22

Return Comment Card To:

Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

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Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

Comments: We were both very impressed with the design and appearance of the proposed Summer House. The natural slope of the land lends itself well to having separate entrances for the Memory Care and Independent Living areas, a key feature to serve both types of residents. The patio area looks great with its greenery and ocean views. It will be a showpiece of the Village.

Gerry and Nancy Anderson
2855 Carlsbad Blvd, Apt. S-321
Carlsbad, CA 92008
760-435-2411
geraldanderson21@icloud.com
17 October 2022

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: I SUPPORT THE SUMMER HOUSE MEMORY CARE PROJECT - A MUCH NEEDED ADDITION TO THE CARE OFFERED BY CBTS

(Optional, if you want to be included in future mail notices)
Name:
Address:

Phone:
Email:
Date:

Return Comment Card To:
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Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

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Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: In August 2000, my wife and I moved to Carlsbad by the Sea Retirement Community where we planned to spend the rest of our lives. This move was prompted by an event when my wife had a stroke in 1999. She recovered some, however her memory skill was failing her and it was clear that she would need appropriate care in the future. At the time we came here at CBTS we were told that a memory care facility would be built in the near future. We are near that point now where such facility would be needed.

We are using services from Assisted Living here to make it possible to live independently. Assisted Living manages and delivers medications to my wife 4 times per day and also performs numerous services in a comprehensive attempt to prevent her from falling. This includes supervising showers, escorting her to the toilet during the night. Additionally I hire a special caregiver to stay with her while I shop, go to medical appointments, and ride my bicycle with friends.

We are both in our 90's and look forward to the completion of our planned Summerhouse facility.

(Optional, if you want to be included in future mail notices)

Name: Don Harvey

Address:

Phone:

Email: vlbi@yahoo.com

Date:

Return Comment Card To:
Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit A

PROJECT COMMENT CARD - 2740 Ocean Street (CT 2022-0003)

(NOTE: Written comments will be forwarded to the city and become part of the public record.)

Comments: The building is too tall.

The architecture too modern.

Not enough parking for staff and residents.

(Optional, if you want to be included in future mail notices)

Name:

Address:

Phone:

Email:

Date:

Return Comment Card To:

Paula Digerness
Front Porch Communities and Services
2855 Carlsbad Blvd.
Carlsbad, CA 92008

(760) 435-2321
PDIGERNESS@frontporch.net

Exhibit B - Radius MAP

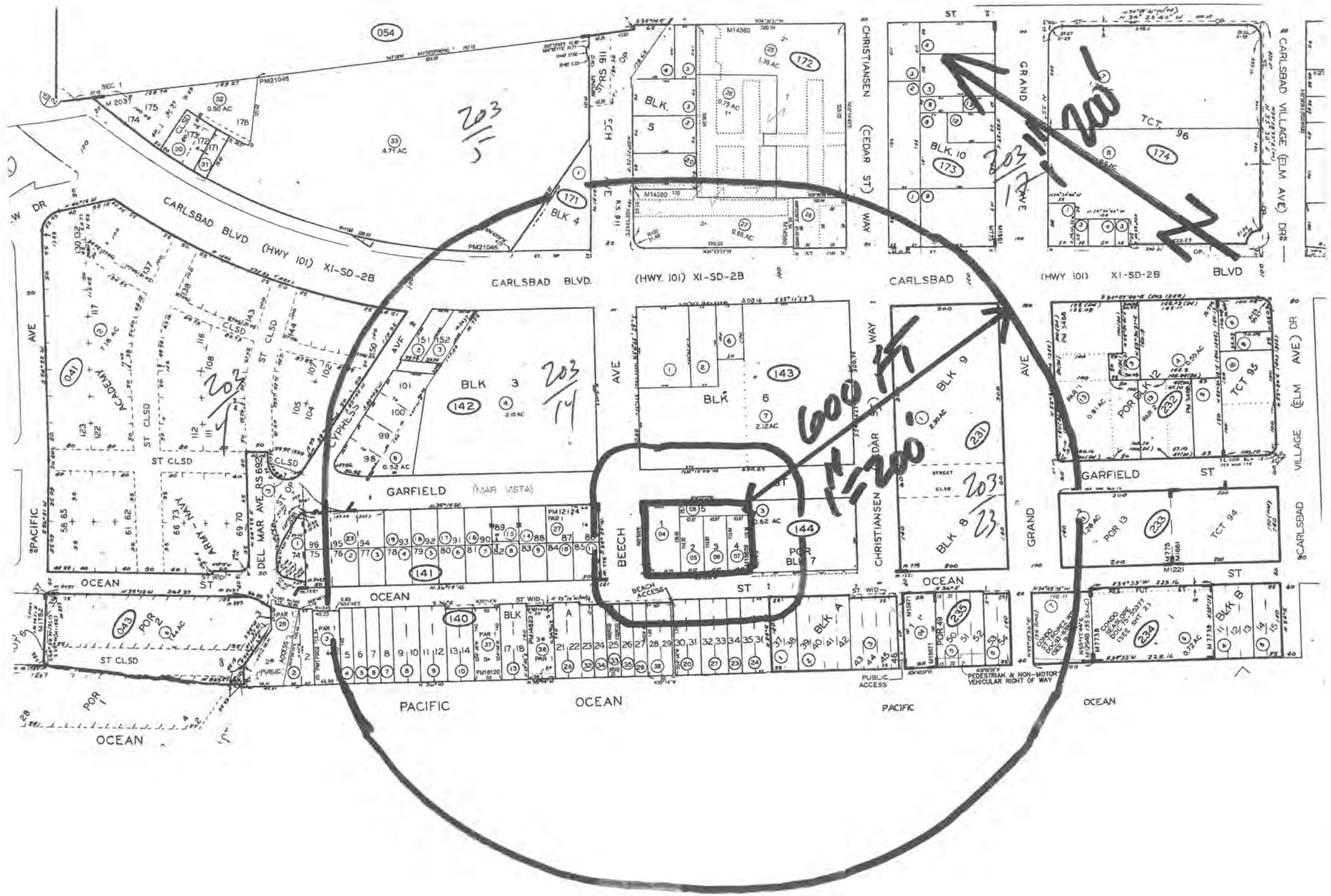


Exhibit B 100' Radius Resident List

APN	NAME	UNIT	ADDRESS	CITY	STATE	ZIP
203-140-20	RESIDENT		2723 OCEAN ST	CARLSBAD	CA	92008
203-140-23	RESIDENT		2731 OCEAN ST	CARLSBAD	CA	92008
203-140-24	RESIDENT	UNIT 1	2747 OCEAN ST	CARLSBAD	CA	92008
203-140-24	RESIDENT	UNIT 2	2747 OCEAN ST	CARLSBAD	CA	92008
203-140-27	RESIDENT		2729 OCEAN ST	CARLSBAD	CA	92008
203-140-29	RESIDENT		2691 OCEAN ST	CARLSBAD	CA	92008
203-140-33	RESIDENT		2687 OCEAN ST	CARLSBAD	CA	92008
203-140-34	RESIDENT		2685 OCEAN ST	CARLSBAD	CA	92008
203-140-35	RESIDENT		2689 OCEAN ST	CARLSBAD	CA	92008
203-140-38	RESIDENT		2701 OCEAN ST	CARLSBAD	CA	92008
203-141-11	RESIDENT		2688 OCEAN ST	CARLSBAD	CA	92008
203-141-27-01	RESIDENT		2689 GARFIELD ST	CARLSBAD	CA	92008
203-141-27-02	RESIDENT		2687 GARFIELD ST	CARLSBAD	CA	92008
203-141-27-03	RESIDENT		2685 GARFIELD ST	CARLSBAD	CA	92008
203-142-04	RESIDENT		258 BEECH AVE	CARLSBAD	CA	92008
203-143-07	RESIDENT		2775 CARLSBAD BLVD	CARLSBAD	CA	92008
203-144-03	RESIDENT		2775 OCEAN ST	CARLSBAD	CA	92008
203-235-01	RESIDENT		2751 OCEAN ST	CARLSBAD	CA	92008
203-235-02	RESIDENT		2775 OCEAN ST	CARLSBAD	CA	92008

Exhibit B 600' Radius Owner List

APN	NAME	UNIT	ADDRESS	CITY	STATE	ZIP
203-144-04	SUNSHINE FAMILY TRUST 01-04-22		P O BOX 1161	SOLANA BEACH	CA	92075
203-144-05	SUNSHINE FAMILY TRUST 01-04-22		P O BOX 1161	SOLANA BEACH	CA	92075
203-144-06	SUNSHINE FAMILY TRUST 01-04-22		P O BOX 1161	SOLANA BEACH	CA	92075
203-144-07	SUNSHINE FAMILY TRUST 01-04-22		P O BOX 1161	SOLANA BEACH	CA	92075
203-144-08	SUNSHINE FAMILY TRUST 01-04-22		P O BOX 1161	SOLANA BEACH	CA	92075
203-041-02	ARMY & NAVY ACADEMY CARLSBAD CALIFORNIA		P O BOX 3000	CARLSBAD	CA	92018
203-054-33	ARMY & NAVY ACADEMY CARLSBAD CALIFORNIA		P O BOX 3000	CARLSBAD	CA	92018
203-140-03-01	ANDERSON & ROMINGER PRIVATE FAMILY TRUST 10-26-20		2609 OCEAN ST	CARLSBAD	CA	92008
203-140-03-02	WELLS STACY C MARITAL TRUST 05-15-97		2052 PINECREST DR	ALTADENA	CA	91001
203-140-04	MULLEN FAMILY TRUST 07-26-91		2617 OCEAN ST	CARLSBAD	CA	92008
203-140-05	MULLEN FAMILY TRUST 07-26-91		2617 OCEAN ST	CARLSBAD	CA	92008
203-140-06	SABA TRUST 02-28-91		2623 OCEAN ST	CARLSBAD	CA	92008
203-140-07	BURCHFIELD NANCY A TRUST 08-29-08		2627 OCEAN ST	CARLSBAD	CA	92008
203-140-08	MILA CO II LLC		16130 ROYAL OAK RD	ENCINO	CA	91436
203-140-09	MICHAEL T & LINDA KEEFE		2641 OCEAN ST	CARLSBAD	CA	92008
203-140-10	2649 OCEAN STREET LLC		6655 E 66TH ST	PARADISE VALLEY	AZ	85253
203-140-13	PHILLIPS JACK D FAMILY TRUST 05-25-16		2667 OCEAN ST	CARLSBAD	CA	92008
203-140-20	JOYCE J MINICK		111 CAMINO AMIGO CT	DANVILLE	CA	94526
203-140-23	DEL MAR MANAGEMENT TRUST 09-10-19		2720 OCEAN FRONT	DEL MAR	CA	92014
203-140-24	BARBARA J HAVENS	UNIT 2	2747 OCEAN ST	CARLSBAD	CA	92008
203-140-26	SINGER CHRIS TRUST 08-13-05		P O BOX 1171	IDYLLWILD	CA	92549
203-140-27	WAILES ROBERT E PERSONAL RESIDENCE TRUST 09-01-11		2729 OCEAN ST	CARLSBAD	CA	92008
203-140-29	BENEDICT CARLSBAD LIVING TRUST 04-04-07		8185 HORSESHOE BEND LN	LAS VEGAS	NV	89113
203-140-32	2683 L P		P O BOX 793	RCHO SANTA FE	CA	92067
203-140-33	PATTON M/K FAMILY TRUST 05-22-95		28 W YALE LOOP	IRVINE	CA	92604
203-140-34	KLOSTERMAN KENNETH G IRREVOCABLE TRUST 02-11-21		2685 OCEAN ST	CARLSBAD	CA	92008
203-140-35	KUNKEL EVELYN N REVOCABLE TRUST 08-02-11		2689 OCEAN ST	CARLSBAD	CA	92008
203-140-36-01	GROSSE RUSSELL W & MARY E FAMILY TRUST AKA GROSSE		5850 SUNNY CREEK RD	CARLSBAD	CA	92010
203-140-36-02	CRUMP S & LISA H SCOTT		3300 FAIRCHILD AVE	WAYZATA	MN	55391
203-140-37-01	PALISOUL SURVIVORS TRUST 06-20-97		2653 OCEAN ST	CARLSBAD	CA	92008
203-140-37-02	BLAIR FAMILY TRUST 04-28-15	UNIT 321	655 INDIA ST	SAN DIEGO	CA	92101
203-140-38	DEAN TOMMY M TRUST 03-14-05		4517 ADAMS ST	CARLSBAD	CA	92008
203-141-02	ARMY & NAVY ACADEMY CARLSBAD CALIFORNIA		P O BOX 3000	CARLSBAD	CA	92018
203-141-03	CAMISI LLC		7317 E GREENWAY RD	SCOTTSDALE	AZ	85260
203-141-04	2634 OCEAN LLC		P O BOX 510	CARLSBAD	CA	92018
203-141-05	LADWIG TRUST 05-01-89		2642 OCEAN ST	CARLSBAD	CA	92008
203-141-06	JOHNSON-ALGOVER TRUST 02-14-18		2650 OCEAN ST	CARLSBAD	CA	92008
203-141-07	BARRY J BLUE		2658 OCEAN ST	CARLSBAD	CA	92008

203-141-08	CHRISTOPHER & CRISTA SWAN		2668 OCEAN ST	CARLSBAD	CA	92008
203-141-09	TTR/BLR TRUST 04-21-05		7406 N 83RD DR	GLENDALE	AZ	85305
203-141-10	CARLSBAD MERMAID SEPTEMBER 23 2008 TRUST		2680 OCEAN ST	CARLSBAD	CA	92008
203-141-11	SIDUN MARIE TRUST 09-13-07		621 LAS FLORES DR	SAN MARCOS	CA	92078
203-141-14	STOTESBURY IRENE M TRUST 04-18-02		14119 HALPER RD	POWAY	CA	92064
203-141-15	QUINN B EDWARDS		2669 GARFIELD ST	CARLSBAD	CA	92008
203-141-16	FULLMER FAMILY TRUST 11-10-99		2838 DENTRO DE LOMAS RD	VISTA	CA	92084
203-141-17	EQUITAS REAL ESTATE HOLDINGS LLC		1515 SUNRISE DR	VISTA	CA	92084
203-141-18	SINCLAIR B MILLS		7317 E GREENWAY RD	SCOTTSDALE	AZ	85260
203-141-19	TOY JOYCE R TRUST 01-06-89		2501 E COMMONWEALTH	FULLERTON	CA	92831
203-141-23	ARMY & NAVY ACADEMY CARLSBAD CALIFORNIA		P O BOX 3000	CARLSBAD	CA	92018
203-141-27-01	2689 GARFIELD ST LLC		2729 OCEAN ST	CARLSBAD	CA	92008
203-141-27-02	2687 GARFIELD ST LLC		2729 OCEAN ST	CARLSBAD	CA	92008
203-141-27-03	WAILES RENEE S REVOCABLE TRUST 02-10-00		2729 OCEAN ST	CARLSBAD	CA	92008
203-142-02	CARLSBAD BLVD LLC		2667 OCEAN ST	CARLSBAD	CA	92008
203-142-03	CARLSBAD BLVD LLC		2667 OCEAN ST	CARLSBAD	CA	92008
203-142-04	CITY OF CARLSBAD		1200 CARLSBAD VILLAGE DR	CARLSBAD	CA	92008
203-142-06	ARMY & NAVY ACADEMY CARLSBAD CALIFORNIA		P O BOX 3000	CARLSBAD	CA	92018
203-143-01	PARISH OF ST MICHAELS-BY-THE-SEA EPISCOPAL CHURCH		2775 CARLSBAD BLVD	CARLSBAD	CA	92008
203-143-02	PARISH OF ST MICHAELS-BY-THE-SEA EPISCOPAL CHURCH		2775 CARLSBAD BLVD	CARLSBAD	CA	92008
203-143-06	ST MICHAELS-BY-THE-SEA EPISCOPAL CHURCH		2775 CARLSBAD BLVD	CARLSBAD	CA	92008
203-143-07	ST MICHAELS-BY-THE-SEA EPISCOPAL CHURCH		2775 CARLSBAD BLVD	CARLSBAD	CA	92008
203-144-03	CARLSBAD BEACH HOTEL PROPERTIES L L C		2775 OCEAN ST	CARLSBAD	CA	92008
203-171-01	CA STATE PARKS SAN DIEGO COAST NORTH SECTOR		2680 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-20	ANN E CAAN JO		333 BEECH AVE	CARLSBAD	CA	92008
203-172-25-01	THERESA/REMY KIRKHAM	UNIT 200	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-02	CONDOMITTI MATTHEW J & RODERICK MELODY A	UNIT 202	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-03	LOURDES FERNANDEZ	UNIT 204	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-04	CRAIG WEBBER	UNIT 206	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-05	PATRICIA C WRIGHT	UNIT 208	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-06	AUSMAN WALTER A & LAMBERT-AUSMAN NATALIA V	UNIT 210	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-07	JON & NICOLE DUDAS		915 N OLSEN AVE	TUCSON	AZ	85719
203-172-25-08	PORTER FAMILY TRUST 04-16-2020		2177 N GRANDVIEW RD	ORANGE	CA	92867
203-172-25-09	KNOWLEDGE MANAGEMENT TRUST 11-13-13	UNIT A-204	5405 ALTON PKWY	IRVINE	CA	92604
203-172-25-10	GERMAN & NELIDA GONZALEZ	UNIT 207	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-11	DEANNE M BREWER		29192 VISTA VALLEY DR	VISTA	CA	92084
203-172-25-12	THEODORE L OCKELS		456 HIGH TIARA CT	GRAND JUNCTION	CO	81507
203-172-25-13	HOMER & LUCY HOLT		2241 E CHRISTY DR	PHOENIX	AZ	85028
203-172-25-14	DREW PATRICIA L TRUST 06-30-14	UNIT 215	2778 CARLSBAD BLVD	CARLSBAD	CA	92008

203-172-25-15	FIRAS M & DIANNA S RAHHAL		2728 ANGELO DR	LOS ANGELES	CA	90077
203-172-25-16	DWAYNE & LISA BUTH		3114 DEL REY AVE	CARLSBAD	CA	92009
203-172-25-17	WARSHAWSKY FAMILY TRUST 02-01-02		72211 BARBARA DR	RANCHO MIRAGE	CA	92270
203-172-25-18	NELSON CHRISTINE M REVOCABLE TRUST 10-18-94		3021 E SHAKESPEARE PL	SALT LAKE CTY	UT	84108
203-172-25-19	RICHARD L & DEBORAH C LARKIN		2037 W FLETCHER ST	CHICAGO	IL	60618
203-172-25-20	GAUDREAU-RICHTER LIVING TRUST 07-24-14	UNIT 100	2756 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-21	PASHA SABIHA TRUST 11-01-04	UNIT 101	2756 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-22	LENAHAN JOHN E JR & BURKE VIRGINIA M		12 HARBOR HEIGHTS DR	CENTERPORT	NY	11721
203-172-25-23	ELENA B HALL		7102 DAFFODIL PL	CARLSBAD	CA	92011
203-172-25-24	S K J FAMILY INVESTMENTS LLC		100 48TH AVE NW	NORMAN	OK	73072
203-172-25-25	MATTHEW D & KELLIE A SCHOLTA	UNIT 103	2776 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-26	SANGEORGE FAMILY TRUST 07-01-13		6964 AMMONITE PL	CARLSBAD	CA	92009
203-172-25-27	FARGO N KHOURY/MICHELLE L SOOS	UNIT 101	2776 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-28	CELESTE NICHOLS/SCOTT NILSSEN		6022 N 64TH PL	PARADISE VLY	AZ	85253
203-172-25-29	PRIETTO JOHN G REVOCABLE LIVING TRUST 07-21-05		3071 JEFFERSON ST	CARLSBAD	CA	92008
203-172-25-30	ELI P & TOMASITA B NEGRON	UNIT 102	2760 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-31	HANIFAN J & L FAMILY TRUST 04-09-02	UNIT 115	1575 DELUCCHI LN	RENO	NV	89502
203-172-25-32	OESTERLE FAMILY TRUST 10-25-90		152 WITHAM RD	ENCINITAS	CA	92024
203-172-25-33	CHRISTOPHER & CARLOTHA FLORES	UNIT 300	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-34	MIGUEL A & MARIA S GONZALEZ	UNIT 301	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-35	JONES BARBARA H REVOCABLE LIVING TRUST 05-19-14	UNIT 302	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-36	ANGELA HICKS	UNIT 303	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-25-37	JILL D SCHILLING	UNIT 304	2778 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-01	SWANSON RICHARD A & CHERYL A REVOCABLE TRUST	UNIT 100	2764 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-02	JOHN E LILLFORS	UNIT 101	2764 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-03	PAUL E & KIMBER L NIXON	UNIT 102	2764 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-04	LIBERIO ROCCO J & KATHLEEN M FAMILY TRUST 07-01-01	UNIT 202	155 S EL MOLINO AVE	PASADENA	CA	91101
203-172-26-05	JIM & JAN TRUST 03-06-14	UNIT 104	2764 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-06	LANGAN REVOCABLE LIVING TRUST 10-22-18		1681 W DAWN DR	TEMPE	AZ	85284
203-172-26-07	SMITH BRETT & LAURA FAMILY TRUST 03-16-20	UNIT 101	2748 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-08	COOKE FAMILY TRUST 12-28-06	UNIT 102	2748 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-09	BALLARD REVOCABLE LIVING TRUST 01-29-14	UNIT 103	2748 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-26-10	MORRA FAMILY TRUST		2601 OLD SPANISH TRL	ESCONDIDO	CA	92025
203-172-26-11	CHRIS C HUIE		13560 N 94TH PL	SCOTTSDALE	AZ	85260
203-172-26-12	DORAZI DAVID F TRUST 03-31-04		4717 HAMPTON RD	LA CANADA	CA	91011
203-172-26-13	HARRIS JAMES M & KATHLEEN M REVOCABLE LIVING TRUST		1556 COPPER CT	SAN MARCOS	CA	92078
203-172-26-14	COSTELLO FAMILY TRUST 05-10-94		P O BOX 1570	RANCHO SANTA FE	CA	92067
203-172-26-15	COSTELLO FAMILY TRUST 05-10-94		P O BOX 1570	RANCHO SANTA FE	CA	92067
203-172-26-16	LANDES FAMILY TRUST 10-12-93	UNIT 102	2752 CARLSBAD BLVD	CARLSBAD	CA	92008

Exhibit B 600' Radius Owner List

203-172-26-17	AARONSON FAMILY TRUST 12-15-11		2422 S YOSEMITE DR	PALM SPRINGS	CA	92264
203-172-26-18	THOMAS A & COMPTON SUE C POTTER		3679 CAMINO MARGLESA	ESCONDIDO	CA	92025
203-172-27-01	FORTIN 1998 FAMILY TRUST 07-08-98	UNIT 209	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-02	ROACH FAMILY TRUST 10-21-05		P O BOX 580915	N PALM SPGS	CA	92258
203-172-27-03	CONNOLLY LIVING TRUST 11-17-04	UNIT 207	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-04	ZOSCHAK PETER JR & BETH TRUST 07-14-03		P O BOX 280	CARLSBAD	CA	92018
203-172-27-05	MULLALY FAMILY TRUST 04-27-09	UNIT 205	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-06	NEVILLE BRUCE & AYSIN TRUST 10-03-01	UNIT 204	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-07	SHINTHI MEHTA	UNIT 203	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-08	HODGES LYNNE R SEPARATE PROPERTY TRUST 12-19-13	UNIT 202	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-09	CINQUE ROBERT & CHRISTINE LIVING 2004 TRUST 08-03-04	UNIT 201	2744 CARLSBAD BLVD	CARLSBAD	CA	92008
203-172-27-10	PATWARDHAN CHINMAY M & HUFF ANNA C		P O BOX 7463	AVON	CO	81620
203-172-27-11	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-12	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-13	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-14	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-15	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-16	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-17	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-18	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-19	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-27-20	CARLSBAD VILLAGE BY THE SEA LLC		8195 DOUG HILL	SAN DIEGO	CA	92127
203-172-28	LUDVIK & VERONICA GRIGORAS		2802 CARLSBAD BLVD	CARLSBAD	CA	92008
203-173-01	LUVIK & VERONICA GRIGORAS		2802 CARLSBAD BLVD	CARLSBAD	CA	92008
203-173-09	GERICOS		2885 WILSON ST	CARLSBAD	CA	92008
203-231-01	FRONT PORCH COMMUNITIES AND SERVICES		800 N BRAND BLVD 19TH FL	GLENDALE	CA	91203
203-232-15	FRONT PORCH COMMUNITIES AND SERVICES		800 N BRAND BLVD 19TH FL	GLENDALE	CA	91203
203-233-03	BEARBEAU PARTNERS LLC		2950 OCEAN ST	CARLSBAD	CA	92008
203-234-07-01	CHAISSON JAMES J JR IRREVOCABLE TRUST 12-10-12		1008 ARABIAN SAND CT	LAS VEGAS	NV	89144
203-234-07-02	LITTRELL FAMILY TRUST 11-07-90		13639 ROSTRATA RD	POWAY	CA	92064
203-234-07-03	MURPHY FAMILY TRUST		10208 STONY RIDGE DR	LAS VEGAS	NV	89144
203-234-07-04	JACKO III LLC		3312 LIVONIA AVE	LOS ANGELES	CA	90034
203-234-07-05	MINOR FAMILY 2008 TRUST		P O BOX 490	SAN JACINTO	CA	92581
203-234-07-06	BERNARD KIMBALL V FAMILY TRUST 10-08-86		6000 N 37TH PL	PARADISE VALLEY	AZ	85253
203-235-01	BELL FAMILY PARTNERS		P O BOX 4248	CARLSBAD	CA	92018
203-235-02	CARLSBAD BEACH HOTEL PROPERTIES L L C		2775 OCEAN ST	CARLSBAD	CA	92008
203-235-03	CARLSBAD BEACH HOTEL PROPERTIES L L C		2775 OCEAN ST	CARLSBAD	CA	92008
203-235-04-01	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05		2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-04-02	PINTO JAMES J TRUST 11-15-07	UNIT 2	2805 OCEAN ST	CARLSBAD	CA	92008

Exhibit B 600' Radius Owner List

203-235-04-03	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05	2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-04-04	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05	2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-04-05	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05	2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-04-06	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05	2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-04-07	SIGAFOOSE NORINE LIVING EXEMPT TRUST 04-07-05	2086 OCEANVIEW RD	OCEANSIDE	CA	92056
203-235-05	FRONT PORCH COMMUNITIES AND SERVICES	800 N BRAND BLVD 19TH FL	GLENDALE	CA	91203
203-235-06	OCEAN STREET VILLAS LLC	2895 OCEAN ST	CARLSBAD	CA	92008

Exhibit C Returned Mail

rness
bad Blvd.
:A 92008

RESIDENT
2685 OCEAN ST
CARLSBAD CA 92008

NIXIE 911 DE 1 0010/09/22

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

UTF BC: 92008290255 *2252-04664-09-23
92008>2902

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

TWO OUNCE USA

RESIDENT
2688 OCEAN ST
CARLSBAD CA 92008

NIXIE 911 5E 1 7210/09/22
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

UTF BC: 92008290255 *2252-04662-09-23
92008>2902

92008>2902 UTF BC: 92008290255 *2252-04653-09-23
NIXIE 911 4C 1 7210/09/22
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

9327020173368893

TWO OUNCE USA

RESIDENT
2691 OCEAN ST
CARLSBAD CA 92008

Item #1

RESIDENT
2687 GARFIELD ST
CARLSBAD CA 92008

NIXIE 911 4C 1 7210/09/22
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 92008290255 *2252-04663-09-23
UTF
92008>2902

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

RESIDENT
2685 GARFIELD ST
CARLSBAD CA 92008

NIXIE 911 SE 1 7210/09/22
RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD
BC: 92008290255 *2252-04663-09-23
UTF
92008>2902

9327020173368893

April 17, 2024

Exhibit C Returned Mail

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

TWO OUNCE USA 2022

RESIDENT
2723 OCEAN ST
CARLSBAD CA 92008

NIXIE 911 SE 1 7210/15/22

RETURN TO SENDER
INSUFFICIENT ADDRESS
UNABLE TO FORWARD

FWD BC: 92008290255 *0952-00617-09-23
92008>2902

Item #1

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

TWO OUNCE USA 2022

NELSON CHRISTINE M
REVOCABLE TRUST 10-18-94
3021 E SHAKESPEARE PL
SALT LAKE CTY UT 84108

NIXIE 911 FE 1 0010/07/22

RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

ANK BC: 92008290255 *2252-00263-07-15
92008>2902

April 17, 2024

Exhibit C Returned Mail

Exhibit C Returned Mail

Item #1

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

SAN DIEGO CA 920
6 OCT 2022 PM 2 L

88 0

TWO OUNCE USA

NMR

RESIDENT
258 BEECH AVE
CARLSBAD CA 92008

NIXIE 911 DE 1 0010/15/22
RETURN TO SENDER
ATTEMPTED - NOT KNOWN
UNABLE TO FORWARD

ANK BC: 92008290255 *2204-00866-06-42
92008-2902

April 17, 2024

Paula Digerness
2855 Carlsbad Blvd.
Carlsbad, CA 92008

SAN DIEGO CA 920
6 OCT 2022 PM 1 L

TWO OUNCE USA

RESIDENT
2751 OCEAN ST
CARLSBAD CA 92008

NIXIE 911 SE 1 7210/15/22
RETURN TO SENDER
UNCLAIMED
UNABLE TO FORWARD

UNC BC: 92008290255 *1404-03343-06-42
92008-2902

CEQA DETERMINATION OF EXEMPTION

Subject: This California Environmental Quality Act (CEQA) Determination of Exemption is in compliance with Carlsbad Municipal Code Section 19.04.060. An appeal to this determination must be filed in writing with the required fee within ten (10) calendar days of the City Planner's decision consistent with Carlsbad Municipal Code Section 21.54.140.

