



Staff Report

2

- Meeting Date:** June 19, 2024
- To:** Planning Commission
- Staff Contact:** Lauren Yzaguirre, Associate Planner; 442-339-2634, Lauren.Yzaguirre@carlsbadca.gov
- Subject:** Timm Residence
- Location:** 314 Date Ave., Carlsbad CA 920008 /APN 206-080-24-00 /District 1
- Case Numbers:** SDP 2024-0010/CDP 2023-0011 (DEV2023-0033)
- Applicant/Representative:** Jens Timm, 949-278-2716, jptimm@teamgandt.com/
- CEQA Determination:**
 - Not a Project
 - Exempt
 - IS/ND or IS/MND
 - EIR
 - Other:
- Permit Type(s):**
 - SDP
 - CUP
 - CDP
 - TM/TPM
 - GPA
 - REZ
 - LCPA
 - Other:
- CEQA Status:**
 - The environmental assessment IS on the Agenda for discussion
 - A CEQA determination was already issued. That decision is final and IS NOT on the Agenda
- Commission Action:**
 - Decision
 - Recommendation to City Council
 - Informational (No Action)

Recommended Actions

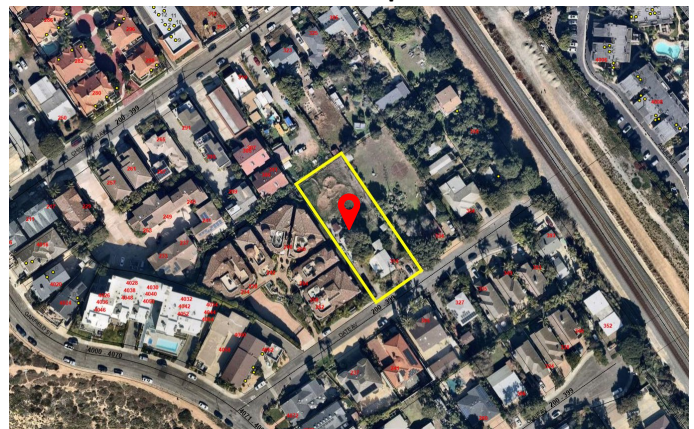
That the Planning Commission **ADOPT** Planning Commission Resolution (Exhibit 1), **APPROVING** Site Development Plan (SDP) 2024-0010, and Coastal Development Permit (CDP) 2023-0011 based upon the findings and subject to the conditions contained therein.

Existing Conditions & Project Description

Existing Setting

The subject site consists of a 0.47-acre lot, located at 314 Date Avenue, south of Chinquapin Avenue and east of Garfield Street. The lot contains an existing 1,190-square-foot, one-story, single-family residence, constructed in 1940 and an approximately 300-square-foot, detached, one-car garage, 345-square-foot workshop, and 120-square-foot shed constructed in approximately 1947. The parcel gradually slopes from the southwest corner of the lot (Date Avenue) to the northeast corner of the lot (rear of the property). The existing structures are located largely at the front of the property leaving a large

Site Map



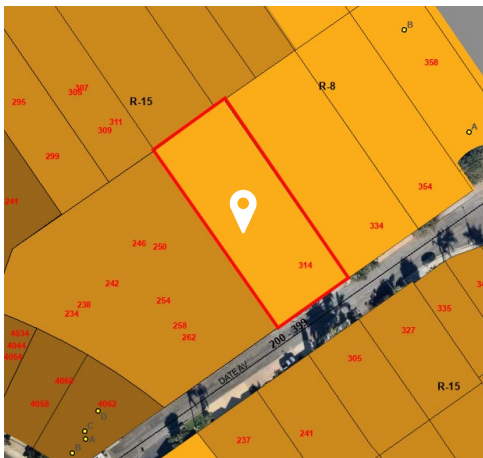
undeveloped backyard landscaped largely with grass and a few trees. The front of the property contains an asphalt driveway to the detached garage, planters with mostly low ornamental landscaping, a lawn and an additional asphalt parking space. The subject site is surrounded by a mixture of single-family and multi-family residences allowed by the existing Residential Density-Multiple (RD-M) zoning and consistent with the General Plan density.

Table “A” below includes the General Plan designations, zoning and current land uses of the subject site and surrounding properties. Also refer to Exhibit 2 for a larger site map.

TABLE A – SITE AND SURROUNDING LAND USE

Location	General Plan Designation	Zoning Designation	Current Land Use
Site	Residential, 4-8 dwelling units per acre (R-8)	Residential Density-Multiple Zone (RD-M)/Beach Area Overlay (BAO) Zone	Single-Family Dwelling
North	Residential, 8-15 dwelling units per Acre (R-15)	Residential Density-Multiple Zone (RD-M)/Beach Area Overlay (BAO) Zone	Single-Family Dwelling
South	Residential, 8-15 dwelling units per Acre (R-15)	Residential Density-Multiple Zone (RD-M)/Beach Area Overlay (BAO) Zone	Single-Family Dwelling
East	Residential, 4-8 dwelling units per acre (R-8)	Residential Density-Multiple Zone (RD-M)/Beach Area Overlay (BAO) Zone	Single-Family Dwelling
West	Residential, 8-15 dwelling units per Acre (R-15)	Residential Density-Multiple Zone (RD-M)/Beach Area Overlay (BAO) Zone	Multi-Family Condominium

General Plan Designation



Zoning Designation



Proposed Project

The applicant proposes to demolish the existing single-family home, detached garage, workshop, and shed on site and construct three new single-family homes with attached parking and accessory structures. The modifications are as follows:

- Proposed Unit 1

A two-story, 28-feet-10-inch-tall, 4,064 square foot single-family residence is proposed to be located at the front of the parcel facing Date Avenue. The dwelling unit also contains a basement level which will include a 1,465 square foot three-car garage (garage 1) and 1,425-square-feet of storage. The proposed residence will also consist of three bedrooms, three bathrooms, a covered patio and terrace on the first level and two covered decks on the second level. The architectural design is characterized as a modern farmhouse design.

- Proposed Unit 2, Pool Patio, and Pool

A 21-foot-10-inch-tall, 680-square-foot, single family dwelling is proposed on the second floor of an 875-square-foot pool patio. The unit will include one bedroom, one bathroom and a 178-square-foot attached deck overlooking the proposed pool and spa.

The 875-square-foot pool patio on the lower level will contain a pool bathroom, attached storage, barbeque, fireplace and dining/lounging area.

The structure is proposed in the middle of the lot between units 1 and 3.

- Proposed Unit 3

A 16-foot-8-inch-tall, 260-square-foot, single family dwelling is proposed at the rear of the lot with a 970-square-foot, attached, one-car (garage 3) and two-car garage (garage 2), and a 640 square foot attached covered patio. Unit 3 is proposed as a one-bathroom studio.

- Parking modification

Pursuant to CMC Section 21.44.020, parking is required at a ratio of 2 garage spaces per unit. Unit 1 will contain an attached three car garage. Parking for unit 2 will be provided in the two-car garage attached to unit 3 (garage 2). The project proposes to only provide one garage space for the studio, unit 3 (garage 3).

Pursuant to CMC Section 21.44.040, the city planner may modify the required parking standards where it can be demonstrated that adequate parking will be provided, and the modification will not adversely affect the neighborhood or the site design and circulation. The modification shall be based on the results of a parking study prepared by a registered traffic engineer or other qualified parking consultant, or other evidence satisfactory to the city planner. Because the permit requires Planning Commission approval, the Planning Commission also has the authority to conditionally approve or deny the proposed modification of the required parking standards (CMC Section 21.54.040.C).

The applicant has demonstrated on the site plan that sufficient parking exists on-site for all three units. The three-car garage for unit 1 provides an extra covered space, and the proposed driveway is approximately 218-feet long. In addition, the applicant reasoned that unit 3 is a studio totaling 260-square-feet and therefore will have a limited occupancy. To ensure adequate parking is provided for unit 3, the project includes a condition requiring the property owner to provide and maintain an uncovered parking space for unit 3 on-site, outside of the front yard setback. The city planner has reviewed and concurs with this modification under the authority granted by CMC 21.44.040 as part of the Site Development Plan and Coastal Development Permit and recommends Planning Commission approval of the parking modification.

- Proposed Grading & Improvements

The proposed grading includes cut of 1,628 cubic yards of material, fill of 468 cubic yards of material and export of 1,160 cubic yards of material. Remedial grading includes 420 cubic yards of material.

The project proposes a new 18-foot-wide driveway ramp sloping down from Date Avenue to the subterranean parking at unit 1, and then sloping up to the garages attached to unit 3 at the rear of the property.

As part of the project, the developer is proposing to install a paver walkway along the Date Avenue frontage along with landscaping to match the pavers of the adjacent west property. Date Avenue is an alternative design street. Therefore, the project is conditioned to enter into a Neighborhood Improvement Agreement (NIA) in which the developer agrees to a formation of an improvement district on Date Avenue if one is contemplated to be formed. These improvements include but are not limited to paving, base, sidewalks, curbs and gutters, grading, clearing and grubbing, undergrounding or relocation of utilities, sewer, water, fire hydrants, streetlights, and reclaimed water.

Public Outreach & Comment

Public notice of the proposed Project was mailed on Feb. 22, 2024, to property owners within 600 feet of the subject property and all residents within 100 feet. Two comments were received as a result of that notice. One comment was in support, and the other comment listed concerns regarding stormwater and drainage. A Notice of Determination of Exemption was posted on the city's website and an email was distributed to interested individuals on Apr. 22, 2024, no comments were received. Additionally, the Project is not subject to the enhanced stakeholder outreach in City Council Policy No. 84 (Development Project Public Involvement Policy).

Response to Public Comment & Project Issues

One public comment of concern was received from an adjacent property owner expressing concerns with drainage and stormwater. The adjacent owner claimed that the developer illegally graded which resulted the project site to drain onto their neighbor's property causing flooding. This property owner had previously shared these concerns with the city prior to the application being submitted. City staff from Land Development Engineering and Code Compliance investigated the concern and subsequently determined no code violation existed and concluded all claims were unsubstantiated. No illegal grading took place, and there were no changes to the drainage pattern.

This comment has been included in the staff report as Exhibit 5.

Project Analysis

General Plan Consistency

The project site has a General Plan Land Use designation of R-8 Residential which allows for the development of single and multi-family residences at a density of 4-8 dwelling units per acre (du/ac) with a Growth Management Control Point (GMCP) of 6 du/ac. The City of Carlsbad General Plan includes several goals and policies that guide development and land use within the city. A discussion of how the project is consistent with the applicable General Plan policies is summarized in Exhibit 3.

Municipal Code Consistency

The City of Carlsbad Municipal Code, most notably Tile 21 Zoning Code, includes requirements and provisions that guide development and land use within the city, consistent with the General Plan. The project is required to comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC) including the Residential Density-Multiple Zone (CMC Chapter 21.24) and the Beach Area Overlay Zone (CMC 21.82). Specific compliance with these relevant requirements is described in Exhibit 3.

Local Coastal Program Consistency

The project site is in the Coastal Zone and requires a Coastal Development Permit. The project complies with the Mello II Segment of the Local Coastal Program, including all goals and policies of the General Plan and all zoning code standards, as referenced above.

Inclusionary Housing Ordinance

The project will result in a net gain of two additional housing units, with three new housing units replacing one housing unit currently existing. Therefore, the project is required to comply with the city's inclusionary housing ordinance, which is intended to ensure that all residential development provides a range of housing

opportunities for all economic segments of the population, including households of lower and moderate income. According to city code, the inclusionary housing requirements may be satisfied through the payment of an inclusionary housing in-lieu fee for any residential development of less than seven (7) units. The project has been conditioned to pay the applicable housing in-lieu fee for two units prior to the issuance of a building permit.

Discretionary Actions & Findings

The proposed Project requires approval of a Site Development Plan and Coastal Development Permit, each of which is discussed below.

Site Development Plan (SDP 2024-0010)

Approval of a Site Development Permit (SDP) is required to ensure that that site layout, configuration, and site development standards comply with all relevant city standards. (CMC §21.06.030.) Staff finds that the required findings for this application can be met (Exhibit 3).

Coastal Development Permit (CDP 2023-0011)

Approval of a Coastal Development Permit (CDP) is required to ensure that the project complies with Mello II Segment of the Local Coastal Program (CMC Chapter 21.201) and the Coastal Resource Protection Overlay Zone (CMC Chapter 21.203). Staff finds that the required findings for this application can be met (Exhibit 3).

Environmental Review

In accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, the City Planner has determined that the project qualified for an exemption pursuant to CEQA Guidelines section 15303 – New Construction or Conversion of Small Structures. A notice of intended decision regarding the environmental determination was advertised on Apr. 22, 2024 and posted on the city’s website. No comment letter or appeal was received, and consistent with Chapter 21.54 (Procedures, Hearings, Notices, and Fees) of the Zoning Ordinance, the City Planner’s written decision is final. Refer to Exhibit 6 for additional support and justification.

Conclusion

Considering the information above and in the referenced attachments, staff has found that the proposed Project is consistent with all applicable policies of the General Plan and Local Coastal Program, provisions of the Municipal Code and Local Facility Management Zone. All required public improvement and utilities are available to serve the proposed development. In addition, there are no environmental issues associated with the Project.

The Project is conditioned to ensure the proposed Project’s compatibility with the surrounding properties and that the public health, safety, and welfare of the community are maintained. The Project would be required to comply with all applicable California Building Standards Codes and engineering standards through the standard building permit and civil improvement plan checking process. Staff recommends the Planning Commission adopt the resolutions, recommending approval of the proposed Project described in this staff report.

Exhibits

1. Planning Commission Resolution
2. Location Map
3. Project Analysis
4. Disclosure Form
5. Public Comments
6. Notice of CEQA Determination
7. List of Acronyms and Abbreviations
8. Reduced Exhibits
9. Exhibits “A” – “Z” June 19, 2024 (on file in the Office of the Planning Division)

PLANNING COMMISSION RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARLSBAD, CALIFORNIA, APPROVING A SITE DEVELOPMENT PLAN AND COASTAL DEVELOPMENT PERMIT TO DEMOLISH A SINGLE-FAMILY DWELLING AND CONSTRUCT THREE ONE-FAMILY DWELLINGS WITH THREE ATTACHED GARAGES INCLUDING ONE SUBTERRANEAN GARAGE, A POOL PATIO, AND A POOL AND SPA ON A 0.47-ACRE SITE LOCATED AT 314 DATE AVENUE WITHIN THE MELLO II SEGMENT OF THE LOCAL COASTAL PROGRAM AND LOCAL FACILITIES MANAGEMENT ZONE 1.

CASE NAME: TIMM RESIDENCE
CASE NO.: SDP 2024-0010/CDP 2023-0011 (DEV2023-0033)

WHEREAS, **Jens Timm**, “Developer” and “Owner” has filed a verified application with the City of Carlsbad described as

LOT 2 IN BLOCK T OF PALISADES NUMBER 2, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1803, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 25, 1924. EXCEPTING THEREFROM THE NORTHEASTERLY ONE-HALF THEREOF.

(“the Property”); and

WHEREAS, said verified application constitutes a request for a Site Development Plan and Coastal Development Permit as shown on Exhibit(s) “**A**” – “**Z**” dated **June 19, 2024**, on file in the Planning Division, **SDP 2024-0010/CDP 2023-0011 (DEV2023-0033) – TIMM RESIDENCE**, as provided by Chapter 21.06 and Section 21.201.030 of the Carlsbad Municipal Code of the Carlsbad Municipal Code; and

WHEREAS, the Planning Division studied the **Site Development Plan** and **Coastal Development Permit** application and performed the necessary investigations to determine if the project qualified for an exemption from further environmental review under the California Environmental Quality Act, (CEQA, Public Resources Code section 21000 et. seq.), and its implementing regulations (the State CEQA Guidelines), Article 14 of the California Code of Regulations section 15000 et. seq. After consideration of all evidence presented, and studies and investigations made by the city planner and on its behalf, the city planner determined that the project was exempt from further environmental review pursuant to State CEQA Guidelines sections 15303 - New Construction or Conversion of Small

for the construction of duplexes or similar multi-family residential structures totaling no more than four dwelling units. The project will not have a significant effect on the environment and all of the requirements of CEQA have been met; and

WHEREAS, on April 22, 2024, the city distributed a notice of intended decision to adopt the “New Construction or Conversion of Small Structures” exemption. The notice was circulated for a 10-day period, which began on April 22, 2024, and ended on May 2, 2024. The city did not receive any comment letters on the CEQA findings and determination. The effective date and order of the city planner CEQA determination was May 2, 2024; and

WHEREAS, the Planning Commission did, on **June 19, 2024**, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of persons desiring to be heard, said Commission considered all factors relating to the **Site Development Plan and Coastal Development Permit**.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Carlsbad as follows:

- A) That the foregoing recitations are true and correct.
- B) That based on the evidence presented at the public hearing, the Commission **APPROVES SDP 2024-0010/CDP 2023-0011 (DEV2023-0033) – TIMM RESIDENCE**, based on the following findings and subject to the following conditions:

Findings:

Site Development Plan (SDP 2024-0010)

1. That the requested development or use is properly related to the site, surroundings and environmental settings, will not be detrimental to existing development or uses or to development or uses specifically permitted in the area in which the proposed development or use is to be located, and will not adversely impact the site, surroundings or traffic circulation, in that **the project consists of the demolition of an existing single-family dwelling, detached garage, workshop and shed and the construction of three single-family dwellings with three attached garages, including one underground garage, an attached pool patio, and a pool and spa on a 0.47-acre lot located at 314 Date Ave. The site is surrounded by a mix of existing single-family,**

and multiple-family residential developments. The proposed three-unit project at a density of 6.4 du/ac is consistent with the R-8 Residential (4-8 du/ac) General Plan Land Use designation. The project is consistent with the various elements and objectives of the General Plan as discussed in the findings below and Section "B" of the Project Analysis. The proposed three-unit residential project will not be detrimental to existing uses or to uses specifically permitted in the area in which the use is located, in that residential is a permitted use within the Residential Density-Multiple (RD-M) Zone and is compatible with the other residential uses surrounding the project site, including single-family and multi-family residential. The proposed three-unit project, comprising of three detached single-family residential units, will not adversely impact the site, surroundings, or traffic circulation in that project will not generate a significant number of trips from the site as three single family dwellings are replacing an existing residential single-family dwelling (net increase of 2 units). The project complies with all minimum development standards of the Carlsbad Municipal Code, including but not limited to the RD-M Zone and the Beach Area Overlay Zone. Furthermore, the project is adequately parked on-site and does not result in any significant environmental impacts.