City Planner Decision Date: February 7, 2024

Project Number and Title: CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063) – CARLSBAD BY THE SEA SUMMERHOUSE

Project Location - Specific: Assessor's Parcel Numbers (APNs) 203-144-04, -05, -06, -07, and -08

Project Location - City: Carlsbad **Project Location - County:** San Diego

Description of Project: The project consists of a Tentative Tract Map (CT 2022-0003), Conditional Use Permit (CUP 2022-0014), and Coastal Development Permit (CDP 2022-0047) for the consolidation of five legal lots (0.55 acres) and the development of an approximately 35,721 square foot multilevel building with a "professional care facility" use operated by the adjacent Carlsbad by the Sea Retirement Community. The proposed building will consist of the following: Basement Level includes parking for 30 vehicles with access provided from Ocean Street and storage for up to 21 bicycles; Level 1 (Ocean Street Grade Level) includes 19 memory care licensed beds; Level 2 (Garfield Street Grade Level) includes 16 licensed residential professional care beds within 10 units; Level 3 (Upper Level with Roof Terrace) includes 7 licensed residential professional care beds within 5 units for a total of 42 professional care licensed beds. The site is vacant, fenced and maintained. Access will be provided from both Garfield Street and Ocean Street. Frontage improvements include curb, gutter and sidewalk along Garfield Street, Ocean Street and Beech Avenue.

Name of Public Agency Approving Project: City of Carlsbad

Name of Person or Agency Carrying Out Project: City o Carlsbad

Name of Applicant: Front Porch Communities and Services (Attn: Jeff Sianko)

Applicant's Address: 800 North Brand Boulevard, 19th Floor, Glendale, CA 92103

Applicant's Telephone Number: 626-688-5160

Exempt Status: Categorical Exemption: Class 32, Section 15332 (In-fill Development Projects)

Reasons why project is exempt: Categorical Exemptions: Pursuant to Section 15332 of CEQA exemptions (Class 32) the project is consistent with the General Plan and Zoning Ordinance; development occurs within City limits; the site is less than five (5) acres in size and is substantially surrounded by urban uses; there is no evidence that the site has value as habitat for endangered, rare, or threatened species; the approval of the project will not result in significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

Lead Agency Contact Person: Jason Goff, Senior Planner **Telephone:** 442-339-2643

Eric Lardy 2/7/24

ERIC LARDY, City Planner Date

This bulletin provides an overview of the restrictions imposed by the state legislature under AB 2097 on the city's ability to require minimum parking standards on certain private development projects.

BACKGROUND

Most cities, including Carlsbad, have historically required that new residential and commercial development provide onsite parking spaces to sufficiently accommodate occupants and customers and reduce impacts to neighboring land uses. The commonly applied parking standard is formula based, where the minimum number of required parking spaces is dependent upon the size and type of use being built. For example, Carlsbad requires one parking space for every 100 square feet of restaurant space, two parking spaces for each apartment unit with two or more bedrooms, and so on.

Based largely on a body of academic research regarding the potential impacts minimum parking ratios have on car ownership, vehicle miles traveled, and use of public transit, the state legislature passed AB 2097, which added Government Code §65863.2, that effectively eliminates parking requirements in new residential and commercial developments when located within a half-mile of a major transit stop.

According to the Assembly Floor Analysis on AB 2097, the study found that in buildings with no on-site parking, only 38% of households owned a car, but in buildings with at least one parking space per unit, the study found that more than 81% of households owned automobiles. As such, by eliminating parking minimums in new development, the state legislature figures that fewer households will rely on the automobile for transportation.

Documents Referenced

Carlsbad Village Station Eligible Parcels; Map
Poinsettia Station Eligible Parcels; Map
Carlsbad Housing (Element) Plan; IB-137
2021-2029 Housing Element; Plan
Carlsbad Parking Standards; §21.44
EV Charging Station Requirements; §18.22
EV Charging Permit Streamlining; IB-165
Density Bonus; IB-112
Supportive Housing Defined; §21.04.355.1
Transitional Housing Defined; §21.04.362
CA Coastal Commission Memo; Policy

Developers could still voluntarily provide onsite parking (and many likely will), but the number of parking spaces provided will be based on builder preference and market demand, not by city-established minimum parking standards.

The state legislature's intent with this action, which is effective January 1, 2023, is that it will help drive down construction costs, reduce vehicle traffic, increase public transit ridership, and promote walkable and bikeable communities so people can get around without a car, which will reduce the greenhouse gas emissions responsible for climate change.

NEW STATE LIMITS ON PARKING

AREAS AFFECTED

Pursuant to Government Code §65863.2(a), a city cannot impose or enforce any minimum automobile parking requirements on a residential, commercial, or other development project (except for hotels, motels, short-term rentals, or other transient lodging --- city parking standards still apply to those) if the project is located within one-half mile of public transit. The state defines public transit as a "major transit stop," containing any one of the following:

- Fixed rail station
- Bus rapid transit stop
- high-quality transit corridor included in a regional transportation plan
- Intersection of two or more major bus routes were buses stop every 15 minutes or less during peak commute periods

The city does not have any high-quality transit corridors per SANDAG's 2021 Regional Transportation Plan. And North County Transit District's Breeze bus system, does not meet the bus stop requirements and therefore does not qualify.

Currently, there are only two locations in the city that meet the definition of public transit --- Carlsbad Village Station and Poinsettia Station. Maps have been provided showing those parcels that are subject to §65863.2. See "Documents Referenced" above.

In cases where only a portion of the project site is located within one-half mile of a major transit stop, the following standards must be met in order to be eligible.

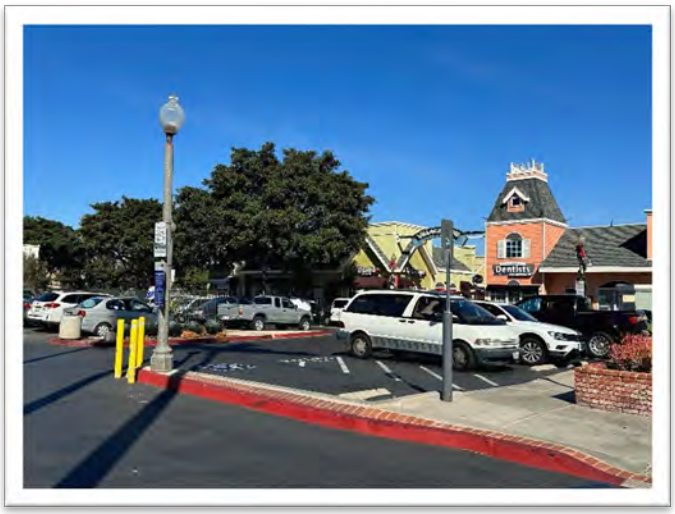
- At least 75% of the total project site is located within one-half mile of a major transit stop; and
- At least 90% of the proposed residential units, or 100 units or more, whichever is less, are located one-half mile of a major transit stop.

Projects failing to meet these requirements do not qualify for the allowances under §65863.2 and must meet current city parking standards.

EV CHARGING & ADA PARKING

Irrespective of proximity to public transit, state law allows the city to continue to apply minimum parking standards for electric vehicle (EV) charging stations as well as required parking spaces accessible to persons with disabilities (ADA).

- For EV stations, the required number of EV parking spaces for residential projects is provided in Table 4.106.4.3.1 of Carlsbad Municipal Code (CMC) §18.21.040. For nonresidential projects, EV parking space requirements are provided in Table 5.106.5.3.3 of CMC §18.21.050. The parking requirement is based on the total number of actual parking spaces that would have otherwise applied to the development if the state code section did not exist. Refer to IB-165 for an overview of the city's streamlining provisions and alternative standards for EV charging stations.
- For ADA parking, the city applies the standards set forth in Chapter 1109A (multifamily) and Chapter 11B (commercial) of Title 24, Volume 1 of the 2023 CA Building Code. Like EV spaces, the total number of ADA spaces is based on the total number of actual parking spaces that would have otherwise applied to the development.



EXEMPTIONS

The city may apply its minimum parking standards to a proposed project if it makes written findings that failure to impose parking standards will result in one of the following to occur.

- Hinders the city's ability to meet its share of low- and very low-income housing. Refer to IB-137 for more on the city's Housing Element and Regional Housing Needs Assessment requirements.
- Hinders the city's ability to meet any special housing needs for elderly or persons with disability. Refer to the city's 2021-2029 Housing Element for more information.
- The proposed "housing development project" will negatively impact existing residential or commercial parking that is located within one-half mile of the project. The state defines a "housing development project" as either:
    - A 100% residential development; or
    - Mixed-use development where at least 2/3 of the project is designed for residential use; or

- Project includes transitional housing or supportive housing.

The city exemption determination must be supported by a preponderance of the evidence in the record showing that not imposing or enforcing minimum parking standards would have a substantially negative impact on the above referenced development.

The exemption finding must be made by the city within 30 days following receipt of a completed application.

EXCEPTIONS TO THE EXEMPTIONS

Government Code §65863.2(c) provides a list of specific project types that are not subject to the above exemption provisions. In other words, the city cannot impose minimum parking standards on the following housing development projects, irrespective of whether the above discussed exemption findings can be made.

- The housing development project contains fewer than 20 housing units.
- The housing development project dedicates a minimum of 20% of the total housing units to very low-, low-, or moderate-income households, students, elderly, or persons with disabilities.
- The housing development project is subject to parking reductions based on the provisions of any other applicable law. As an example, the proposed development is a density bonus project, which offers reduced parking standards for development projects. Please refer to IB-112 for more on density bonus law.

PARKING SPACES PROVIDED VOLUNTARILY

When a project voluntarily provides parking, the city is limited to only imposing the following parking requirements:

- The city may require that the voluntary parking spaces meet established minimum location and design standards.
- If a project voluntarily provides parking spaces, the city can require that the spaces be available to the public.
- If a project voluntarily provides parking spaces, the city can require that a parking fee be charged to residents or customers for use. Conversely, the city cannot require that the voluntarily provided parking spaces be offered to the residents or customers free of charge.

PROPERTIES IN THE COASTAL ZONE

Development in the Coastal Zone requires a Costal Development Permit consistent with Carlsbad Municipal Code (CMC) Chapter 21.201. Following adoption of AB 2097, the California Coastal Commission released on June 30, 2023 a memorandum discussing how the Commission and local governments can impose other types of conditions in these areas to ensure projects and Local Coastal Programs (LCPs) are consistent with the public access and recreation policies of the Coastal Act (Chapter 3) and certified LCPs. These other types of conditions may assist the city in making the necessary findings to approve required Coastal Development Permits (§21.201.080(C)).

YOUR OPTIONS FOR SERVICE

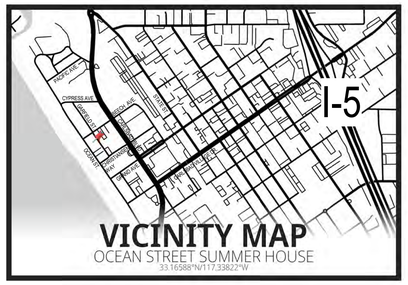
Questions pertaining to this state law, please contact the Planning Division at 442-339-2600 or via email at Planning@CarlsbadCA.gov.

EXHIBIT 8

CARLSBAD BY THE SEA SUMMER HOUSE

2710; 2720; 2730 AND 2740 Ocean Street
Carlsbad, CA 92008

Property Location



Agency Approval
CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)

Cuningham

Project Directory

OWNER
Name: FRONT PORCH COMMUNITIES AND SERVICES
Contact: JEFF SIANKO
Address: 800 North Brand Blvd. 19th Floor, GLENDALE, CA 92103
Phone: 626-688-5160
FAX:
E-Mail: jsianko@frontporch.net

ARCHITECT
Name: CUNINGHAM
Contact: DIEGO LASTRES
Address: 1030 G STREET, SAN DIEGO, CA 92101
Phone: (619) 849-1080
FAX: (619)849 - 1080
E-Mail: DLASTRES@CUNINGHAM.COM

CIVIL ENGINEER
Name: BWE
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E-Mail: NHUELSMAN@BWESD.COM

GEOTECHNICAL ENGINEER
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Contact: Cristopher C. O'Hern
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Phone: (619) 832-0264
FAX:
E-Mail: calina.ferraro@introba.com

ELECTRICAL ENGINEER
Name: INTROBA
Contact: Hank Dahl
Address: 310 Comal Street, Suite 302, Austin, TX 78702
Phone: (213) 334-0871
FAX:
E-Mail: hank.dahl@introba.com

PLUMBING ENGINEER
Name: INTROBA
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Phone: (619) 832-0264
FAX:
E-Mail: calina.ferraro@introba.com

LANDSCAPE ARCHITECT
Name: CUNINGHAM
Contact: CHARLES ANDERSON
Address: 5001 East Washington Street, Phoenix AZ 85034
Phone: (602) 844-7306
FAX:
E-Mail: canderson@cuningham.com

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A0.00	Cover Sheet
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A1.01	Site Plan
A1.02	Code Sheet
A2.00	Basement Floor Plan
A2.01	First Floor Plan
A2.02	Second Floor Plan
A2.03	Thrid Floor Plan
A2.04	Roof Plan
A3.01	Conceptual Elevations
A3.02	Conceptual Elevations
A5.01	Conceptual Sections
A5.02	Conceptual Sections
A6.01	Conceptual Renderings
C1.1	PRELIMINARY GRADING PLANS / TENTATIVE TRACT MAP
C1.2	PRELIMINARY GRADING PLANS
C1.3	PRELIMINARY GRADING PLANS
C2.1	DMA/SINGLE SHEET BMP SITE PLAN 1
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L300	Conceptual Landscape Plan
L310	Conceptual Water Conservation Plan
L320	Conceptual Maintenance Responsibility Exhibit

Graphic Symbols

DRAWING TITLE — NUMBER ON SHEET; DRAWING TITLE; View Name; 1/8" = 1'-0"; DRAWING SCALE; SHEET NUMBER

WALL SECTION / DETAIL — DRAWING NUMBER; SIM; SHEET ON WHICH THE SECTION OCCURS

STRUCTURAL GRID LINE

DOOR — REFERENCES DOOR SCHEDULE; DOOR NUMBER

CEILING FINISH — REFERENCES COLOR AND FINISH SCHEDULE; HEIGHT; FINISH; MATERIAL

EXTERIOR ELEVATION — DRAWING NUMBER; SHEET ON WHICH THE ELEVATION OCCURS

INTERIOR ELEVATION — DRAWING NUMBER; SHEET ON WHICH THE ELEVATION OCCURS

BUILDING SYSTEM — REFERENCES BUILDING SYSTEMS TYPE SCHEDULE; SYSTEM TYPE PER SCHEDULE; EXTENT OF SYSTEM

MATCHLINE

FIRE EXTINGUISHERS — A5 = 5 LB ABC EXTINGUISHER; A10 = 10 LB ABC EXTINGUISHER; EX = EXISTING EXTINGUISHER; EX = EXISTING CABINET OR HOOK; S = SURFACE MOUNTED CABINET; SH = SURFACE MOUNTED HOOK; SR = SEMI RECESSED CABINET; R = RECESSED CABINET

FINISHES / FURNITURE / EQUIPMENT — TYPE PER SCHEDULE

BUILDING SECTION — DRAWING NUMBER; SIM; SHEET ON WHICH THE SECTION OCCURS

DETAIL — DRAWING NUMBER; SIM; SHEET ON WHICH THE DETAIL OCCURS

ROOM — ROOM NAME; ROOM NUMBER

INTERIOR PARTITION — REFERENCES PARTITION TYPE SCHEDULE; PARTITION TYPE PER SCHEDULE; PARTITION MODIFIER

WINDOW FRAME TYPE — REFERENCES WINDOW FRAME TYPE SCHEDULE(S); FRAME TYPE PER SCHEDULE

LOUVER FRAME TYPE — REFERENCES LOUVER FRAME TYPE SCHEDULE(S); FRAME TYPE PER SCHEDULE

FLOOR FINISH TRANSITION — REFERENCES COLOR AND FINISH SCHEDULE; FLOORING TYPES PER SCHEDULE

COMPASS ROSE — PROJECT NORTH; TRUE NORTH

HEIGHT/ELEVATION BENCHMARKS — PRIMARY DATUM 100'-0"; SECONDARY DATUM 100'-0"

KEYNOTE — REFERENCES SHEET KEYNOTE LEGEND

REVISION

DATUMS - WORKPOINT AND CENTER POINT

FIXTURE / EQUIPMENT (ELEVATION) — C = CLOCK; D = SMOKE DETECTOR; E = ELECTRICAL; S = SPEAKER; T = THERMOSTAT

Abbreviations

AB	AIR BARRIER
AC	ACCESSORY
ACA	ACOUSTICAL CEILING ACCESSORY
ACG	ACOUSTICAL CEILING GRID
ACP	ACOUSTICAL CEILING PANEL
ACR	ACRYLIC
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADH	ADHERE
AF	ACCESS FLOOR
AFF	ABOVE FINISHED FLOOR
ALT	ALTERNATIVE / ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT
ART	ARTWORK
AWP	ACOUSTICAL WALL PANEL
AWT	ACOUSTICAL WALL TREATMENT
BLKG	BLOCKING
BO(_)	BOTTOM OF: DECK, BEAM, STEEL
BRG	BEARING
BRK	BRICK
CB	CHALK BOARD
CC	COLUMN COVER
CCF	COLUMN COVER FINISH
CCT	CUBLICLE CURTAIN
CF	CUSTOM FABRICATION
CF/OI	CONTRACTOR FURNISHED / OWNER INSTALLED
CFF	CONCRETE FLOOR FINISH
CG	CORNER GUARD
CGA	CUNINGHAM GROUP ARCHITECTURE, INC.
CJ	CONTROL JOINT
CK	CORK
CL	CENTER LINE
CLR	CLEAR(ANCE)
CMP	COMPOSITE METAL PANEL
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS / CONTINUE
CP	CEMENT PLASTER
CPT	CARPET TILE OR BROADLOOM
CPTB	CARPET BASE
CT	CERAMIC / PORCELAIN TILE
CTB	CERAMIC TILE BASE
DEC	DECORATIVE CONCRETE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIV	DIVISION
DN	DOWN
DRP	DRAPERY/CURTAINS
DWGS	DRAWINGS
DWP	DECORATIVE WALL PANEL
(E) / EXIST	EXISTING
E-FIXT	ELECTRICAL FIXTURE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EQ	EQUAL
EWC	ELECTRICAL WATER COOLER
EXP	EXPOSED
EXT	EXTERIOR
FAB	FABRIC, NON-UPHOLSTERY
FAF	FLUID APPLIED FLOORING
FD	FLOOR DRAIN
FE / FEC	FIRE EXTINGUISHER (CABINET)
FF / FFE	FINISH FLOOR (ELEVATION)
FF&E	FIXTURES, FURNISHINGS & EQUIPMENT
FIN	FINISH
FLR	FLOOR(ING)
FOEW	FACE OF EXISTING WALL
FOS	FACE OF STUD
FRP	FIBERGLASS REINFORCED WALL PANEL
FRT	FIRE TREATED
GA	GAUGE
GALV	GALVANIZED
GB	GYPSUM BOARD
GC	GENERAL CONTRACTOR
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GFRP	GLASS REINFORCED PLASTIC
GL	GLASS, GLAZING
GMU	GLAZED MASONRY UNIT
GT	GLASS TILE
GYP	GYPSUM
HB	HOSE BIBB
HDBD	HARDBOARD
HDWD	HARD WOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HSS	HOLLOW STEEL SECTION
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
L-FIXT	LIGHT FIXTURE
LAV	LAVATORY
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICLE
LMC	LINEAR METAL CEILING
LWC	LINEAR WOOD CEILING
MAS	MASONRY
MAT	CARPET/WALK-OFF MAT
MATL	MATERIAL
MAX	MAXIMUM
MB	MARKER BOARD
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MG	METAL GRATE
MIN	MINIMUM
MIR	MIRROR(ED)
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
MTLT	METAL TRIM
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER(S)
OD	OUTSIDE DIAMETER
OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED / OWNER INSTALLED
OFRD	OVERFLOW ROOF DRAIN
OFS	OVERFLOW SCUPPER
OH	OVERHEAD
OPNG	OPENING
OZ	OUNCE
P-FIXT	PLUMBING FIXTURE
PARTBD	PARTICLEBOARD
PC	PRECAST
PL	PLATE
PLAM	PLASTIC LAMINATE
PLS	PLASTER
PLY	PLYWOOD
PME	PATCH TO MATCH EXISTING
PNL	PANEL
PREFIN	PREFINISHED
PRT	PRESERVATIVE
PRV	POWER ROOF VENTILATOR
PT	PAINT(ED)
PT EXT	EXTERIOR PAINT
PV	PLUMBING VENT
QT	QUARRY TILE
QTB	QUARRY TILE BASE
QTY	QUANTITY
R	RISER
RAD	RADIUS
RB	RESILIENT BASE
RD	ROOF DRAIN
REF	REFERENCE / REFER TO
REQD	REQUIRED
RF	RESILIENT FLOORING
RMAT	RECESSED MAT
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
S	SEAL
SC	SEALED CONCRETE
SCF	SPECIAL CONCRETE FINISH
SE	SEATING
SF	SQUARE FOOT/FEET
SFCS	STRETCHED FABRIC CEILING SYSTEM
SFWS	STRETCHED FABRIC WALL SYSTEM
SGFT	STRUCTURAL GLAZED FACING TILE
SHG	SHEATHING
SIM	SIMILAR
SMCS	STRETCHED MEMBRANE CEILING SYSTEM
SP	SPECIALTY FINISH
SPF	SPRAY POLYURETHANE FOAM
SPT	SPECIAL PAINT
SS	STAINLESS STEEL
SSF	SOLID SURFACE
ST	STAIN
STN	STONE
STNB	STONE BASE
STNF	STONE FLOORING
STNT	STONE TILE
STNV	STONE VENEER
SUSP	SUSPENDED
SV	SHEET VINYL
SWF	SPECIALTY WALL FINISH
SYST	SYSTEM
T	TREAD
T&G	TONGUE AND GROOVE
TB	TACKBOARD
TBL	TABLE
TERB	TERRAZZO BASE
TERR	TERRAZZO
TERT	TERRAZZO TILE
TFC	TEXTURED FINISH CEILING
TO(_)	TOP OF: DECK, CONCRETE, BEAM, PARAPET, STEEL, WALL
TP	TOILET PARTITION
TS	TRANSITION STRIP
TYP	TYPICAL
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UPH	UPHOLSTERY
VIF	VERIFY IN FIELD
VNR	VENEER
VP	VENEER PLASTER
VR	VAPOR RETARDER
VSE	VENEER SHELF ELEVATION
WB	WEATHER BARRIER
WC	WATER CLOSET
WCV	WALL COVERING
WD	WOOD
WD BLK	WOOD BLOCKING
WDB	WOOD BASE
WDF	WOOD FLOORING
WDT	WOOD TRIM
WDV	WOOD VENEER
WDW	WINDOW
WP	WORK POINT
WPT	WALL PROTECTION
WT	WINDOW TREATMENT
XPS	EXTRUDED POLYSTYRENE
#	NUMBER / POUND
&	AND
@	AT

Project Data

Project Description

The project proposes the consolidation of 5 adjacent parcels for the development of a multilevel building. The new building (+/- 36,000 SF) in the consolidated lot (+/- 26,892 SF) is proposed as a " Non-ambulatory Professional Services" use facility that will be operated under the same license as the adjacent Carlsbad By the Sea Retirement community.
The proposed building will consist of the following:
Basement Level : Parking will be located in the basement level with a total of 30 Vehicular Parking Spaces,
Level 1(Ocean Street Grade Level): 19 Memory Care Beds
Level 2 (Garfield Street Grade Level): 16 Licensed Residential Professional Care Beds in 10 Units.
Level 3 (Upper Level with Roof Terrace): 7 Licensed Residential Professional Care Beds in 5 Units

Project Address

2710; 2720; 2730 AND 2740 Ocean Street
Carlsbad CA 92008

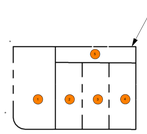
Assesor Parcel Numbers

2031440400; 2031440500; 2031440600; 2031440700; 2031440800

Legal Description

Real property in the City of Carlsbad, County of San Diego, State of California, described as follows:

LOTS 1, 2, 3, 4 AND 5 OF CARLSBAD TRACT NO. 04-22, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15639, FILED IN THE OFFICE OF COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 7, 2007, AS MAY HAVE BEEN AMENDED BY THAT CERTIFICATE OF CORRECTION RECORDED ON OCTOBER 20, 2008 AS INSTRUMENT NO. 2008-0545070 OF OFFICIAL RECORDS.
APN: 203-144-04-00 (Affects Lot 1), 203-144-05-00 (Affects Lot 2), 203-144-06-00 (Affects Lot 3), 203-144-07-00 (Affects Lot 4) AND 203-144-08-00 (Affects Lot 5)



LAND AVAILABLE FOR DEVELOPMENT

1	APN 2031440400	9214.46 SF
2	APN 2031440500	4754.70 SF
3	APN 2031440600	4744.56 SF
4	APN 2031440700	4743.33 SF
5	APN 2031440800	3435.68 SF
		26892.74 SF

PARCEL KEYPLAN

1" = 100'-0"

Application Types Submitted:

Carlsbad Tract (CT)
Coastal Development Permit (CDP)
Conditional Use Permit (CUP)

Total Number of Lots Existing: 5
Total Number of Lots Proposed:1

Sewer District: City of Carlsbad Wastewater Division
Water District: Carlsbad Municipal Water District
School District: Carlsbad Unified School District
Average Daily Traffic: (ADT) 126
Proposed Water Demand: 80 GPM
Sewer Generation: 34 EDU
Proposed Drainage discharge: 3.40 CFS
Master Drainage Basin: Basin "A"

Trip Generation Estimates

Level	Beds	Daily	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
1	19	57	2	2	4	2	2	4
2	16	48	2	1	3	1	2	3
3	7	21	1	0	1	0	1	1
Total	42	126	5	3	8	3	5	8

Pedestrian MMLOS Analysis Results

Roadway Segment	Score (LOS)	
	NB / EB	SB / WB
Ocean Street (From Beech Street to Christiansen Way)	90 (A)	– *
Beech Street (From Ocean Street to Garfield Street)	95 (A)	– *
Garfield Street (Along site frontage)	– *	100 (A)

* Direction not studied as it is on the opposite side of the road of the project.

Bicycle MMLOS Analysis Results

Roadway Segment	Score (LOS)	
	NB / EB	SB / WB
Ocean Street (From Beech Street to Christiansen Way)	75 (C)	– *
Beech Street (From Ocean Street to Garfield Street)	75 (C)	– *
Garfield Street (Along site frontage)	– *	85 (B)

* Direction not studied as it is on the opposite side of the road of the project.