2. That the requested development or use is properly related to the site, surroundings and environmental settings, will not be detrimental to existing development or uses or to development or uses specifically permitted in the area in which the proposed development or use is to be located, and will not adversely impact the site, surroundings or traffic circulation, **in that the proposed three-unit project will not be detrimental to existing uses since the area immediately surrounding the project site to the north, south, east and west are also developed with single and multi-family uses. The project site will not be adversely impacted as it is currently developed with an existing single-family residence which will be replaced by three single family residences for a net increase of two units. All required roadways are existing. The project will result in an increase of 20 average daily trips (ADTs) which is not anticipated to significantly impact the surrounding developments or roadways. The project takes access off of Date Avenue, which is identified as a local street and designed to adequately handle any additional trips generated by the project. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue.**
3. That the site for the intended development or use is adequate in size and shape to accommodate the use, in that **as demonstrated in the project analysis, the proposed three-unit project complies with all development standards (i.e. front, side and rear setbacks, lot coverage, and height restrictions) of the Residential Density-Multiple (RD-M) Zone and the Beach Area Overlay Zone, other than the required covered parking spaces. Pursuant to CMC 21.44.020, two garage spaces are required per unit for a total of 6 garage spaces. Parking is provided for unit 1 in an attached three-car garage. Parking is provided for unit 2 in a two-car garage attached to unit 3. Parking is provided for Unit 3 in an attached one-car garage. However, pursuant to CMC 21.44.040 a modification to the required parking standards can be approved where it can be demonstrated that adequate parking will be provided, and the modification will not adversely affect the neighborhood or the site design and circulation. Unit 3 is a 260-square-foot studio unit and therefore is likely to be occupied by one person. The three-car garage for unit 1 provides an extra covered space, and the proposed driveway is approximately 218-feet long and can accommodate parking without issues to circulation. The project has also been conditioned to provide and maintain an additional uncovered space onsite for unit 3.**

4. That all yards, setbacks, walls, fences, landscaping, and other features necessary to adjust the requested development or use to existing or permitted future development or use in the neighborhood will be provided and maintained, in that **as demonstrated in the project staff report, the proposed three-unit project complies with all applicable development standards (i.e. setbacks, lot coverage, and height restrictions) of the Residential Density-Multiple (RD-M) Zone and the Beach Area Overlay (BAO) Zone other than parking, however parking can be adequately accommodated onsite without adverse impacts to the neighborhood or site design and circulation. The project will relocate the driveway and install a new curb and pavers at the project frontage on Date Avenue to match the adjacent property's frontage to the west. Landscaping along Date Avenue will be provided consistent with the requirements of the city's Landscape Manual. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue. In addition to the above, all proposed walls/fences on the property comply with the Zoning Code.**
5. That the street systems serving the proposed development or use is adequate to properly handle all traffic generated by the proposed use, in that **the proposed three-unit project will take access off Date Avenue, which is identified as a local street and designed to adequately handle any additional trips generated by the project. The project will relocate the driveway and install a new curb and pavers at the project frontage on Date Avenue to match the adjacent property's frontage to the west. Landscaping along Date Avenue will be provided consistent with the requirements of the city's Landscape Manual. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue.**

Coastal Development Permit (CDP 2023-0011)

6. That the proposed development is in conformance with the **Mello II Segment** of the Certified Local Coastal Program and all applicable policies in that **the site is designated R-8 Residential (4-8 du/ac) for single-family, duplex, and multi-family residential development by the Mello II Segment of the LCP. The project proposes to demolish a single-family dwelling, detached garage, workshop, and shed and construct three new single-family dwellings with three attached garages, including one underground garage, an attached pool patio, and a pool and spa on a 0.47-acre lot located at 314 Date Ave. The proposed three-unit project will not obstruct views of the coastline as seen from public lands or the public right-of-way, nor otherwise damage the visual beauty of the coastal zone. No agricultural uses currently exist on the site, nor are there any sensitive resources located on the property. In addition, the proposed three-unit project is not located in an area of known geologic instability or flood hazards. Since the site does not have frontage along the coastline, no public opportunities for coastal shoreline access are available from the subject site. Furthermore, the residentially designated site is not suited for water-oriented recreation activities.**
7. The proposal is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act in that **the property is not located adjacent to the shoreline. Therefore, the three-unit project will not interfere with the public's right to physical access to the ocean and, furthermore, the residentially designated site is not suited for water-oriented recreation activities. The project will not block any views from parks or any other public areas.**
8. The project is consistent with the provisions of the Coastal Resource Protection Overlay Zone (Chapter 21.203 of the Zoning Ordinance) in **that the three-unit project will adhere to the city's**

Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban runoff, pollutants, and soil erosion. No steep slopes or native vegetation is located on the subject property and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.

9. The project is not between the sea and the first public road parallel to the sea and therefore, is not subject to the provisions of the Coastal Shoreline Development Overlay Zone (Chapter 21.204 of the Zoning Ordinance).

General

10. The **Planning Commission** finds that the project, as conditioned herein, is in conformance with the Elements of the City's General Plan, based on the facts set forth in the staff report dated **June 19, 2024** including, but not limited to the following:
 - a. Land Use & Community Design – **The three-unit project is consistent with the elements and objectives of the General Plan as discussed in Section “A” of the Project Analysis. The project’s density of 6.4 dwelling units per acre is consistent with the R-8 Residential 4-8du/ac) General Plan Land Use designation.**
 - b. Mobility – **The proposed project has been designed to meet all circulation requirements, including vehicular access to and from Date Avenue. In addition, the applicant will be required to pay any applicable traffic impact fees, prior to issuance of a building permit, that will go toward future road improvements. The proposed project will enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue**
 - c. Housing – **The project will result in a net increase of two units and therefore will be required to pay inclusionary housing in-lieu fees for two units.**
 - d. Public Safety – **The proposed structural improvements will be required to be designed in conformance with all seismic design standards. In addition, the proposed project is consistent with all the applicable fire safety requirements including fire sprinklers. Additionally, the proposed project is not located in an area of known geologic instability or flood hazard and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.**
11. The project is consistent with the Citywide Facilities and Improvements Plan, the Local Facilities Management Plan for Zone 1 and all City public facility policies and ordinances. The project includes elements or has been conditioned to construct or provide funding to ensure that all facilities and improvements regarding sewer collection and treatment; water; drainage; circulation; fire; schools; parks and other recreational facilities; libraries; government administrative facilities; and open space, related to the project will be installed to serve new development prior to or concurrent with need. Specifically,
 - a. The project has been conditioned to provide proof from the Carlsbad Unified School District that the project has satisfied its obligation for school facilities.

- b. Park-in-lieu fees are required by Carlsbad Municipal Code Chapter 20.44 and will be collected prior to issuance of building permit.
 - c. The Public Facility fee is required to be paid by Council Policy No. 17 and will be collected prior to the issuance of building permit.
 - d. The Local Facilities Management fee for Zone 1 is required by Carlsbad Municipal Code Section 21.90.050 and will be collected prior to issuance of building permit.
12. That the project is consistent with the City's Landscape Manual and Water Efficient Landscape Ordinance (Carlsbad Municipal Code Chapter 18.50).
 13. The City Planner has determined that the project belongs to a class of projects that the State Secretary for Resources has found do not have a significant impact on the environment, and it is therefore categorically exempt from the requirement for the preparation of environmental documents pursuant to **Section 15303 – New Construction of Conversion of Small Structures**, of the state California Environmental Quality Act (CEQA) Guidelines. In making this determination, the City Planner has found that the exceptions listed in Section 15300.2 of the state CEQA Guidelines do not apply to this project.
 14. The Planning Commission has reviewed each of the exactions imposed on the Developer contained in this resolution, and hereby finds, in this case, that the exactions are imposed to mitigate impacts caused by or reasonably related to the project, and the extent and the degree of the exaction is in rough proportionality to the impact caused by the project.

Conditions:

NOTE: Unless otherwise specified herein, all conditions shall be satisfied prior to **the issuance of grading permit or building permit, whichever comes first.**

1. If any of the following conditions fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the city shall have the right to revoke or modify all approvals herein granted; deny or further condition issuance of all future building permits; deny, revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation. No vested rights are gained by Developer or a successor in interest by the city's approval of this **Site Development Plan and Coastal Development Permit**.
2. Staff is authorized and directed to make, or require the Developer to make, all corrections and modifications to the **Site Development Plan and Coastal Development Permit**, documents, as necessary to make them internally consistent and in conformity with the final action on the project. Development shall occur substantially as shown on the approved Exhibits. Any proposed development, different from this approval, shall require an amendment to this approval.
3. Developer shall comply with all applicable provisions of federal, state, and local laws and regulations in effect at the time of building permit issuance.

4. If any condition for construction of any public improvements or facilities, or the payment of any fees in-lieu thereof, imposed by this approval or imposed by law on this Project are challenged, this approval shall be suspended as provided in Government Code Section 66020. If any such condition is determined to be invalid, this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.
5. Developer/Operator shall and does hereby agree to indemnify, protect, defend, and hold harmless the City of Carlsbad, its Council members, officers, employees, agents, and representatives, from and against any and all liabilities, losses, damages, demands, claims and costs, including court costs and attorney's fees incurred by the city arising, directly or indirectly, from (a) city's approval and issuance of this **Site Development Plan and Coastal Development Permit** (b) city's approval or issuance of any permit or action, whether discretionary or nondiscretionary, in connection with the use contemplated herein, and (c) Developer/Operator's installation and operation of the facility permitted hereby, including without limitation, any and all liabilities arising from the emission by the facility of electromagnetic fields or other energy waves or emissions. This obligation survives until all legal proceedings have been concluded and continues even if the city's approval is not validated.
6. Prior to submittal of the building plans, improvement plans, grading plans, or final map, whichever occurs first, developer shall submit to the City Planner, a 24" x 36" copy of the **Site Development Plan and Coastal Development Permit** conceptual grading plan and preliminary utility plan reflecting the conditions approved by the final decision-making body. The copy shall be submitted to the City Planner, reviewed and, if found acceptable, signed by the city's project planner and project engineer. If no changes were required, the approved exhibits shall fulfill this condition.
7. Prior to the issuance of a building permit, the Developer shall provide proof to the Building Division from the **Carlsbad Unified** School District that this project has satisfied its obligation to provide school facilities.
8. This project shall comply with all conditions and mitigation measures which are required as part of the Zone **1** Local Facilities Management Plan and any amendments made to that Plan prior to the issuance of building permits.
9. This approval shall become null and void if building permits are not issued for this project within 24 months from the date of project approval.
10. Building permits will not be issued for this project unless the local agency providing water and sewer services to the project provides written certification to the City that adequate water service and sewer facilities, respectively, are available to the project at the time of the application for the building permit, and that water and sewer capacity and facilities will continue to be available until the time of occupancy.
11. Developer shall pay the citywide Public Facilities Fee imposed by City Council Policy #17 and the License Tax on new construction imposed by Carlsbad Municipal Code Section 5.09.030, subject to any credits authorized by Carlsbad Municipal Code Section 5.09.040. Developer shall also pay any applicable Local Facilities Management Plan fee for Zone **1**, pursuant to Chapter 21.90. All

such taxes/fees shall be paid at issuance of building permit. If the taxes/fees are not paid, this approval will not be consistent with the General Plan and shall become void.

12. Prior to the issuance of the **grading permit**, Developer shall submit to the City a Notice of Restriction executed by the owner of the real property to be developed. Said notice is to be filed in the office of the County Recorder, subject to the satisfaction of the City Planner, notifying all interested parties and successors in interest that the City of Carlsbad has issued a **Site Development Plan and Coastal Development Permit** by this Resolution on the property. Said Notice of Restriction shall note the property description, location of the file containing complete project details and all conditions of approval as well as any conditions or restrictions specified for inclusion in the Notice of Restriction. The City Planner has the authority to execute and record an amendment to the notice which modifies or terminates said notice upon a showing of good cause by the Developer or successor in interest.
13. Developer shall make a separate formal landscape construction drawing plan check submittal to the Planning Division and obtain City Planner approval of a Final Landscape and Irrigation Plan showing conformance with the approved Preliminary Landscape Plan and the city's Landscape Manual. Developer shall construct and install all landscaping and irrigation as shown on the approved Final Plans. All landscaping shall be maintained in a healthy and thriving condition, free from weeds, trash, and debris. All irrigation systems shall be maintained to provide the optimum amount of water to the landscape for plant growth without causing soil erosion and runoff.
14. The first submittal of Final Landscape and Irrigation Plans shall be pursuant to the landscape plan check process on file in the Planning Division and accompanied by the project's building, improvement, and grading plans.
15. If satisfaction of the school facility requirement involves a Mello-Roos Community Facilities District or other financing mechanism which is inconsistent with City Council Policy No. 38, by allowing a pass-through of the taxes or fees to individual home buyers, then in addition to any other disclosure required by law or Council policy, the Developer shall disclose to future owners in the project, to the maximum extent possible, the existence of the tax or fee, and that the school district is the taxing agency responsible for the financing mechanism. The form of notice is subject to the approval of the City Planner and shall at least include a handout and a sign inside the sales facility, or inside each unit, stating the fact of a potential pass-through of fees or taxes exists and where complete information regarding those fees or taxes can be obtained.
16. The developer shall pay to the city an inclusionary housing in lieu fee as an individual fee on a per market rate dwelling unit basis for **two units** in the amount in effect at the time, as established by City Council Resolution from time to time. **If building permits are not applied within two years of demolishing the existing residential unit, then the inclusionary housing in lieu fee will be paid for three units.**
17. **Prior to issuance of a grading permit or the commencement of any ground-disturbing activities, whichever occurs first, Developer shall:**
 - a. **Retain the services of a qualified archaeologist who shall be on-site to monitor ground disturbing activities. In the event cultural resource material is encountered, the archaeologist is empowered to temporarily divert or halt grading to allow for coordination**

with the Luiseno Native American monitor and to determine the significance of the discovery. The archaeologist shall follow all standard procedures for cultural resource materials that are not Tribal Cultural Resources, in accordance with applicable laws and regulations including but not limited to the Carlsbad Tribal, Cultural and Paleontological Resources Guidelines (2017).

- b. Enter into a Pre-Excavation Agreement, otherwise known as a Tribal Cultural Resources Treatment and Tribal Monitoring Agreement, with the San Luis Rey Band of Mission Indians or other Luiseno Native American tribe that meets all standard requirements of the tribe for such Agreements, in accordance with applicable laws and regulations including but not limited to the Carlsbad Tribal, Cultural and Paleontological Resources Guidelines (2017). This agreement will address provision of a Luiseno Native American monitor and contain provisions to address the proper treatment of any Tribal Cultural Resources and/or Native American human remains inadvertently discovered during the course of the project. The agreement will outline the roles and powers of the Luiseno Native American monitor and the archaeologist.
18. To ensure a total of two parking spaces are provided and maintained on-site for Unit 3, in addition to the one-car garage parking space for Unit 3, one parking space shall be provided on a paved surface outside the front-yard setback area for Unit 3.

Engineering:

NOTE: Unless specifically stated in the condition, all of the following conditions, upon the approval of this proposed development must be met prior to approval of a Building or grading permit, whichever occurs first.

General

19. Prior to hauling dirt or construction materials to or from any proposed construction site within this project, developer shall apply for and obtain approval from, the city engineer for the proposed haul route.
20. This project is approved upon the express condition that building permits will not be issued for the development of the subject property, unless the district engineer has determined that adequate water and sewer facilities are available at the time of permit issuance and will continue to be available until time of occupancy.
21. Property owner shall maintain all landscaping (street trees, tree grates, shrubs, groundcover, etc.) and irrigation along the parkway frontage with **Date Avenue** as shown on the Site Plan.

Fees/Agreements

22. Developer shall cause property owner to execute and submit to the city engineer for recordation, the city's standard form Geologic Failure Hold Harmless Agreement.
23. Developer shall cause property owner to execute and submit to the city engineer for recordation the city's standard form Drainage Hold Harmless Agreement.

24. Developer shall cause property owner to submit an executed copy to the city engineer for recordation a city standard Permanent Stormwater Quality Best Management Practice Maintenance Agreement.
25. Developer shall cause property owner to apply for, execute, and submit, to the city engineer for recordation, an Encroachment Agreement covering **private pavers and concrete driveway approach** located over existing and public right-of-way as shown on the site plan. Developer shall pay processing fees per the city's latest fee schedule.
26. Developer shall cause property owner to enter into a Neighborhood Improvement Agreement with the city on a city standard form for the future public improvement of **Date Avenue** along the property frontage for a half street width of 28-feet. Public improvements shall include but are not limited to PAVING, BASE, SIDEWALKS, CURBS AND GUTTERS, GRADING, CLEARING AND GRUBBING, UNDERGROUNDING OR RELOCATION OF UTILITIES, SEWER, WATER, FIRE HYDRANTS, STREET LIGHTS, AND RECLAIMED WATER.

Grading

27. Based upon a review of the proposed grading and the grading quantities shown on the site plan, a grading permit for this project is required. Developer shall prepare and submit plans and technical studies/reports as required by city engineer, post security and pay all applicable grading plan review and permit fees per the city's latest fee schedule.
28. Concurrent with the grading plans Developer shall include shoring plans as part of the grading plans to the satisfaction of the city engineer and building official. Structural calculations for all shoring shall be submitted for review and approval by the building division. Developer shall pay all deposits necessary to cover any 3rd party review.

Storm Water Quality

29. Developer shall comply with the city's Stormwater Regulations, latest version, and shall implement best management practices at all times. Best management practices include but are not limited to pollution control practices or devices, erosion control to prevent silt runoff during construction, general housekeeping practices, pollution prevention and educational practices, maintenance procedures, and other management practices or devices to prevent or reduce the discharge of pollutants to stormwater, receiving water or stormwater conveyance system to the maximum extent practicable. Developer shall notify prospective owners and tenants of the above requirements.
30. Developer shall complete and submit to the city engineer a Determination of Project's SWPPP Tier Level and Construction Threat Level Form pursuant to City Engineering Standards. Developer shall also submit the appropriate Tier level Storm Water Compliance form and appropriate Tier level Storm Water Pollution Prevention Plan (SWPPP) to the satisfaction of the city engineer. Developer shall pay all applicable SWPPP plan review and inspection fees per the city's latest fee schedule.

31. This project is subject to 'Priority Development Project' requirements. Developer shall prepare and process a Storm Water Quality Management Plan (SWQMP), subject to city engineer approval, to comply with the Carlsbad BMP Design Manual latest version. The final SWQMP required by this condition shall be reviewed and approved by the city engineer with final grading plans. Developer shall pay all applicable SWQMP plan review and inspection fees per the city's latest fee schedule.
32. Developer is responsible to ensure that all final design plans (grading plans, improvement plans, landscape plans, building plans, etc) incorporate all source control, site design, pollutant control BMP and applicable hydromodification measures.

Dedications/Improvements

33. Developer shall cause owner to dedicate to the city and/or other appropriate entities for the **public street and public utility** purposes as shown on the site plan. The offer shall be made by a separate recorded document. All land so offered shall be free and clear of all liens and encumbrances and without cost to the city. Streets that are already public are not required to be rededicated. Additional easements may be required at final design to the satisfaction of the city engineer.
34. Developer shall design the private drainage systems, as shown on site plan to the satisfaction of the city engineer.
35. Prior to any work in city right-of-way or public easements, Developer shall apply for and obtain a right-of-way permit to the satisfaction of the city engineer.
36. Developer shall design all proposed public improvements. These improvements shall be shown on one of the following, subject to city engineer approval:
 - A. Grading plans processed in conjunction with this project; or
 - B. Construction Revision to an existing record public improvement drawing

Additional public improvements required in other conditions of this resolution are hereby included in the above list by reference. Developer shall pay plan check and inspection fees using improvement valuations in accordance with the city's current fee schedule. Developer shall apply for and obtain a right-of-way permit prior to performing work in the city right-of-way.