Climate Action Plan (CAP) Compliance:

Climate Action plan (CAP) Compliance:
a. Consistent with existing General Plan Land Use and Zoning — Yes
i.GHG Study required? — No
b. Energy Efficiency requirement: — Yes
c. Photovoltaic requirement: — Yes
i. 40 KW-DC roof mounted
ii.0 KW-dc ground Mounted
iii. 40 KW-DC total project
d. Electric Vehicle Charging requirement: — Yes
8 EV CHARGERS: 2 EV CAPABLE ; 4 EV READY; 2EV INSTALLED
e. Hot Water Heating requirement — Yes
f. Traffic demand Management rquired: — No

Governing Codes

THIS PROJECT SHALL CONFORM TO THE FOLLOWING CODES AND REGULATIONS:
C.C.R. - CALIFORNIA CODE OF REGULATIONS
TITLE 19 - PUBLIC SAFETY CODE
TITLE 24 - CALIFORNIA BUILDING STANDARDS CODE
1. BUILDING CODE: 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24, C.C.R.
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC)
2. ELECTRICAL CODES: 2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
BASED ON THE 2021 NATIONAL ELECTRICAL CODE (NEC)
3. MECHANICAL CODES: 2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.
BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC)
4. PLUMBING CODES: 2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC)
5. FIRE CODE: 2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC)
2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
6. NFPA: NFPA 13, 2016 EDITION FOR INSTALLATION OF SPRINKLER SYSTEM PER
NFPA 14 STANDPIPE 2016 EDITION
NFPA 17A WET CHEMICAL SYSTEM 2016 EDITION
NFPA 24 PRIVATE FIRE MAIN 2016 EDITION
NFPA 72 NATIONAL FIRE ALARM 2016 EDITION
NFPA 80 STANDARD FOR FIRE DOORS 2016 EDITION
CODE ENFORCEMENT: City of Carlsbad, California
NOTE:
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE STANDARDS AND ALL APPLICABLE LOCAL ORDINANCES. WHERE CODES CONFLICT, THE MORE RESTRICTIVE SHALL APPLY AS DETERMINED BY THE CODE ENFORCING AUTHORITY.

General Plan Land Use:

R-15, RESIDENTIAL (8-15 DU/AC)

Zone

MULTIPLE-FAMILY RESIDENTAIL (R-3) CMC 21.16

Overlay Zone

BEACH AREA OVERLAY (BAOZ) CMC 21.82

Existing / Proposed Use

Vacant Land / Professional Care Facility

Number of Beds

- Professional Care - Memory Care : 19 Beds
- Professional Care - Licensed Residential Professional Care Beds : 23 Beds

Setbacks

- Front: 20'
- Side Interior 10% width @ Front Setback = 10'-0"
- Side Corner = 10'-0"
- Rear: 2x Interior Side Setback = 20'

Number of Stories

3 Stories in sloping topography + Basement

Height

24'-0" as Measured Pursuant to CMC 21.04.065 for flat roof Areas
30'-0" as Measured Pursuant to CMC 21.04.065 for sloped roof areas with a minimum 3:12 roof slope

Lot Coverage

Allowed Lot Coverage : 60%
Lot Area (Consolidated 5 Parcels) : 26,892.74 SF
Maximum Lot Coverge (60 %) : 16,135.64 SF
Proposed Lot Coverage: 15,883.79 = 57.9% < 60%
Landscape Area: 5,339.57 SF
Percent of Site to be Landscape: 19.86%

Occupancy

R2.1 (Memory Care) and R2.1 (Independent Living) S2 (Subterranean enclosed parking)

Type of Construction

Type VA

Floor Area

Basement Level	16703.60 SF
Basement Total:	16703.60 SF
Level 1	14446.80 SF
Level 2	14114.73 SF
Level 3	7159.83 SF
Building Total:	35721.36 SF

Parking

PROFESSIONAL CARE FACILITY

	REQUIRED PARKING	
LEVEL 1 - 19 BEDS FOR PROFESSIONAL CARE (MEMORY CARE)	.45 PARKING SPACES PER EVERY BED	8.55
LEVEL 2 - 16 LICENSED RESIDENTIAL PROFESSIONAL CARE BEDS	.45 PARKING SPACES PER EVERY BED	7.2
LEVEL 3 - 7 LICENSED RESIDENTIAL PROFESSIONAL CARE BEDS	.45 PARKING SPACES PER EVERY BED	3.15
	TOTAL REQUIRED PARKING	18.9
	PROVIDED PARKING:	30

Total Parking Space Provided	EVSE Spaces Capable	EVSE Spaces Ready	EVSE Spaces Installed	EVSE Spaces in Total
30	2	4	2	8

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Revisions

No.	Date	Description

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Project Information

Phase:	SD	Date:	06.14.2023
Project No.:	17-0350	PIC / AIC:	WH

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title
Cover Sheet

Sheet Number: A0.00
Current Revision

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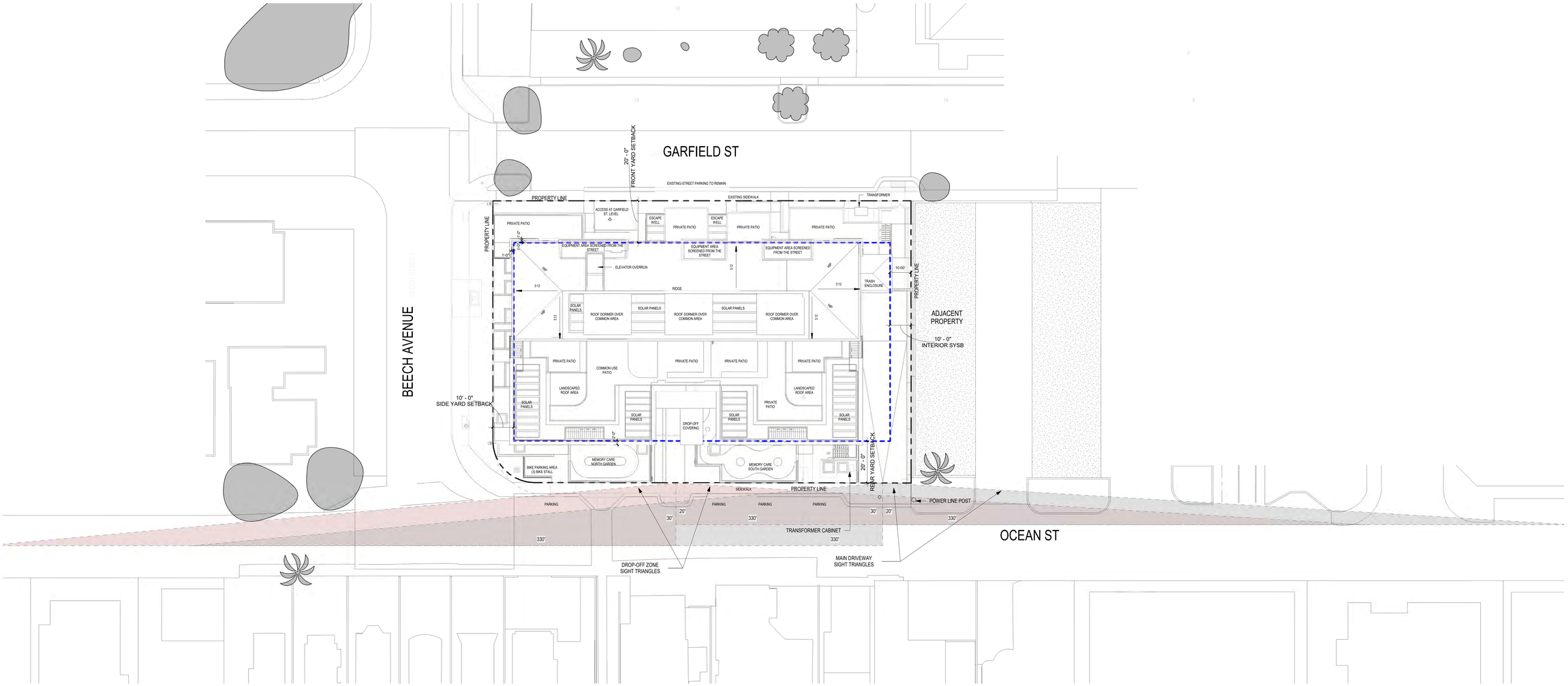

1 A1.00 **OVERALL SITE PLAN**
1" = 20'-0"

Agency Approval
CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)

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Project Information

Phase:	SD	Date:	06.14.2023
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CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title
Overall Site Plan

Sheet Number **Current Revision**
A1.00

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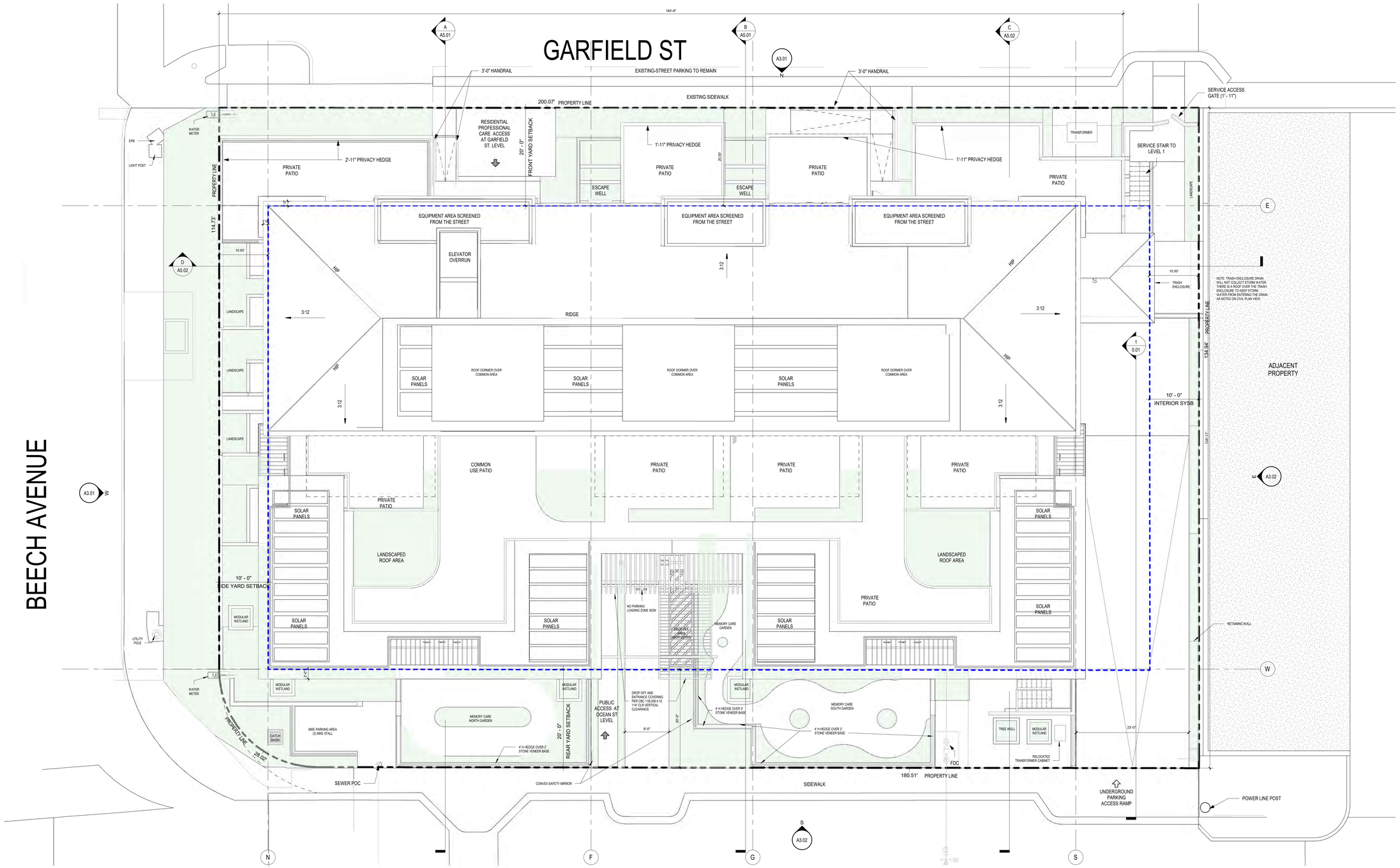


SITE PLAN - ROOF PLAN

1/8" = 1'-0"

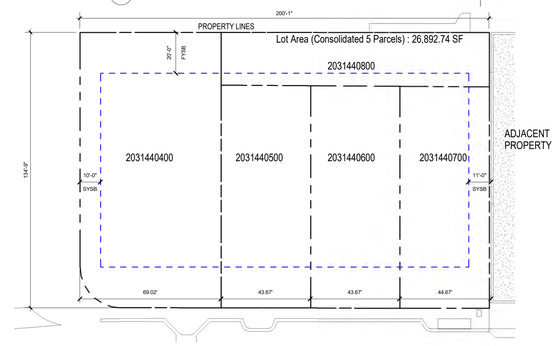
Table 2 – Trip Generation Rates

Land Use	Unit	Daily Rate	AM Peak Hour			PM Peak Hour		
			In	Out	Rate *	In	Out	Rate *
Convalescent / Nursing	Beds	3.00	60%	40%	7%	40%	60%	7%

* Rate as a percent of daily traffic.

DEVELOPMENT STANDARDS SUMMARY - PER CARLSBAD MUNICIPAL CODE

ZONING	R-3	BEACH AREA OVERLAY (BOA) ZONE
LAND USE DISTRICT	N/A	
BUILDING HEIGHT	35' SUPERSEDED	MAX. OF 30' IF A MIN. 3/12 ROOF PITCH OR 24' IF LESS THAN A 3/12 PITCH
FRONT SETBACK (Garfield St)	MINIMUM OF 20'	
SIDE SETBACK	10% OF WIDTH OF LOT, MIN. 5' AND MAX OF **10'**	
REAR SETBACK (Ocean St)	TWICE THE REQUIRED SIDE SETBACK = 20'	
LOT COVERAGE	60% MAX of Total Lot area	15,883.79 SF
OPEN SPACE	20% MUST BE OPEN SPACE	
PARKING REQUIREMENTS	PROFESSIONAL CARE FACILITIES - .45 PARKING SPACES PER EVERY BED	0.25 SPACE PER EACH UNIT OR FRACTION THEREOF - WITH 11 UNITS OR MORE
HOT WATER HEATING REQUIREMENT	HEAT PUMP WATER HEATER	



EXISTING PARCEL MAP

1" = 30'-0"

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CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Site Plan

Sheet Number **Current Revision**

A1.01

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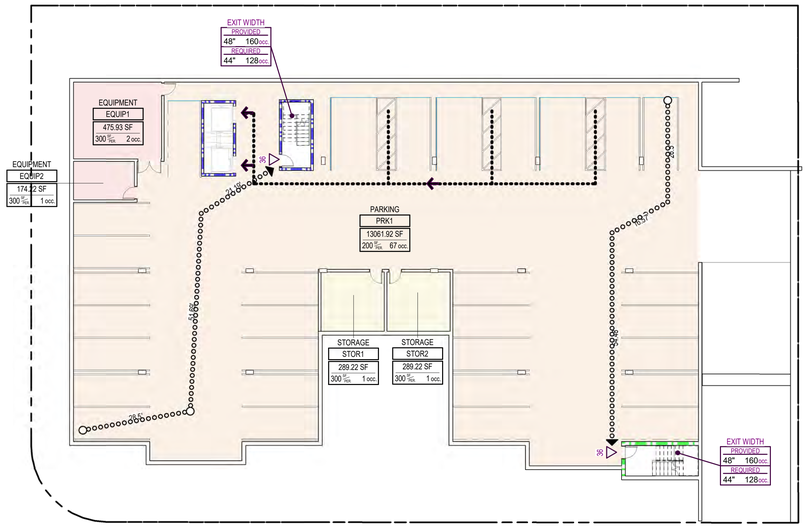
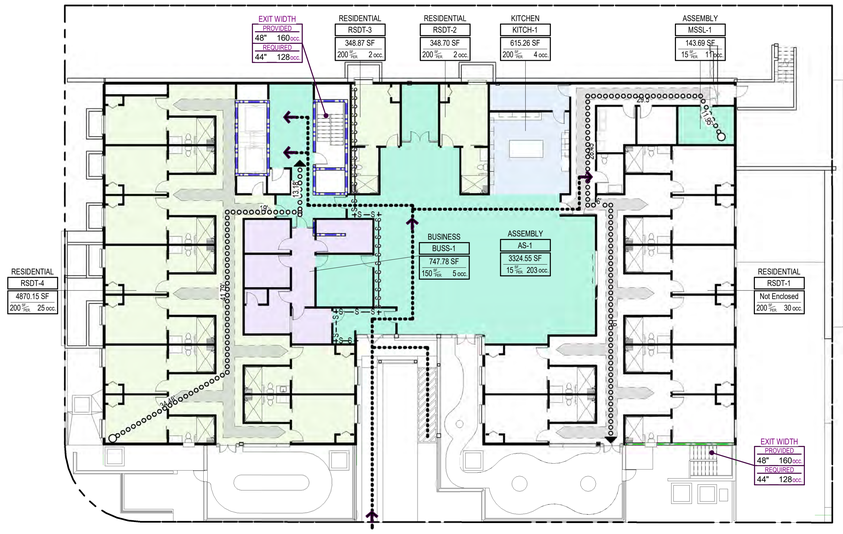


1 A1.02 **Basement Level - Life Safety Plan**
1/16" = 1'-0"



2 A1.02 **Level 1 - Life Safety Plan**
1/16" = 1'-0"

- ASSEMBLY
- BUSINESS
- EQUIPMENT
- KITCHEN
- PARKING
- RESIDENTIAL
- STORAGE

Project Description

GOVERNING CODE:	2022 CBC
CONSTRUCTION TYPE:	TYPE V-A
OCCUPANCY TYPE:	R-2.1
NEW CONSTRUCTION (SF):	49,753 GSF
REMODELING (SF):	N/A
CONSTRUCTION MATERIALS:	Metal Stud Framed Bearing Walls
PROGRAM DESCRIPTION:	Memory Care, and Residential Professional Care Facility
BUILDING HEIGHT (ALLOWED / PROPOSED):	50' / 28'-1"
SPRINKLER FOOTNOTE:	YES
BUILDING AREA (ALLOWED / PROPOSED):	63,000 GSF / 49,753 GSF

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Code Symbol Legend

ROOM NAME — ROOM NAME
101 — ROOM NUMBER
150 SF — ROOM AREA
000 occ 000 occ — OCCUPANT LOAD FOR SPACE
OCCUPANT LOAD FACTOR

0 — OCCUPANT LOAD FOR A SPECIFIC EXIT

0 — AGGREGATE OCCUPANT LOAD

PATH OF TRAVEL

0.08' — TRAVEL DISTANCE

EXIT WIDTH
PROVIDED
0" 0 occ
REQUIRED
0" 0 occ

REQUIRED EXIT CAPACITY
PROVIDED EXIT CAPACITY
PROVIDED EXIT WIDTH
REQUIRED EXIT WIDTH

FIRE EXTINGUISHERS

F — A10, SH

A5 = 5 LB ABC EXTINGUISHER
A10 = 10 LB ABC EXTINGUISHER
EX = EXISTING EXTINGUISHER

EX = EXISTING CABINET OR BRACKET
S = SURFACE MOUNTED CABINET
SH = SURFACE MOUNTED BRACKET
SR = SEMI RECESSED CABINET
R = RECESSED CABINET

INTERIOR PARTITION GRAPHICS

- NON-RATED PARTITION
- EXISTING PARTITION
- DEMO PARTITION
- 1 HOUR FIRE PARTITION
- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE WALL
- 3 HOUR FIRE WALL
- 1 HOUR SMOKE BARRIER
- 1 HOUR RATED CORRIDOR

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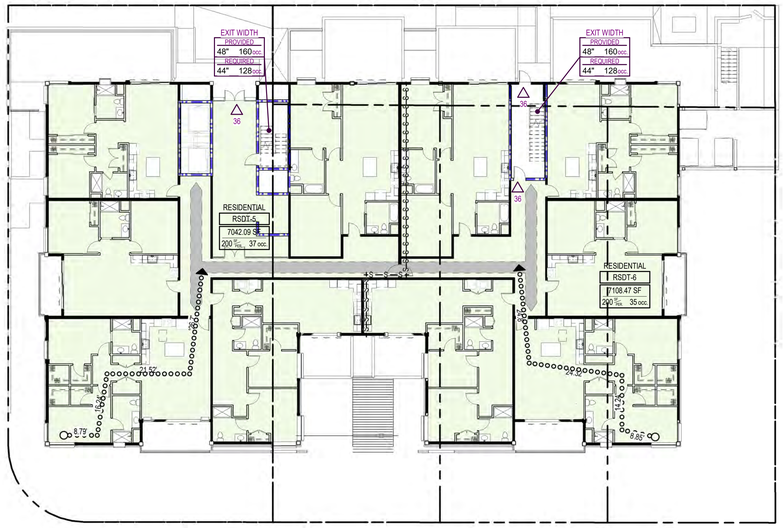
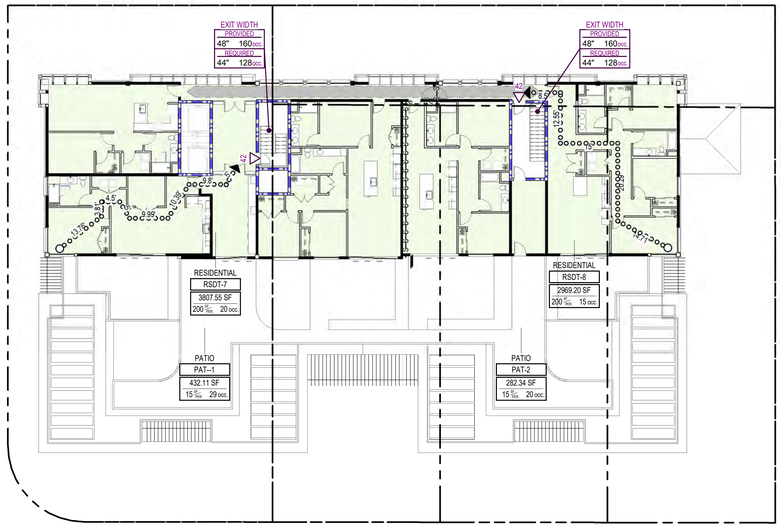


3 A1.02 **Level 2 - Life Safety Plan**
1/16" = 1'-0"



4 A1.02 **Level 3 - Life Safety Plan**
1/16" = 1'-0"

Life Safety Plan - Occupancy Load Schedule

Smoke Compartment	Number	Occupancy Group	Function of Space	Area	Occupant Load Factor	Occupant Load
Basement Level						
	EQUIP1	M	EQUIPMENT	475.93 SF	300	2
	EQUIP2	M	EQUIPMENT	174.22 SF	300	1
	PRK1	S-2	PARKING	13061.92 SF	200	67
	STOR1	S-1	STORAGE	289.22 SF	300	1
	STOR2	S-1	STORAGE	289.22 SF	300	1
						72
Level 1						
	AS-1	A	ASSEMBLY	3324.55 SF	15	203
	BUSS-1	B	BUSINESS	747.78 SF	150	5
	KITCH-1	A	KITCHEN	615.26 SF	200	4
	MSSL-1	A-3	ASSEMBLY	143.69 SF	15	11
	RSDT-1	R-2.1	RESIDENTIAL	Not Enclosed	200	30
	RSDT-2	R-2.1	RESIDENTIAL	348.70 SF	200	2
	RSDT-3	R-2.1	RESIDENTIAL	348.87 SF	200	2
	RSDT-4	R-2.1	RESIDENTIAL	4870.15 SF	200	25
						282
Level 2						
	RSDT-5	R-2	RESIDENTIAL	7042.09 SF	200	37
	RSDT-6	R-2	RESIDENTIAL	7108.47 SF	200	35
						72
Level 3						
	PAT-2		PATIO	282.34 SF	15	20
	PAT-1		PATIO	432.11 SF	15	29
	RSDT-7	R-2	RESIDENTIAL	3807.55 SF	200	20
	RSDT-8	R-2	RESIDENTIAL	2969.20 SF	200	15
						84
Grand total						510

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Revisions

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Project Information

Phase:	SD	Date:	06.14.2023
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CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title

Code Sheet

Sheet Number A1.02

Current Revision

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April 17, 2024

PRINT DATE 3/8/2024

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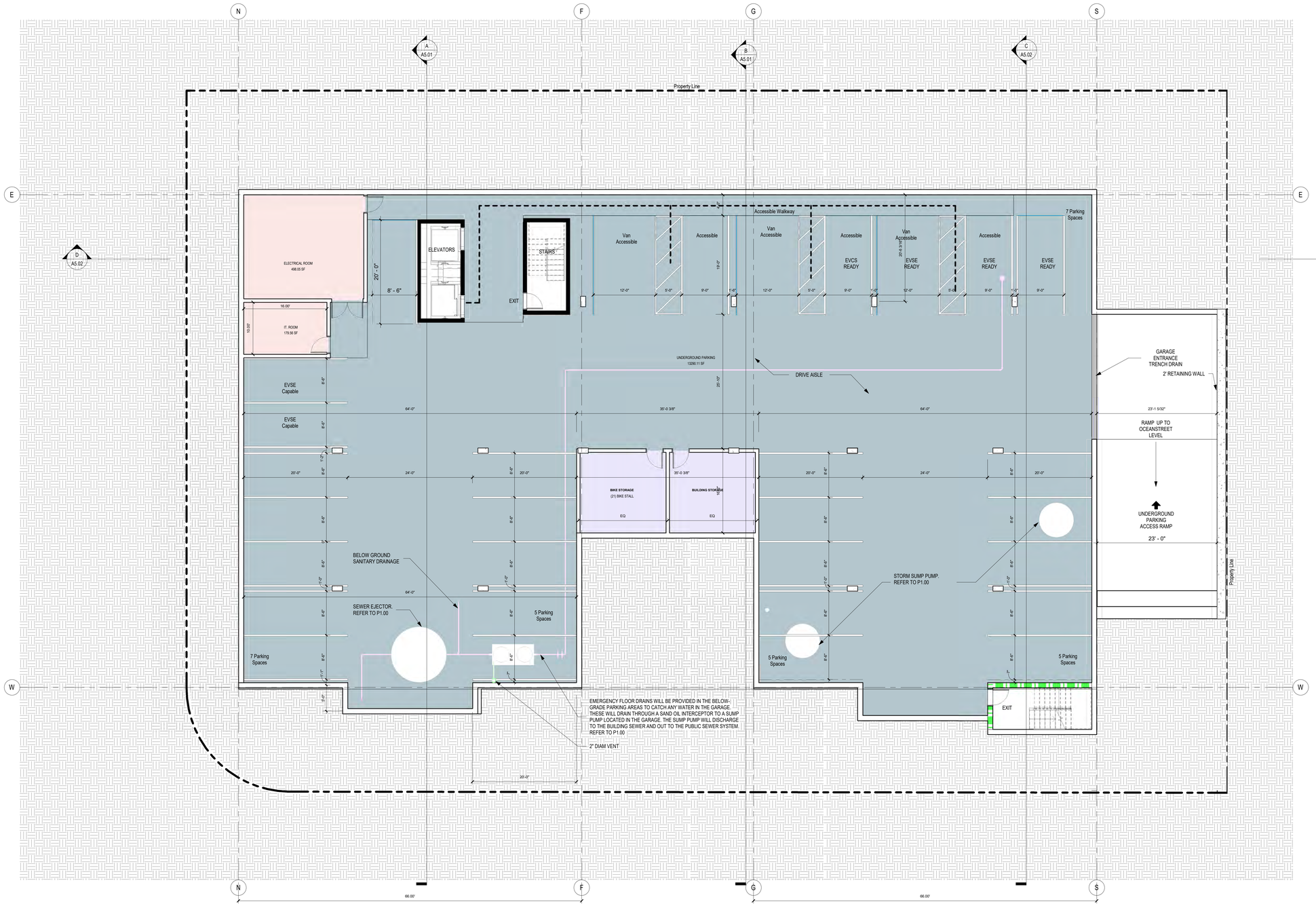

3 A2.00 **Level Basement**
1/8" = 1'-0"

Floor Area Schedule - Basement Level

Basement Level	16703.60 SF

PROFESSIONAL CARE FACILITY

		REQUIRED PARKING
LEVEL 1 - 19 BEDS FOR PROFESSIONAL CARE (MEMORY CARE)	.45 PARKING SPACES PER EVERY BED	8.55
LEVEL 2 - 16 LICENSED RESIDENTIAL PROFESSIONAL CARE BEDS	.45 PARKING SPACES PER EVERY BED	7.2
LEVEL 3 - 7 LICENSED RESIDENTIAL PROFESSIONAL CARE BEDS	.45 PARKING SPACES PER EVERY BED	3.15
	TOTAL REQUIRED PARKING	18.9
	PROVIDED PARKING:	30

Total Parking Space Provided	EVSE Spaces Capable	EVSE Spaces Ready	EVSE Spaces Installed	EVSE Spaces in Total
30	2	4	2	8

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CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title
Basement Floor Plan

Sheet Number **Current Revision**
A2.00

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Floor Area Schedule - First Level

Level 1	14446.80 SF

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Project Information

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CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title

First Floor Plan

Sheet Number A2.01

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Floor Area Schedule - Second Level