37. **Date Avenue** shall be dedicated by owner along the project frontage based on a street center line to right-of-way width of **28**-feet and in conformance with City of Carlsbad Standards.
38. Developer is responsible to ensure utility transformers or raised water backflow preventers that serve this development are located outside the right-of-way as shown on the [Tentative Map/Site Plan] and to the satisfaction of the city engineer. These facilities shall be constructed within the property.

Utilities

39. Developer shall meet with the fire marshal to determine if fire protection measures (fire flows, fire hydrant locations, building sprinklers) are required to serve the project.
40. Developer shall install potable water and/or recycled water services and meters at locations approved by the district engineer. The locations of said services shall be reflected on public improvement plans.
41. The developer shall agree to install sewer laterals and clean-outs at locations approved by the city engineer. The locations of sewer laterals shall be reflected on public improvement plans.

NOTICE TO APPLICANT

An appeal of this decision to the City Council must be filed with the City Clerk at 1200 Carlsbad Village Drive, Carlsbad, California, 92008, within ten (10) calendar days of the date of the Planning Commission's decision. Pursuant to Carlsbad Municipal Code Chapter 21.54, section 21.54.150, the appeal must be in writing and state the reason(s) for the appeal. The City Council must make a determination on the appeal prior to any judicial review.

NOTICE TO APPLICANT

The project site is within the appealable area of the California Coastal Commission. This Coastal Development Permit (CDP) shall not become effective until ten (10) working days have elapsed, without a valid appeal being filed with the Coastal Commission, following the Coastal Commission's receipt of the city's notice of the CDP issuance ("Notice of Final Action"). The filing of a valid appeal with the Coastal Commission within such time limit shall stay the effective date of this CDP until such time as a final decision on the appeal is reached by the Coastal Commission.

NOTICE

Please take **NOTICE** that approval of your project includes the "imposition" of fees, dedications, reservations, or other exactions hereafter collectively referred to for convenience as "fees/exactions."

You have 90 days from date of final approval to protest imposition of these fees/exactions. If you protest them, you must follow the protest procedure set forth in Government Code Section 66020(a), and file the protest and any other required information with the City Manager for processing in accordance with Carlsbad Municipal Code Section 3.32.030. Failure to timely follow that procedure will bar any subsequent legal action to attack, review, set aside, void, or annul their imposition.

You are hereby FURTHER NOTIFIED that your right to protest the specified fees/exactions DOES NOT APPLY to water and sewer connection fees and capacity charges, nor planning, zoning, grading, or other similar application processing or service fees in connection with this project; NOR DOES IT APPLY to any fees/exactions of which you have previously been given a NOTICE similar to this, or as to which the statute of limitations has previously otherwise expired.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the planning Commission of the City of Carlsbad, California, held on **June 19, 2024**, by the following vote, to wit:

AYES:

NAYES:

ABSENT:

ABSTAIN:

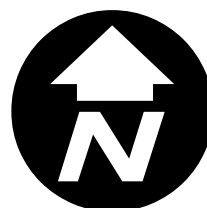
WILLIAM KAMENJARIN, Chairperson
CARLSBAD PLANNING COMMISSION

ATTEST:

ERIC LARDY
City Planner



SITE MAP



NOT TO SCALE

Timm Residence

E CDP 2023-0011/SDP 2024-0010 (DEV2023-0033)

PROJECT ANALYSIS

The project is subject to the following regulations:

- A. General Plan R-8 Land Use Designation
- B. Residential Density-Multiple (RD-M) Zone (CMC Chapter 21.24), Beach Area Overlay Zone (BAOZ) (CMC Chapter 21.82), and Site Development Plan (CMC Chapter 21.06)
- C. Waiver or Modification of Parking Standards (CMC 21.44.040)
- D. Coastal Development Procedures for the Mello II Segment of the Local Coastal Program (CMC Chapter 21.201); and Coastal Resource Protection Overlay Zone (CMC Chapter 21.203).
- E. Inclusionary Housing Ordinance (CMC Chapter 21.85)
- F. Growth Management Ordinance (CMC Chapter 21.90) and Local Facilities Management Plan Zone 1
- G. California Environmental Quality Act Exemption (Environmental Statement)

The recommendation for approval of this project was developed by analyzing the project’s consistency with the applicable regulations and policies. The project’s compliance with each of the above regulations is discussed in detail within the sections below.

A. General Plan R-8 Residential Land Use Designation

The General Plan Land Use designation for the property is R-8 Residential, which allows for multiple-family residential development at a density range of 6-8 dwelling units per acre (du/ac). The three dwelling unit project results in a project density of 6.4 du/ac. The project site has a net developable acreage of 0.47 acres, which results in a 1.88 to 3.76 dwelling unit yield for the property. Therefore, the three-unit residential development, with a density of 6.4 du/ac, complies with the R-8 General Plan Land Use designation for density.

Table “A” below identifies the permissible density range for properties within R-8 as well as the allowable density range based on the size of the project site and the proposed density and units.

The project also complies with the other Elements of the General Plan as outlined in Table “A” below:

TABLE A – GENERAL PLAN COMPLIANCE

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
Land Use & Community Design	<u>Goal 2-P.7</u> – Do not permit residential development below the minimum of the density range except in certain circumstances.	The three-unit residential project density of 6.4 du/ac is within the R-8 density range of 4-8 dwelling units per acre.	Yes
Mobility	<u>Policy 3-P.5</u> – Require developers to construct or pay their fair share toward improvements for all travel modes consistent with the Mobility Element, the Growth Management Plan, and specific impacts associated with their development.	The proposed project has been designed to meet all circulation requirements, including vehicular access to and from Date Avenue. In addition, the applicant will be required to pay any applicable traffic impact fees, prior to issuance of a building permit, that will go	Yes

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
		<p>toward future road improvements.</p> <p>The proposed project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue.</p>	
Public Safety	<p><u>Goal 6-G.1</u> – Minimize injury, loss of life, and damage to property resulting from fire, flood, hazardous material release, or seismic disasters.</p> <p><u>Policy 6-P.6</u> – Enforce the requirements of Titles 18, 20, and 21 pertaining to drainage and flood control when reviewing applications for building permits and subdivisions.</p> <p><u>Policy 6-P.34</u> – Enforce the Uniform Building and Fire codes, adopted by the city, to provide fire protection standards for all existing and proposed structures.</p> <p><u>Policy 6-P.39</u> – Ensure all new development complies with all applicable regulations regarding the provision of public utilities and facilities.</p>	<p>The proposed structural improvements will be required to be designed in conformance with all seismic design standards. In addition, the proposed project is consistent with all the applicable fire safety requirements including fire sprinklers.</p> <p>The project has been conditioned to develop and implement a program of “best management practices” for the elimination and reduction of pollutants which enter into and/or are transported within storm drainage facilities.</p> <p>Furthermore, the proposed project is not located in an area of known geologic instability or flood hazard and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods or liquefaction.</p>	Yes
Sustainability	<p><u>Policy 9-P.1</u> – Enforce the Climate Action Plan (CAP) as the city’s strategy to reduce greenhouse gas emissions.</p>	<p>The new residential units will employ a photovoltaic system, heat pump water heater, and two electric vehicle service equipment (EVSE) ready parking spaces in accordance with the CAP.</p>	Yes

B. Residential Density–Multiple (RD-M) Zone (Chapter 21.24), Beach Area Overlay Zone (BAOZ) (Chapter 21.82), and Site Development Plan (Chapter 21.06)

The proposed project is required to comply with all applicable land use and development standards of the Carlsbad Municipal Code (CMC) including the Residential Density-Multiple (RD-M) Zone (Chapter 21.24) and the Beach Area Overlay Zone (BAOZ) (CMC Chapter 21.82).

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

The three-unit residential project meets or exceeds the requirements of the RD-M Zone and the BAOZ as outlined in Table “B” below, with exception to the parking standards as outlined in Section C below.

TABLE B – BAOZ AND RD-M COMPLIANCE

BAOZ Standards	Required	Proposed	Comply?
Building Height	30 feet with a minimum 3:12 roof pitch provided or 24 feet if less than a 3:12 roof pitch is provided	Unit 1: Roof Ridge = 28’1” w/ 4:12 roof pitch Unit 2: Roof Ridge = 21’10” w/ 4:12 roof pitch Unit 3: Roof Ridge = 16’8” w/ 2:12 roof pitch	Yes*
Visitor Parking	0.30 space per unit (1 space rounded up) One required visitor parking space may be credited for each driveway in a project that has a depth of forty feet or more.	0 visitor parking space. Proposed driveway is greater than 40’ deep.	Yes
RD-M Standards	Required	Proposed	Comply?
Setbacks	Front (Date Avenue): 10’ provided garage openings do not face onto the front yard and that the remaining front yard is landscaped with a combination of flowers, shrubs, trees and irrigated with a sprinkler system. Sides: 5’ Rear: 10’	Front: 14’6” Side: 6’ (west side)/24’ (east side) Rear: 10’	Yes
Lot Coverage	60%	28.7%	Yes
Parking	2 garage spaces per unit (6 spaces total)	Unit 1: 3 garage spaces Unit 2: 2 garage spaces Unit 3: 1 garage space, 1 uncovered space Total: 6 garage spaces	Yes**

*The following are exempt from building height pursuant to CMC 21.04.065(1)(a): all portions of exterior walls of the underground parking garage and basement which are below grade.

**Project includes a request for a modification of parking standards pursuant to CMC 21.44.040. See Section C below for further discussion.

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

The Beach Area Overlay Zone requires a Site Development Plan approval for any development excluding the construction, reconstruction, alteration, or enlargement of one single-family dwelling, projects which require a conditional use permit, and planned development projects proposing five or more units. As demonstrated in the Planning Commission Resolution (Exhibit 1) all the required Site Development Plan findings can be made. In summary, the three-unit project is compatible with the surrounding land uses, which include a mixture of single-family and multi-family residential. In addition, the proposed project is consistent with the various elements of the General Plan, will not adversely impact traffic, and the site is adequate in size to accommodate the proposed project. The required findings for SDP 2024-0010, with justification for each, are summarized below and contained in the Planning Commission Resolution (Exhibit 1).

- 1. That the proposed development or use is consistent with the General Plan and any applicable master plan or specific plan, complies with all applicable provisions of Chapter 21.06 of the Carlsbad Municipal Code, and all other applicable provisions of this code.**

The project is consistent with the R-8 Residential (4-8 du/ac) General Plan Land Use designation as discussed above and is subject to the development standards of Residential Density-Multiple (RD-M) Zone and Beach Area Overlay Zone (BAOZ). The proposed three-unit residential project will not be detrimental to existing uses or to uses specifically permitted in the area in which the use is located, in that residential is a permitted use within the RD-M Zone and is compatible with the other residential uses surrounding the project site, including single-family and multi-family residential. The proposed three-unit project, comprising of three detached single-family residential units, will not adversely impact the site, surroundings, or traffic circulation in that the project will not generate a significant number of trips from the site as three single family dwellings are replacing an existing residential single-family dwelling (net increase of 2 units). The project complies with all minimum development standards of the Carlsbad Municipal Code, including but not limited to the RD-M Zone and the Beach Area Overlay Zone. Furthermore, the project is adequately parked on-site and does not result in any significant environmental impacts.

- 2. That the requested development or use is properly related to the site, surroundings, and environmental settings, will not be detrimental to existing development or uses or to development or uses specifically permitted in the area in which the proposed development or use is to be located, and will not adversely impact the site, surroundings, or traffic circulation.**

The demolition of the existing single-family residence and construction of three detached one-family dwellings and related accessory structures will not be detrimental to existing uses since the area immediately surrounding the project site to the north, south, east and west are also developed with single and multi-family uses. The project site will not be adversely impacted as it is currently developed with an existing single-family residence which will be replaced by three single-family residences for a net increase of two units. All required roadways are existing. The project will result in an increase of 20 average daily trips (ADTs) which is not anticipated to significantly impact the surrounding developments or roadways. The project takes access off of Date Avenue, which is identified as a local street and designed to adequately handle any additional trips generated by the project. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue.

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

- 3. That the site for the intended development or use is adequate in size and shape to accommodate the use.**

The three residential unit project complies with all development standards (i.e. front, side and rear setbacks, lot coverage, and height restrictions) of the Residential Density-Multiple (RD-M) Zone and the Beach Area Overlay Zone, other than the required covered parking spaces. Pursuant to CMC 21.44.020, two garage spaces are required per unit for a total of 6 garage spaces. Parking is provided for unit 1 in an attached three-car garage. Parking is provided for unit 2 in a two-car garage attached to unit 3. Parking is provided for unit 3 in an attached one-car garage. However, pursuant to CMC 21.44.040 a modification to the required parking standards can be approved where it can be demonstrated that adequate parking will be provided, and the modification will not adversely affect the neighborhood or the site design and circulation. Unit 3 is a 260-square-foot studio unit and therefore is likely to be occupied by one person. The three-car garage for unit 1 provides an extra covered space, and the proposed driveway is approximately 218-feet long and can accommodate parking without issues to circulation. The project has also been conditioned to provide and maintain an additional uncovered space onsite for unit 3.

- 4. That all yards, setbacks, walls, fences, landscaping, and other features necessary to adjust the requested development or use to existing or permitted future development or use in the neighborhood will be provided and maintained.**

The proposed three-unit project complies with all applicable development standards (i.e. setbacks, lot coverage, and height restrictions) of the Residential Density-Multiple (RD-M) Zone and the Beach Area Overlay (BAO) Zone other than parking, however parking can be adequately accommodated onsite without adverse impacts to the neighborhood or site design and circulation. The project will relocate the driveway and install a new curb and pavers at the project frontage on Date Avenue to match the adjacent property's frontage to the west. Landscaping along Date Avenue will be provided consistent with the requirements of the city's Landscape Manual. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue. In addition to the above, all proposed walls/fences on the property comply with the Zoning Code.

- 5. That the street systems serving the proposed development or use is adequate to properly handle all traffic generated by the proposed use.**

The proposed three-unit project will take access off Date Avenue, which is identified as a local street and designed to adequately handle any additional trips generated by the project. The project will relocate the driveway and install a new curb and pavers at the project frontage on Date Avenue to match the adjacent property's frontage to the west. Landscaping along Date Avenue will be provided consistent with the requirements of the city's Landscape Manual. The project is conditioned to enter into a Neighborhood Improvement Agreement for future improvements to Date Avenue.

C. Waiver or Modification of Parking Standards (CMC 21.44.040)

The proposed project is requesting a modification of parking standards pursuant to CMC section

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

21.44.040. This section allows the city planner to modify the required parking standards where it can be demonstrated that adequate parking will be provided, and the modification will not adversely affect the neighborhood, or the site design and circulation based on a traffic study or other satisfactory evidence.

Pursuant to CMC Section 21.44.020, parking is required at a ratio of 2 garage spaces per unit provided in either one, two-car garage, or two, one-car garages. The project is proposing three detached one-family dwelling units. Unit 1 includes an attached three-car garage. Unit 2 will utilize the two-car garage attached to Unit 3. Unit 3 includes an attached one car garage which is also attached to the two-car garage utilized by Unit 2. Although there will be a total of six garage spaces, only one garage space is provided for unit 3.

The applicant has demonstrated on the site plan that sufficient parking exists on-site for all three units. The three-car garage for unit 1 provides an extra covered space, and the proposed driveway is approximately 218-feet long. The project includes a condition requiring the property owner to provide and maintain an uncovered parking space for unit 3 on-site, outside of the front yard setback. In addition, the applicant reasoned that unit 3 is a studio totaling 260-square-feet and therefore will have a limited occupancy. Although a parking study was not provided, staff feels that the plans and reasoning provided by the applicant is satisfactory to support a modification to parking pursuant to CMC 21.44.040. The city planner has reviewed and concurs with this modification under the authority granted by CMC 21.44.040 as part of the Site Development Plan and Coastal Development Permit and recommends Planning Commission approval of the modification.

D. Local Coastal Program (Mello II Segment)

1. Mello II Segment of the Certified Local Coastal Program and all applicable policies

The proposed site is in the Mello II Segment of the Local Coastal Program (LCP) and is within the appealable jurisdiction of the California Coastal Commission. The project site has an LCP Land Use designation of R-8 and Zoning of RD-M, which are consistent with the city's General Plan and Zoning. The project density of 6.4 du/acre is consistent with the R-8 Residential General Plan Land Use designation discussed in Section "A."

The project consists of the demolition of an existing one-family residence, detached garage, workshop, and shed and the construction of three new detached one-family residences with two attached garages, a pool patio, and pool and spa. The proposed project is compatible with the surrounding development of one-family and multi-family residential structures. The new one and two-story structures will not obstruct views of the coastline as seen from public lands or the public right-of-way, nor otherwise damage the visual beauty of the Coastal Zone. No agricultural uses currently exist on the previously developed site, nor are there any sensitive resources located on-site. The proposed project is not located in an area of known geologic instability or flood hazard. Since the site does not have frontage along the coastline, no public opportunities for coastal shoreline access are available from the subject site. Furthermore, the residentially designated site is not suited for water-oriented recreation activities.

2. Coastal Resource Protection Overlay Zone

The development is subject to the Coastal Resource Protection Overlay Zone (CMC Chapter 21.203). The Coastal Resource Protection Overlay Zone identifies areas of protection: a) preservation of steep slopes and vegetation; b) drainage, erosion, sedimentation, habitat; c) seismic hazards, landslides, and slope

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

instability; and d) floodplain development. The project’s compliance with each of these areas of concern is discussed below:

- a. *Preservation of Steep Slopes and Vegetation.* Slopes greater than 25% and possessing endangered plant/animal species and/or coastal sage scrub and chaparral plant communities are considered “dual criteria” slopes and are protected in the Coastal Zone. The project does not support any “dual criteria” slopes.
- b. *Drainage, Erosion, Sedimentation, Habitat.* The project will adhere to the city’s Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban run-off, pollutants, and soil erosion.
- c. *Seismic Hazards, Landslides and Slope Instability.* The site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.
- d. *Flood Plain Development.* No structures or fill are being proposed within a one-hundred-year floodplain area as identified by the FEMA Flood Map Service Center.

E. Inclusionary Housing Ordinance

For all residential development less than seven units, the inclusionary housing requirement may be satisfied through the payment of an inclusionary housing in-lieu fee. However, pursuant to Carlsbad Municipal Code Section 21.85.030(D)(3), the construction of a new residential structure which replaces a residential structure that was destroyed or demolished within two years prior to the application for a building permit for the new residential structure is exempt from affordable housing requirements. The demolition of a one-family residential unit and construction of three new one-family dwelling units will require the payment of inclusionary housing in-lieu fees for two units.

F. Growth Management

The impacts on public facilities created by the project, and its compliance with the adopted performance standards, are summarized in Table “B” below.