Level 2	14114.73 SF

1 Level 2
A2.02 1/8" = 1'-0"

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Revisions

No.	Date	Description

Project Information

Phase:	SD	Date:	06.14.2023
Project No.:	17-0350	PIC / AIC:	WH

CARLSBAD BY THE SEA
SUMMERHOUSE

Sheet Title
Second Floor Plan

Sheet Number
A2.02

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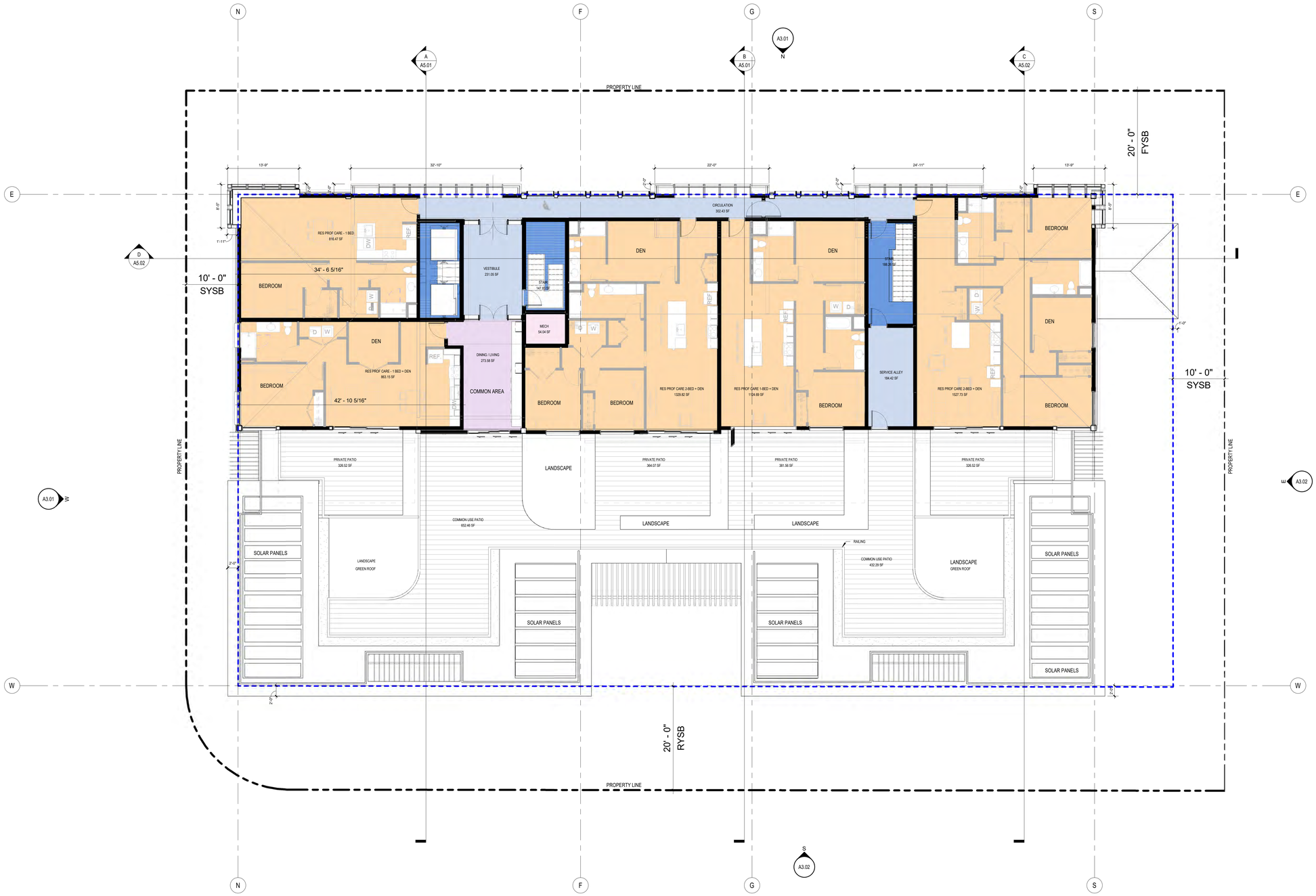

1 Level 3
A2.03 1/8" = 1'-0"

Floor Area Schedule - Third Level

Level 3	7159.83 SF

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Sheet Title

Thrid Floor Plan

Sheet Number **Current Revision**

A2.03

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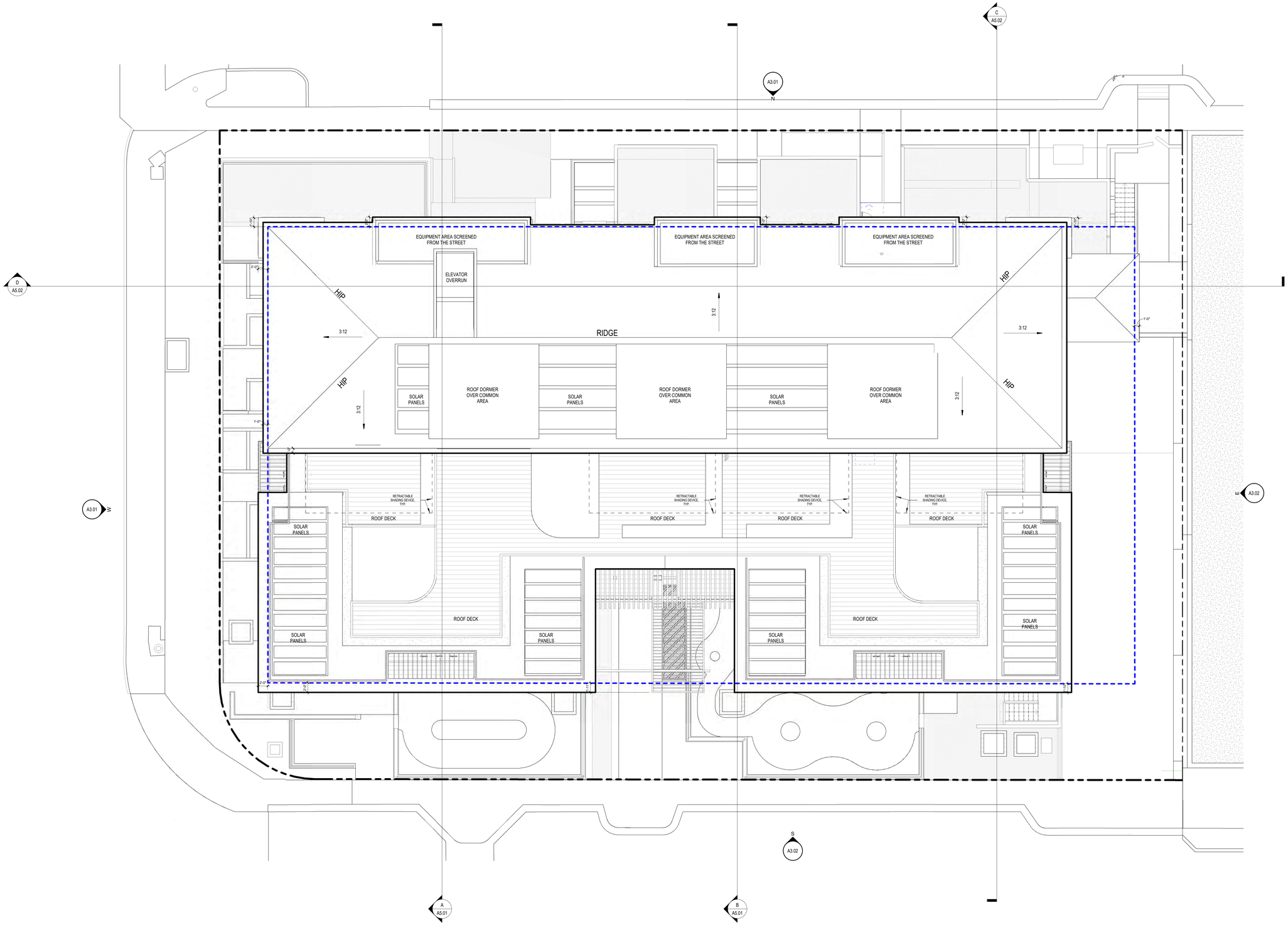

Estimated Photovoltaic System Summary:

SOLAR PANEL AREA: 2,141 SF
SOLAR PANEL SIZE: 3.5' x 5.5'
SOLAR PANEL QUANTITY: 100
SOLAR PANEL POWER (KWdc) PER PANEL: 400W
SYSTEM POWER: 40KW

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Roof Plan

Sheet Number **Current Revision**

A2.04

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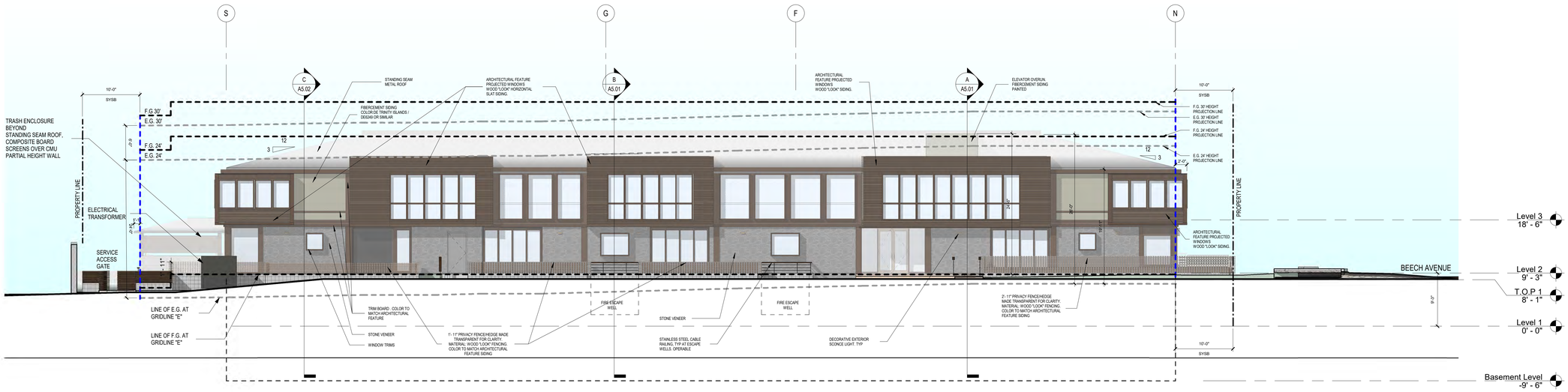
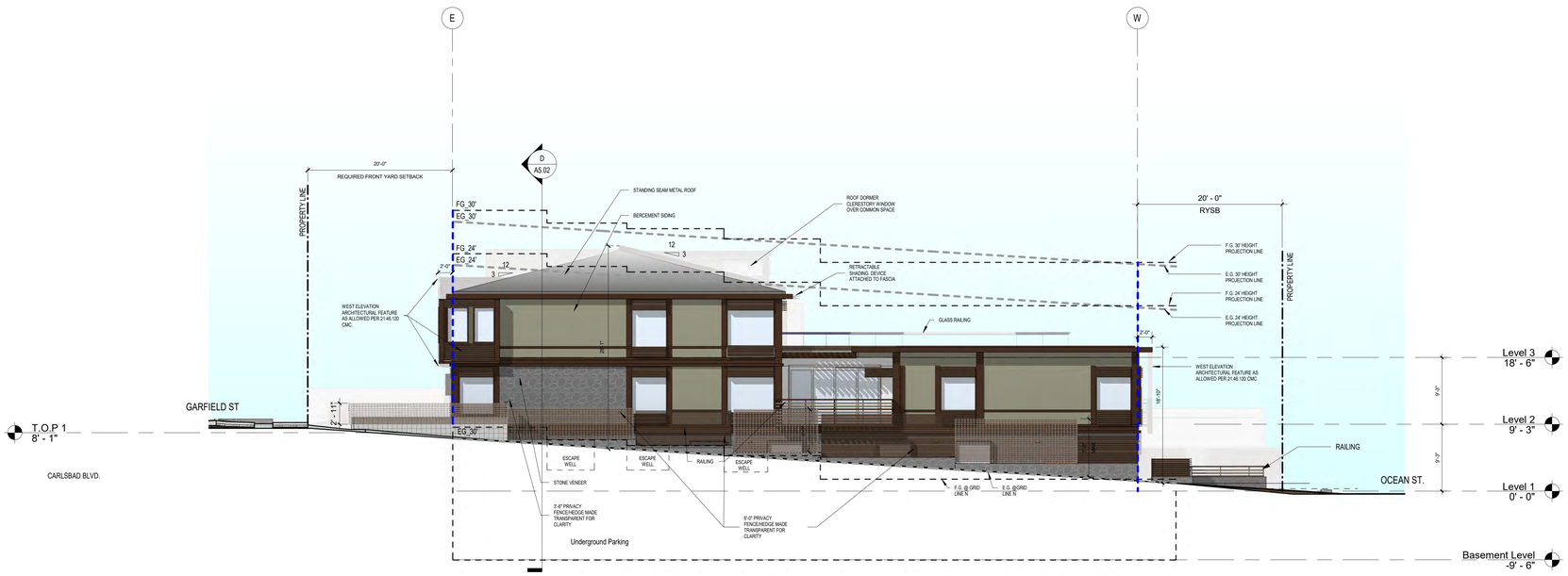


N A3.01 **NORTH ELEVATION**
1/8" = 1'-0"



W A3.01 **WEST ELEVATON**
1/8" = 1'-0"

EXTERIOR MATERIALS PALETTE

1 STANDING SEAM METAL ROOF

TRINITY ISLANDS

Trinity Islands | DE6366

2 FIBERCEMENT SIDING COLOR (OR SIMILAR)

COCOA

Cocoa | DEC759

3 TRIMS AND ARCHITECTURAL FEATURES (OR SIMILAR)

4 STONE VENEER

5 WOOD "LOOK" ARCHITECTURAL FEATURE REFERENCIAL IMAGE

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Sheet Title

Conceptual Elevations

Sheet Number **Current Revision**

A3.01

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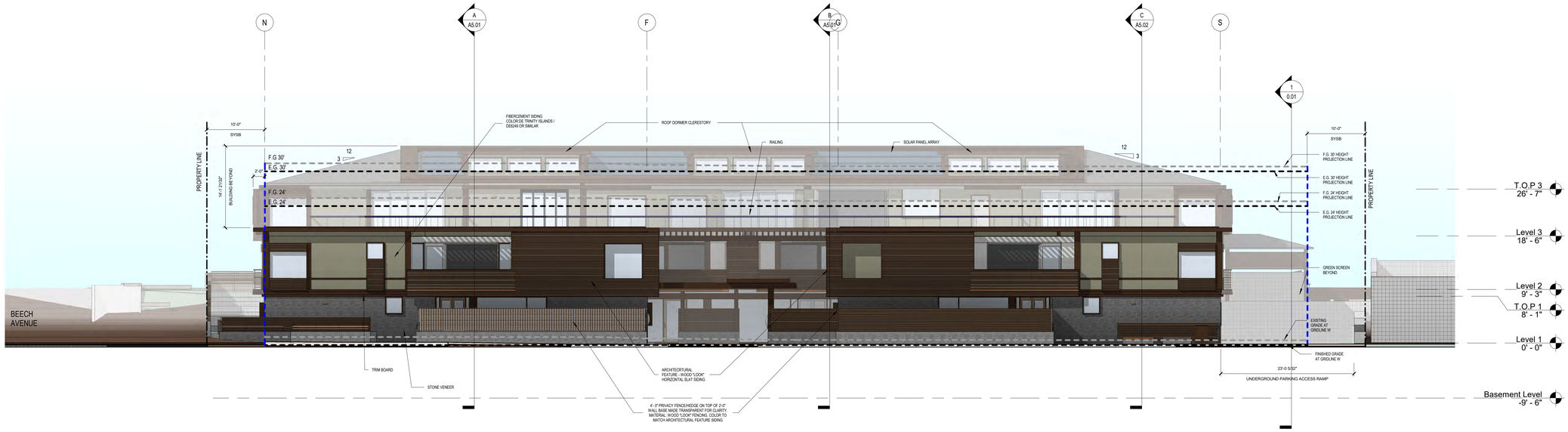
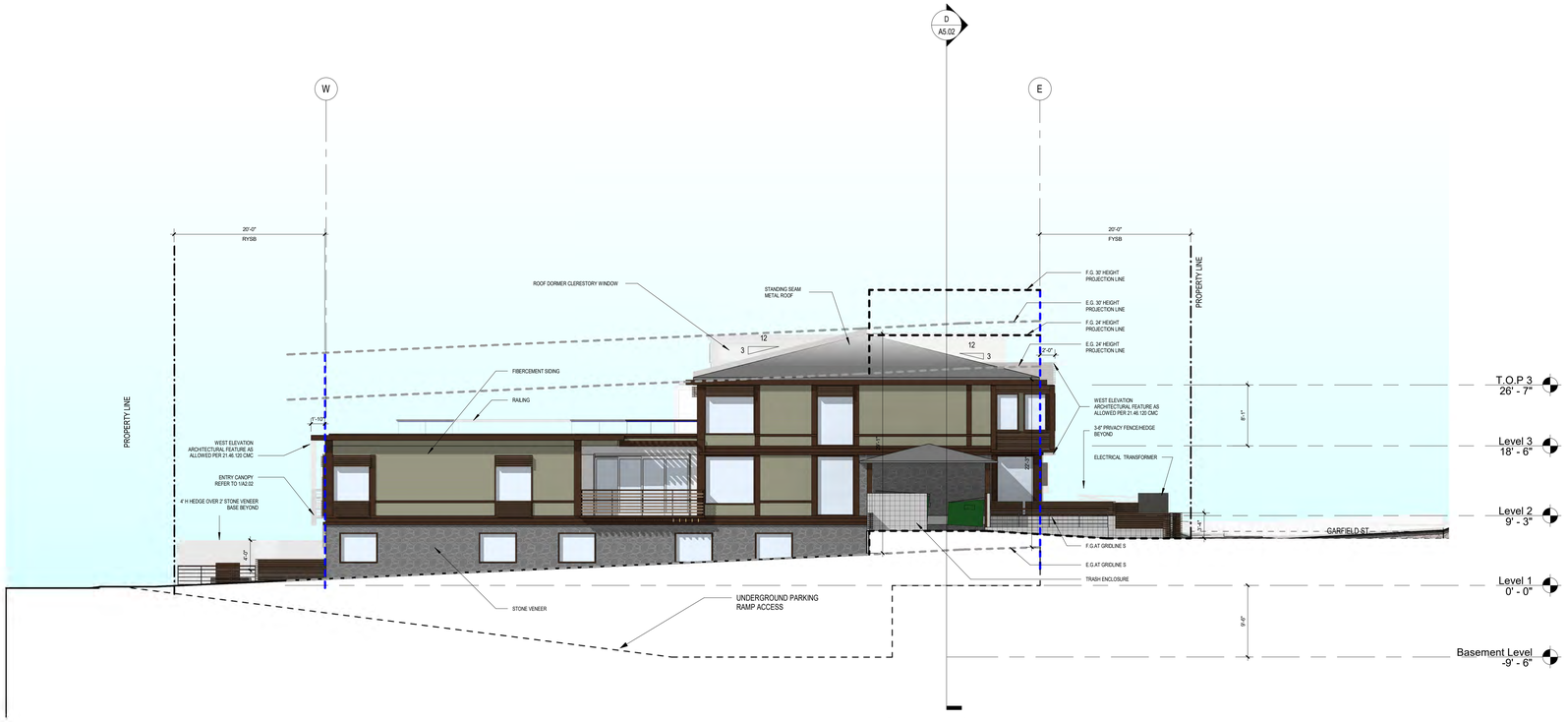


S A3.02 **WEST ELEVATION**
1/8" = 1'-0"



E A3.02 **EAST ELEVATION**
1/8" = 1'-0"

EXTERIOR MATERIALS PALETTE

1 STANDING SEAM METAL ROOF

2 FIBERCEMENT SIDING COLOR (OR SIMILAR)

3 TRIMS AND ARCHITECTURAL FEATURES (OR SIMILAR)

4 STONE VENEER

5 WOOD "LOOK" ARCHITECTURAL FEATURE
REFERENCIAL IMAGE

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Sheet Title

Conceptual Elevations

Sheet Number **Current Revision**

A3.02

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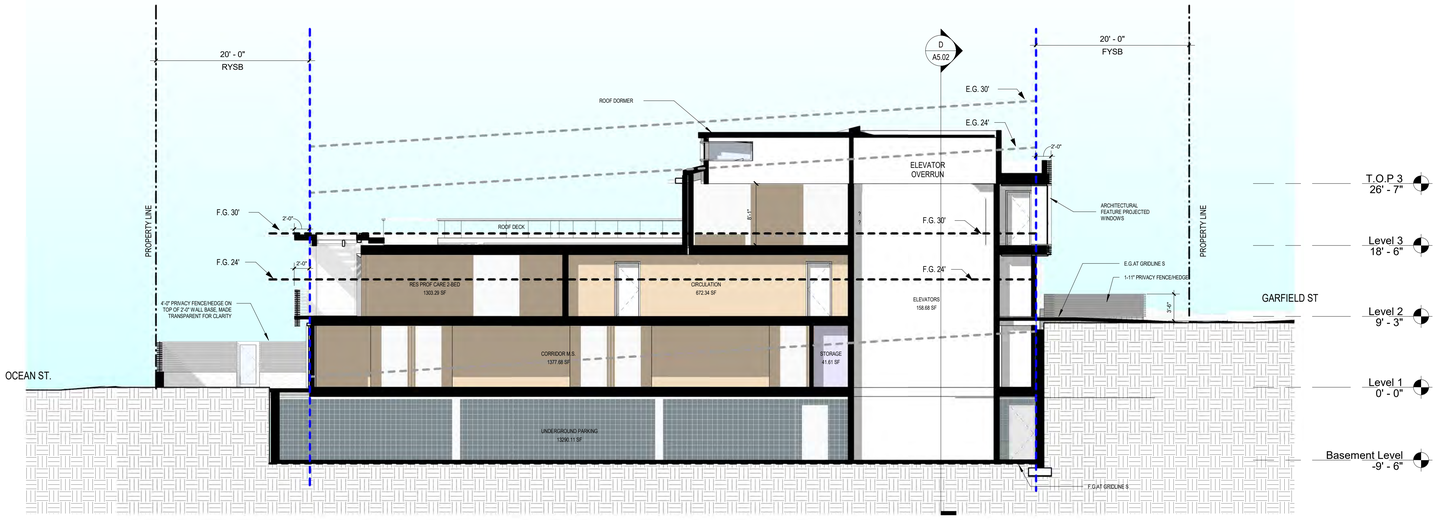
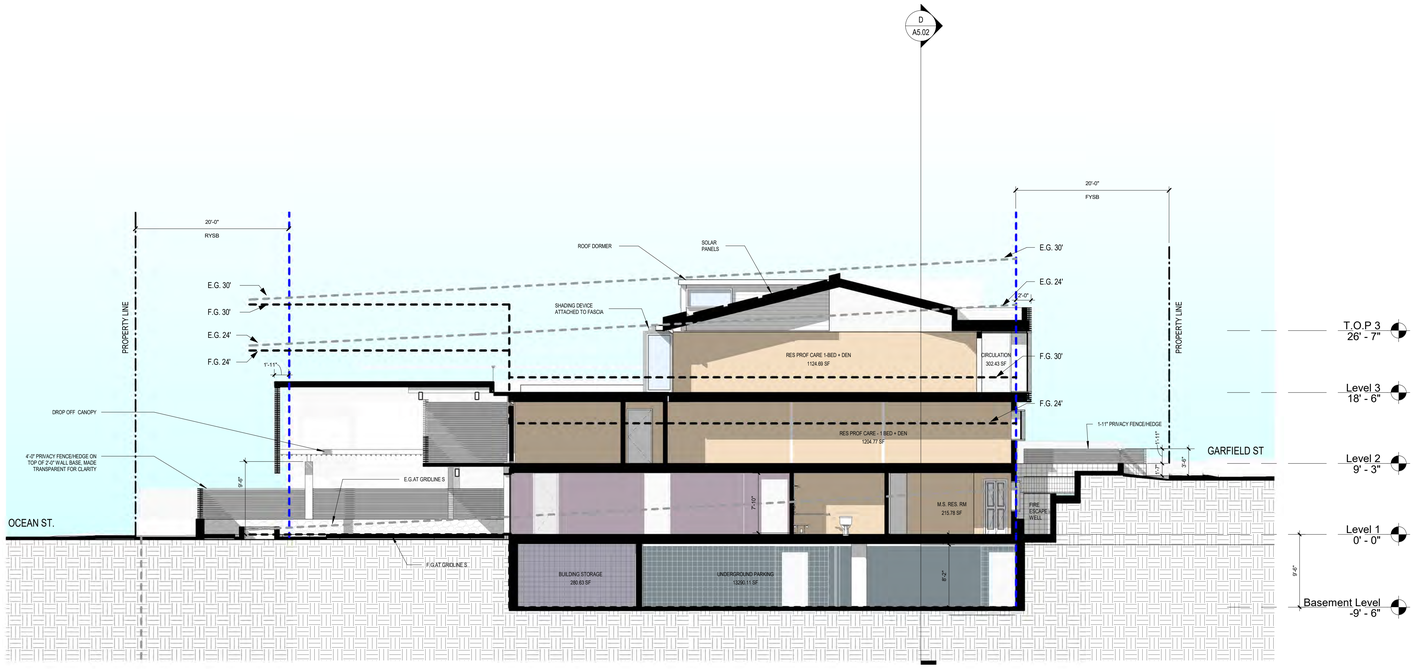


A
A5.01
Section A
1/8" = 1'-0"



B
A5.01
Section B
1/8" = 1'-0"

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SUMMERHOUSE

Sheet Title

Conceptual Sections

Sheet Number **Current Revision**

A5.01

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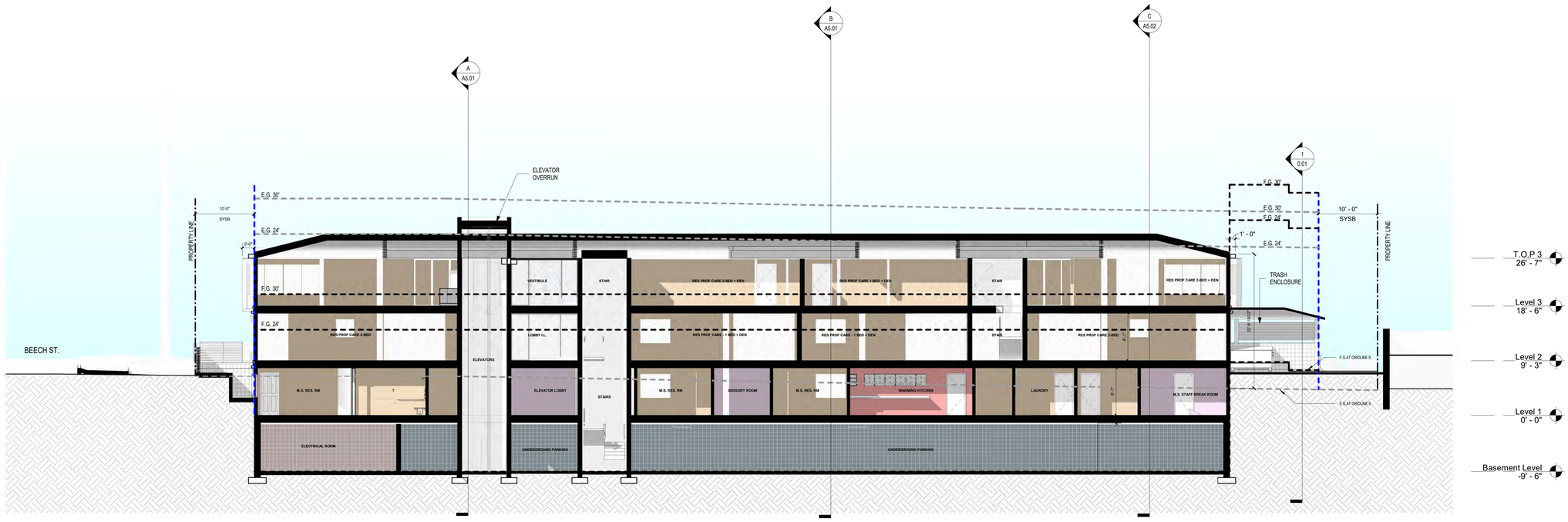

D
A5.02 **Section D**
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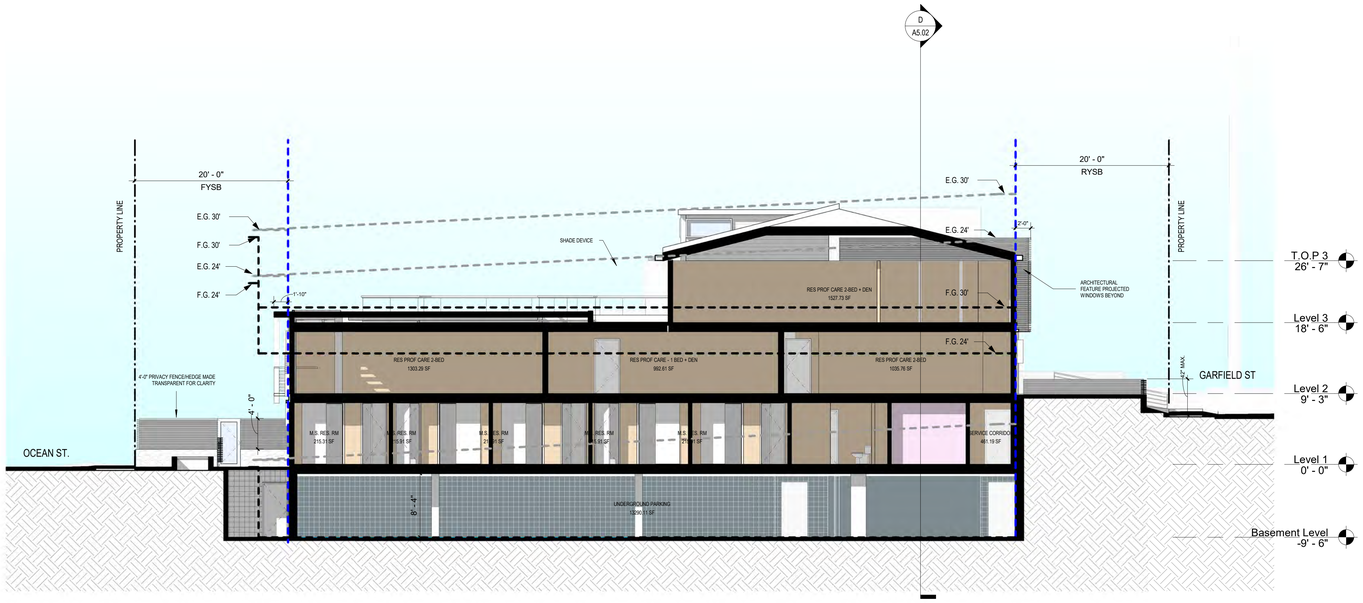

C
A5.02 **Section C**
1/8" = 1'-0"

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Conceptual Sections

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A5.02

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AERIAL VIEW 1 - CORNER OF BEECH AND GARFIELD

AERIAL VIEW 2 - CORNER OF BEECH ST AND OCEAN ST.

AERIAL VIEW 3 - OCEAN ST

CORNER OF BEECH AND GARFIELD

CORNER OF BEECH AND OCEAN ST

ENTRANCE - MEMORY CARE - OCEAN ST.

NORTHEAST 1 - BEECH STREET

SOUTHEAST 1 - OCEAN ST

ENTRANCE - INDEPENDENT LIVING - GARFIELD

TIPICAL FIRE ESCAPE WELL

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Sheet Title

Conceptual Renderings

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A6.01

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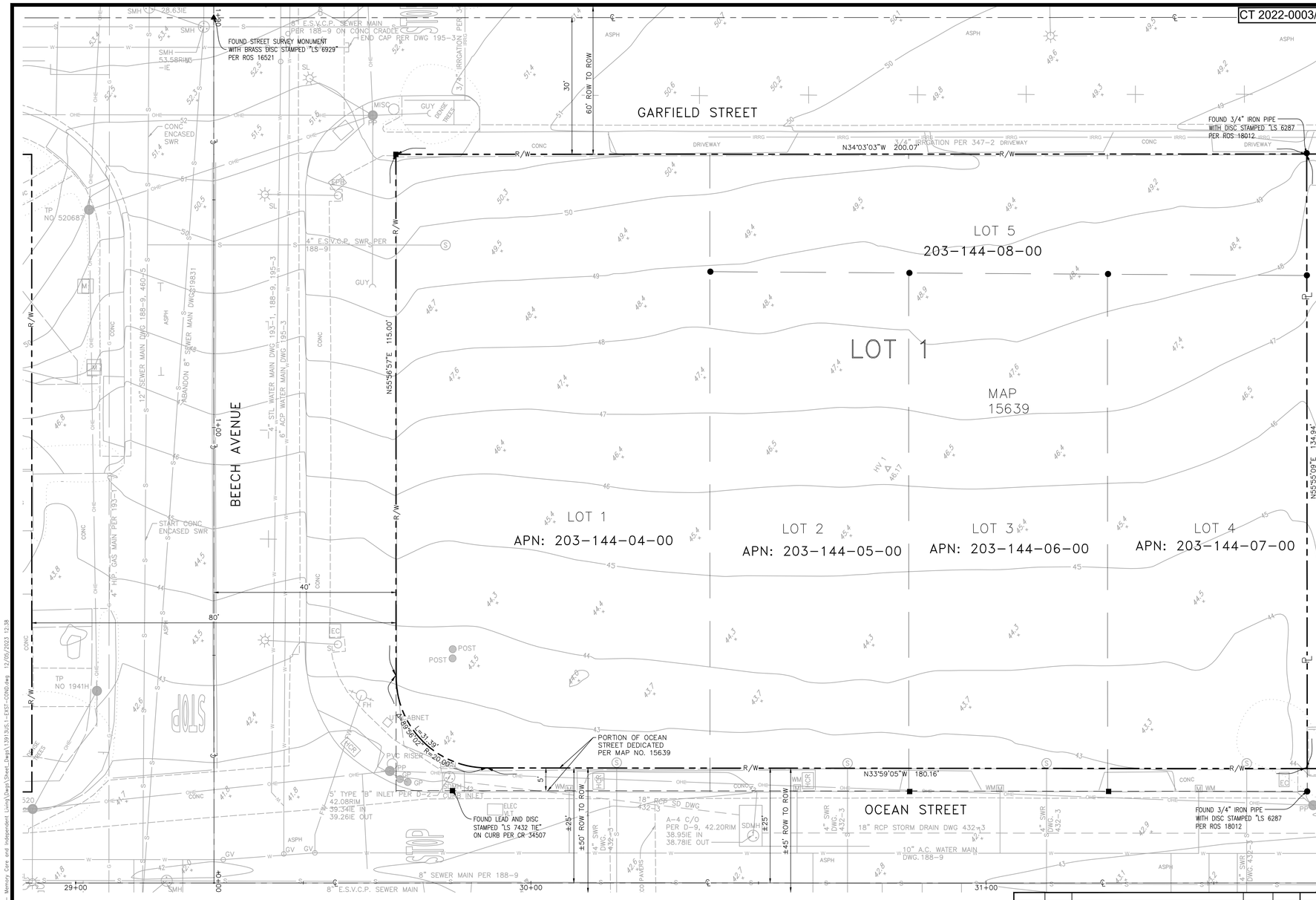

EXISTING IMPROVEMENTS

ITEM	SYMBOL
PROPERTY LINE/RIGHT OF WAY LINE	ROW or P/L
EXISTING LOT LINE	
EXISTING CENTER LINE	
EXISTING CONTOUR	405
EXISTING SPOT ELEVATION	405.71 ×
UTILITY POLE	UP
LIGHT POST	LP
STREET LIGHT	SL
ELECTRIC VAULT	EV
ELECTRIC PULL BOX	EPB
ELECTRIC LINE	E
OVERHEAD ELECTRIC/TELEPHONE AND CABLE LINES	OHE
GAS ASSEMBLY	GA
GAS LINE	G
STORM DRAIN MANHOLE	SDMH
STORM DRAIN LINE	SD
WATER METER	WM
WATER VALVE	WV
FIRE HYDRANT	FH
WATER LINE	W
SEWER MANHOLE	SMH
SEWER CLEAN OUT	SCO
SEWER POINT OF CONNECTION	POC
SEWER LINE	S
BOLLARD	BOL
GUARD POST	GP
SIGN	
CHAIN LINK FENCE	x x
CONCRETE	CONC
CURB & GUTTER	
DECIDUOUS TREE/PALM TREE	
COMMUNICATION LINE	COM
IRRIGATION LINE	IRRG
TELEPHONE LINE	T
FOUND LEAD AND DISC STAMPED "LS 7432 TIE" ON CURB PER CR 34507	■
FOUND 3/4" IRON PIPE WITH DISC STAMPED "LS 6287 PER ROS 18012	●
FOUND STREET SURVEY MONUMENT WITH BRASS DISC STAMPED "LS 6929" PER ROS 16521	▲

ABBREVIATIONS

ARCHITECT	ARCH
ASBESTOS CEMENT PIPE	ACP/A.C.
ASPHALT	ASPH/AC
BACKFLOW PREVENTER	BFP
CITY OF CARLSBAD STANDARD DRAWING	CCSD
CARLSBAD MUNICIPAL WATER DISTRICT	CMWD
CONCRETE	CONC
EXISTING	EXIST/EX
FINISH SURFACE	FS
GRADE BREAK	GB
HANDICAP RAMP	HCR
INVERT ELEVATION	IE
POWER POLE	PP
POLYVINYL CHLORIDE PIPE	PVC
REINFORCED CONCRETE PIPE	RCP
SAN DIEGO REGIONAL STANDARD DRAWING	SDRSD
SEWER	SWR
STORM DRAIN	SD
STREET LIGHT	SL
TOP OF CURB	TC
TOP OF GRADE	SL
TOP OF CURB	TC
TYPICAL	TYP
UTILITY	UT
VAULT	VLT
WATER	WTR

DISTRICT INFORMATION

WATER DISTRICT:	CARLSBAD MUNICIPAL WATER DISTRICT
SEWER DISTRICT:	ENCINA WASTEWATER AUTHORITY
SCHOOL DISTRICT:	CARLSBAD UNIFIED SCHOOL DISTRICT

TENTATIVE MAP

THIS IS A TENTATIVE MAP TO CONSOLIDATE 5 LOTS INTO 1 LOT, LABELED "LOT 1".

NOTE

1. STREET CENTERLINE STATIONING SHOWING PER RECORD PLANS.
2. EXISTING ELEVATIONS ARE BASED ON AERIAL TOPOGRAPHY.

TOPOGRAPHY SOURCE

THE SOURCE OF TOPOGRAPHIC INFORMATION IS A SURVEY COMPLETED BY PHOTO GEODETIC CORPORATION ON APRIL 19, 2022 AND SUPPLEMENTAL FIELD SURVEY PERFORMED BY BWE ON APRIL 26, 2022.

BENCH MARK

THE BENCH MARK USED FOR THIS MAP IS, PT. NO. 130, 2 1/2" BRASS DISC STAMPED "CLSB-130 LS 6215" IN THE SOUTHEAST CORNER OF DRAINAGE BOX INLET AT THE END OF CURB RETURN IN THE NORTHEAST CORNER OF GRAND AVENUE AND WASHINGTON STREET, 52 FEET WEST OF RAILROAD TRACKS AND 40 FEET NORTH OF THE CENTER OF GRAND AVENUE PER R.O.S. 17271
ELEVATION = 40.91' (NGVD29)

SCALE IN FEET
1 inch = 10 ft.

BWE
CIVIL•STRUCTURAL•SURVEY•PLANNING
9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123 619.299.5550
BWE JOB NO. 13913US1.00

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL
ENGINEER OF WORK			OTHER APPROVAL		CITY APPROVAL	

SHEET 1 | CITY OF CARLSBAD ENGINEERING DEPARTMENT | SHEETS 3

PRELIMINARY GRADING PLANS / TENTATIVE TRACT MAP

FRONT PORCH MEMORY CARE & INDEPENDENT LIVING

2710, 2720, 2730, & 2740 OCEAN STREET
CARLSBAD, CA. 92008

EXISTING CONDITIONS PLAN

Cuningham

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LICENSED ARCHITECT
GERALD W. HUNTER
NO. C24405
REN. 1-31-25
STATE OF CALIFORNIA

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CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Preliminary Grading Plan/ Tentative Tract Map

Sheet Number: C1.1

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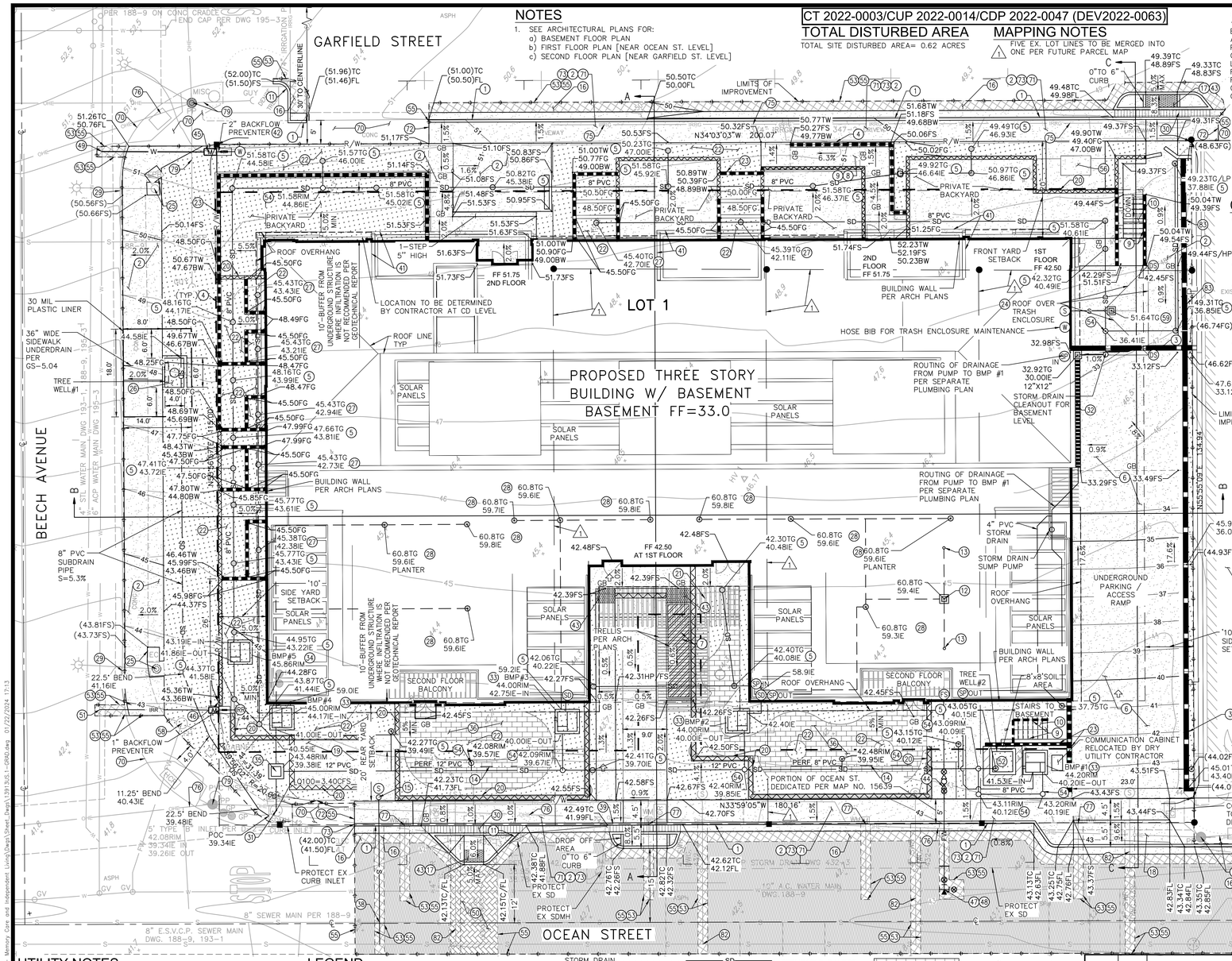

NOTES

1. SEE ARCHITECTURAL PLANS FOR:
   a) BASEMENT FLOOR PLAN
   b) FIRST FLOOR PLAN [NEAR OCEAN ST. LEVEL]
   c) SECOND FLOOR PLAN [NEAR GARFIELD ST. LEVEL]

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TOTAL DISTURBED AREA

TOTAL SITE DISTURBED AREA= 0.62 ACRES

MAPPING NOTES

1 FIVE EX. LOT LINES TO BE MERGED INTO ONE PER FUTURE PARCEL MAP

GRADING QUANTITIES

EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE AND FOR CONDITIONAL USE PERMITTING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY WITH SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, REMOVAL & RECOMPACTION, TRENCHING, FOUNDATION EXCAVATION, ETC.. CONTRACTOR SHALL VERIFY EXACT QUANTITIES PRIOR TO BIDDING.

GRADED AREA	26,893 [SF]
CUT QUANTITIES	8,680 [CYD]
FILL QUANTITIES	20 [CYD]
EXPORT	8,700 [CYD]

THIS PROJECT PROPOSED TO EXPORT 8,700 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.

CONSTRUCTION NOTES

- (SD) ROOF DRAIN DAYLIGHTS TO BIOFILTRATION BASIN PER PLUMBING PLANS
- (S) SEWER POC 5' OUTSIDE OF BUILDING. CONT. PER PLUMBING PLANS
- (W) WATER POC 5' OUTSIDE OF BUILDING. CONT. PER PLUMBING PLANS
- (FS) FIRE SERVICE POC 5' OUTSIDE OF BUILDING. CONT. PER PLUMBING PLANS
- (RR) IRRIGATION
- (SP) SUMP PUMP CONT. PER PLUMBING PLANS
- (DS) DOWN SPOUT CONNECTS TO STORM DRAIN SYSTEM

GARAGE NOTE:

THE GARAGE WILL DRAIN TO PUBLIC SEWER SYSTEM VIA SEWAGE EJECTOR PUMP AS SHOWN ON PLUMBING PLANS AND DETAILS WILL BE PROVIDED AT CD LEVEL.

CONSTRUCTION NOTES CONT.

1. CONSTRUCT 6" CURB & GUTTER PER SDRSD G-02
2. CONSTRUCT CONCRETE SIDEWALK PER SDRSD G-07
3. CONSTRUCT SHORING WALL PER SHORING DESIGNER W/ CONSTRUCTION PLANS
4. CONSTRUCT MAX 3FT HIGH GRAVITY RETAINING WALL PER SDRSD C-09 TYPE-B. SEE ARCH PLANS FOR DECORATIVE FENCING DETAILS ABOVE RETAINING WALL. TW ELEVATION IS THE HEIGHT OF RETAINING WALL PLUS FREEBOARD
5. AREA DRAIN AT GROUND LEVEL
6. CONSTRUCT CONCRETE DRIVEWAY TO BASEMENT PARKING. SEE DRIVEWAY PROFILE CL PROFILE ON SHEET 3
7. STRIPE (MARKING 36" ON CENTER MAX.) DROP-OFF ADA ACCESS AREA
8. CONSTRUCT CONCRETE RAMP
9. CONSTRUCT ADA HANDRAILS
10. CONSTRUCT CONCRETE STEPS PER ARCH PLANS
11. CONSTRUCT 6" CURB PER SDRSD G-01
12. CONSTRUCT 12"x12" CATCH BASIN AT PATIO/DECK LEVEL. SEE PLUMBING PLANS FOR CONTINUATION
13. STORM DRAIN CLEANOUT AT DECK LEVEL
14. PERFORATED SUBDRAIN AT EDIT LEVEL
15. INSTALL SEWER CLEAN OUT PER CCSD S-6, AND S-7
16. REMOVE AND REPLACE EX AC PAVEMENT
17. CONSTRUCT CURB RAMP TYPE "A" PER SDRSD G-27 WITH FLUSH TRANSITION
18. CONSTRUCT CONCRETE DRIVEWAY PER SDRSD G-14B AND CCSD GS-12
19. BIKE PARKING AREA PER ARCH PLANS
20. INSTALL 4' FENCE ON 2' STONE VENEER BASE PER ARCH PLANS
21. CONSTRUCT CANOPY PER ARCH PLANS
22. PLANTER AREA PER LANDSCAPING PLANS
23. CONSTRUCT 2' HIGH GRAVITY RETAINING WALL PER SDRSD C-09 TYPE-A
24. TRASH ENCLOSURE IN SECOND LEVEL PER CCSD GS-16 WITH PICK UP ON GARFIELD STREET
25. PROTECT EX EPB AND LIGHT POST, BASE AND FOOTING. ADJUST AS NEEDED TO FINISH GRADE
26. CONSTRUCT 20'x18'x4' SOIL DEPTH TREE WELL PER GS-1.02
27. AREA DRAIN AT FIRE ESCAPE
28. AREA DRAIN AT DECK LEVEL. SEE PLUMBING PLANS FOR CONTINUATION
29. PROTECT EX CURB & GUTTER
30. LONGITUDINAL STAINLESS STEEL ADA GRATE PER MANUFACTURER RECOMMENDATIONS
31. CONNECT TO EX STORM DRAIN
32. INSTALL 12" TRENCH DRAIN
33. MODULAR WETLAND RAISED ABOVE GROUND
34. MODULAR WETLAND AT GROUND
35. INSTALL 36"x36" CATCH BASIN WITH A SOLID LID
36. INSTALL PERMEABLE PAVERS
38. CONNECT NEW 6" SEWER LATERAL TO EX 8" SEWER MAIN PER CCSD S-7
39. LONGITUDINAL DUCTILE IRON TRAFFIC RATED GRATE PER MANUFACTURER RECOMMENDATIONS
41. EQUIPMENT AREA (ON ROOF) SCREENED FROM STREET PER ARCH PLANS
42. INSTALL BFP PER CMWD W-6 SIZE PER PLAN
43. INSTALL DETECTABLE WARNING TILES PER SDRSD SDG-130
44. INSTALL 8" ABOVE GROUND DOUBLE CHECK VALVE DETECTOR ASSEMBLY WITH FIRE DEPARTMENT CONNECTION (FDC) PER CMWD W-9
45. INSTALL 2" WATER METER PER CMWD W-4
46. INSTALL 1" WATER METER PER CMWD W-3
47. INSTALL THRUST BLOCK PER CMWD W-19, W-19A
48. CONNECT NEW 8" FIRE WATER TO EX 10" A.C. WATER WITH 10"x10"x8" TEE
49. WET TAP NEW 2" WATER LATERAL TO EX 6" A.C.P. WATER LINE
50. REMOVE AND REPLACE EX PAVERS IN KIND AS NEEDED
51. WET TAP NEW 1" IRRIGATION SERVICE TO 6" A.C.P. EX WATER MAIN
52. INSTALL TREE WELL SEE DETAIL B/2 CONSTRUCT PER ARCH PLANS
53. SAWCUT LINE
54. STORM DRAIN CLEANOUT FOR GROUND LEVEL
55. MATCH EX ELEVATION
56. INSTALL ELECTRICAL BOX/TRANSFORMER PER ELECTRICAL PLANS
58. PROTECT EX FIRE HYDRANT
59. 12"X12" CATCH BASIN CONNECTED TO SEWER
70. PROTECT EX SIDEWALK, CURB AND GUTTER
71. REMOVE EX CONCRETE DRIVEWAY
72. REMOVE PORTION OF EX SIDEWALK TO THE NEAREST JOINT
73. REMOVE CONCRETE CURB AND GUTTER TO THE NEAREST JOINT
74. PROTECT EX BUILDING
75. PROTECT EX IRRIGATION
76. PROTECT EX OVERHEAD ELECTRIC
77. REMOVE EX WTR METER BOX AND WTR LINE TO THE WTR MAIN, TRENCH PER CMWD W-2
79. PROTECT EX POWER POLE AND GUY WIRE
82. REMOVE EX SWR LATERAL TO SWR MAIN, TRENCH PER CCSD S-5
83. CORE 4" HOLES AT FINISHED GRADE ELEVATION TO ALLOW STORM WATER RUNOFF TO FLOW THROUGH WALL

UTILITY NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON VISUAL OBSERVATION OF ABOVE STRUCTURES, MARK-OUTS AND REVIEW OF RECORD DRAWINGS. THE DEPICTED LOCATIONS, SIZES AND TYPES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE RECORD DRAWINGS AND/OR ACTUAL AS-BUILT LOCATIONS. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE TO LOCATE BURIED UTILITIES/STRUCTURES.
2. BWE MAKES NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREON. THE USER OF THIS DRAWING SHALL CONDUCT INDEPENDENT PHYSICAL INSPECTION OF EACH UNDERGROUND UTILITY PRIOR TO EXCAVATION OR CONSTRUCTION.
3. ALL MANHOLE AND HANDHOLE COVERS IN CIRCULATION PATHS ALONG WALKWAYS AND SIDEWALKS MUST COMPLY WITH 11B-302.3 AND 11B-303.2 FOR LEVEL CHANGES AND OPENINGS IN THE DIRECTION OF TRAVEL.

LEGEND

PROPERTY LINE/RIGHT-OF-WAY
CENTER LINE
AC PAVEMENT GRIND & OVERLAY
CONCRETE PAVEMENT
PAVERS
SOIL DEPTH TREE WELL
NEW CATCH BASIN SIZE PER PLAN
NEW AREA DRAIN
NEW SEWER/STORM DRAIN CLEANOUT
RETAINING WALL
FENCE/SCREEN WALL
STORM DRAIN
FIRE WATER SERVICE
DOMESTIC WATER
DOUBLE CHECK BACKFLOW WITH FDC
MODULAR WETLAND PER DETAIL A/3
THRUST BLOCK
WATER METER
BACKFLOW PRENTER
12" TRENCH DRAIN
SHORING WALL
AC PAVEMENT
PERMEABLE PAVERS
LIMITS OF IMPROVEMENT
PERFORATED PIPE
SHORING LINE
WHEEL STOP
LONGITUDINAL GRATE
6" SEWER
IRRIGATION

SCALE IN FEET
1 inch = 10 ft.