TABLE B – GROWTH MANAGEMENT COMPLIANCE

STANDARD	IMPACTS	COMPLIANCE
City Administration	7.07 sq. ft.	Yes
Library	3.77 sq. ft.	Yes
Wastewater Treatment	3 EDU	Yes
Parks	.01 acre	Yes
Drainage	2.25 CFS/Basin B	Yes
Circulation	30 ADT	Yes
Fire	Fire Station No. 1	Yes
Open Space	N/A	N/A
Schools	Carlsbad (E = 0.5532 / M = 0.3168 / HS = 0.4323)	Yes
Sewer Collection System	3 EDU	Yes
Water	1305 GPD/0.906 GPM	Yes

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

G. Environmental Review (California Environmental Quality Act)

The California Environmental Quality Act (“CEQA”), and its implementing regulations (“CEQA Guidelines”) adopted by the Secretary of the California Natural Resources Agency, list classes of projects that have been determined not to have a significant effect on the environment and as a result are exempt from further environmental review under CEQA. City staff completed a review of the project and potential environmental impacts associated with the project pursuant to CEQA and concluded that the project qualified for an exemption pursuant to CEQA Guidelines section 15303 – New Construction or Conversion of Small Structures. CEQA Guidelines Section 15303 is a Class 3 exemption. Class 3 consists of construction and location of limited numbers of new, small facilities or structures and includes the construction of duplexes or similar multi-family residential structures totaling no more than four dwelling units.

A notice of intended decision regarding the environmental determination was advertised on April 22, 2024 and posted on the city’s website. The notice included a general description of the project, the proposed environmental findings, and a general explanation of the matter to be considered. The findings and determination contained in that notice was declared as final on the date of the noticed decision, unless appealed as provided by the procedures commencing in Chapter 21.54 (Procedures, Hearings, Notices, and Fees) of the Zoning Ordinance.

During the 10-day public review period, the city received no comment letters from the public regarding the prospective environmental determination. Since no appeal was filed and no substantial evidence was submitted that would support a finding that the exemption requirements would not be satisfied, the project was determined by the city planner to not have a significant effect on the environment. The CEQA Determination letter is attached to this staff report as Exhibit 6 and demonstrates that the project is categorically exempt from further environmental review. The city planner’s written decision is final and the CEQA determination is not within the Planning Commission’s purview. With the appropriate environmental clearances in place, all the city’s procedural requirements and relevant aspects of CEQA have been satisfied. In making this determination, the City Planner has found that the exceptions listed in Section 15300.2 of the state CEQA Guidelines and Chapter 19.04 of the Municipal Code do not apply to this project.



DISCLOSURE STATEMENT
P- 1(A)

Development Services

Planning Division
1635 Faraday Avenue
(442) 339-2610
www.carlsbadca.gov

RECEIVED
FEB 13 2023
CITY OF CARLSBAD
PLANNING DIVISION

Applicant's statement or disclosure of certain ownership interests on all applications which will require discretionary action on the part of the City Council or any appointed Board, Commission or Committee.

The following information **MUST** be disclosed at the time of application submittal. Your project cannot be reviewed until this information is completed. Please print.

Note:

Person is defined as "Any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, in this and any other county, city and county, city municipality, district or other political subdivision or any other group or combination acting as a unit."

Agents may sign this document; however, the legal name and entity of the applicant and property owner must be provided below.

1. **APPLICANT** (Not the applicant's agent)

Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person DON LOONEY Corp/Part _____
Title ARCHITECT Title _____
Address 2945 HARDING ST, #211
CARLSBAD CA 92008 Address _____

2. **OWNER** (Not the owner's agent)

Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having any ownership interest in the property involved. Also, provide the nature of the legal ownership (i.e., partnership, tenants in common, non-profit, corporation, etc.). If the ownership includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person JENS PETER TIMM Corp/Part _____
Title OWNER Title _____
Address 314 DATE AVENUE
CARLSBAD CA 92008 Address _____

3. **NON-PROFIT ORGANIZATION OR TRUST**

If any person identified pursuant to (1) or (2) above is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the non-profit organization or as trustee or beneficiary of the.

Non Profit/Trust _____	Non Profit/Trust _____
Title _____	Title _____
Address _____	Address _____
_____	_____

4. Have you had more than \$500 worth of business transacted with any member of City staff, Boards, Commissions, Committees and/or Council within the past twelve (12) months?

Yes No If yes, please indicate person(s): _____

NOTE: Attach additional sheets if necessary.

I certify that all the above information is true and correct to the best of my knowledge.

 2-13-2023
Signature of owner/date

Peter Timony
Print or type name of owner

 2.14.2023
Signature of applicant/date

DON L LOONEY
Print or type name of applicant

Signature of owner/applicant's agent if applicable/date

Print or type name of owner/applicant's agent

From: [Julie Daun](#)
To: [Lauren Yzaguirre](#)
Subject: CDP2023-0011 314 Date Ave Carlsbad
Date: Thursday, March 7, 2024 4:58:08 PM

Hello Lauren,
I am Julie Daun and live downhill from the Timms at 334 Date AVE.

Being that the timms have flooded me twice 2018-2019 and cost me \$ 30k,

I am definitely interested in the RETAINING WALL the Timms are proposing.

Do you NO longer need a TURN AROUND for the FIRE TRUCKS anymore after 150 FT?

The Power Pole that's coming down. Where How What will it affect my property?

Set backs

Street parking?

Lauren, thos are my main questions and I would like to schedule an appt with you to sit down look at their plans.

The Timms have been terrible neighbors and I am concerned for my property.

At your convenience,

Thank You
Julie Daun
760 822 7255
334 Date Ave
Carlsbad Ca, 92008

I

[CAUTION: Do not open attachments or click on links unless you recognize the sender and know the content is safe.](#)

From: [Nichole Fine](#)
To: [Julie Daun](#)
Cc: [Lauren Yzaguirre](#); [Jason Geldert](#)
Subject: RE: Historic Topo Maps
Date: Monday, March 25, 2024 3:14:45 PM
Attachments: [image001.gif](#)

Hi Julie,

Per our conversation, I sent you the historical topographic map that matches the topo that your neighbor is using. I believe that you had concerns that they did grading on the property but the topo would support that no grading has been done. As I mentioned we reviewed the drainage study on this project to ensure that the 100 year flowrate in the proposed conditions matches or is less than the existing condition, so there will be no increase in flows. I am cc'ing the planner, Lauren, she is the project manager on your neighbor's project during the discretionary review to keep her in the loop, in case there are other planning questions that you have.



Nichole Fine
Land Development Engineering
1635 Faraday Avenue
Carlsbad, CA 92008
www.carlsbadca.gov

P: 442-339-2744 | C:442-359-6223 | 442-339-1052 fax | nichole.fine@carlsbadca.gov

[Facebook](#) | [Twitter](#) | [You Tube](#) | [Flickr](#) | [Pinterest](#) | [Enews](#)

Permit submittals and resubmittals require appointments

First submittal appointments can be made by contacting landdev@carlsbadca.gov

Resubmittal appointments can be made by contacting me.

From: Julie Daun <irishjule@gmail.com>
Sent: Monday, March 25, 2024 2:34 PM
To: Nichole Fine <Nichole.Fine@carlsbadca.gov>
Subject: Re: Historic Topo Maps

Hi Lauren, Nichole,
Thank You for the 1988 photo. Which has zero relevance to what, you said you would do.. ..
I have great alarm about the drainage,
1. They have devised an intricate drainage system, all to the middle of my

property. Not another single home on the street dumps into the downhill property. It all goes to the street. Strict rules about storm water to the street. Unless the city of carlsbad guarantees in writing they will cover the cost for any water damage to my downhill property.

I would accept a letter from the city's attorney stating they will be fully responsible for excessive run off and or damage to my buildings or property.

Of the total 20,000 sq ft lot that will have solid hardscape, onto the middle of my property. Unfair and unprecedented.

Why would you allow them to DRAIN their ****ENTIRE ****property and flood problems into my yard? And not comply like all other homeowners that drain to the street.

There is a 6 ft fence now and has been for 27 years. They need a 6 ft wall. not a footer.

Allowing them to move front set back, forward the entire street is off set. All the alignment of the established homes, this would stick out at the narrowest part of the street and no public parking, WHY do that to our old established neighborhood.

Where is the public parking going to be on Date Ave.????

The entire neighborhood is in an uproar. A petition is on the rounds.

Matt Hall and the coastal commission will be addressed next.

By your replying with the 1988 map, it is apparent you have no intention of listening to me.

So How do I and the neighbors proceed from here,,, BEFORE you approved anything.

Sincerely,
julie Daun

On Wed, Mar 20, 2024 at 2:22 PM Nichole Fine <Nichole.Fine@carlsbadca.gov> wrote:

Hi Julie-

Per our conversation at the front counter this morning, I am attaching a topographic map I found from 1988. This shows topographic contours that drain from west to east towards the railroad.

During the discretionary application of the 314 Date Avenue, we reviewed the 100 year hydrology flowrates to ensure that the applicant detain any flows so that the proposed 100 year flowrate is less than the existing condition. Please let us know if you need anything else.

email logo



Nichole Fine
Land Development Engineering
1635 Faraday Avenue

Carlsbad, CA 92008
www.carlsbadca.gov

P: 442-339-2744 | C:442-359-6223 | 442-339-1052 fax | nichole.fine@carlsbadca.gov

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Permit submittals and resubmittals require appointments

First submittal appointments can be made by contacting landdev@carlsbadca.gov

Resubmittal appointments can be made by contacting me.

CAUTION: *Do not open attachments or click on links unless you recognize the sender and know the content is safe.*

From: [Linda B](#)
To: [Lauren Yzaguirre](#)
Subject: 314 Date Ave Carlsbad
Date: Monday, March 11, 2024 11:57:09 AM

Dear Lauren

I just got off the phone with you,
just wanted to tell you how happy
my husband and I are
about the family at 314 Date Ave.
building a new improved house.

I know it will be a beautiful addition
to the neighborhood. I told my
husband I called and found that
their neighbor said that 314
Date floods their property. My
husband told me he showed her
how to stop her problem a few
months ago. He told her she
needed gutters on her house
and her front yard sits higher

than her house. He also told
her how to fix that. I'm so sorry
that someone complained about
the 314 Date Ave house that is
not flooding her house. I am sure
you already know that.

Thanks for listening
Kind Regards
Linda and Paul Brackman
760-207-0665
241 Date Ave. Carlsbad

CAUTION: Do not open attachments or click on links unless you recognize the sender and know the content is safe.

CEQA DETERMINATION OF EXEMPTION

Subject: This California Environmental Quality Act (CEQA) Determination of Exemption is in compliance with Carlsbad Municipal Code Section 19.04.060. An appeal to this determination must be filed in writing with the required fee within ten (10) calendar days of the City Planner’s decision consistent with Carlsbad Municipal Code Section 21.54.140.

City Planner Decision Date: April 22, 2024

Project Number and Title: CDP 2023-0011/SDP2024-0010 (DEV2023-0033) – TIMM RESIDENCE

Project Location - Specific: 314 Date Avenue (APN 206-080-24-00)

Project Location - City: Carlsbad

Project Location - County: San Diego

Description of Project: Demolition of an existing 1,190-square-foot single-family residence and one-car garage and construction of three detached single-family residences, including: (1) a 4,064-square-foot, two-story, 30-foot-tall residence (unit 1) with 1,465-square-feet of subterranean parking (garage 1), 1,425-square-feet of basement/storage, 1,045-square-feet of covered terraces and 395 square feet of covered decks; (2) a 680-square-foot, 21-foot-tall, residence (unit 2) and 178-square-foot deck proposed on the second story of a 875-square-foot pool cabana; and (3) a 260-square-foot, 16-feet-8-inch-tall studio residence (unit 3) with a 682-square-foot attached, two-car garage (garage 3), a 288-square-foot attached one-car garage (garage 2), and a 640-square-foot attached covered patio. The project also includes a proposed pool and spa.

Name of Public Agency Approving Project: City of Carlsbad

Name of Person or Agency Carrying Out Project: City of Carlsbad

Name of Applicant: Jens Timm

Applicant’s Address: 314 Date Ave. Carlsbad, CA 92008

Applicant’s Telephone Number: 949-278-2716

Name of Applicant/Identity of person undertaking the project: Don Looney, Agent of Applicant

Exempt Status: Categorical Exemption: Section 15303

Reasons why project is exempt: Categorical Exemption: Section 15303 of CEQA exemptions (Class 3) exempts the construction or conversion of up to three single-family residences in an urbanized area and related accessory structures. The project consists of three detached single-family residences and accessory structures in an urbanized area.

Lead Agency Contact Person: Lauren Yzaguirre, Associate Planner Telephone: 442-339-2634



ERIC LARDY, City Planner

4/23/24

Date

LIST OF ACRONYMS AND ABBREVIATIONS

This is a list of acronyms and abbreviations (in alphabetical order) that are commonly used in staff reports.

Acronym	Description	Acronym	Description
APA	American Planning Association	LCPA	Local Coastal Program Amendment
APN	Assessor Parcel Number	LOS	Level of Service
AQMD	Air Quality Management District	MND	Mitigated Negative Declaration
BMP	Best Management Practice	NCTD	North County Transit District
CALTRANS	California Department of Transportation	ND	Negative Declaration
CC	City Council	PC	Planning Commission
CCR	Conditions, Covenants and Restrictions	PDP	Planned Development Permit
CEQA	California Environmental Quality Act	PEIR	Program Environmental Impact Report
CFD	Community Facilities District	PUD	Planned Unit Development
CIP	Capital Improvement Program	ROW	Right of Way
COA	Conditions of Approval	RWQCB	Regional Water Quality Control Board
CofO	Certificate of Occupancy	SANDAG	San Diego Association of Governments
CT	Tentative Parcel Map	SDP	Site Development Permit
CUP	Conditional Use Permit	SP	Specific Plan
DIF	Development Impact Fee	SWPPP	Storm Water Pollution Prevention Program
DISTRICT	City Council Member District Number	TM	Tentative Map
EIR	Environmental Impact Report	ZC	Zone Change
EIS	Environmental Impact Statement (federal)		
EPA	Environmental Protection Agency		
FEMA	Federal Emergency Management Agency		
GP	General Plan		
GPA	General Plan Amendment		
GIS	Geographic Information Systems		
HCA	Housing Crisis Act 2019		
IS	Initial Study		

GREEN NOTES

- LANDSCAPE IRRIGATION WATER SHALL HAVE WEATHER OR SOLBASED CONTROLLERS.
- RECYCLING:** A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED.
- RECYCLING:** THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN.
- OPERATION AND MAINTENANCE MANUAL:** THE BUILDERS IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION.
- POLLUTANT CONTROL:** DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED.
- POLLUTANT CONTROL:** VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR ADHESIVES, PAINTS, AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC SECTION 4.504.2.
- INTERIOR MOISTURE CONTROL:** THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3.
- INDOOR AIR QUALITY:** BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT.
- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.

CONTRACTOR TO COMPLETE A RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST THAT INCLUDES THE MINIMUM CRITERIA IT IS AVAILABLE AT:
 HTTPS://WWW.HCD.CA.GOV/BUILDING-STANDARDS/CALGREEN/CAL-GREEN-FORMS.SHTML

COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CPMR, CPMR, AND CPMR FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIB OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING WATER HEATER WHEN THE VALVES ARE CLOSED.

TIMM RESIDENCE

314 DATE AVENUE, CARLSBAD, CA 92008

BUILDING AREAS

MAIN RESIDENCE	EXISTING	REMOVED	NEW	TOTAL
MAIN LEVEL LIVING	1,190 SF	1,190 SF	2,188 SF	2,188 SF
UPPER LEVEL LIVING	-	-	1,816 SF	1,816 SF
MAIN RESIDENCE TOTAL LIVING AREA				4,004 SF
CABANA	EXISTING	REMOVED	NEW	TOTAL
UNIT 2	-	-	680 SF	680 SF
UNIT 2 TOTAL LIVING AREA				680 SF
STUDIO	EXISTING	REMOVED	NEW	TOTAL
UNIT 3	-	-	260 SF	260 SF
UNIT 3 TOTAL LIVING AREA				260 SF

MAIN RESIDENCE	EXISTING	REMOVED	NEW	TOTAL
GARAGE BASEMENT/STORAGE	1,465 SF	1,425 SF	-	40 SF
MAIN LEVEL COVERED TERRACES	1,045 SF	395 SF	-	650 SF
UPPER LEVEL COVERED DECKS	-	-	-	-
CABANA	EXISTING	REMOVED	NEW	TOTAL
POOL CABANA & BATH	875 SF	178 SF	-	697 SF
UNIT 2 DECK	-	-	-	-
STUDIO	EXISTING	REMOVED	NEW	TOTAL
GARAGE 2 & 3	910 SF	-	-	910 SF

PROJECT DATA

PROJECT ADDRESS: 314 DATE AVENUE
CARLSBAD CA 92008

ASSESSORS PARCEL NUMBER: 206-080-014-00

LEGAL DESCRIPTION: TR 1803 LOT 2

LOT SIZE: 20,425 SF (0.47 AC)

LOT COVERAGE: 60% MAX

ZONE: RD-M

JURISDICTION: CITY OF CARLSBAD

OCCUPANCY: SINGLE FAMILY RESIDENTIAL = R-8

CONSTRUCTION TYPE: V-B

SPRINKLERED: YES

FIRE SPRINKLERS REQUIRED FOR ALL SINGLE FAMILY DWELLINGS (S) AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D (IRC R313.2)

APPLICABLE CODES:
 APPLICABLE CODES. ALL PROJECTS SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE (CBC) AND/OR CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA FIRE CODE (CFC), 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES).