BWE
CIVIL•STRUCTURAL•SURVEY•PLANNING
9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123 619.299.5550
BWE JOB NO. 13913US1.00

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL
ENGINEER OF WORK			OTHER APPROVAL		CITY APPROVAL	

SHEET 2 | CITY OF CARLSBAD ENGINEERING DEPARTMENT | SHEETS 3

PRELIMINARY GRADING PLANS FOR:

FRONT PORCH MEMORY CARE & INDEPENDENT LIVING

2710, 2720, 2730, & 2740 OCEAN STREET
CARLSBAD, CA. 92008

PRELIMINARY GRADING PLAN

Cuningham

201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cuningham.com

LICENSED ARCHITECT
GERALD W. HUWER
NO. C24405
REN. 1-31-25
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase:	Date:
Project No.:	PIC / AIC:

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Preliminary Grading Plan

Sheet Number: C1.2

Current Revision

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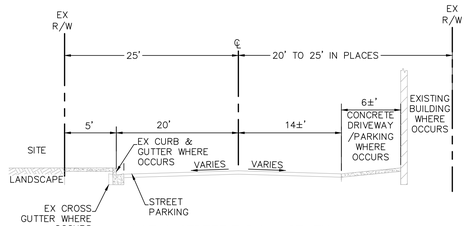
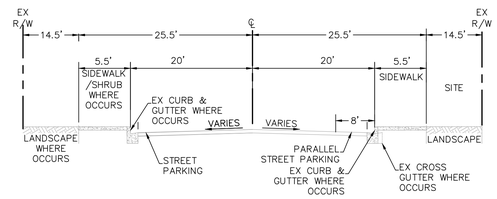
April 17, 2024
PRINT DATE 3/8/2024

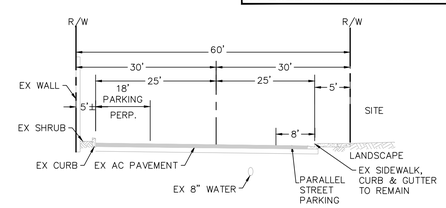
CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)



OCEAN STREET TYPICAL SECTION
NTS



BEECH AVE TYPICAL SECTION
NTS



GARFIELD STREET TYPICAL SECTION
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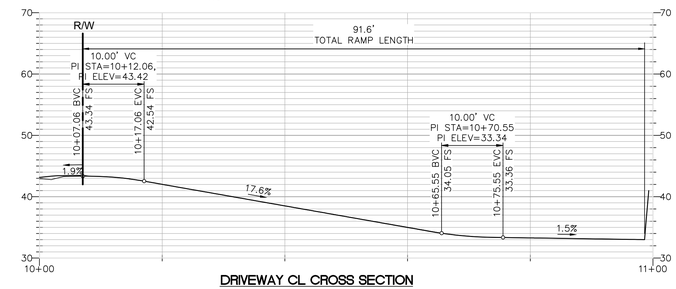
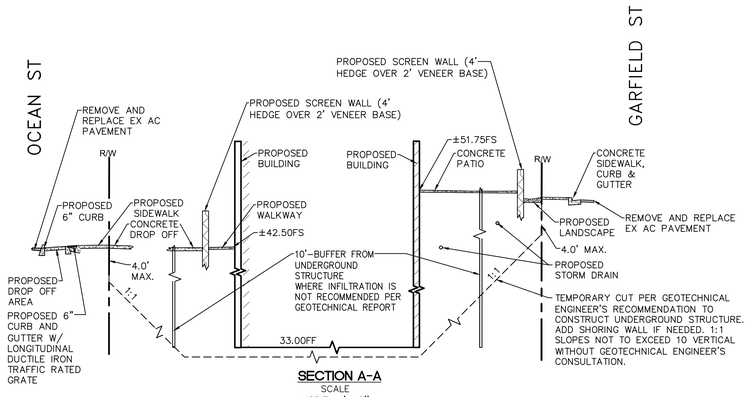
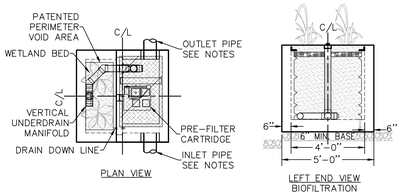
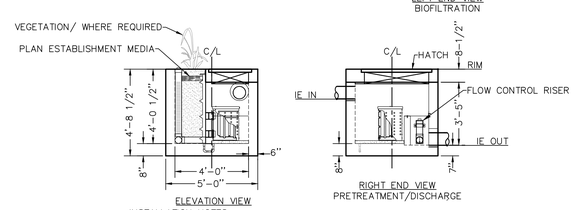


DRIVEWAY CL CROSS SECTION
SCALE
HORIZ: 1'=10''
VERT: 1'=10''



SECTION A-A
SCALE
HORIZ: 1'=10''
VERT: 1'=10''

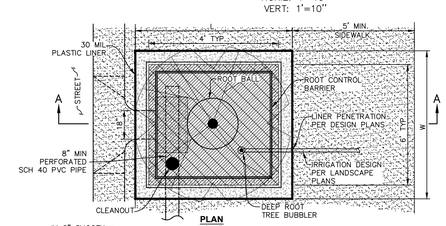


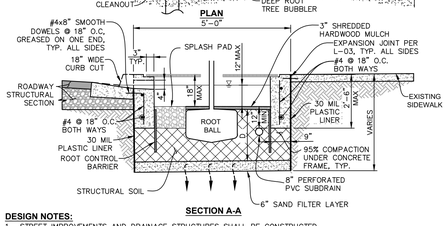


INSTALLATION NOTES
1. CONTRACTOR TO PROVIDE LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWINGS AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
2. UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6'' LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEERS RECOMMENDED BASE SPECIFICATIONS.
3. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPE SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PRE MANUFACTURER'S STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
4. CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
5. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISH SURFACE UNLESS SPECIFIED OTHERWISE.
6. DRIP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES
1. MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS, ELEVATIONS SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

A MODULAR WETLAND SYSTEM
STANDARD DETAIL
NTS



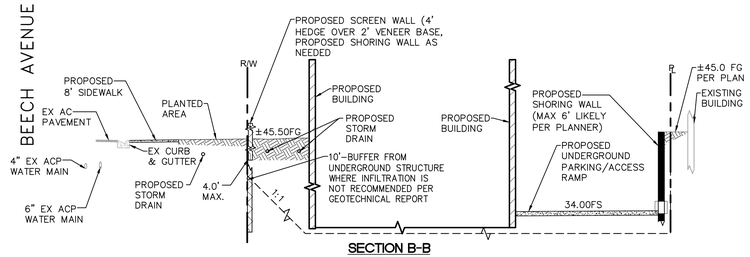


SECTION A-A

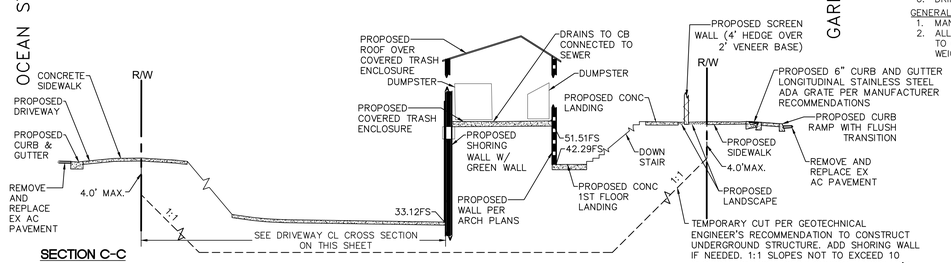
DESIGN NOTES:
1. STREET IMPROVEMENTS AND DRAINAGE STRUCTURES SHALL BE CONSTRUCTED ACCORDING TO THE LATEST SAN DIEGO REGIONAL STANDARD DRAWINGS AND CALTRANS STANDARD PLANS.
2. CONCRETE SHALL BE 520-C-2500 UNLESS OTHERWISE SPECIFIED.
3. LANDSCAPING DETAILS NOT SPECIFIED HEREIN. WILL BE PROVIDED CD LEVEL.
4. PROVIDE 30 MIL PLASTIC LINER WHERE CONCRETE WILL BE POURED ON TOP OF STRUCTURAL SOIL.
5. SEAL PLASTIC LINER TO ADJACENT IMPROVEMENTS AND EDGE RESTRAINTS.
6. WHEN SAND FILTER LAYER IS OMITTED, PROVIDE GEOTEXTILE BENEATH THE STRUCTURAL SOIL LAYER PER PROJECT-SPECIFIC GEOTECHNICAL RECOMMENDATIONS.
7. PROPOSED SIDEWALK LOCATIONS & INTENDED ADA ROUTES PER PROJECT-SPECIFIC DESIGN PLANS.
8. ALL STRUCTURAL SOILS ARE COMPACTED TO 95% RELATIVE COMPACTION.

DESCRIPTION	SOIL VOL	DEPTH (D)	L	W	AREA	TREE NAME
TREE WELL #1	1,440CF	4'	20'	18'	360SF	HYBRID STRAWBERRY TREE
TREE WELL #2	192CF	3'	8'	8'	64SF	CA MOUNTAIN LILLAC

B TREE WELL
STANDARD DETAIL
NTS



SECTION B-B
SCALE
HORIZ: 1'=10''
VERT: 1'=10''



SECTION C-C
SCALE
HORIZ: 1'=10''
VERT: 1'=10''

BWE
CIVIL•STRUCTURAL•SURVEY•PLANNING
9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123 619.299.5550
BWE JOB NO. 13913US1.00

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL
ENGINEER OF WORK			OTHER APPROVAL		CITY APPROVAL	

SHEET 3 | CITY OF CARLSBAD ENGINEERING DEPARTMENT | SHEETS 3

PRELIMINARY GRADING PLANS FOR:

FRONT PORCH MEMORY CARE & INDEPENDENT LIVING

2710, 2720, 2730, & 2740 OCEAN STREET
CARLSBAD, CA. 92008

SECTIONS

Cuningham
201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cuningham.com

LICENSED ARCHITECT GERALD W. HUNTER NO. C24405 REN. 1-31-25 STATE OF CALIFORNIA

PRELIMINARY
NOT FOR CONSTRUCTION

Revisions
No. Date Description

Project Information
Phase: Date:
Project No.: PIC / AIC:
CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title
Preliminary Grading Plan

Sheet Number C1.3
Current Revision

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April 17, 2024
PRINT DATE 3/8/2024

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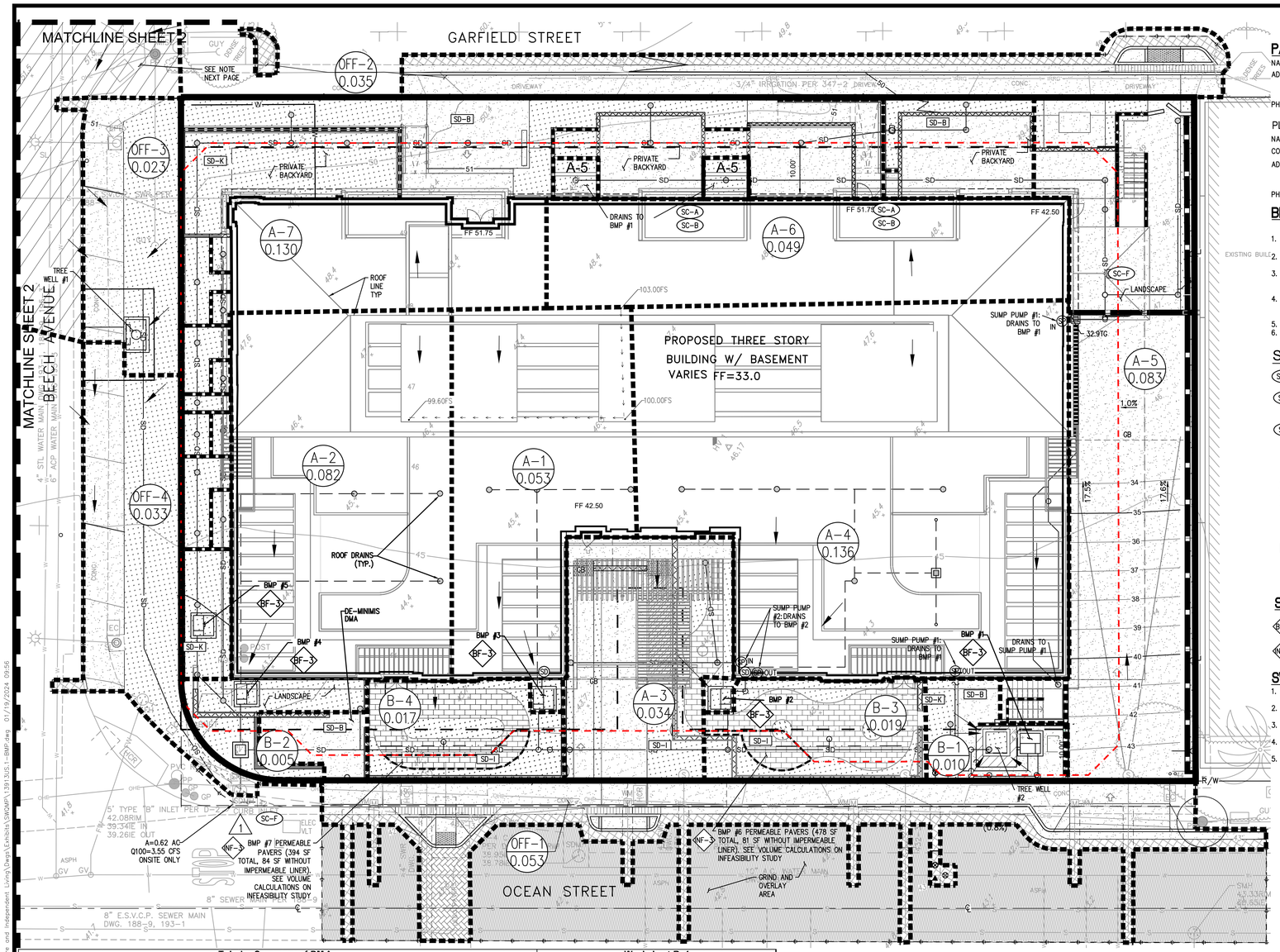
CT 2022-0003/CUP 2022-0014/CDP 2022-0047 (DEV2022-0063)



PARTY RESPONSIBLE FOR MAINTENANCE

NAME FRONT PORCH COMMUNITIES
ADDRESS 800 NORTH BRAND BLVD. 19TH FLOOR GLENDALE, CA 92103 CONTACT JOAN JOHNSON
PHONE NO. TBD

PLAN PREPARED BY:

NAME HECTOR MAYTORENA SIGNATURE
COMPANY BWE, INC.
ADDRESS 2449 BALBOA AVENUE SUITE 270 SAN DIEGO, CA 92123
PHONE NO. 619-299-5550 CERTIFICATION RCE 86216

BMP NOTES

1. THESE BMPS ARE MANDATORY TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR THESE PLANS.
2. NO CHANGES TO THE PROPOSED BMPS ON THIS SHEET WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
3. NO SUBSTITUTIONS TO THE MATERIAL OR TYPES OR PLANTING TYPES WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
4. NO OCCUPANCY WILL BE GRANTED UNTIL THE CITY INSPECTION STAFF HAS INSPECTED THIS PROJECT FOR APPROPRIATE BMP CONSTRUCTION AND INSTALLATION.
5. REFER TO MAINTENANCE AGREEMENT DOCUMENT.
6. SEE PROJECT SWMP FOR ADDITIONAL INFORMATION.

SOURCE CONTROL BMPS:

SC-A OVERHEAD COVERING
–MATERIALS & EQUIPMENT STORAGE

SC-B SEPARATION FLOWS FROM ADJACENT AREAS
–MATERIALS & EQUIPMENT STORAGE

SC-F STORM DRAINS AND CATCH BASINS WILL BE LABELED WITH STENCILING OR SIGNAGE TO DISCOURAGE DUMPING

SITE DESIGN BMPS:

SD-B DIRECT RUNOFF TO PERVIOUS AREAS
–SIDEWALKS & WALKWAYS
–DRIVEWAYS
–PATIOS, DECKS, & COURTYARDS
–ROOFTOP AREAS

SD-I CONSTRUCT SURFACES FROM PERMEABLE MATERIALS
–PARKING AREAS & WALKWAYS
–PATIOS, DECKS, & COURTYARDS

SD-K SUSTAINABLE LANDSCAPING

STRUCTURAL BMP KEYNOTES

BF-3 COMPACT PROPRIETARY BIOFILTRATION BMP (POLLUTANT CONTROL)

INF-3 PERMEABLE PAVEMENT BMP (POLLUTANT CONTROL)

SWQMP NOTES

1. THE SITE IS COMPRISED OF HYDROLOGIC SOIL TYPE B.
2. APPROXIMATE DEPTH TO GROUNDWATER GREATER THAN 30 FEET
3. EXISTING NATURAL HYDROLOGIC FEATURES – NOT APPLICABLE
4. NO CRITICAL COARSE SEDIMENT YIELD AREAS ARE NOT PRESENT ON SITE
5. PROJECT DISCHARGES DIRECTLY INTO HARDENED CONVEYANCE AND ROUTED DIRECTLY TO THE PACIFIC OCEAN. PROJECT IS HYDROMODIFICATION EXEMPT.

BMP CONSTRUCTION AND INSPECTION NOTES

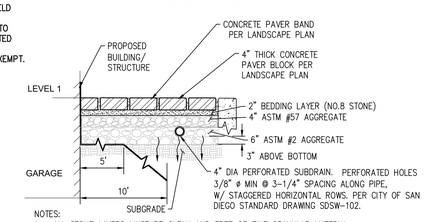
THE EOW WILL VERIFY THAT PERMANENT BMPS ARE CONSTRUCTED AND OPERATING IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS. PRIOR TO OCCUPANCY THE EOW MUST PROVIDE:

1. PHOTOGRAPHS OF THE INSTALLATION OF PERMANENT BMPS PRIOR TO CONSTRUCTION, DURING CONSTRUCTION, AND AT FINAL INSTALLATION.
2. A WET STAMPED LETTER VERIFYING THAT PERMANENT BMPS ARE CONSTRUCTED AND OPERATING PER THE REQUIREMENTS OF THE APPROVED PLANS.
3. PHOTOGRAPHS TO VERIFY THAT PERMANENT WATER QUALITY TREATMENT SIGNAGE HAS BEEN INSTALLED.

PRIOR TO RELEASE OF SECURITIES, THE DEVELOPER IS RESPONSIBLE FOR ENSURING THE PERMANENT BMPS HAVE NOT BEEN REMOVED OR MODIFIED BY THE NEW HOMEOWNER OR HOA WITHOUT THE APPROVAL OF THE CITY ENGINEER.

LEGEND / SYMBOL

PROPERTY LINE/RIGHT-OF-WAY — ROW — P/L
CENTER LINE — C/L —
AC PAVEMENT
AC PAVEMENT GRIND & OVERLAY
CONCRETE PAVEMENT
PAVERS
NEW CATCH BASIN SIZE PER PLAN
NEW AREA DRAIN
NEW ROOF DRAIN PER PLUMBING PLAN
NEW SEWER/STORM DRAIN CLEANOUT
SITE WALL
STORM DRAIN — SD
MODULAR WETLAND
12" TRENCH DRAIN
STORM DRAIN CLEANOUT TYPE A4
STREET TREE BOX
SUMP PUMP — SP
ROOF DRAIN DAYLIGHTS TO BMP PER PLUMBING PLANS — SD
PERMEABLE PAVERS
PROJECT OUTER DMA BOUNDARY
DMA BOUNDARY
EXISTING CONTOUR — XXX
NEW CONTOUR — XXX
FLOW DIRECTION
FLOW PATH
POINT OF COMPLIANCE (POC) — 1
DRAINAGE MANAGEMENT AREA MARKER & AREA (AC) — A–X X.XX
10–FEET BUFFER FROM UNDERGROUND STRUCTURE WHERE INFILTRATION IS NOT RECOMMENDED PER GEOTECHNICAL REPORT



NOTES:
1. ALL STONE LAYERS MUST BE CLEAN AND FREE OF FINE GRANULAR MATERIAL.
2. PERVIOUS CONCRETE AND/OR PAVERS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

PERMEABLE PAVEMENT & LINER DETAIL
NOT TO SCALE

Tabular Summary of DMAs — **Worksheet B-1**

DMA Unique Identifier	Area (acres)	Impervious Area (acres)	% Imp	HSG	Area Weighted Runoff Coefficient (C)	DCV (cubic feet)	Mitigated By (BMP ID)	Pollutant Control Type	Drains to (POC ID)
A- 1	0.053	0.052	99.3%	B	0.894	103	BMP#3	BF- 3 Proprietary Biofiltration	1
A- 2	0.082	0.074	90.2%	B	0.822	150	BMP#4	BF- 3 Proprietary Biofiltration	1
A- 3	0.034	0.024	70.6%	B	0.665	49	BMP#2	BF- 3 Proprietary Biofiltration	1
A- 4	0.136	0.136	99.7%	B	0.898	267	BMP#2	BF- 3 Proprietary Biofiltration	1
A- 5	0.083	0.074	89.2%	B	0.813	148	BMP#1	BF- 3 Proprietary Biofiltration	1
A- 6	0.049	0.049	100.0%	B	0.900	96	BMP#5	BF- 3 Proprietary Biofiltration	1
A- 7	0.130	0.082	63.1%	B	0.605	175	BMP#5	BF- 3 Proprietary Biofiltration	1
B- 1	0.010	0.008	82.2%	B	0.757	17	Tree Well #2	Other	1
B- 2	0.005	0.005	100.0%	B	0.900	-	De- minimis	De- minimis	1
B- 3	0.019	0.014	73.8%	B	0.690	29	BMP#6	INF- 3 Pervious Pavers	1
B- 4	0.017	0.010	61.4%	B	0.591	22	BMP#7	INF- 3 Pervious Pavers	1
TOTAL	**0.618**	**0.529**	85.6%	B	0.785	**1,056**	-	-	1
OFF- 1	0.053	0.053	100.0%	B	0.900	104	-	SSD- BMP Tree Well # 1	1
OFF- 2	0.035	0.035	100.0%	B	0.900	68	-	SSD- BMP Tree Well # 1	1
OFF- 3	0.023	0.010	42.0%	B	0.436	22	-	SSD- BMP Tree Well # 1	1
OFF- 4	0.033	0.014	41.9%	B	0.435	31	-	SSD- BMP Tree Well # 1	1
TOTAL OFFSITE	**0.144**	**0.111**	**77.4%**	**B**	**0.719**	**225**	-	-	**1**

5 0 10 20
SCALE IN FEET
1 inch = 10 ft.

BWE
CIVIL•STRUCTURAL•SURVEY•PLANNING
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SAN DIEGO, CA 92123 619.299.5550
BWE JOB NO. 13913US1.00

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DMA EXHIBIT

1 CITY OF CARLSBAD 2
ENGINEERING DEPARTMENT

FRONT PORCH MEMORY CARE AND INDEPENDENT LIVING
2710, 2720, 2730, & 2740 OCEAN STREET
CARLSBAD, CA. 92008
DMA/SINGLE SHEET BMP SITE PLAN

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cuningham.com

LICENSED ARCHITECT GERALD W. HUNTER NO. C24405 REN. 1-31-25 STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information
Phase: Date:
Project No.: PIC / AIC:
FRONT PORCH BY THE SEA SUMMERHOUSE

Sheet Title
DMA/Single Sheet BMP Site Plan 1

Sheet Number C2.1
Current Revision

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April 17, 2024
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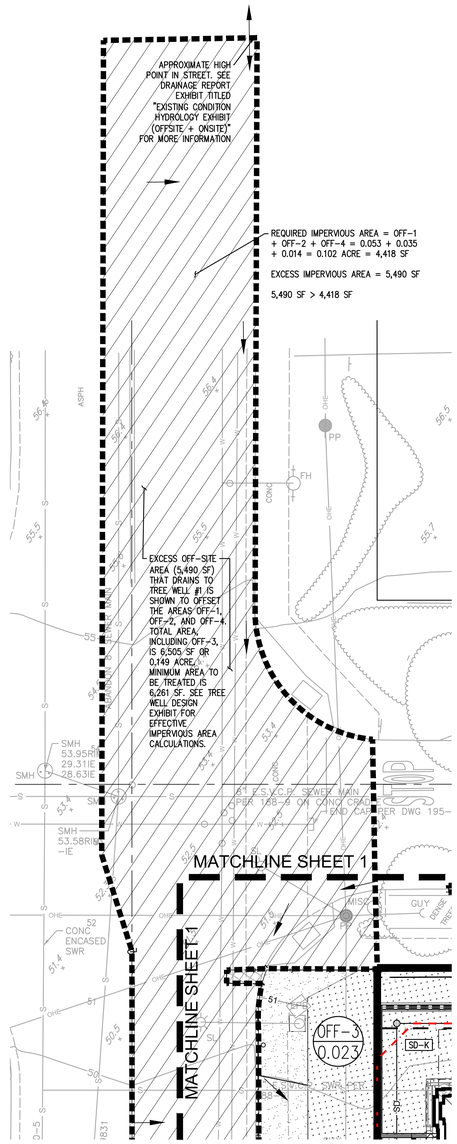

Tabular Summary of DMAs								Worksheet B-1	
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A-2	0.082	0.074	90.2%	B	0.822	150	BMP#4	BF-3 Proprietary Biofiltration	1
A-3	0.034	0.024	70.6%	B	0.665	49	BMP#2	BF-3 Proprietary Biofiltration	1
A-4	0.136	0.136	99.7%	B	0.898	267	BMP#2	BF-3 Proprietary Biofiltration	1
A-5	0.083	0.074	89.2%	B	0.813	148	BMP#1	BF-3 Proprietary Biofiltration	1
A-6	0.049	0.049	100.0%	B	0.900	96	BMP#5	BF-3 Proprietary Biofiltration	1
A-7	0.130	0.082	63.1%	B	0.605	175	BMP#5	BF-3 Proprietary Biofiltration	1
B-1	0.010	0.008	82.2%	B	0.757	17	Tree Well #2	Other	1
B-2	0.005	0.005	100.0%	B	0.900	-	De-minimis	De-minimis	1
B-3	0.019	0.014	73.8%	B	0.690	29	BMP#6	INF-3 Pervious Pavers	1
B-4	0.017	0.010	61.4%	B	0.591	22	BMP#7	INF-3 Pervious Pavers	1
TOTAL	**0.618**	**0.529**	85.6%	B	0.785	**1,056**	-		**1**
OFF-1	0.053	0.053	100.0%	B	0.900	103	-	SSD-BMP Tree Well #1	1
OFF-2	0.035	0.035	100.0%	B	0.900	68	-	SSD-BMP Tree Well #1	1
OFF-3	0.054	0.040	73.8%	B	0.690	82	-	SSD-BMP Tree Well #1	1
OFF-4	0.042	0.023	55.6%	B	0.545	50	-	SSD-BMP Tree Well #1	1
TOTAL OFFSITE	**0.184**	**0.151**	**82.1%**	**B**	**0.757**	**303**	-	-	**1**

PARTY RESPONSIBLE FOR MAINTENANCE

NAME *FRONT PORCH COMMUNITIES*
ADDRESS 800 NORTH BRAND BLVD. 19TH FLOOR GLENDALE, CA 92103 CONTACT *JOAN JOHNSON*
PHONE NO. *TBD*

PLAN PREPARED BY:

NAME HECTOR MAYTORENA SIGNATURE
COMPANY BWE, INC.
ADDRESS 2449 BALBOA AVENUE SUITE 270 SAN DIEGO, CA 92123
PHONE NO. 619-299-5550 CERTIFICATION RCE 86216

BMP NOTES

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2. NO CHANGES TO THE PROPOSED BMPS ON THIS SHEET WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
3. NO SUBSTITUTIONS TO THE MATERIAL OR TYPES OR PLANTING TYPES WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.
4. NO OCCUPANCY WILL BE GRANTED UNTIL THE CITY INSPECTION STAFF HAS INSPECTED THIS PROJECT FOR APPROPRIATE BMP CONSTRUCTION AND INSTALLATION.
5. REFER TO MAINTENANCE AGREEMENT DOCUMENT.
6. SEE PROJECT SWMP FOR ADDITIONAL INFORMATION.

SOURCE CONTROL BMPS:

SC-A OVERHEAD COVERING
-MATERIALS & EQUIPMENT STORAGE

SC-B SEPARATION FLOWS FROM ADJACENT AREAS
-MATERIALS & EQUIPMENT STORAGE

SC-F STORM DRAINS AND CATCH BASINS WILL BE LABELED WITH STENCILING OR SIGNAGE TO DISCOURAGE DUMPING

SITE DESIGN BMPS:

SD-B DIRECT RUNOFF TO PERVIOUS AREAS
-SIDEWALKS & WALKWAYS
-DRIVEWAYS
-PATIOS, DECKS, & COURTYARDS
-ROOFTOP AREAS

SD-I CONSTRUCT SURFACES FROM PERMEABLE MATERIALS
-PARKING AREAS & WALKWAYS
-PATIOS, DECKS, & COURTYARDS

SD-K SUSTAINABLE LANDSCAPING

STRUCTURAL BMP KEYNOTES

BF-3 COMPACT PROPRIETARY BIOFILTRATION BMP (POLLUTANT CONTROL)

INF-3 PERMEABLE PAVEMENT BMP (POLLUTANT CONTROL)

SWQMP NOTES

1. THE SITE IS COMPRISED OF HYDROLOGIC SOIL TYPE B.
2. APPROXIMATE DEPTH TO GROUNDWATER GREATER THAN 30 FEET
3. EXISTING NATURAL HYDROLOGIC FEATURES – NOT APPLICABLE
4. NO CRITICAL COARSE SEDIMENT YIELD AREAS ARE NOT PRESENT ON SITE
5. PROJECT DISCHARGES DIRECTLY INTO HARDENED CONVEYANCE AND ROUTED DIRECTLY TO THE PACIFIC OCEAN. PROJECT IS HYDROMODIFICATION EXEMPT.

BMP CONSTRUCTION AND INSPECTION NOTES

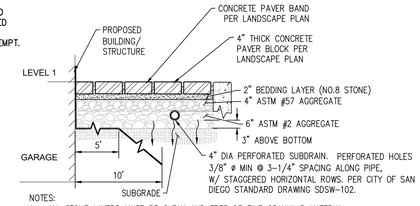
THE EOW WILL VERIFY THAT PERMANENT BMPS ARE CONSTRUCTED AND OPERATING IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS. PRIOR TO OCCUPANCY THE EOW MUST PROVIDE:

1. PHOTOGRAPHS OF THE INSTALLATION OF PERMANENT BMPS PRIOR TO CONSTRUCTION, DURING CONSTRUCTION, AND AT FINAL INSTALLATION.
2. A WET STAMPED LETTER VERIFYING THAT PERMANENT BMPS ARE CONSTRUCTED AND OPERATING PER THE REQUIREMENTS OF THE APPROVED PLANS.
3. PHOTOGRAPHS TO VERIFY THAT PERMANENT WATER QUALITY TREATMENT SIGNAGE HAS BEEN INSTALLED.

PRIOR TO RELEASE OF SECURITIES, THE DEVELOPER IS RESPONSIBLE FOR ENSURING THE PERMANENT BMPS HAVE NOT BEEN REMOVED OR MODIFIED BY THE NEW HOMEOWNER OR HOA WITHOUT THE APPROVAL OF THE CITY ENGINEER.

LEGEND / SYMBOL

PROPERTY LINE/RIGHT-OF-WAY — ROW — P/L
CENTER LINE — C/L
AC PAVEMENT
AC PAVEMENT GRIND & OVERLAY
CONCRETE PAVEMENT
PAVERS
NEW CATCH BASIN SIZE PER PLAN
NEW AREA DRAIN
NEW ROOF DRAIN PER PLUMBING PLAN
NEW SEWER/STORM DRAIN CLEANOUT
SITE WALL
STORM DRAIN — SD
MODULAR WETLAND
12" TRENCH DRAIN
STORM DRAIN CLEANOUT TYPE A4
STREET TREE BOX
SUMP PUMP — SP
ROOF DRAIN DAYLIGHTS TO BMP PER PLUMBING PLANS — SD
PERMEABLE PAVERS
PROJECT OUTER DMA BOUNDARY
DMA BOUNDARY
EXISTING CONTOUR — XXX
NEW CONTOUR — XXX
FLOW DIRECTION
FLOW PATH
POINT OF COMPLIANCE (POC) — 1
DRAINAGE MANAGEMENT AREA MARKER & AREA (AC) — A-X X.XX
10-FEET BUFFER FROM UNDERGROUND STRUCTURE WHERE INFILTRATION IS NOT RECOMMENDED PER GEOTECHNICAL REPORT



NOTES:
1. ALL STONE LAYERS MUST BE CLEAN AND FREE OF FINE GRANULAR MATERIAL
2. PERVIOUS CONCRETE AND/OR PAVERS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

PERMEABLE PAVEMENT & LINER DETAIL
NOT TO SCALE

5 0 10 20
SCALE IN FEET
1 inch = 10 ft.

BWE
CIVIL•STRUCTURAL•SURVEY•PLANNING
9449 BALBOA AVE, STE 270
SAN DIEGO, CA 92123 619.299.5550
BWE JOB NO. 13913US1.00

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL
ENGINEER OF WORK			OTHER APPROVAL		CITY APPROVAL	

DMA EXHIBIT

2 CITY OF CARLSBAD 2
ENGINEERING DEPARTMENT

FRONT PORCH MEMORY CARE AND INDEPENDENT LIVING
2710, 2720, 2730, & 2740 OCEAN STREET
CARLSBAD, CA. 92008
DMA/SINGLE SHEET BMP SITE PLAN

Cuningham
201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cuningham.com

LICENSED ARCHITECT GERALD W. HUNTER NO. C24405 REN. 1-31-25 STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase: Date:
Project No.: PIC / AIC:

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

DMA/Single Sheet BMP Site Plan 2

Sheet Number C2.2 Current Revision

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April 17, 2024
PRINT DATE 3/8/2024
I:\Projects\13500\13913US1.00 - Front Porch - Memory Care and Independent Living\Dwgs\Exhibits\SWQMP\13913US1 - BMP.dwg 01/19/2024 09:36

General Landscape Notes

- LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
- LANDSCAPE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND/OR MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10'- 0" CLEARANCE).
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. LANDSCAPE CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
- ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN THE ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE FINISHED GRADE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF THE OWNER ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
- CONIFEROUS PLANTING IS GENERALLY ACCEPTABLE FROM AUGUST 15 TO OCTOBER 1. FALL DECIDUOUS PLANTING IS GENERALLY ACCEPTABLE FROM THE FIRST FROST UNTIL NOVEMBER 15. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
- ANNUAL AND PERENNIAL PLANTING BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH NO WEED BARRIER. SHRUB BEDS TO RECEIVE 4" DEEP SHREDDED HARDWOOD MULCH WITH FIBER MAT WEED BARRIER.
- PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.

General Planting Notes

- PLANT SCHEDULE TAKES PRECEDENCE OVER PLAN IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.
- CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL SELECTIONS AND OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE PLANT MATERIAL SELECTIONS OR SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID AND/OR QUOTATION.
- CONTRACTOR RESPONSIBLE FOR LAYOUT AND STAKING OF PLANT MATERIAL. MATERIAL SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN(S). ALL STAKING AND BASE GRADING TO BE VERIFIED AND APPROVED BY THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO ANY FINAL SURFACE MATERIAL INSTALLATIONS.
- ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
- NO PLANTS WILL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAVE BEEN COMPLETED IN THE IMMEDIATE AREA.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- KEEP FINAL ELEVATIONS OF SOIL AND MULCH FROM BLOCKING INTENDED STORM WATER FLOW. SEE CIVIL AND/OR LANDSCAPE DRAWINGS FOR GRADING PLAN.
- SALVAGE TOPSOIL FOR REUSE FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE IN LOCATION APPROVED BY OWNER. PROJECT MANAGER TO REVIEW, DIRECT AND APPROVE ALL REQUIRED SOIL CORRECTIONS PRIOR TO BASE MATERIAL PLACEMENT.
- CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE OF THE PROJECT SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.
- EDGE AREAS WHERE TURF/SOD MEET PLANTING BEDS AS SHOWN IN PLANS AND AS DESCRIBED IN THE SPECIFICATIONS.
- SOD AREAS DISTURBED DUE TO GRADING SHALL BE REPLACED, UNLESS NOTED OTHERWISE.
- WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
- CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE SUCH AS WATERING AND WEEDING OF NEWLY INSTALLED MATERIALS, AND REPLACEMENTS, FOR ENTIRE WARRANTY PERIOD. SEE SPECIFICATIONS. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Planting Schedule

Symbol	Type Mark	Common Name	Botanical Name	Count	Installed Size	Plant Factor
Vine						
	BOB	Barbara Karst Bougainvillea	Bougainvillea 'Barbara Karst'	18	1 GAL.	Low
	MAU	Cat Claw Vine	Macfadyena unguis-cati	36	1 GAL.	Low
Tree						
	ARM	Marina Madrone	Arbutus 'Marina'	7	24" BOX	Low
	CEO	Western Redbud	Cercis occidentalis	6	24" BOX	Low
	MEN	Pink Melaleuca	Melaleuca nesophila	9	24" BOX	Low
Shrub						
	DOV	Hopseed Bush	Dodonaea viscosa	23	5 GAL.	Low
	KEC	Penstemon	Keckiella cordifolia	23	5 GAL.	Very Low
	PRI	Hollyleaf Cherry	Prunus ilicifolia	4	5 GAL.	Very Low
	SAT	Snake Plant	Sansevieria trifasciata	45	5 GAL.	Low
Perennial						
	BOG	Blue Grama Grass	Bouteloua gracilis	136	1 GAL.	Low
	DCF	Dudleya 'Frank Reinelt'	D. caespitosa "Frank Reinelt"	33	1 GAL.	Very Low
	DUB	Giant Chalk Dudleya	Dudleya brittonii	18	1 GAL.	Very Low
	ERN	Emu Bush	Eremophila nivea	11	1 GAL.	Low
	SIB	Blue-Eyed Grass	Sisyrinchium bellum	39	1 GAL.	Low
Groundcover						
	ARH	Monterey Carpet Manzanita	Arctostaphylos hookeri	21	1 GAL.	Low
	BAP	Pigeon Point Coyote Bush	Baccharis pilularis	18	1 GAL.	Low
	EPC	California Fuchsia	Epilobium canum	44	1 GAL.	Very Low
Container Plants						
	DIR	Fortnight Lily	Dietes iridiodes	7	1 GAL.	Low

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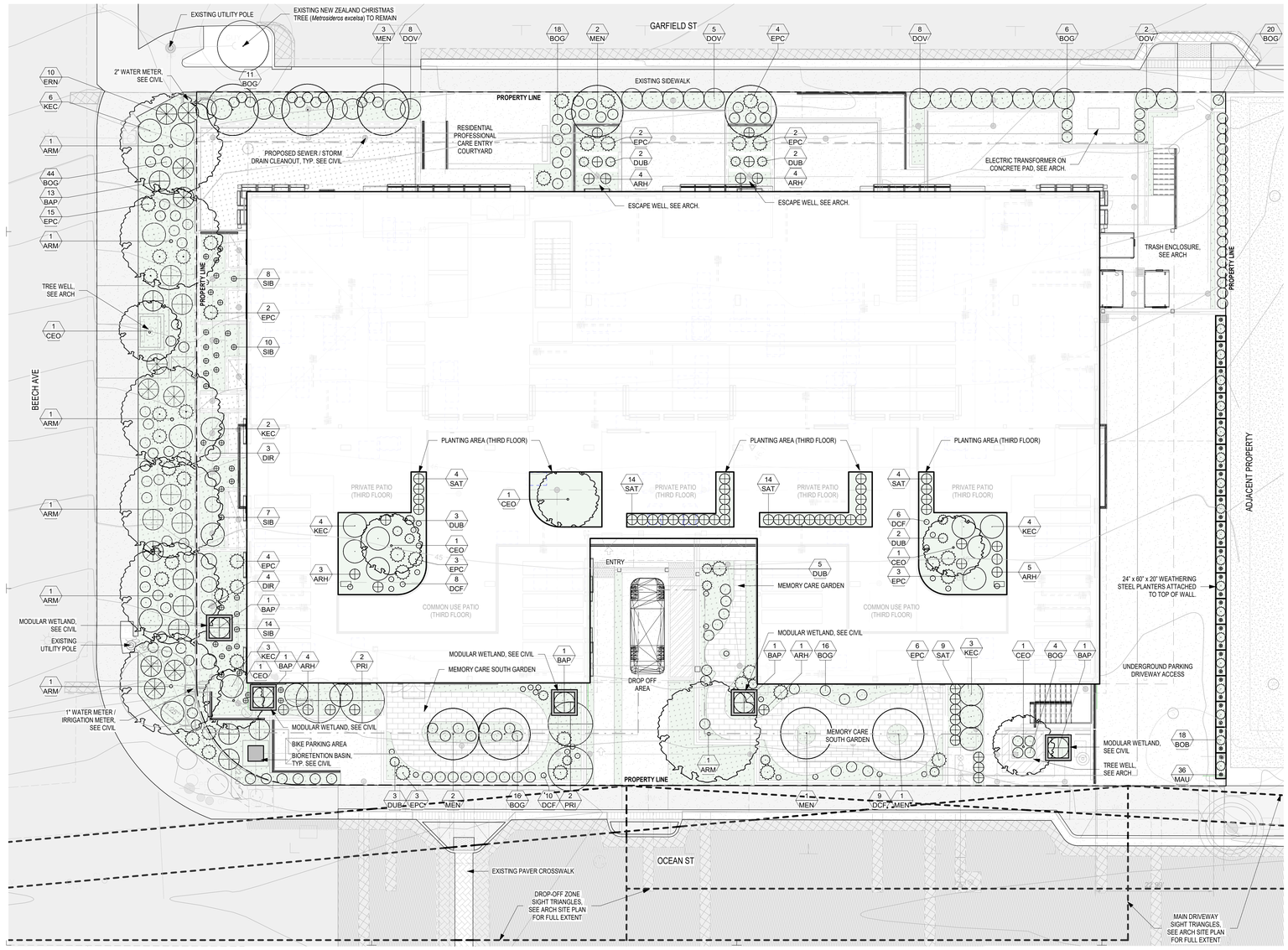
cuningham.com



1 L300 **Conceptual Landscape Plan**
1" = 10'-0"

LANDSCAPE NOTES:

SEE ARCHITECTURE DRAWINGS FOR ALL DESIGN LAYOUT, LANDSCAPE DESIGN FEATURES, SURFACING, MATERIALS, AND OTHER DETAILS AND INFORMATION.

SEE CIVIL DRAWINGS FOR ALL IRRIGATION, LOW IMPACT DEVELOPMENT (LID) FEATURES, WATER SUPPLY, WATER CONSERVATION FEATURES, GRADING, DRAINAGE, AND OTHER DETAILS AND INFORMATION.

ALL UTILITIES TO BE SCREENED.

PLANTING NOTES:

IDENTICAL PLANT SYMBOLS ON PLANTING SCHEDULE USED FOR DIFFERENT SPECIES. SEE INDIVIDUAL CALL-OUTS FOR SPECIFIC VARIETY PROPOSED.

ALL TREES (EXCEPT ON SLOPES 3:1 OR STEEPER) SHALL BE A MINIMUM 15 GALLON SIZE. ALL STREET TREES TO BE A MINIMUM OF 24" BOX SIZE.

50% OF ALL SHRUBS (EXCEPT ON SLOPES 3:1 OR STEEPER) SHALL BE A MINIMUM 5 GALLON SIZE.

ALL STREET TREES TO BE SINGLE TRUNK.

DRAINAGE NOTES:

ALL LANDSCAPE AREAS SHALL HAVE POSITIVE (2% GRADE IN PLANTING AREAS) AWAY FROM ALL STRUCTURED AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.

IRRIGATION NOTES:

ONLY SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE UNLESS THE ADJACENT IMPERMEABLE SURFACES ARE DESIGNED AND CONSTRUCTED TO CAUSE WATER TO DRAIN ENTIRELY INTO A LANDSCAPED AREA.

BMP NOTES:

SEE CIVIL BMP SITE PLAN FOR MORE INFORMATION.

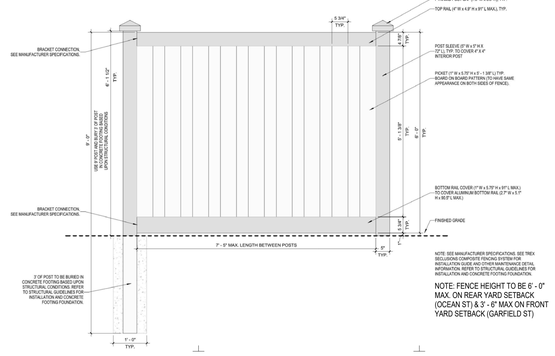
Landscape Material Legend

PROPOSED PLANTING AREA

I am familiar with the requirements for landscape and irrigation plans contained in the City of Carlsbad's Landscape Manual and Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the landscape manual. I certify that the plan implements those regulations to provide efficient use of water.

SIGNATURE

February 6th, 2023
DATE



2 L300 **Conceptual Fence Detail**
1/8" = 1'-0"

LICENSED ARCHITECT
GERALD W. HUNTER
NO. C24405
REN. 1-31- 25
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase:	Date:
Project No.:	PIC / AIC:

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Conceptual Landscape Plan

Sheet Number L300 **Current Revision**

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Autodesk Docs://17-0250- Carlsbad By the Sea Memory Care - RVT/22021717-0250_Carlsbad By the Sea MC_Landscape.rvt
2/7/2024 8:47:04 PM
April 17, 2024
PRINT DATE 3/8/2024

Planting Schedule						
Symbol	Type Mark	Common Name	Botanical Name	Count	Installed Size	Plant Factor
Vine						
	BOB	Barbara Karst Bougainvillea	Bougainvillea 'Barbara Karst'	18	1 GAL.	Low
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	ARM	Marina Madrone	Arbutus 'Marina'	7	24" BOX	Low
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	DOV	Hopseed Bush	Dodonaea viscosa	23	5 GAL.	Low
	KEC	Penstemon	Keckiella cordifolia	23	5 GAL.	Very Low
	PRI	Hollyleaf Cherry	Prunus ilicifolia	4	5 GAL.	Very Low
	SAT	Snake Plant	Sansevieria trifasciata	45	5 GAL.	Low
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	BOG	Blue Grama Grass	Bouteloua gracilis	136	1 GAL.	Low
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	DUB	Giant Chalk Dudleya	Dudleya brittonii	18	1 GAL.	Very Low
	ERN	Emu Bush	Eremophila nivea	11	1 GAL.	Low
	SIB	Blue-Eyed Grass	Sisyrinchium bellum	39	1 GAL.	Low
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	ARH	Monterey Carpet Manzanita	Arctostaphylos hookeri	21	1 GAL.	Low
	BAP	Pigeon Point Coyote Bush	Baccharis pilularis	18	1 GAL.	Low
	EPC	California Fuchsia	Epilobium canum	44	1 GAL.	Very Low
Container Plants						
	DIR	Fortnight Lily	Dietes iridiodes	7	1 GAL.	Low

Hydrozone Legend

LOW WATER USE (5,558 SF TOTAL)

DRAINAGE NOTES:

ALL LANDSCAPE AREAS SHALL HAVE POSITIVE (2% GRADE IN PLANTING AREAS) AWAY FROM ALL STRUCTURED AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.

IRRIGATION NOTES:

ONLY SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN 24" OF AN IMPERMEABLE SURFACE UNLESS THE ADJACENT IMPERMEABLE SURFACES ARE DESIGNED AND CONSTRUCTED TO CAUSE WATER TO DRAIN ENTIRELY INTO A LANDSCAPED AREA.

LANDSCAPE IRRIGATION SYSTEM TO BE DESIGNED FOR POTABLE WATER ONLY, NOT FOR FUTURE RECYCLED WATER.

WELO Worksheets

Water Efficient Landscape Worksheet

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

HYDROZONE INFORMATION TABLE

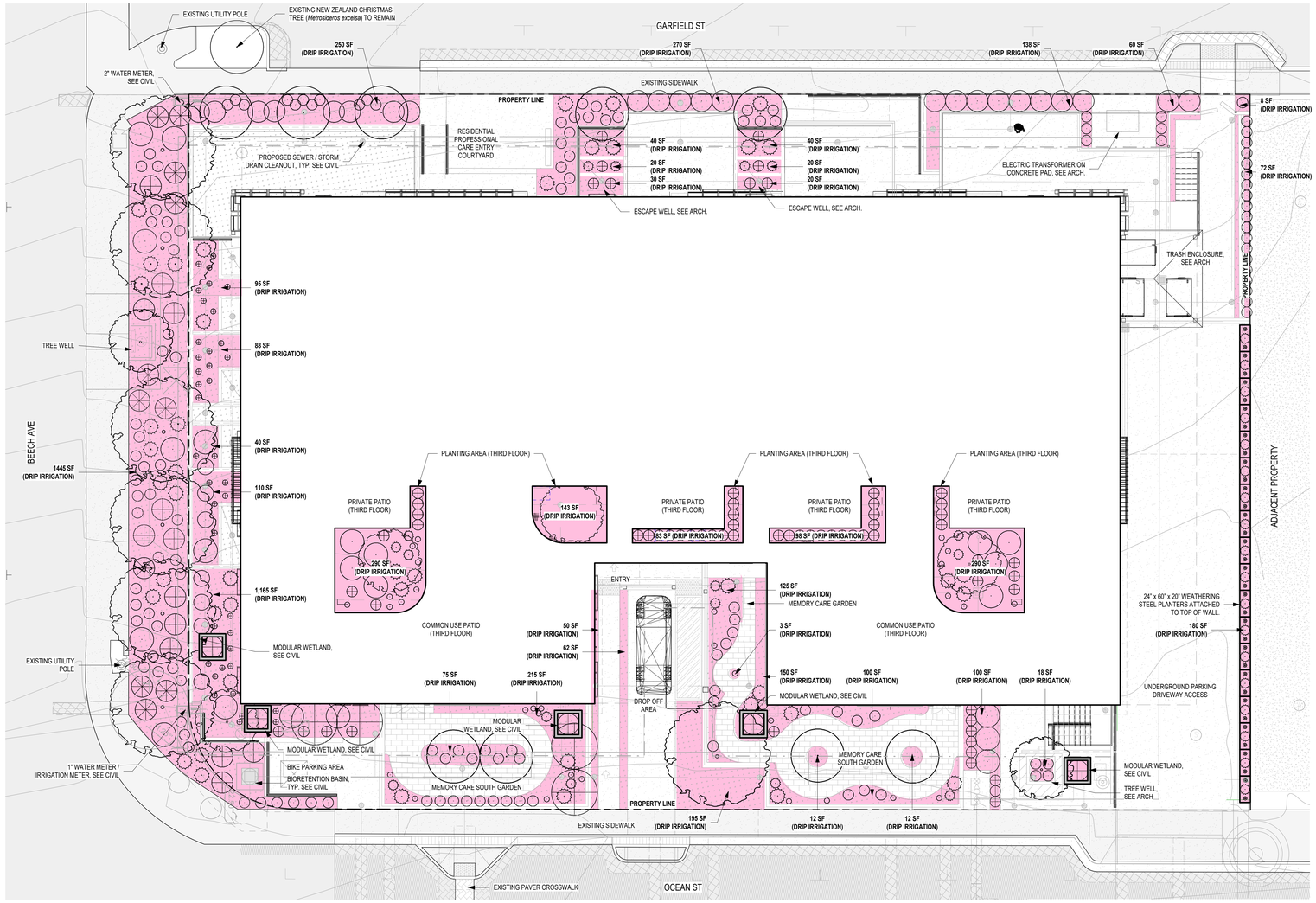
Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Controller #	Hydrozone *	Zone or Valve	Irrigation Method**	Plant Type/Factor *** (PF)	Hydrozone Area (Sq. Ft.)	% of Total Landscaped Area
	LW		D	0.3 max. & 0.1 min.	5,558 SF	100%
		Total				100%

** Hydrozone*
VLW - Very Low Water Use Plants
LW - Low Water Use Plants
MW - Moderate Water Use Plants
HW - High Water Use Plants

***Irrigation Method*
MS = Micro-spray
S = Spray
R = Rotor
B= Bubbler
D= Drip
O = Other

****Plant Factor from WUCOLS IVse list as water feature as appropriate*



1 / L310 **Conceptual Water Conservation Plan & Hydrozone Diagram**
1" = 10'-0"

0' 5' 10' 20' 40'

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):

A landscape project subject to the Water Efficient Landscape Ordinance (see Section 1) shall include calculations which document the maximum applied water allowance (MAWA). A landscape project shall not exceed the MAWA. The MAWA for a landscape project shall be determined by the following equation:

Residential: MAWA = (ETo)(0.62)[(0.55 x LA) + (0.45 x SLA)]
Non-Residential: MAWA = (ETo)(0.62)[(0.45 x LA) + (0.55 x SLA)]

The abbreviations used in the equation have the following meanings:

MAWA: Maximum Applied Water Allowance in gallons per year.
ETo: Evapotranspiration in inches per year. = 40
0.62: Conversion factor to gallons per square foot.
0.55 or 0.45: ET adjustment factor for plant factors and irrigation efficiency.
LA: Landscaped area includes special landscaped area in square feet. = 5558
0.45 or 0.55: The additional ET adjustment factor for a special landscaped area (1.0 - 0.55 = 0.45 or 1.0 – 0.45 = 0.55)
SLA: Special landscaped area in square feet. = N/A

Calculation:

Residential: MAWA = (ETo)(0.62)[(0.55 x LA) + (0.45 x SLA)]

MAWA = (ETo)(0.62)[(0.55 x LA) + (0.45 x SLA)]
MAWA = (40)(0.62)(0.55 x 5558)
MAWA = (40)(0.62)(3056.9)
MAWA = 75811.12

MAWA = 75,811.12 **GALLONS PER YEAR**

PRELIMINARY ESTIMATED TOTAL WATER USE (ETWU):

A landscape project subject to the Water Efficient Landscape Ordinance (see Section 1) shall include a preliminary estimate of the total water use (ETWU) using the following equation. **The calculations shall be shown on a Hydrozone Information Table (see Appendix F)** and shall list each hydrozone and shall identify the plant types and water features in the hydrozone, the irrigation methods used, the square footage, and the percentage of the total landscape area of the project that the hydrozone represents.

$$ETWU = (ETo)(0.62)\left(\frac{PF \times HA}{IE} + SLA\right)$$

The abbreviations used in the equation have the following meanings:
ETWU Estimated total water use in gallons per year.
ETo Evapotranspiration in inches per year. = 40
0.62 Conversion factor to gallons per square foot.
PF Plant factor from WUCOLS = 0.3
HA Hydrozone Area in square feet. Each HA shall be classified based upon the data included in the landscape and irrigation plan as high, moderate, low, or very low water use. = 5558
IE Irrigation Efficiency of the irrigation method used in the hydrozone. = D = Drip = 0.8
SLA Special landscaped area in square feet. = N/A

ETWU = 51,689.4 **GALLONS**

SEE HYDROZONE TABLE FOR CALCULATING ETWU AND CALCULATIONS BELOW:

Hydrozone Table for Calculating ETWU

Please complete the hydrozone table(s). Use as many tables as necessary.

CITY OF CARLSBAD ESTIMATED TOTAL WATER USE (ETWU)							
		Hydrozone Number (1 – 5 with SLA Zone Below – use as many tables as necessary to complete all hydrozones)					
	Process Step No. (Below)	1	2	3	4	5	SLA
Evapotranspiration Rate (ETo)*	1	40					
Conversion Factor	2	0.62					
(Step 1 x Step 2)	3	24.8					
Plant Factor (PF)** (From WUCOLS) (VLW – HW) (0.1 - 0.8)	4	0.3					
Area of Hydrozone (sq. ft.) (HA)	5	5,558					
(Step 4 x Step 5)	6	1667.4					
Irrigation Efficiency (IE)***	7	0.80					
(Step 6 ÷ Step 7)	8	2084.25					
(Total All Step 8 + Total SLA sq. ft. in Step 5)	9	2084.25					
(Step 3 x Step 9) Estimated Total Water Use in gallons per year (ETWU) - Total shall not exceed MAWA	10	51689.4					

*ETo**
West of I-5 = 40.0
East of I-5 and West of El Camino Real = 44.0
East of El Camino Real = 47.0
Applicant may provide a different ETo if supported by documentation subject to approval by the City Planning Division

****IE*
Micro-spray = .80
Spray = .72
Rotor = .72
MP Rotator = .75
Bubbler = .75
Drip = .80

*** Plant Factor & Water Use*
0.1 = VLW - Very Low Water Use Plants
0.3 = LW - Low Water Use Plants
0.5 = MW - Moderate Water Use Plants
0.8 = HW - High Water Use Plants

I am familiar with the requirements for landscape and irrigation plans contained in the City of Carlsbad's Landscape Manual and Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the landscape manual. I certify that the plan implements those regulations to provide efficient use of water.

SIGNATURE

February 6th, 2023
DATE

Cuningham
201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cuningham.com

LICENSED ARCHITECT
GERALD W. HUNTER
NO. C24405
REN. 1-31- 25
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase:	Date:
Project No.:	PIC / AIC:

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Conceptual Water Conservation Plan

Sheet Number L310

Current Revision

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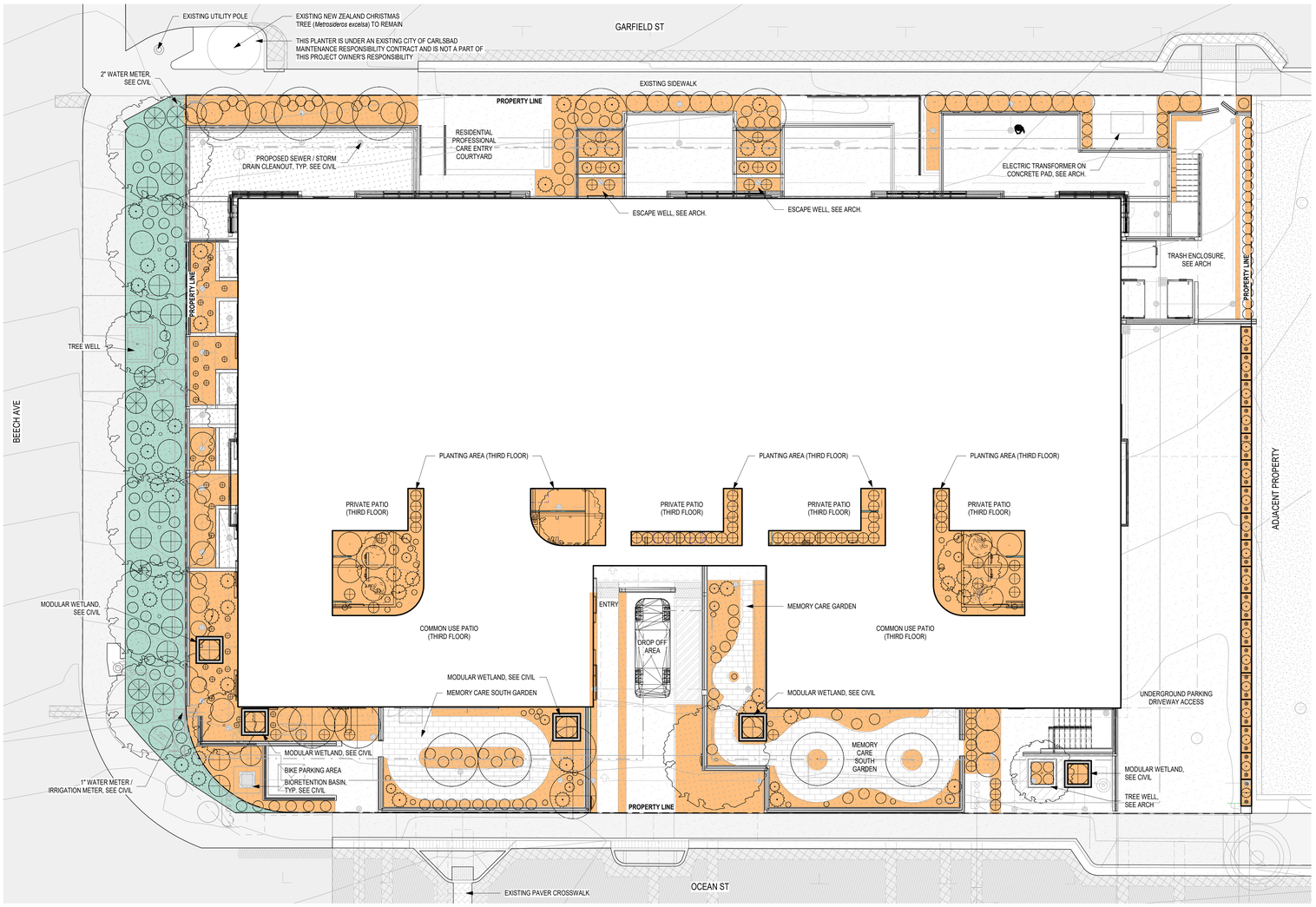
Autodesk Docs://17-0250- Carlsbad By the Sea Memory Care - PKT/2022017-0250_Carlsbad By the Sea MC_Landscape.rvt
2/7/2024 8:47:55 PM
April 17, 2024
PRINT DATE 3/8/2024

Maintenance Responsibility Legend

- CITY EASEMENT (PRIVATELY MAINTAINED BY OWNER)
- PRIVATE PROPERTY (PRIVATELY MAINTAINED BY OWNER)



1 / L320 **Conceptual Maintenance Responsibility Exhibit**
1" = 10'-0"

0' 5' 10' 20' 40'

April 17, 2024

PRINT DATE 3/8/2024

Autodesk Docs://17-0350 - Carlsbad By the Sea Memory Care - RVT2022/17-0350_Carlsbad By the Sea MC_Landscape.rvt
2/7/2024 8:47:07 PM

Cuningham
201 SE Main Street | Suite 325 | Minneapolis | MN 55414
cuningham.com

LICENSED ARCHITECT
GERALD W. HUNTER
NO. C24405
REN. 1-31-25
STATE OF CALIFORNIA

PRELIMINARY NOT FOR CONSTRUCTION

Revisions

No.	Date	Description

Project Information

Phase:	Date:
Project No.:	PIC / AIC:

CARLSBAD BY THE SEA SUMMERHOUSE

Sheet Title

Conceptual Maintenance Responsibility Exhibit

Sheet Number L320

Current Revision

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Exhibit 9

Full size exhibits on file in the office of the City Clerk

LIST OF ACRONYMS AND ABBREVIATIONS

EXHIBIT 10

This is a list of acronyms and abbreviations (in alphabetical order) that are commonly used in staff reports.