LOT COVERAGE

AREA	S.F.
MAIN RESIDENCE	2,188
COVERED TERRACE	1,045
POOL CABANA/BATH	875
STUDIO	1,739
COVERED PATIO	640
5,378 S.F. / 20,411 S.F. = 26.3% LOT COVERAGE	
60% ALLOWED	

SCOPE OF WORK

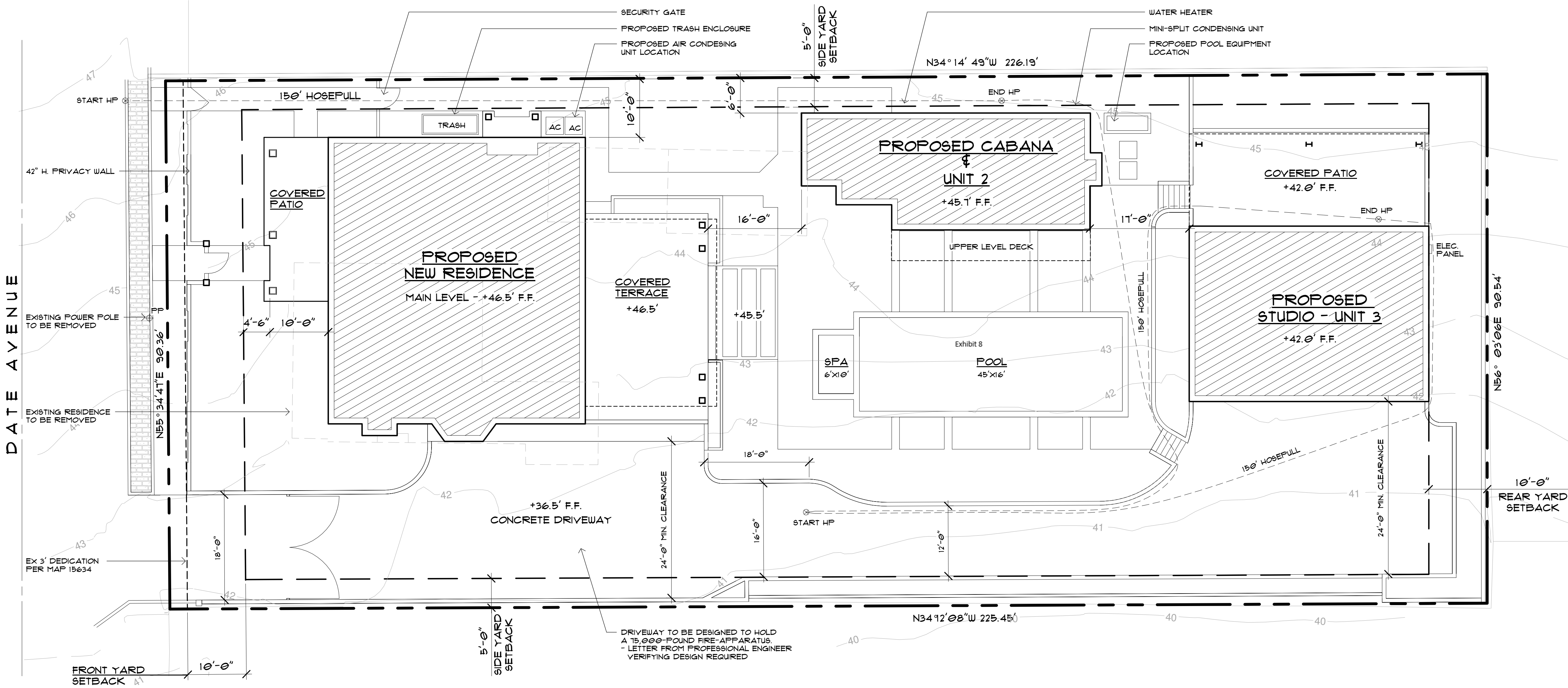
NEW 2 STORY RESIDENCE WITH TUCK UNDER GARAGE

NEW POOL CABANA & SECOND RESIDENCE

NEW STUDIO & GARAGE WITH COVERED PATIO

SHEET INDEX

SITE	DESCRIPTION
T1	SITE PLAN
T2	SURVEY
T3	DESIGN REQUIREMENTS
CIVIL	DESCRIPTION
	PRELIMINARY GRADING PLAN
	SITE SECTIONS
	STORMWATER DETAILS
ARCHITECTURAL:	DESCRIPTION
MAIN RESIDENCE	
1.0	RENDERINGS
1.1	GARAGE FLOOR PLAN
1.2	MAIN LEVEL FLOOR PLAN
1.3	UPPER LEVEL FLOOR PLAN
1.4	BASEMENT EXHIBIT
1.5	EXTERIOR ELEVATIONS
1.6	EXTERIOR ELEVATIONS
1.7	BUILDING SECTIONS
1.8	BUILDING SECTION
1.9	ROOF PLAN
CABANA	
2.1	CABANA - FLOOR PLAN
2.2	CABANA - UNIT 2 FLOOR PLAN
2.3	CABANA - EXTERIOR ELEVATIONS
2.4	CABANA - BUILDING SECTIONS
2.5	CABANA - ROOF PLAN
STUDIO	
3.1	STUDIO FLOOR PLAN
3.2	STUDIO ELEVATIONS
3.3	STUDIO ROOF PLAN
LANDSCAPING	DESCRIPTION
L1	LANDSCAPE PLAN
L2	WATER CONSERVATION PLAN

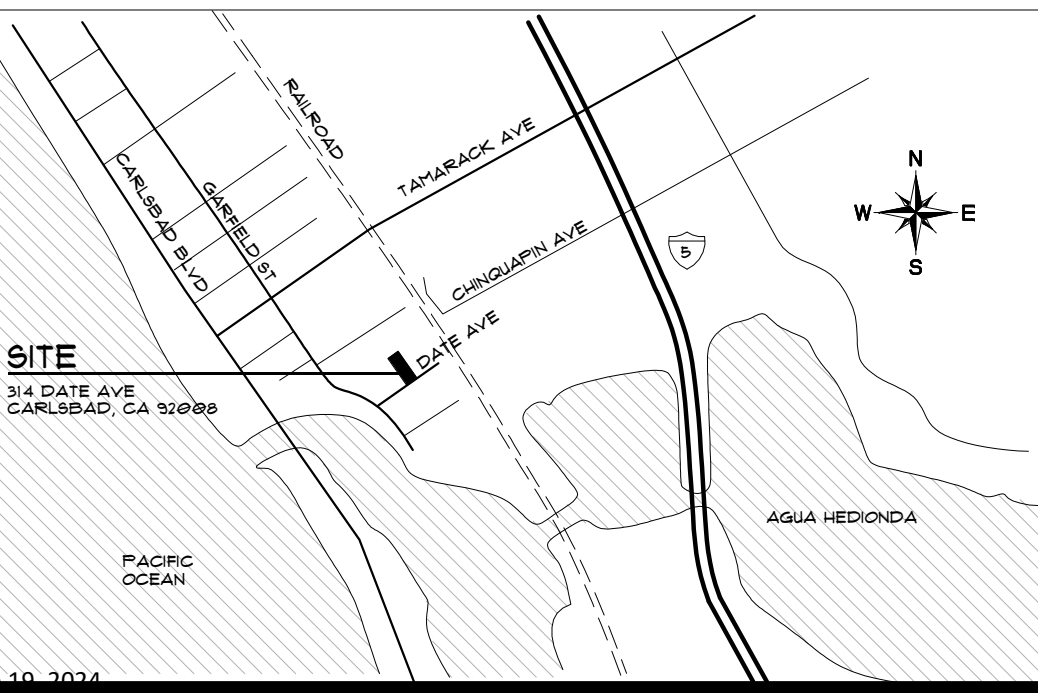


SITE PLAN

SCALE: 1" = 10'-0"

PURSUANT TO THE ARCHAEOLOGICAL SURVEY REPORT (SOUTH ENVIRONMENTAL LLC, AUGUST 2023), ARCHAEOLOGICAL AND NATIVE AMERICAN MONITORING WILL BE REQUIRED DURING EXCAVATION AS A CONDITION OF APPROVAL FOR THIS PROJECT.

VICINITY MAP



SITE PLAN NOTES

- APPROVED HOUSE NUMBERS AND OR ADDRESSES SHALL BE PLACED ON ALL NEW & EXISTING BUILDINGS AND POSSIBLY ADDITIONAL LOCATIONS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY FROM EITHER DIRECTION OF APPROACH. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE AT LEAST 4" HIGH WITH A 3/8" STROKE FOR RESIDENTIAL BUILDINGS & POSTS AT ROADWAY.
- CONTRACTOR TO VERIFY ALL PROPERTY CORNERS AND SETBACKS PRIOR TO STROKE FOR RESIDENTIAL BUILDINGS & POSTS AT ROADWAY ARCHITECT FOR ANY CONFLICT THAT MAY EXIST.
- THE BUILDING FOOTPRINT IS SHOWN FOR SITE REFERENCE ONLY. ANY DIMENSIONS OF THE BUILDING ARE SHOWN FOR LAYOUT PURPOSES ONLY. SEE OTHER DRAWING SHEETS FOR EXACT LAYOUT & DIMENSIONS OF ACTUAL FLOOR PLAN.
- ALL WALKS, DRIVEWAYS, FENCING & GENERAL LANDSCAPING IS DIAGRAMMATIC. IF A LANDSCAPE PLAN HAS BEEN PREPARED APART FROM THESE DRAWINGS, THEY WILL TAKE PRECEDENCE.
- PROVIDE EXPANSION AND CONTROL JOINTS FOR ALL CONCRETE DRIVES, WALKS AND TERRACES, IF APPLICABLE.
- CONNECT ROOF, DECK & AREA DRAINS TO UNDERGROUND DRAIN LINES THAT DRAIN TO LANDSCAPE PLANTERS OR LAWN AREAS.
- PROVIDE A MINIMUM 2% SLOPE TO SURFACES ADJACENT TO THE BUILDING, A MINIMUM OF 5 FEET AWAY. SITE DRAINAGE SHALL NOT FLOW OR DRAIN ONTO ADJACENT PROPERTIES IN ANY MANNER, CONCENTRATED OR NOT, BUT MUST BE DIRECTED INTO AN APPROVED DRAINAGE FACILITY.
- IF ANY WORK IS TO BE DONE WITHIN THE STREET 'RIGHT OF WAY', THE GENERAL CONTRACTOR SHALL OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORK BEGINNING.
- THE INSPECTOR WILL RECHECK FOR EXPANSIVE SOILS AND OR GRADING REQUIREMENTS AT THE FIRST FOUNDATION INSPECTION. IF THE FIELD INSPECTOR SUSPECTS HILL OR EXPANSIVE SOIL, A SOIL REPORT MAY BE REQUIRED AND SUBMITTED TO THE CITY/COUNTY AGENCY FOR REVIEW.

PHOTOVOLTAIC REQ.

CLIMATE ZONE 1, PER TABLE 150.1-C
 A = 0.572, B = 1.15, N_{pv} = 3 UNITS

CFA = CONDITIONED FLOOR AREA
 4,064 (MAIN) + 680 (ND) + 260 (GRD) = 5,004 SF

EQUATION 150.1-C
 ANNUAL PHOTOVOLTAIC ELECTRICAL OUTPUT
 KWh_{pv} = (CFA x A) / 1000 + (N_{pv} x B)

KWh_{pv} = (5,004 x 0.572) / 1000 + (3 x 1.15)

KWh_{pv} = 2.87 + 3.45 = 6.32

*KWh_{pv} = 6.32 x 175 = 1,106

- 350W (20 x SOLAR PANELS TO MAKE 1,000KW)

CAP COMPLIANCE

- | | |
|---|-------|
| A. GHC STUDY REQUIRED | - NO |
| B. ENERGY EFFICIENCY REQUIREMENT | - YES |
| C. PHOTOVOLTAIC REQUIREMENT | - YES |
| I. 6.32 - KW-DC ROOF MOUNTED | |
| II. 0 - KW-DC GROUND MOUNTED | |
| III. 6.32 - KW-DC TOTAL PROJECT | |
| D. ELECTRIC VEHICLE CHARGING REQUIREMENTS | - YES |
| I. 0 - EV CHARGERS | |
| II. 0 - EV READY | |
| III. 0 - EV CAPABLE | |
| E. HOT WATER HEATING REQUIREMENT | - YES |
| F. TRAFFIC DEMAND MANAGEMENT REQUIRED | - NO |

PROJECT DIRECTORY

OWNER:
JENS PETER TIMM
314 DATE AVENUE
CARLSBAD, CA 92008
PHONE: 949.218.2716

ARCHITECT:
DON L. LOONEY
2945 HARDING STREET, #211
CARLSBAD, CALIFORNIA 92008
PHONE: 160.434.1966

CIVIL ENGINEER:
PASCO LARET SUITER & ASSOCIATES
1911 SAN DIEGO AVE, SUITE 100
SAN DIEGO, CA 92110
PHONE: 619.253.8212

LANDSCAPE ARCHITECT:
THE DESIGN BUILD COMPANY
PO BOX 2464
CARLSBAD, CA 92018
PHONE: 160-122-9306

SURVEYOR:
INDIGO SURVEYING, INC.
3620 NILE STREET
SAN DIEGO, CA 92104
PHONE: 619.663-1163

ARCHITECT DON L. LOONEY (760) 434-7966

TIMM RESIDENCE
314 DATE AVE, CARLSBAD, CA 92008

JOB NO.
ISSUE
3/6/2024
CDF
RESUB.
REVISIONS
SHEET
TI
OF

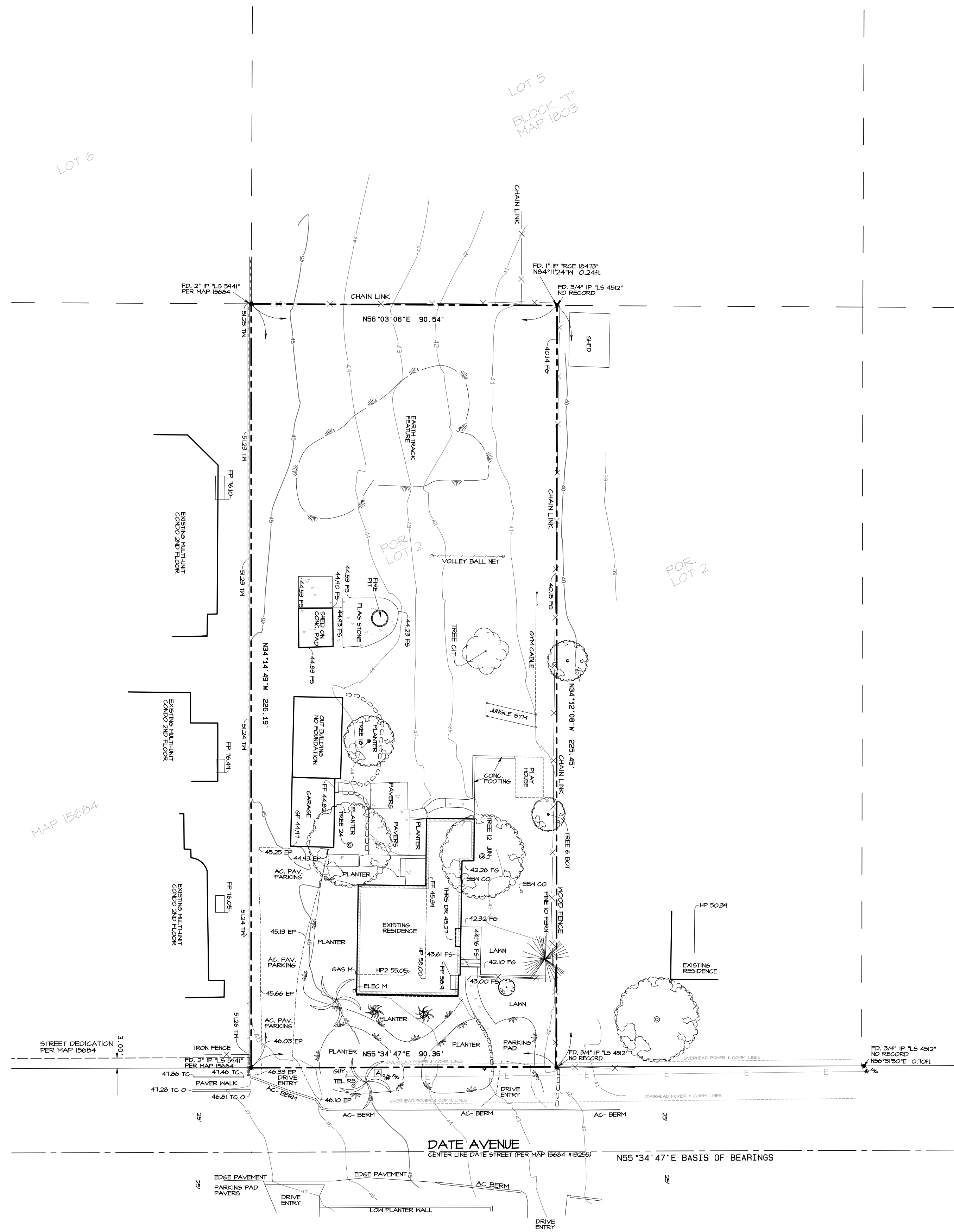
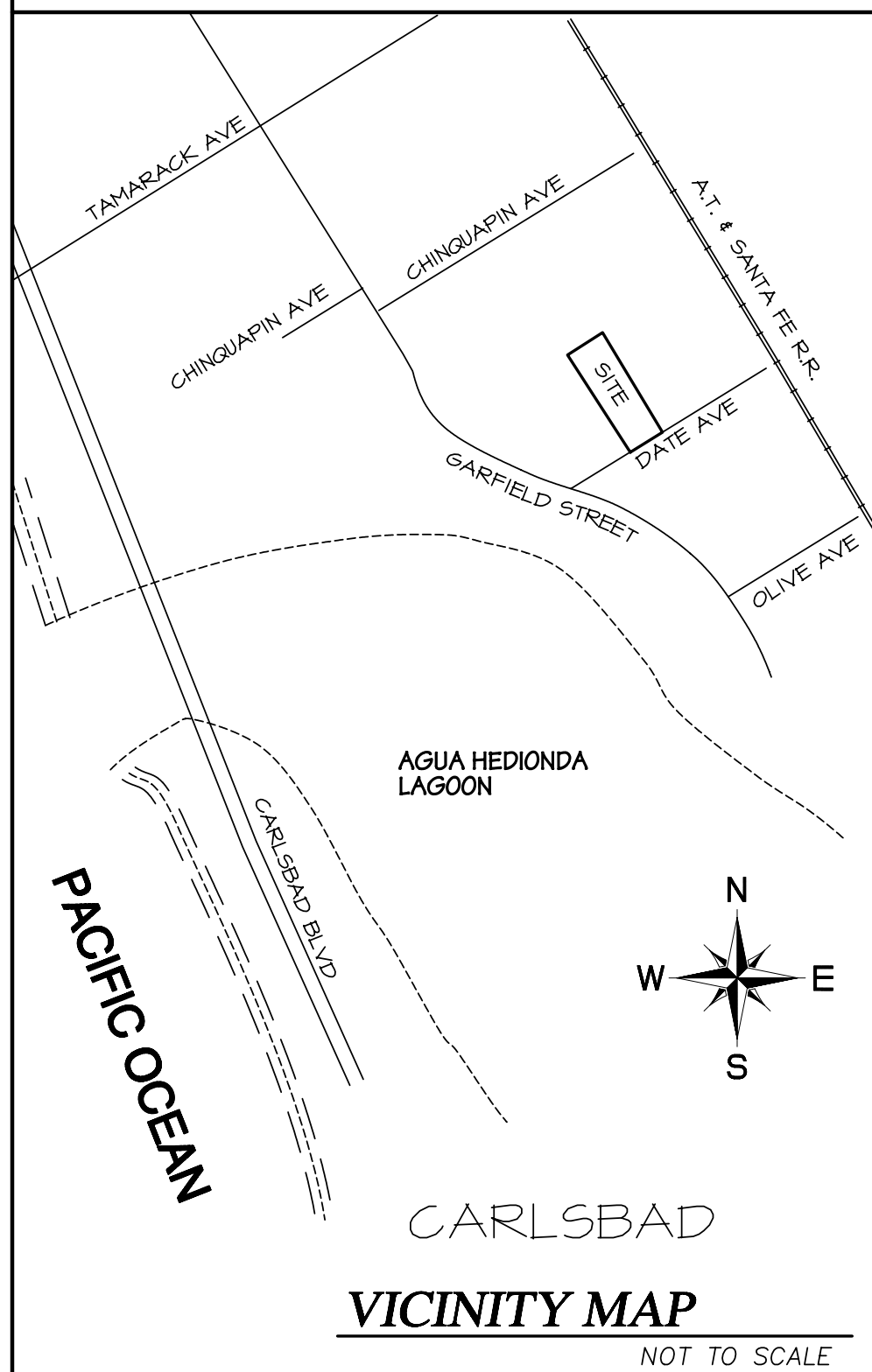
TOPOGRAPHIC SURVEY

LEGEND

- PROPERTY BOUNDARY
- MASONRY BLOCK WALL
- CONCRETE SURFACE OR PAVERS
- SPOT ELEVATION
- CITRUS TREE (SIZE)
- TREE (SIZE IN INCHES)
- FENCE
- NB9°57'02"W BOUNDARY LINE DATA
- INDICATES FOUND SURVEY MONUMENT
- TERMINATION OF ABOVE GROUND LINES

ABBREVIATIONS

- CO CLEAN OUT (TYPE IS NOTED WITH PREFIX)
- FF FINISHED FLOOR
- FH FIRE HYDRANT
- FS FINISHED SURFACE
- IR, BX IRRIGATION HAND HOLE ACCESS BOX
- IR, V IRRIGATION VALVE
- MH MAN HOLE (TYPE NOTED)
- TG TOP OF GRATE
- TH TOP OF WALL
- SD STORM DRAIN
- SEW SANITARY SEWER SYSTEM
- WV WATER VALVE



OWNER:
JENS PETER TIMM & MELANIE GUSTIN TIMM

ADDRESS:
314 DATE AVENUE
CARLSBAD, CALIFORNIA, 92008

APN:
206-080-24

BENCHMARK:
BENCHMARK: C15B-141 CITY OF CARLSBAD SURVEY CONTROL
CGS 83 1991.35 EPOCH US SURVEY FEET
NGVD 29 ELEVATION= 26.518 MSL

LEGAL DESCRIPTION:
LOT 2 IN BLOCK "1" OF PALISADES NUMBER 2,
IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO,
STATE OF CALIFORNIA, ACCORDING TO MAP
THEREOF NO. 1803, FILED IN THE OFFICE OF THE
COUNTY RECORDER OF SAN DIEGO COUNTY,
AUGUST 25, 1924.
EXCEPTING THEREFROM THE NORTHEASTERLY ONE-HALF THEREOF.