Acronym	Description	Acronym	Description
APA	American Planning Association	LCPA	Local Coastal Program Amendment
APN	Assessor Parcel Number	LOS	Level of Service
AQMD	Air Quality Management District	MND	Mitigated Negative Declaration
BMP	Best Management Practice	NCTD	North County Transit District
CALTRANS	California Department of Transportation	ND	Negative Declaration
CC	City Council	PC	Planning Commission
CCR	Conditions, Covenants and Restrictions	PDP	Planned Development Permit
CEQA	California Environmental Quality Act	PEIR	Program Environmental Impact Report
CFD	Community Facilities District	PUD	Planned Unit Development
CIP	Capital Improvement Program	ROW	Right of Way
COA	Conditions of Approval	RWQCB	Regional Water Quality Control Board
CofO	Certificate of Occupancy	SANDAG	San Diego Association of Governments
CT	Tentative Parcel Map	SDP	Site Development Permit
CUP	Conditional Use Permit	SP	Specific Plan
DIF	Development Impact Fee	SWPPP	Storm Water Pollution Prevention Program
DISTRICT	City Council Member District Number	TM	Tentative Map
EIR	Environmental Impact Report	ZC	Zone Change
EIS	Environmental Impact Statement (federal)		
EPA	Environmental Protection Agency		
FEMA	Federal Emergency Management Agency		
GP	General Plan		
GPA	General Plan Amendment		
GIS	Geographic Information Systems		
HCA	Housing Crisis Act 2019		
IS	Initial Study		

CBTS RESIDENTS ASSOCIATION

5 April 2024

Reference: CT 2022-0003: Carlsbad By The Sea Summerhouse

Dear Carlsbad Planning Commission:

I am writing to express my enthusiastic support for the proposed Memory Care and Independent Living building of the Carlsbad By The Sea (CBTS) retirement community. I am a long-time resident of Carlsbad and currently serve as the President of the CBTS Residents Association, representing the voice of our nearly 200 residents. I speak for our entire resident community in supporting this development that will not only enhance the quality of life for our seniors but also contribute positively to both CBTS and the City of Carlsbad.

CBTS occupies a unique position in the city. We are both a historic site, dating back to the California-Carlsbad Mineral Springs Hotel of 1929, as well as one of the premier retirement communities in California. Our partnership with St. Michael's by-the-Sea Episcopal Church also helps us maintain a strong volunteer spirit supporting numerous charitable causes.

We currently offer Independent Living, Assisted Living and Skilled Nursing services to our residents and others convalescing from recent hospital stays. By adding Memory Care to our campus, we can ensure that residents can have badly needed access to high-quality care and services in a familiar and supportive environment.

The proposed location of the Memory Care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in Carlsbad Village. This facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, the residents of CBTS strongly urge the Carlsbad Planning Commission to support our proposal for a new Memory Care facility. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening our community.

Dr. Gerald A. Anderson
President, CBTS Residents Association
2855 Carlsbad Blvd., Carlsbad CA, 92008
(760) 271-6735
geraldanderson21@icloud.com

Dr. Karen Bishop
Carlsbad by the Sea
201 Grand Avenue, 343
Carlsbad CA 92008
kgbishop50@gmail.com

April 5, 2024

Dear Carlsbad Planning Commission

I am writing in support of Project CT 2022-0003 - Carlsbad by the Sea Summerhouse.

Carlsbad needs a quality memory care facility. Carlsbad by the Sea already provides excellent nursing care in the Care Center. This project complements the care needed. I am confident that the quality will be on the highest level.

I live at CBTS. I dread the day that either my spouse or I need this kind of care. It is reassuring to know that the spouse can be close while the other can maintain the independent living.

Please support this proposal.

From:	Jason Goff
To:	Jason Goff
Subject:	FW: CT 2022-0003 Carlsbad by the Sea Summerhouse
Date:	Tuesday, April 9, 2024 9:16:20 AM

From: L Cornell <linda.cornell15@gmail.com>
Sent: Friday, April 5, 2024 5:14 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003 Carlsbad by the Sea Summerhouse

Dear Carlsbad Planning Commission,

I am writing to express my support for the proposed project called Carlsbad by the Sea Summerhouse. This project building for both memory care and independent living by Carlsbad by the Sea is seriously needed for aging with grace and dignity within the Carlsbad community. As a resident of Carlsbad by the Sea in independent living now, this project would ensure high-quality care in a familiar setting.

Carlsbad by the Sea Retirement Community has a long-standing reputation for excellence in senior living which is why I live here. I have no doubt they would uphold this standard at the Summerhouse. The Carlsbad Village is the perfect setting for our families to visit us here during hotel stays, dine and enjoy the ocean view!

Best,
Linda Cornell

Carlsbad by the Sea
2855 Carlsbad Blvd Apt S-325
Carlsbad, CA 92008

CAUTION: *Do not open attachments or click on links unless you recognize the sender and know the content is safe.*

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea Retirement Community. As a *Staff member of Carlsbad By The Sea Retirement Community*, I believe that this development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment.

Carlsbad By The Sea Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable, and I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village.

In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Lisa A. Dickenson

Director of Fitness/Wellness

From:	Planning
To:	Jason Goff
Subject:	FW: Letter of Support Project CT 2022-0003 - Carlsbad By The Sea Summerhouse
Date:	Friday, April 5, 2024 4:12:12 PM

From: Madeline Gagliani <MGAGLIANI@frontporch.net>
Sent: Friday, April 5, 2024 2:32 PM
To: Planning <planning@carlsbadca.gov>
Subject: Letter of Support Project CT 2022-0003 - Carlsbad By The Sea Summerhouse

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea retirement community. As a Staff member of Carlsbad By The Sea Retirement Community, I believe that this development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment.

Carlsbad By The Sea Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable, and I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village.

In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Sincerely,

Madeline Gagliani

Madeline Gagliani
Human Resources Director
Carlsbad By The Sea Retirement Community
760-435-2309
mgagliani@frontporch.net

This e-mail and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this e-mail in error please notify the originator of the message.

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From:	Planning
To:	Jason Goff
Subject:	FW: CT-2022-0003-Carlsbad by the sea Summerhouse
Date:	Friday, April 5, 2024 4:28:19 PM

From: pskirk1234@gmail.com <pskirk1234@gmail.com>
Sent: Friday, April 5, 2024 4:13 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT-2022-0003-Carlsbad by the sea Summerhouse

Carlsbad Planning Commission

I and my wife are current residents of Carlsbad By the Sea Retirement Community. The CBTS facility was our choice to spend our declining days because after careful review of many facilities in the San Diego area, we found CBTS to be the best run and in the best location with the best surrounding amenities. It is a sad fact that many of our friends of similar age to ourselves are experiencing various forms and degrees of dementia. We expect to be able to spend many more years here, but the reality is that one or other of us will quite probably reach the point of requiring a memory care facility. The one currently proposed by Front Porch just North of us would be an ideal location for such a facility for many of the same reasons that we chose CBTS for our retirement. It is also a sad fact that the demand for such a facility is only going to increase in the future, and therefore we believe that approval of the application would not only provide an excellent facility for those of us who are already here, next door, but would also provide more capacity for the growing number of people who need such a facility. Furthermore, it is also a sad fact that in many cases one of the partners like myself or my wife will need the memory care which in present circumstances would result in the separation of the couple, in our case of more than 60 years. The proposed memory care facility has the rare feature of allowing both the memory deficient individual and their partner to reside in the same facility rather than being separated, maybe for many miles and effectively ending a lifelong relationship.

Carlsbad by the Sea has an excellent record of providing both residential and assisted living care, we can attest to that. It has also been a responsible and contributing member of the Carlsbad community at large. I am certain that they would also provide a well run facility that would not only provide excellent care for both memory and residential care, but would also provide good jobs for other members of the community here. I strongly urge the commission to support the proposed facility.

Sincerely,

Philip S. Kirk
Resident N318 of CBTS

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: CT 2022-0003-CARLSBAD BY THE SEA SUMMERHOUS
Date:	Tuesday, April 9, 2024 9:15:06 AM

From: helen perry <helen.perry@att.net>
Sent: Saturday, April 6, 2024 2:35 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003-CARLSBAD BY THE SEA SUMMERHOUS

To the Carlsbad Planning
commission,

I want to express my enthusiastic support for the proposed memory care and independent living building by Carlsbad By The sea retirement community. As a resident of this community, I believe that this development will enhance the quality of life for our seniors and contribute positively to the fabric of our community.

In addition to the positive impact on residents and families, this facility will also create job opportunities and stimulate economic growth in our community.

I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for your consideration. W. Helen Perry

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: CT 2022-0003 - CARLBAD BY THE SEA SUMMERHOUSE
Date:	Tuesday, April 9, 2024 9:14:49 AM

From: Jo V <jvbytheseaagain@gmail.com>
Sent: Saturday, April 6, 2024 3:29 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003 - CARLBAD BY THE SEA SUMMERHOUSE

Dear Carlsbad Planning Commission

As a resident of Carlsbad by the Sea retirement community, I would like to express my support for the approval of this building. In the nearly five years that I have lived here, I have seen several families torn apart because one member needed memory support while the other member still qualified for independent living. When couples have been married for fifty, sixty or seventy years, it is a shock to both of them, to be separated because the facility is not equipped to care for them together. Adding this new building will rectify this terrible, inhumane treatment.

A memory care unit will give Carlsbad by the Sea a complete caring for the aged in our community. The memory impaired residents in our community need constant, compassionate care which the new building will be able to provide.

The architect's rendering shows a building that fits in well with the surroundings and will add beauty and style to the area which is currently a weed patch.

Thank you for your time and consideration of my feelings regarding this project which will be an asset to the retirement community, as well as the community at large.

Sincerely,

Jo Voertman
(Mary J. Voertman)

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From: Jason Goff
To: Jason Goff
Subject: FW: CT 2022-0003 - CARLSBAD BY THE SEA SUMMERHOUSE
Date: Tuesday, April 9, 2024 9:15:58 AM

From: Leo Nikora <leo@nikora.com>
Sent: Saturday, April 6, 2024 6:45 AM
To: Planning <planning@carlsbadca.gov>
Cc: Paula Digerness <pdigerness@frontporch.net>; Bev Nikora <bev@nikora.com>
Subject: CT 2022-0003 - CARLSBAD BY THE SEA SUMMERHOUSE

I'm a citizen of Carlsbad, because I'm a resident of the Carlsbad by the Sea retirement community.

Alzheimer's disease is a growing problem among the elderly in Carlsbad. I expect to get Alzheimer's, because my father and grandmother died of Alzheimer's.

Carlsbad by the Sea does not provide memory care. When a resident needs memory care, they must leave Carlsbad by the Sea. I expect to need memory care.

Moving is very disruptive, and heightens dementia. I don't want to move when I get Alzheimer's.

Moving can separate married couples. I don't want to leave my wife of 43 years when I get Alzheimer's.

Enable Carlsbad by the Sea to provide memory care to its Carlsbad citizens. I'll be able to stay there with my wife when I get Alzheimer's.

Approve CT 2022-0003.

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From: Jason Goff
To: Jason Goff
Subject: FW: Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE
Date: Tuesday, April 9, 2024 9:15:36 AM

-----Original Message-----
From: Mark Wentland <mark.p.wentland@gmail.com>
Sent: Saturday, April 6, 2024 10:24 AM
To: Planning <planning@carlsbadca.gov>
Subject: Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea retirement
community. As a resident of Carlsbad By The Sea, I believe that this
development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community. Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment. Carlsbad By The Sea Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable, and I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village. In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity. In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Mark Wentland, PhD
2855 Carlsbad Blvd.
Carlsbad, CA 92008
518-257-2735
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From: Jason Goff
To: Jason Goff
Subject: FW: Support for CT 2022-0003
Date: Tuesday, April 9, 2024 9:12:31 AM

From: Candace Young-Schult <candaceys141@gmail.com>
Sent: Sunday, April 7, 2024 12:03 PM
To: Planning <planning@carlsbadca.gov>
Subject: Support for CT 2022-0003

Dear Carlsbad Planning Commission,

I am writing in support of the proposed memory care project project CT 2022–0003 – Carlsbad By The Sea Summerhouse and the independent living building by the Carlsbad by the Sea retirement community. As a resident at the Carlsbad by the Sea retirement community I believe this is a development that can not only enhance the quality of life for our seniors, and but also contribute to the fabric of our community.

Memory care facilities play a crucial role in providing specialized caring support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our community it provides care for our loved ones.

Carlsbad by the Sea has a long-standing reputation for excellence in senior living. I am certain that the memory care building will continue the commitment to providing compassionate care and creating a nurturing environment for residents. I am confident that the care that they provide will continue to be an asset to our larger community.

The proposed location for the memory care building, aligns well with existing infrastructure and services. The location mess it convenient for families to visit their loved ones and ensuring easy access to medical facilities, and the many other amenities available in the Carlsbad Village.

The proposed facility will create numerous job opportunities and

stimulate economic growth for our community aligning with the city's vision for sustainable development.

I urge the Carlsbad, planning commission to support the proposal for the memory care building by Carlsbad by the Sea retirement community. This development represents important step forward to meeting the evolving needs of our aging population, and strengthening the fabric of our community. Thank you for considering my input on this matter.

Candace Young-Schult, 201 Grand Ave #141, Carlsbad 92008

Candace Young-Schult
candaceys141@gmail.com

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: CT 2022-0003 Carlsbad By The Sea Summerhouse
Date:	Tuesday, April 9, 2024 9:11:42 AM

From: Janice Campagnolo <jcampagnolo@att.net>
Sent: Sunday, April 7, 2024 2:18 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003 Carlsbad By The Sea Summerhouse

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 - CARLSBAD BY THE SEA
SUMMERHOUSE) by Carlsbad By The Sea retirement community. As a resident of Carlsbad by the Sea Retirement Community, I believe
that this development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing care and support for individuals living with Alzheimer's disease and other forms of dementia.
By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar
and supportive environment.

Carlsbad by the Sea Retirement Community has a long-standing reputation for excellence in senior living. I have no doubt that their memory care
building will uphold this standard. I am confident that they will continue to be an asset to our community.

The proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit
their loved ones. The development of this memory care facility will also create job opportunities and stimulate economic growth in our community.

I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad by the Sea Retirement Community.
This development represents an important step forward in meeting the needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Janice Campagnolo

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: CARLSBAD BY THE SEA SUMMERHOUSE - CT 2002-0003
Date:	Tuesday, April 9, 2024 9:13:07 AM

From: Kathi Spork <kspork327@gmail.com>
Sent: Sunday, April 7, 2024 11:56 AM
To: Planning <planning@carlsbadca.gov>
Cc: Paige Kerr <PKERR@frontporch.net>
Subject: CARLSBAD BY THE SEA SUMMERHOUSE - CT 2002-0003

This email is to show my support for building the Memory Care building in Carlsbad Village.

I am a current resident at CBTS. I believe this additional development would greatly benefit the community and also the aging population in Carlsbad.

If the community is seeking ways to create job opportunities and grow the local economy, the memory care/independent living project fits both objectives.

CBTS has a reputation of high-quality care and service. As a resident, I find this to be true, and am confident this would be an additional asset.

Thank you for your consideration.

Kathi Spork

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: CBTS Memory Care letter
Date:	Tuesday, April 9, 2024 9:11:14 AM

From: Karen Chang <yowyichang@gmail.com>
Sent: Sunday, April 7, 2024 6:37 PM
To: Planning <planning@carlsbadca.gov>
Subject: Fwd: CBTS Memory Care letter

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for proposed memory care (Project CT 2022-0003-CARLSBAD BY THE Sea SUMMERHOUSE) and independent living building by Carlsbad By the Sea Retirement Community.

My husband (Kung Chang) and I moved into CBTS in December 2022. We planned to spend our retirement life in CBTS. My husband developed dementia and Parkinson disease and he had moved to a separate memory care facility in January 2024. This is our first time separated as we have been married 59 years ago. Having CBTS Memory Care would have kept us together within the same facilities and made a smoother transition for my husband and I. The proposed location of memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and amenities available in the Carlsbad Village. In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community.

In conclusion, I urge the Carlsbad Planning Commission to support the memory care building by Carlsbad by the Sea Retirement Community. This development represents an important steps forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Yow Yi Chang

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From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE
Date:	Tuesday, April 9, 2024 7:00:41 AM

-----Original Message-----
From: Clara Wentland <clarawentland@gmail.com>
Sent: Monday, April 8, 2024 9:27 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea retirement
community. As a resident of Carlsbad By The Sea, I believe that this
development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community. Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment. Carlsbad By The Sea Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable, and I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village. In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity. In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Clara Wentland
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From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: Project CT 2022-0003-Carlsbad By The Sea Summerhouse
Date:	Monday, April 8, 2024 4:32:07 PM

From: Diana Conrad <dianaeconrad@gmail.com>
Sent: Monday, April 8, 2024 4:22 PM
To: Planning <planning@carlsbadca.gov>
Subject: Project CT 2022-0003-Carlsbad By The Sea Summerhouse

Dear Carlsbad Planning Commission,

I am a Carlsbad by the Sea retirement community resident, and I am writing to express my support for the memory care building.

I love CBTS because of its services and convenient location. It is easy to walk to restaurants, stores and the beach. However, it is inconvenient that it does not offer memory care services considering that many independent residents might need those services in the future.

At the moment, if there is a couple formed by a spouse who is independent and a spouse who needs memory care services, the spouse who needs the services has to move out of CBTS. This can be a hard situation for couples who have been together for 50+ years. Not to mention, how inconvenient it is for the independent spouse if he/she decides to stay at CBTS. Most of the time now, the independent spouse must travel to a different city to spend time with his/her partner.

Therefore, if CBTS does offer memory care, then the independent spouses could visit their loved ones without having to give up the benefits of living in Carlsbad.

Thank you for considering my input on this matter.

Diana Conrad

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From:	Jason Goff
To:	Jason Goff
Subject:	FW: Project 2022-0003 Summer house
Date:	Tuesday, April 9, 2024 9:10:44 AM

From: Ken Voertman <kvbythesea2@gmail.com>
Sent: Monday, April 8, 2024 11:51 AM
To: Planning <planning@carlsbadca.gov>
Subject: Project 2022-0003 Summer house

We have been Carlsbad residents for almost 20 years and have seen many changes. Big changes to the Village where we now live and I think the addition of a memory care facility is needed as much of Carlsbad's Village population is aging and the diversity aids to the value of the Village.

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From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: CT 2022-0003
Date:	Tuesday, April 9, 2024 7:00:31 AM

From: Mike Homes <mlhomes@att.net>
Sent: Monday, April 8, 2024 8:42 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003

Dear Carlsbad Planning Commission,

We are writing to you in support of Project CT 2022-0003 — CARLSBAD BY THE SEA SUMMERHOUSE.

In 2016 we began researching and visiting Continuing Care Retirement Communities located in Southern California. We found several that had immediate occupancy available. Because we were so impressed with CBTS and its location in beautiful Carlsbad Village, we chose to be placed on the wait list until an apartment became available. That occurred in April of 2017.

The only negative aspect of CBTS was its lack of a memory care facility, which several of the other CCRC's had. However, we are very happy with the choice we made seven years ago. AND NOW — we are thrilled to know that this memory care facility can be added to CBTS.

We strongly encourage you to approve this proposal. You will step up to meet the needs of our aging population which will definitely strengthen this fabulous Carlsbad community!

Dr. and Mrs. Michael Homes

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April 8, 2024

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 — CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea retirement community. As a resident of Carlsbad By The Sea retirement community, I believe that this development will not only enhance the quality of life of our seniors, but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment.

Carlsbad By The Sea (CBTS) retirement community has a long-standing reputation for excellence in senior living and I am sure that their memory care building will uphold that standard. My husband and I have lived at CBTS for almost 11 years, and in that time, a year has not gone by where one or more CBTS residents have had to move out of our community into a memory care facility. Sometimes an individual has moved and at other times a couple has had to move. In addition, residents have moved in without their spouse who needs to live at a memory care facility elsewhere. This creates a hardship on these individuals and their families. By having our own memory care facility, their needs will be taken care of and CBTS will be able to continue to provide compassionate care and create a nurturing environment for them.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities in the Carlsbad Village.

Our Executive Director has experience running a memory care facility because she was an Executive Director at another Front Porch community that has memory care. And, in addition to the positive impact on residents and families, the development of this memory care will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea retirement community. This development represents an important step forward in meeting the needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input into this matter.

Sincerely,

Penny Held
Carlsbad By The Sea
2855 Carlsbad Blvd. N-113
Carlsbad, CA 92008

Robert C. Harvey, M.D.
M. Martha Harvey, J.D.
Carlsbad by the Sea
Carlsbad, CA 92008
April 8, 2024

Carlsbad Planning Commission
1635 Faraday Ave.
Carlsbad, CA 92008

Re: CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE

Dear Carlsbad Planning Commission,

The establishment of a memory care/professional care facility will be of immense benefit to the community of Carlsbad. This building will provide housing for those stricken with Alzheimer's and other dementias, answering a need this community is experiencing. This proposal will ensure families have an organization with a proven track record of excellence to provide needed care in a desirable, nurturing and compassionate environment.

Carlsbad by the Sea Retirement Community has long been an asset to Carlsbad. With its reputation for excellence in senior living and the involvement of its members in numerous areas of life in Carlsbad, it has a track record of positive effects on Carlsbad. A not insignificant employer for the area, the addition of this new facility will provide even more economic growth. The proposed location fits in well with the existing area, and has the added benefit of promoting access to medical facilities and other amenities right here in Carlsbad.

It is in a terrific location, dovetailing with the city's vision of sustainable, long-term development. The Summerhouse will provide an important addition to the community of Carlsbad, meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for your considered attention,

Robert C. Harvey

M. Martha Harvey

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad By The Sea Retirement Community. As a *Staff member of Carlsbad By The Sea Retirement Community*, I believe that this development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment.

Carlsbad By The Sea Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable, and I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village.

In addition to the positive impact on residents and families, the development of this memory care facility will also create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by Carlsbad By The Sea Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Lisa A. Dickenson

Director of Fitness/Wellness

From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: Memory Care
Date:	Tuesday, April 9, 2024 9:07:13 AM

From: Marian Reed <marianreed060@gmail.com>
Sent: Tuesday, April 9, 2024 8:59 AM
To: Planning <planning@carlsbadca.gov>
Subject: Memory Care

Dear Carlsbad Planning Commission,

I am writing to express my enthusiastic support for the proposed memory care (Project CCT 2022-0003 – CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by Carlsbad by the Sea (CBTS) retirement community. As a resident of CBTS, I believe that this development will not only enhance the quality of life for our seniors but also contribute positively to the fabric of our community.

Memory care facilities play a crucial role in providing specialized care and support for individuals living with Alzheimer's disease and other forms of dementia. By having such a facility within our city, we are ensuring that our loved ones have access to high-quality care and services in a familiar and supportive environment.

CBTS Retirement Community has a long-standing reputation for excellence in senior living, and I have no doubt that their memory care building will uphold this standard. Their commitment to providing compassionate care and creating a nurturing environment for residents is commendable. I am confident that they will continue to be an asset to our community.

Furthermore, the proposed location of the memory care building aligns well with existing infrastructure and services, making it convenient for families to visit their loved ones and ensuring easy access to medical facilities and other amenities available in the Carlsbad Village.

In addition to the positive impact on residents and families, the development of this memory care facility will create job opportunities and stimulate economic growth in our community. This aligns with the city's vision for sustainable development and prosperity.

In conclusion, I urge the Carlsbad Planning Commission to support the proposal for the memory care building by CBTS Retirement Community. This development represents an important step forward in meeting the evolving needs of our aging population and strengthening the fabric of our community.

Thank you for considering my input on this matter.

Marian R. Reed

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Dr. Gordon Bishop
Carlsbad by the Sea
201 Grand Avenue, 343
Carlsbad CA 92008

TO: Carlsbad Planning Commission
DATE: April 6, 2024
RE: Project CT 2022-0003 Carlsbad by the Sea Summerhouse

I enthusiastically support the proposed memory care unit proposed for Carlsbad.

As a chaplain, I have visited numerous nursing facilities in San Diego County. I rate the CBTS Care Center number 1 in the county. I believe that CBTS will apply its high standards to a memory care facility.

As a resident of CBTS, I see the urgent need for memory care. It would be very beneficial for the spouse to remain in independent living while the spouse get the care he/she requires.

I urge you to support this proposal.

PLEASE ACT - IT'S URGENT!

From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: CT-2022-0003 -CARLSBAD BY THE SEA SUMMER HOUSE
Date:	Tuesday, April 9, 2024 12:56:33 PM

From: Sharon England <windrose211@gmail.com>
Sent: Tuesday, April 9, 2024 12:48 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT-2022-0003 -CARLSBAD BY THE SEA SUMMER HOUSE

My name is Sharon England and I have been a resident in Independent Living here at Carlsbad By The Sea for the past five years. I have observed first hand the quality of the care provided by the dedicated and supportive staff to the residents here. Though I truly hope I will not need the services of memory care, I certainly hope that should I need it I can stay here in the place I now call home with my friends and neighbors who I consider to be my "chosen family"
The building of a memory care center here in this amazing place can only be a win-win for this community with it's growing aging population and for people such as myself as a member of this extraordinary group of people who live here and contribute much to this vibrant community.

Thank you,

Sharon England
2855 Carlsbad Blvd
Apt 131 S
Carlsbad ,CA. 9008
760-435-2414

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From:	Planning
To:	Jason Goff
Cc:	Cynthia Vigeland
Subject:	FW: CT 2022-0003 - CARLSBAD BY THE SEA SUMMERHOUSE
Date:	Wednesday, April 10, 2024 7:29:23 AM

From: Don Harvey <vlbi@yahoo.com>
Sent: Tuesday, April 9, 2024 10:21 PM
To: Planning <planning@carlsbadca.gov>
Subject: CT 2022-0003 - CARLSBAD BY THE SEA SUMMERHOUSE

I am writing to express my enthusiastic support for the proposed memory care (PROJECT CT 2022-0003 - CARLSBAD BY THE SEA SUMMERHOUSE) and independent living building by the Carlsbad by the Sea Retirement Community. As a resident of Carlsbad by the Sea Retirement Community, I believe that this development will not only enhance the quality of life for our seniors, but also contribute positively to the fabric of our community.

I urge the Planning Commission to support the proposal for the memory care facility by the Carlsbad by the Sea Retirement Community.

Thank you for considering my input on this matter.

Donald W Harvey
2855 Carlsbad Blvd. #419
Carlsbad, CA 92008

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