NOTE:
BEARINGS AND DISTANCES SHOWN HEREON
ARE DERIVED FROM FOUND MONUMENTS & RECORD INFORMATION
PER FM 1155, MAP 1803, MAP 15255, MAP 15604
A COPY OF THE PROCEDURE OF SURVEY IS ON
FILE IN THIS OFFICE.

THE BASIS OF BEARINGS HEREON IS THE
CENTERLINE OF DATE STREET AS SHOWN ON
MAP NO. 15684 Ie: N55°34'47"E

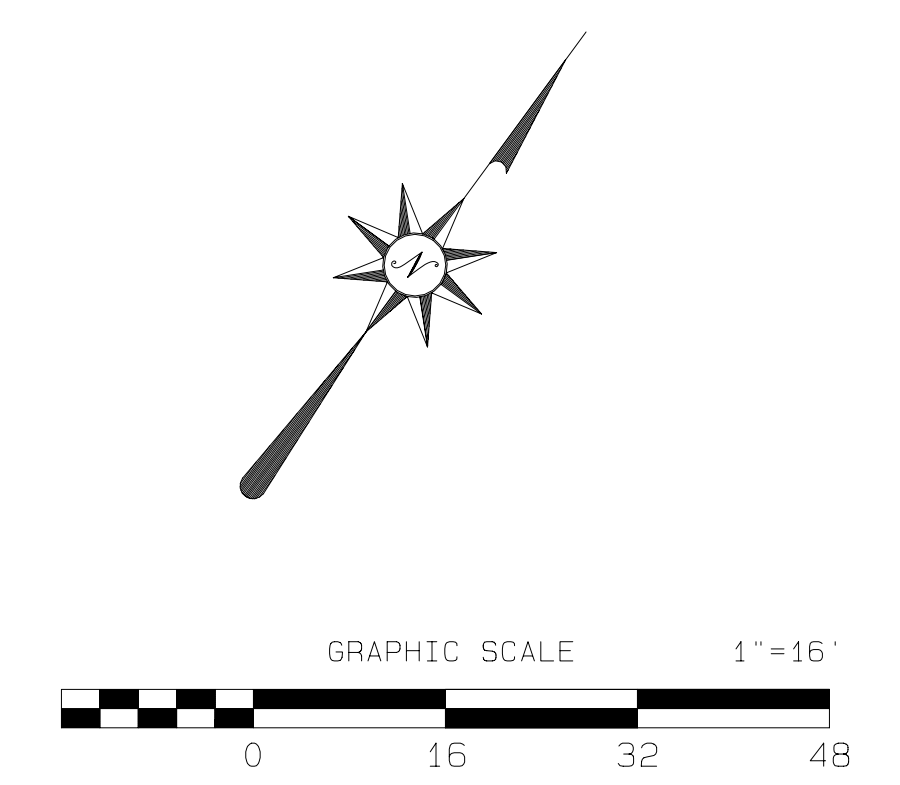
PREPARED BY:
INDIGO SURVEYING, INC.
3620 NILE STREET
SAN DIEGO, CA 92104
858-663-1763
indigosurveying@cox.net

DATE: 4-24-2021

EASEMENT NOTES:
STEWART TITLE OF CALIFORNIA, INC.
1676 HAZARD CENTER DR., 14th FLOOR
SAN DIEGO, CA 92108

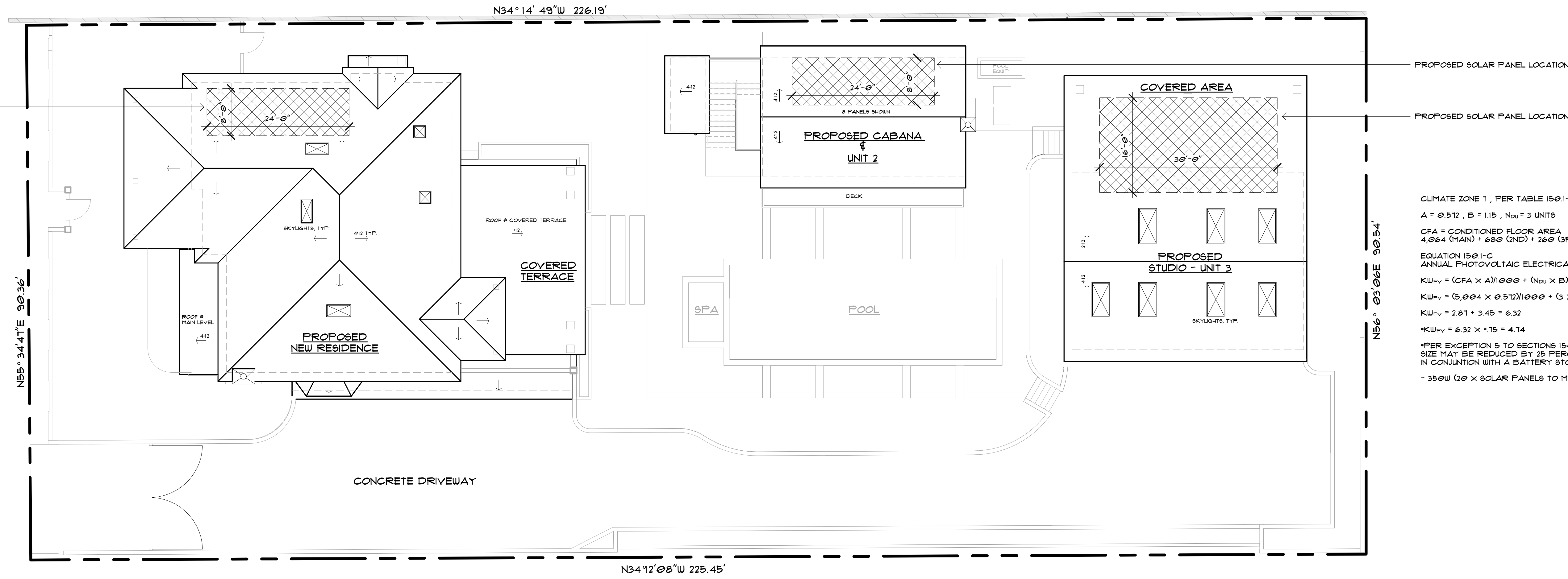
ORDER NO. 342403 DATE: JUNE 20, 2011 @ 7:30 AM
IRENE SHEPARD, ESCROW OFFICER
(760) 602-4243

THERE ARE NO EASEMENTS OF RECORD IN THE ABOVE
REFERENCED PRELIMINARY TITLE REPORT.



Daniel P. Comerford
 DANIEL P. COMERFORD, PLS 7729 DATE: 4-24-2021

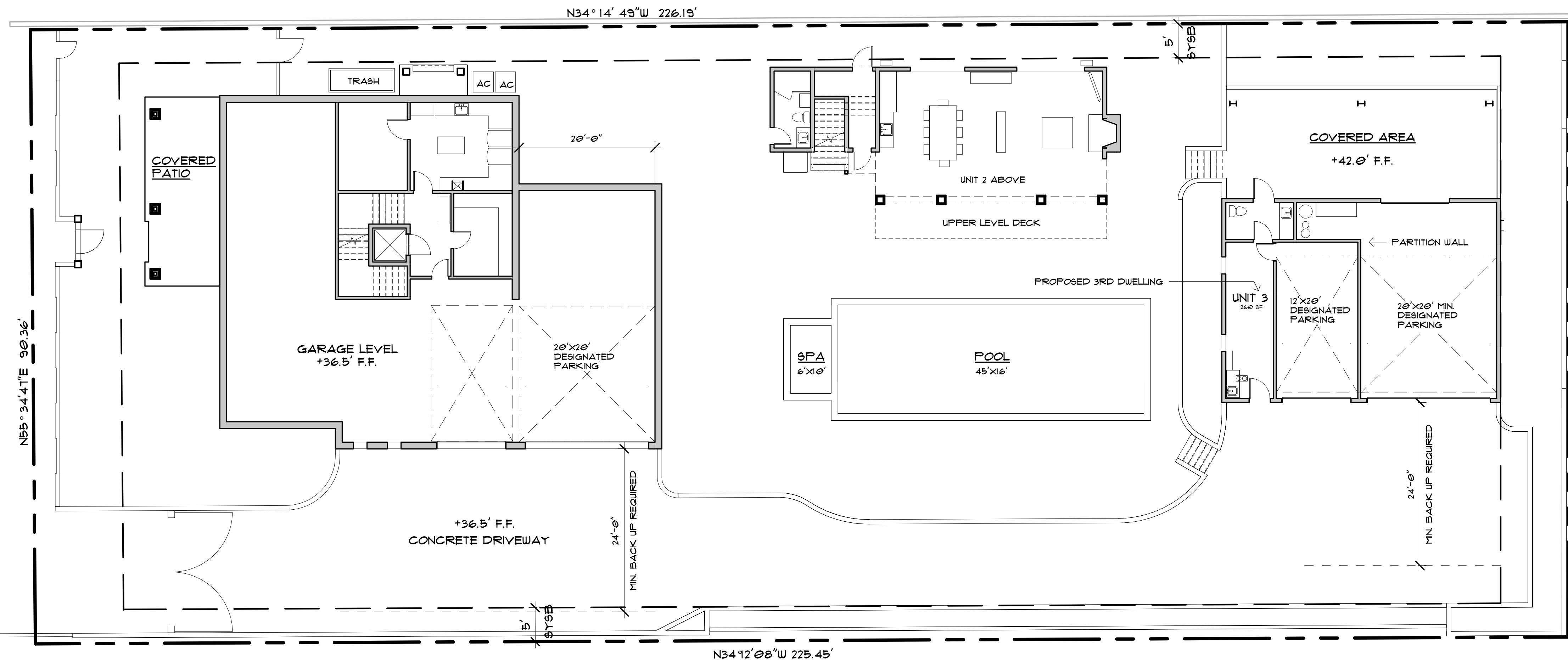
DATE AVENUE



SOLAR EXHIBIT

SCALE: 1" = 10'-0"

CLIMATE ZONE 1, PER TABLE 150.1-C
 A = 0.512, B = 1.15, N_{DU} = 3 UNITS
 CFA = CONDITIONED FLOOR AREA
 4,064 (MAIN) + 600 (2ND) + 200 (3RD) = 5,064 SF
 EQUATION 150.1-C
 ANNUAL PHOTOVOLTAIC ELECTRICAL OUTPUT
 $KWh_{PV} = (CFA \times A) / (1000 \times (N_{DU} \times B))$
 $KWh_{PV} = (5,064 \times 0.512) / (1000 \times (3 \times 1.15))$
 $KWh_{PV} = 2.81 + 3.45 = 6.32$
 $*KWh_{PV} = 6.32 \times 1.15 = 4.14$
 *PER EXCEPTION 5 TO SECTIONS 150.1(C)4
 SIZE MAY BE REDUCED BY 25 PERCENT IF INSTALLED
 IN CONJUNCTION WITH A BATTERY STORAGE SYSTEM
 - 350W (20 X 60) SOLAR PANELS TO MAKE 1.00KW



PARKING EXHIBIT

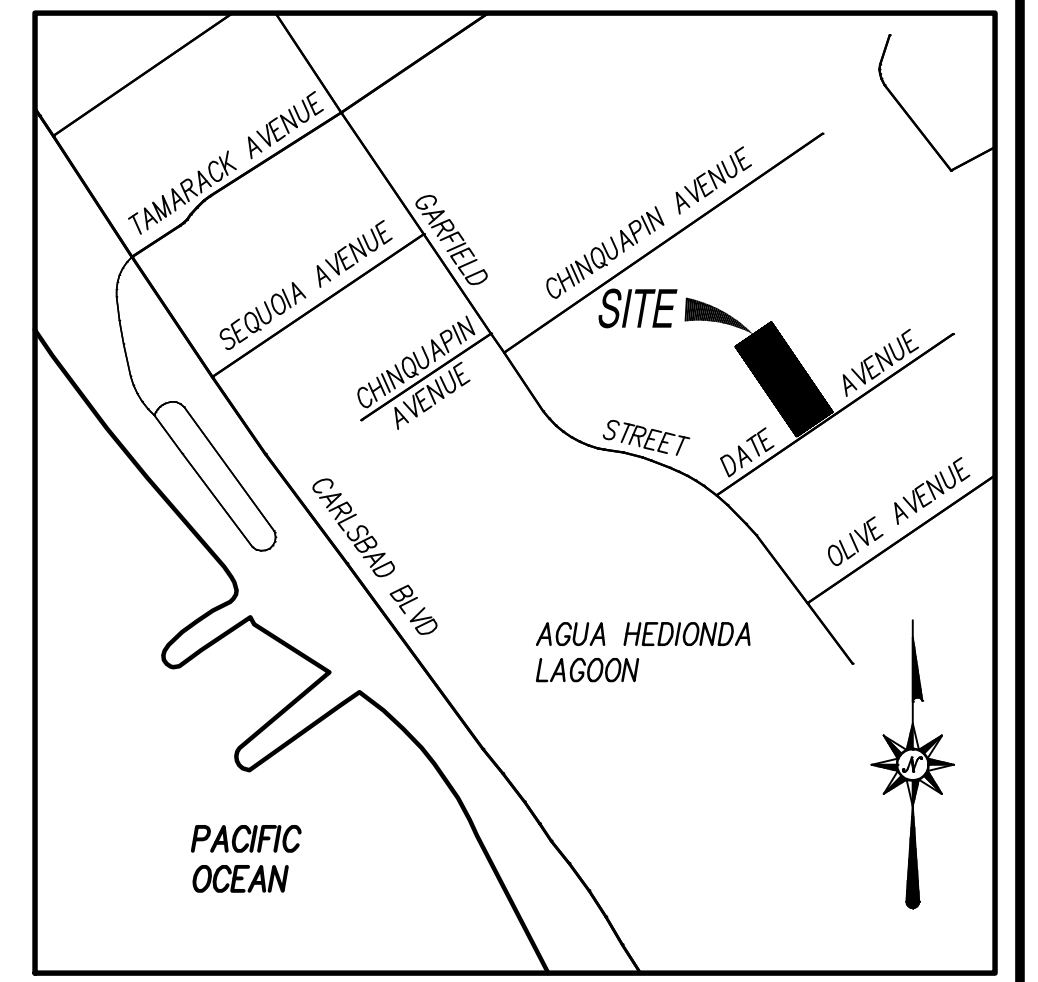
SCALE: 1" = 10'-0"

PARKING REQUIREMENTS:
 MAIN RESIDENCE - 2 SPACES
 SECOND DWELLING - 2 SPACES
 EFFICIENCY DWELLING UNIT (STUDIO) - 1 SPACE
 *RECOMMENDED REDUCED PARKING REQUIREMENT FOR
 FOR EFFICIENCY DWELLING UNIT (UNIT 3)
 PER CMC SECTION 21.44.040B
VISITOR PARKING REQUIRED:
 0.3 X 3 UNITS = 0.9 = 1 SPACE REQUIRED
 PER CMC 21.82.060, ONE REQUIRED VISITOR PARKING
 SPACE MAY BE CREDITED FOR EACH DRIVEWAY IN A
 PROJECT THAT HAS A DEPTH OF FORTY FEET OR MORE.
 THE PROPOSED DRIVEWAY MEETS THIS REQUIREMENT.

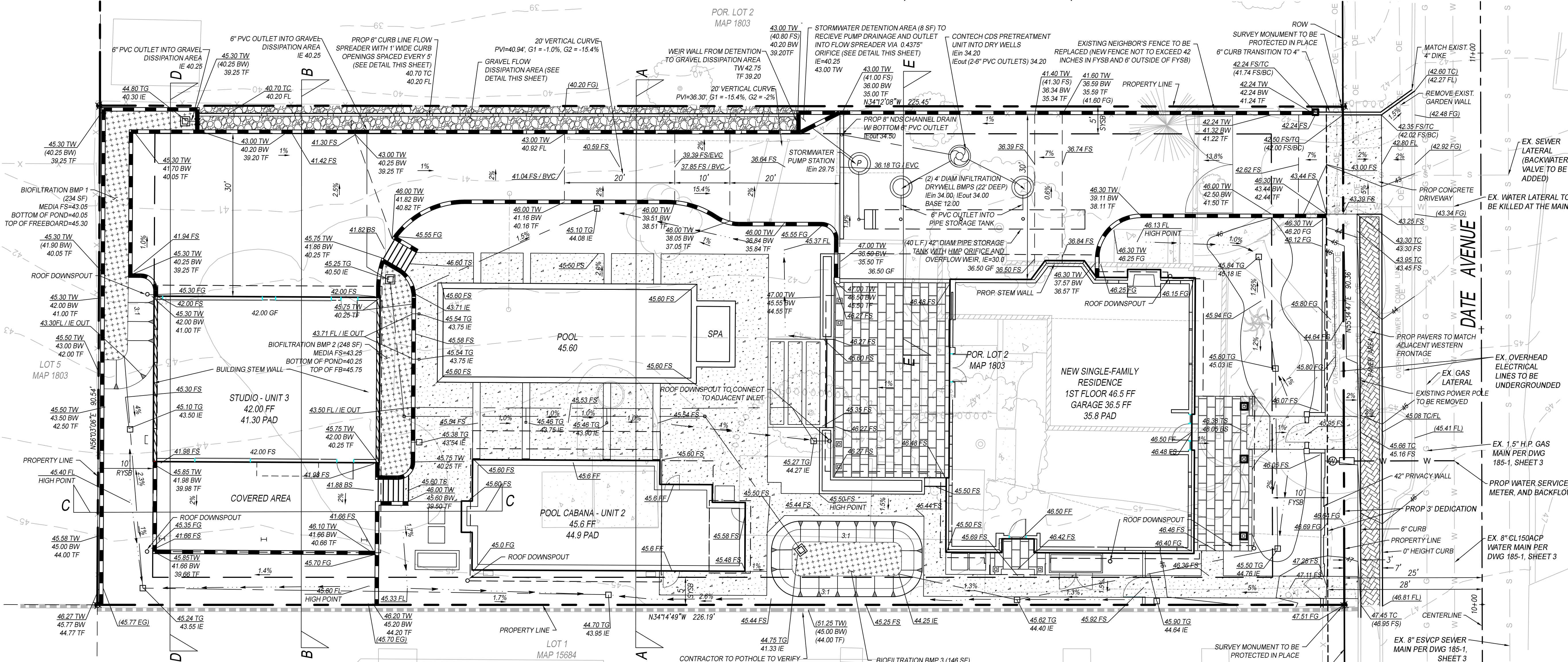
PRELIMINARY GRADING PLAN

COASTAL DEVELOPMENT PERMIT 2023-0011

314 DATE AVENUE, CARLSBAD, CA 92008



VICINITY MAP
NOT TO SCALE



PRELIMINARY GRADING PLAN

SCALE: 1" = 10'

SCOPE OF WORK:
SITE IMPROVEMENTS ASSOCIATED WITH NEW SINGLE FAMILY RESIDENCE AND GARAGE.

ADDRESS: 314 DATE AVENUE, CARLSBAD, CA 92008
APN: 206-080-24-00

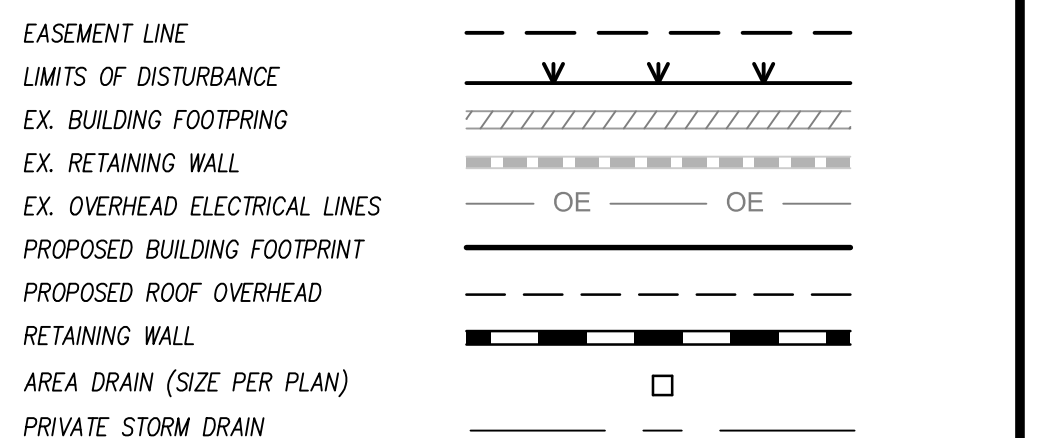
LEGAL DESCRIPTION:
LOT 2 IN BLOCK "1" OF PALISADES NUMBER 2, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1803, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 25, 1924. EXCEPTING THEREFROM THE NORTHEASTERLY ONE-HALF THEREOF.

SITE AREA:
LOT AREA: 20,425 SF/0.47 AC
LOT AREA FOLLOWING DEDICATION: 20,153 SF/ 0.46 AC
EXISTING IMPERVIOUS AREA: 4,172 SF
PERCENT OF SITE TO BE LANDSCAPE: 27%
TOTAL NEW AND REPLACED IMPERVIOUS AREA: 14,681 SF
TOTAL DISTURBED AREA: 20,153 SF

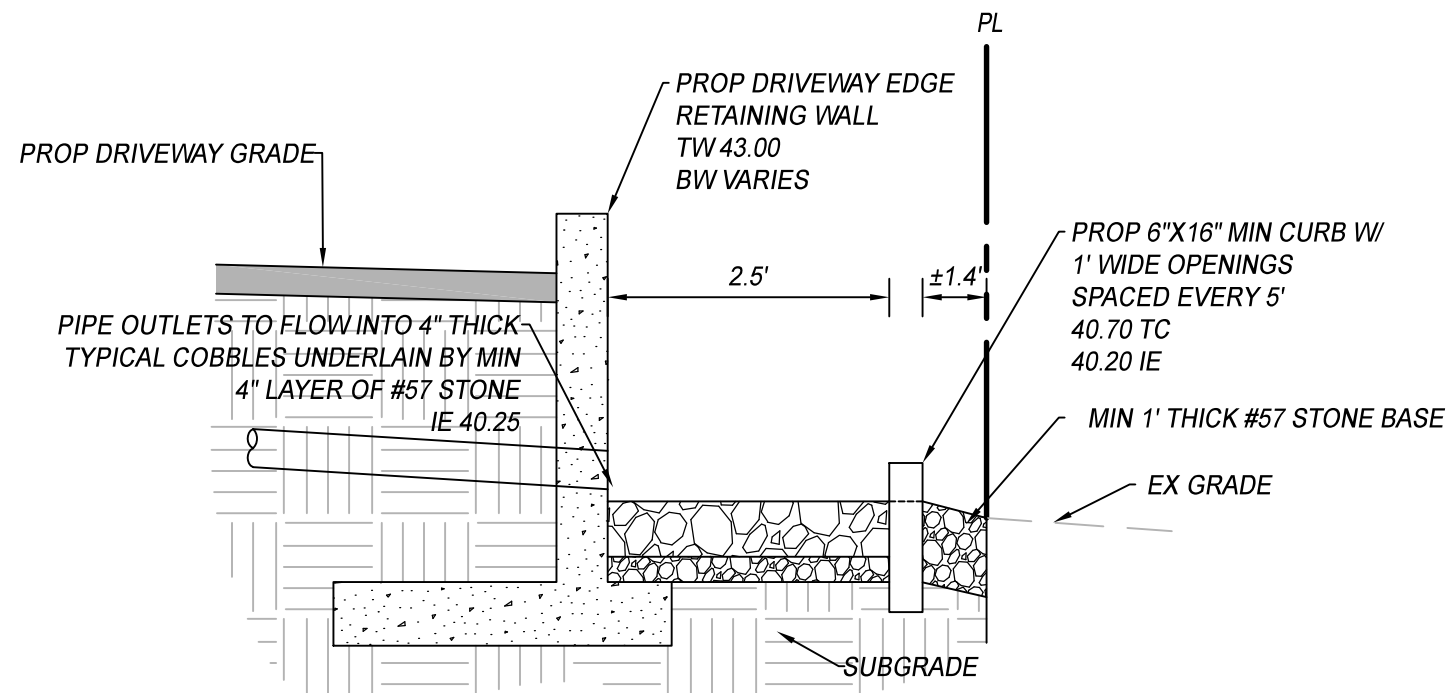
LAND USE DESIGNATION & ZONING: RESIDENTIAL, RD-M
EARTHWORK QUANTITIES:
CUT: 1,628 C.Y.
FILL: 468 C.Y.
IMPORT: 0 C.Y.
EXPORT: 1,160 C.Y.
REMEDIATION: 0 C.Y.

SETBACKS:
FRONT = 20 FT
SIDE = 5 FT
REAR = 10 FT

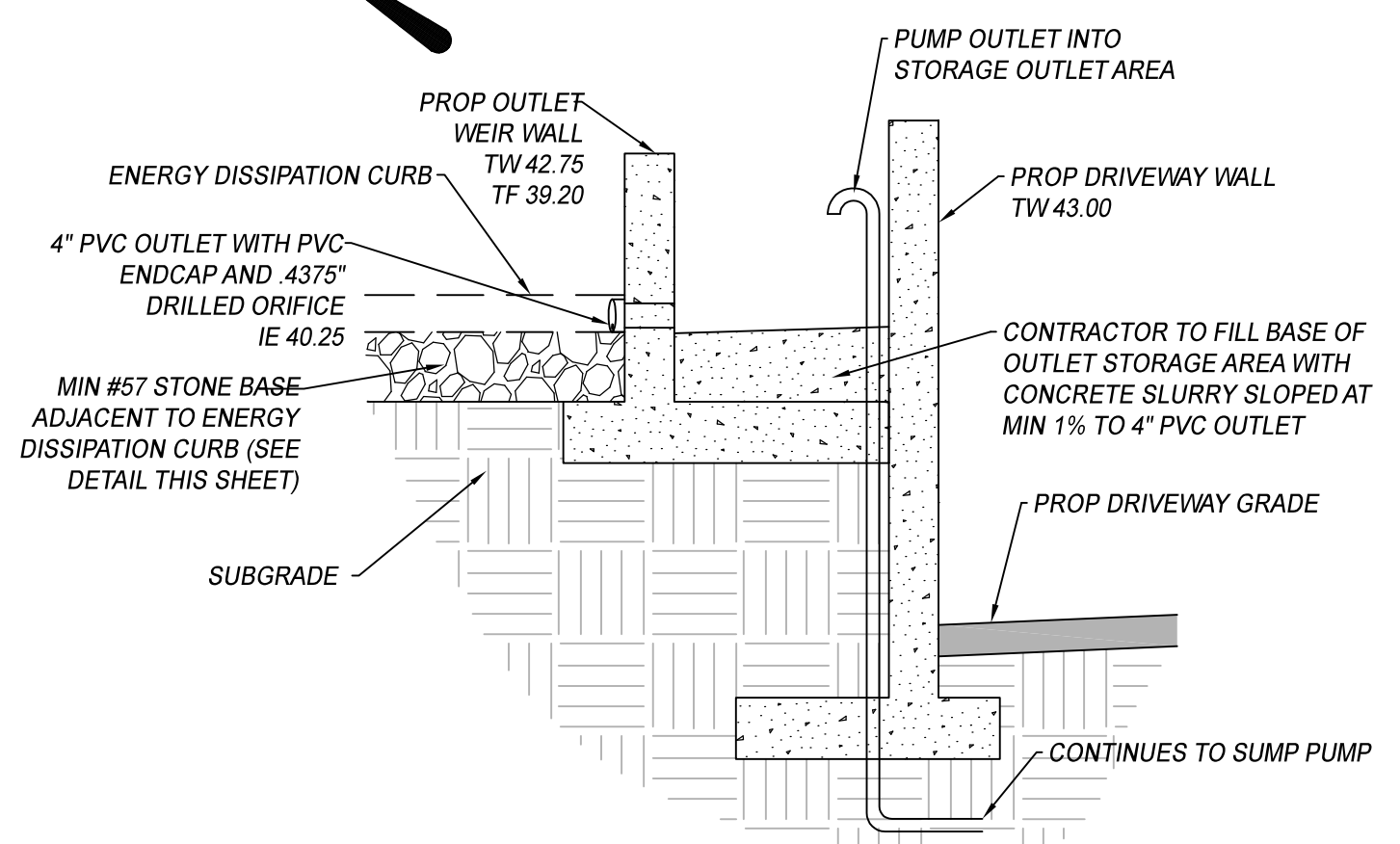
LEGEND:
PROPERTY LINE
SETBACK
EXISTING LOT LINE
RIGHT-OF-WAY
CENTERLINE OF RIGHT-OF-WAY
EASEMENT LINE
LIMITS OF DISTURBANCE
EX. BUILDING FOOTPRINT
EX. RETAINING WALL
EX. OVERHEAD ELECTRICAL LINES
PROPOSED BUILDING FOOTPRINT
PROPOSED ROOF OVERHEAD
RETAINING WALL
AREA DRAIN (SIZE PER PLAN)
PRIVATE STORM DRAIN



ABBREVIATIONS:
TF = TOP OF FOOTER
TC = TOP OF CURB
TW = TOP OF WALL
BW = BOTTOM OF WALL @ FINISHED GRADE
FS = FINISHED SURFACE
FL = FLOW LINE
FG = FINISHED GRADE
(FG) = MATCH EXIST FINISHED GRADE
(FS) = MATCH EXIST FINISHED SURFACE
(FL) = MATCH EXIST FLOW LINE
TG = TOP OF GRATE
IE = INVERT ELEVATION
BVC = BEGIN VERTICAL CURVE
EVC = END VERTICAL CURVE



ENERGY DISSIPATION CURB DETAIL
NOT TO SCALE



PIPE STORAGE TANK OUTLET DETAIL
NOT TO SCALE

NOTE:
THE DETENTION STORAGE TANK WAS SIZED SUCH THAT THE 100-YR STORM WOULD NEVER OVERFLOW THE EMERGENCY WEIR AND ALL FLOWS ARE CONTROLLED BY THE ORIFICE OUTLET TO THE PUMP. THIS DETENTION AREA FOR THE STORAGE TANK OUTLET HAS BEEN SIZED TO PROVIDE THE SAME STORAGE VOLUME AND ORIFICE SIZE AS THE OUTLET BAY WITHIN THE PIPE STORAGE VAULT. DUE TO THIS, THE OVERALL OUTLET FLOWS ARE CONTROLLED BY THE ORIFICE IN THIS AREA AND UNNEFFECTED BY PUMP FLOW VALUES.

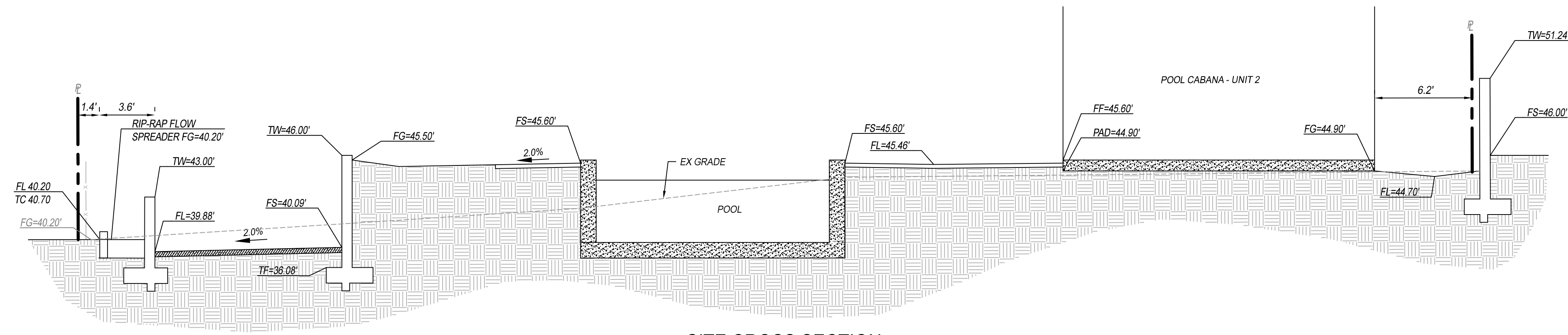
PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com



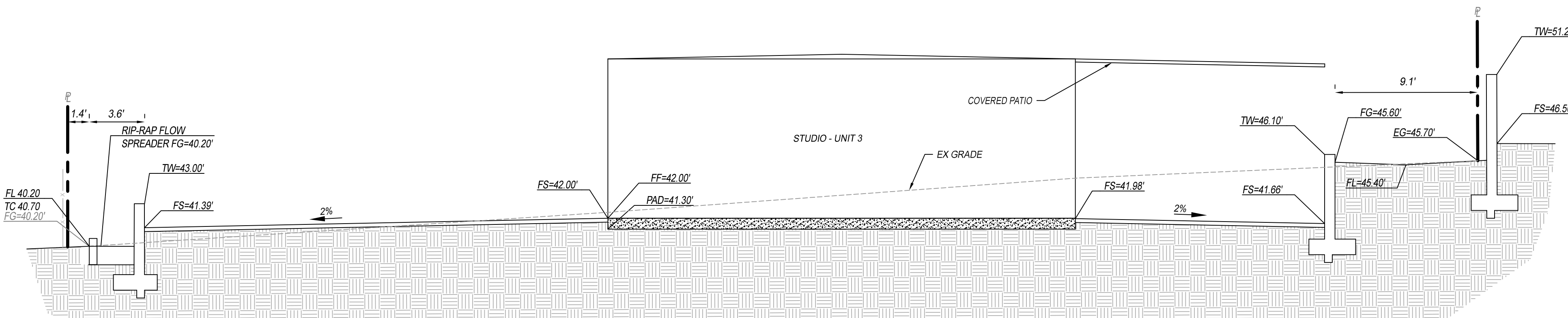
PRELIMINARY SITE SECTIONS

COASTAL DEVELOPMENT PERMIT 2023-0011

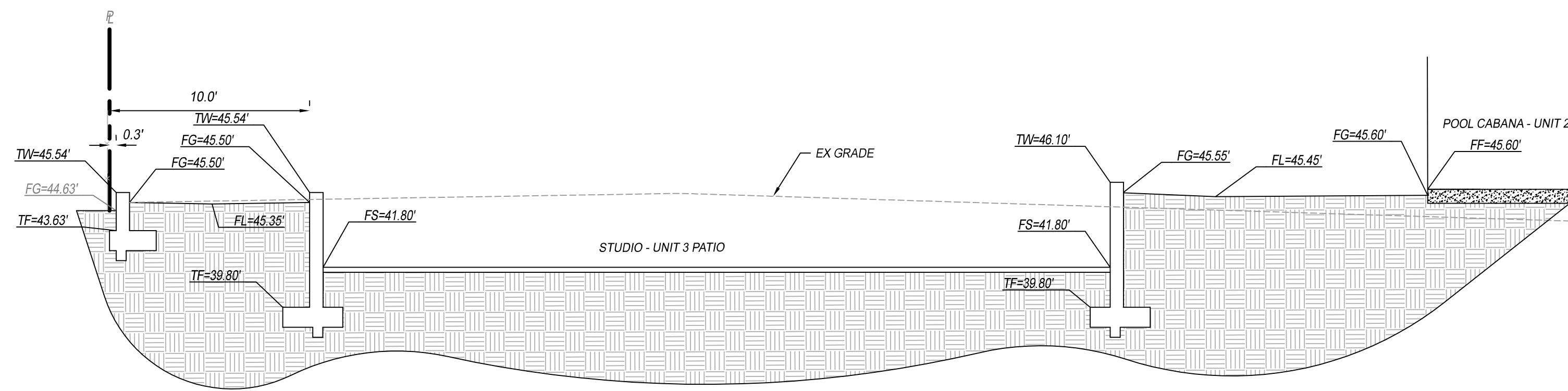
314 DATE AVENUE, CARLSBAD, CA 92008



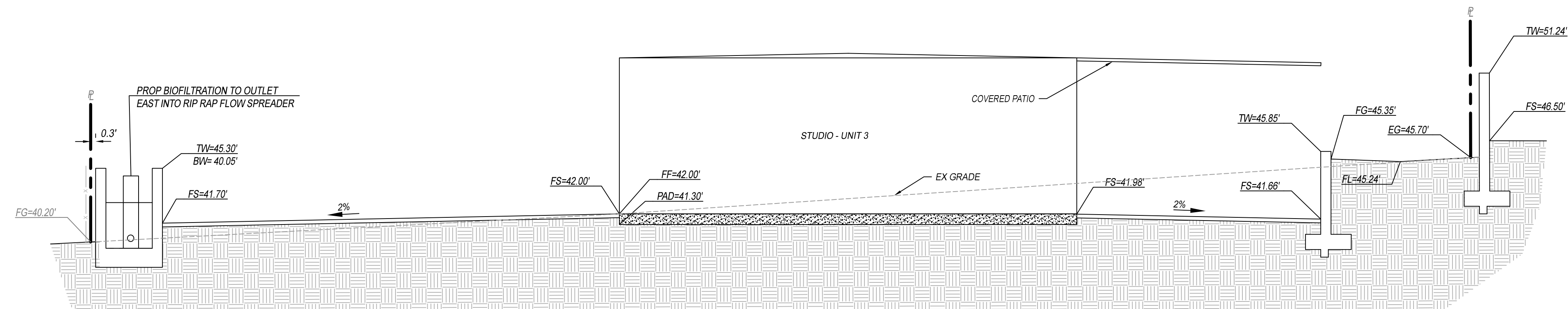
(A) SITE CROSS SECTION
SCALE: N.T.S.



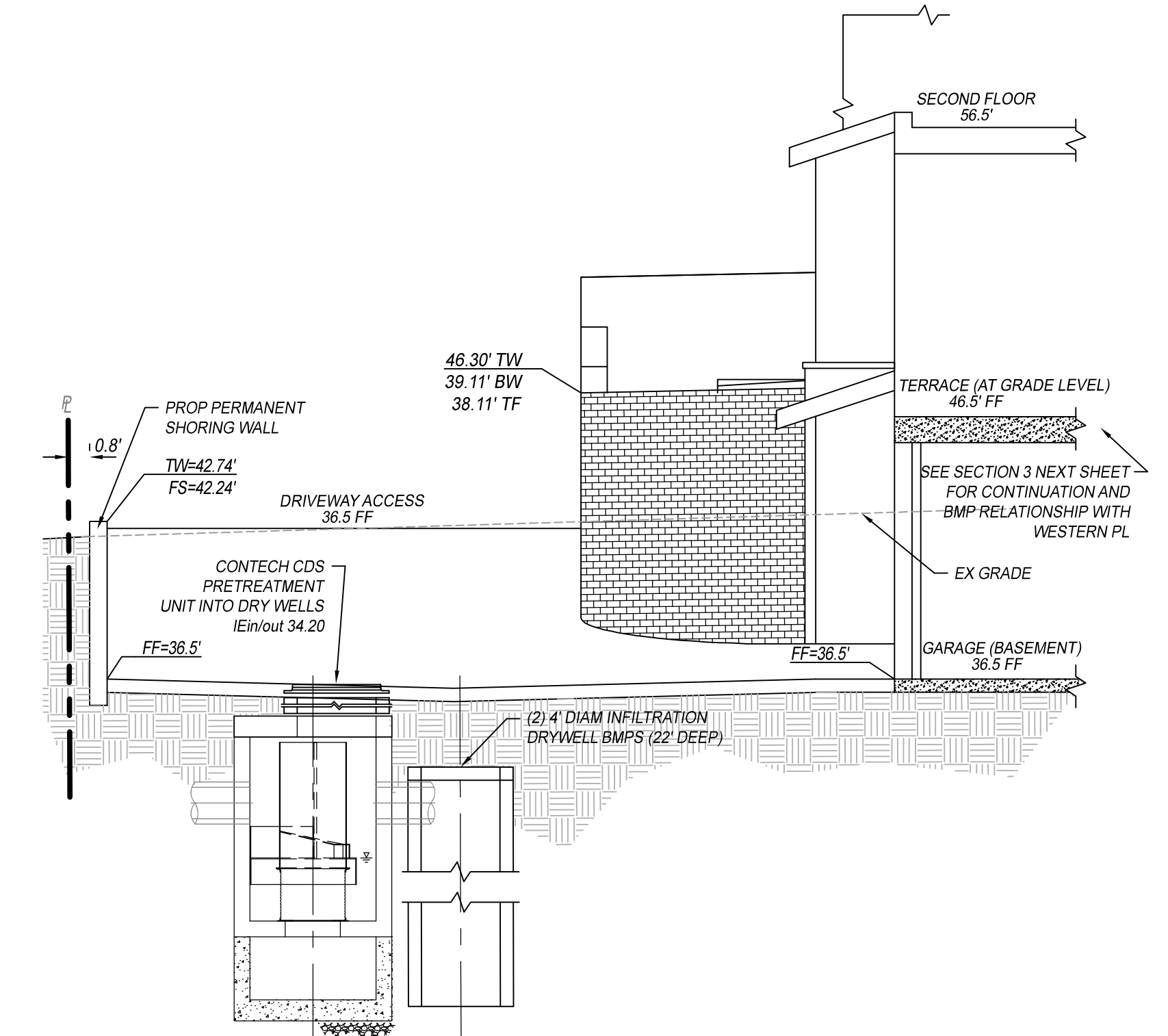
(B) SITE CROSS SECTION
SCALE: N.T.S.



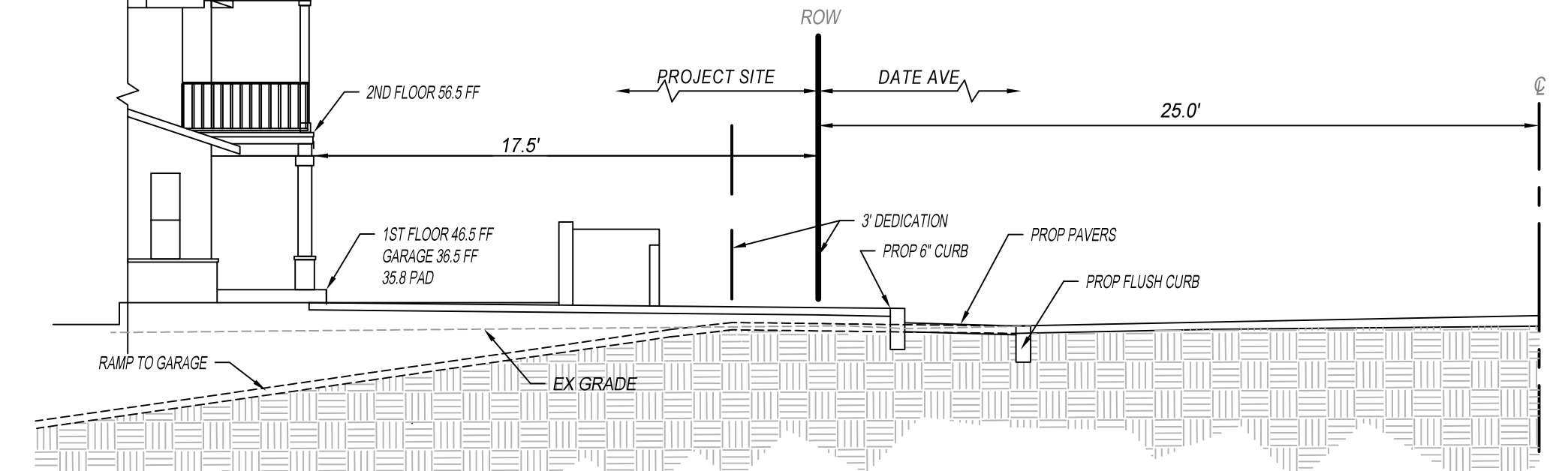
(C) SITE CROSS SECTION
SCALE: N.T.S.



(D) SITE CROSS SECTION
SCALE: N.T.S.



(E) SITE CROSS SECTION
SCALE: N.T.S.



(F) SITE CROSS SECTION
SCALE: N.T.S.

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STORMWATER DETAILS

COASTAL DEVELOPMENT PERMIT 2023-0011

314 DATE AVENUE, CARLSBAD, CA 92008

BMP NOTES

- THESE BMPs ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR THEIR PLANS
- THERE SHALL BE NO CHANGES TO THE PROPOSED BMPs ON THIS SHEET WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEERING DEPARTMENT
- NO SUBSTITUTIONS TO THE MATERIAL TYPES OR PLANTING TYPES WITHOUT PRIOR APPROVAL FROM THE LAND DEVELOPMENT ENGINEER
- NO OCCUPANCY WILL BE GRANTED UNTIL THE CITY INSPECTOR STAFF HAS INSPECTED THIS PROJECT FOR APPROPRIATE BMP CONSTRUCTION AND INSTALLATION.

WATER QUALITY TECHNICAL REPORT

TITLE - PRIORITY DEVELOPMENT PROJECT STORM WATER QUALITY MANAGEMENT REPORT FOR 420 LADO DE LOMA
 DATE - MARCH 2024
 PREPARED BY - PASCO LARET SUITER & ASSOCIATES

IMPERVIOUS AREA TABULATIONS:

EXISTING IMPERVIOUS AREA: 4,172 S.F. (0.10 ACRES, 20%)
 PROPOSED IMPERVIOUS AREA: 14,881 S.F. (0.34 ACRES, 73%)

EX-1 EXISTING RUNOFF FACTOR (C) = 0.42
 PROPOSED RUNOFF FACTOR (C) = 0.72

EXISTING PEAK RUNOFF Q = CIA
 WHERE:
 A = SITE AREA (AC)
 I = 6.59 IN/HR = 100 YR RAINFALL INTENSITY
 C_{peak} = 0.42 * 6.59 * 0.46 = 1.29 CFS

PROPOSED PEAK RUNOFF Q = CIA
 WHERE:
 A = SITE AREA (AC)
 I = 4.4 IN/HR = 100 YR RAINFALL INTENSITY
 C_{peak} = 0.72 * 4.4 * 0.46 = 1.28 CFS

PLAN VIEW B-B
N.T.S.

ELEVATION A-A
N.T.S.

CDS2015-4-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	*
GRATED INLET WITH INLET PIPE OR PIPES	*
CURB INLET ONLY (NO INLET PIPE)	*
CURB INLET WITH INLET PIPE OR PIPES	*
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	*
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS	*

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)	*		
PEAK FLOW RATE (CFS OR L/s)	*		
RETURN PERIOD OF PEAK FLOW (YRS)	*		
SCREEN APERTURE (2400 OR 4700)	*		
PIPE DATA	IE	MATERIAL	DIAMETER
INLET PIPE 1	*	*	*
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			*
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO H200 AND CASTINGS SHALL MEET H200 (AASHTO M 288) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

FRAME AND COVER
N.T.S.

CDS2015-4-C
INLINE CDS
STANDARD DETAIL

BIOFILTRATION BMP SIZE & ORIFICE DIAMETER SUMMARY

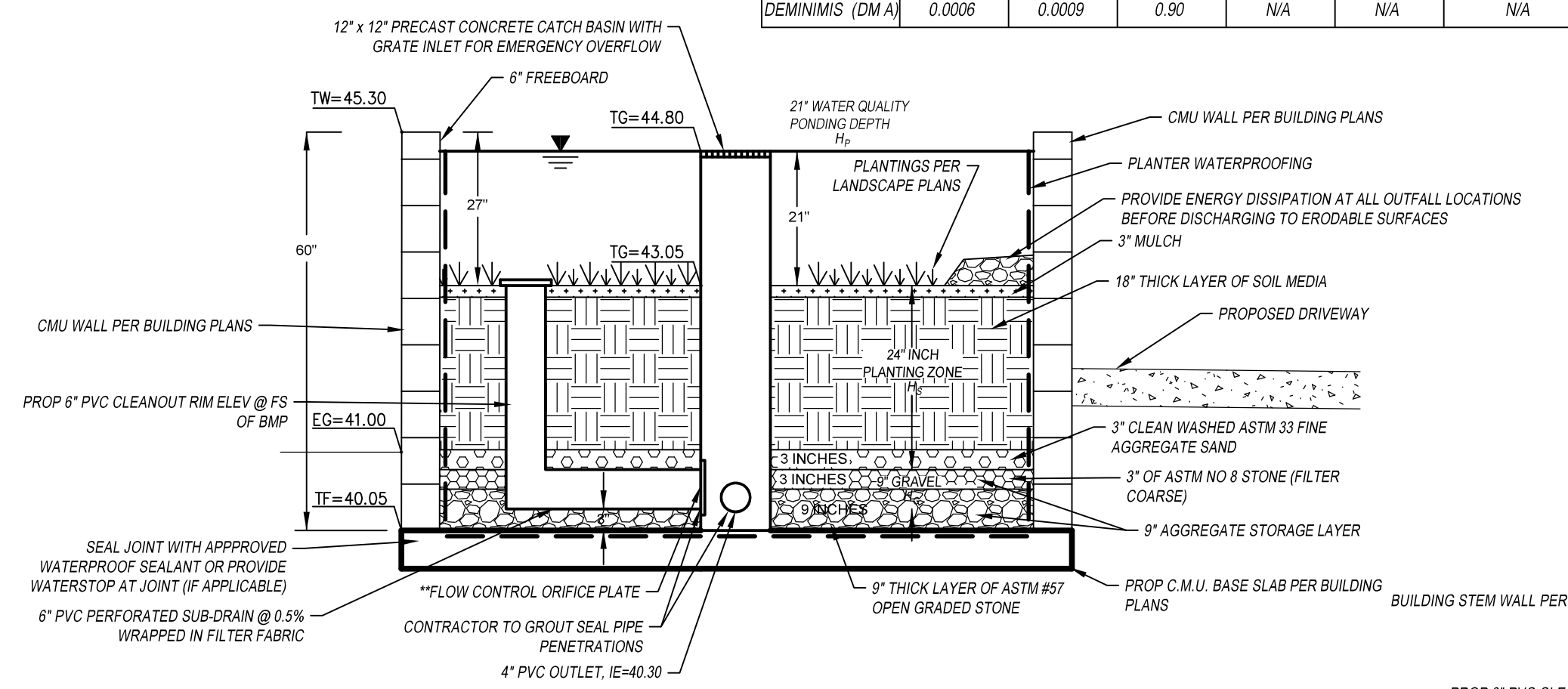
BMP #	H ₂ (FT)	H ₂ (FT)	H ₂ (FT)	HMP ORIFICE (IN)	A _{1/2} (FT ²)	A _{POUNDING} (FT ²)
1	1.75	2	0.75	0.3125	234	343
2	2.0	2	0.75	0.3125	211	211
3	0.75	2	0.67	0.3125	120	247

DMA DATA TABLE

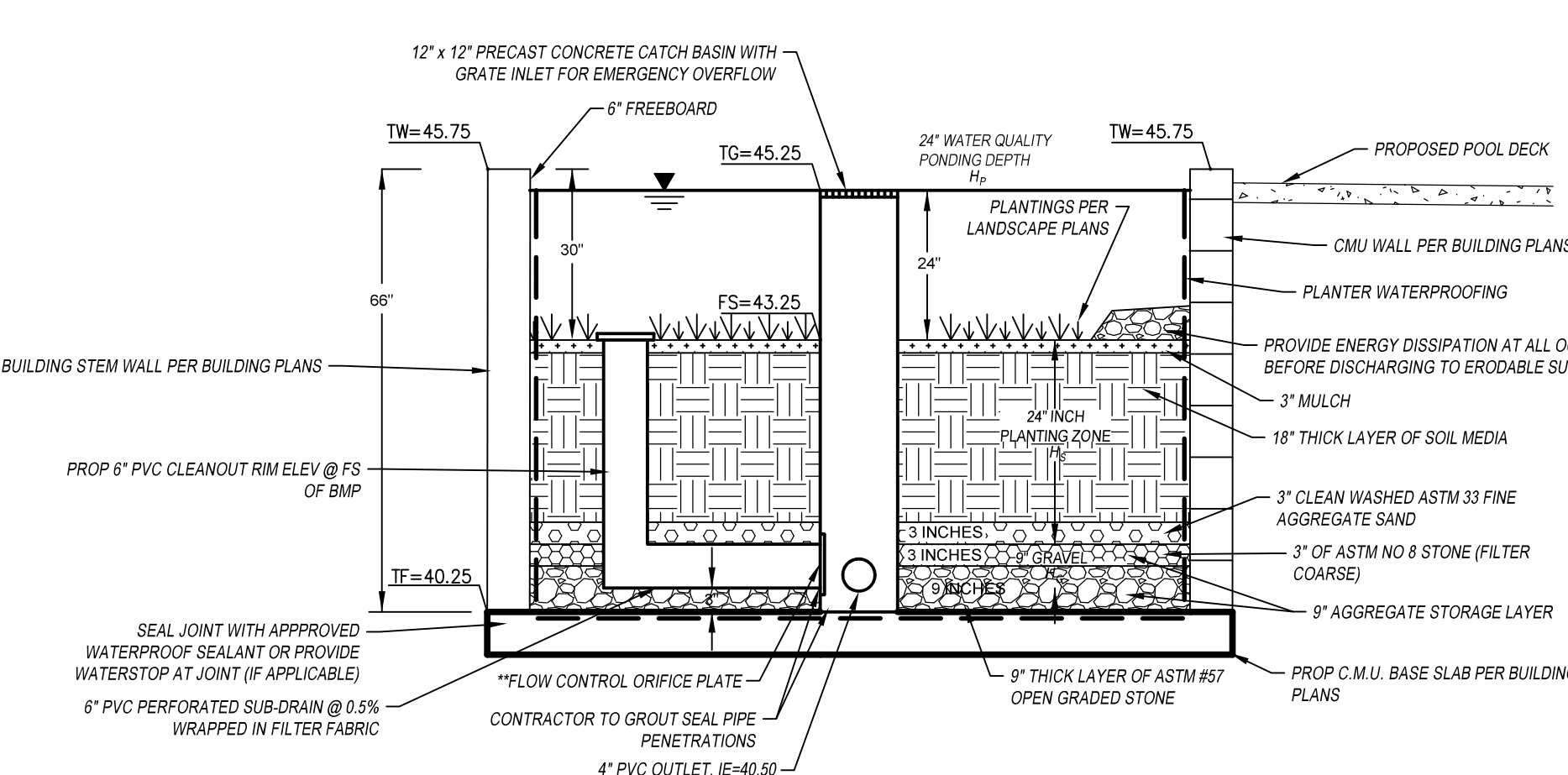
DMA #	TRIBUTARY AREA (AC)	IMPERV. AREA (AC)	RUNOFF COEFF.	DCV REQ'D (CU. FT.)	BMP ID	STRUCTURAL BMP TYPE
DMA-1	0.095	0.059	0.64	129	BMP-1	BF-1
DMA-2	0.137	0.108	0.78	220	BMP-2	BF-1
DMA-3	0.109	0.064	0.62	144	BMP-3	BF-1
DMA-4	0.106	0.106	0.90	201	BMP-4, 5, 6	INF-4
SELF-MITIGATING SM A	0.014	0	0.23	N/A	N/A	N/A
DEMINIMIS (DM A)	0.0005	0.0009	0.90	N/A	N/A	N/A

OTHER BMP SUMMARY

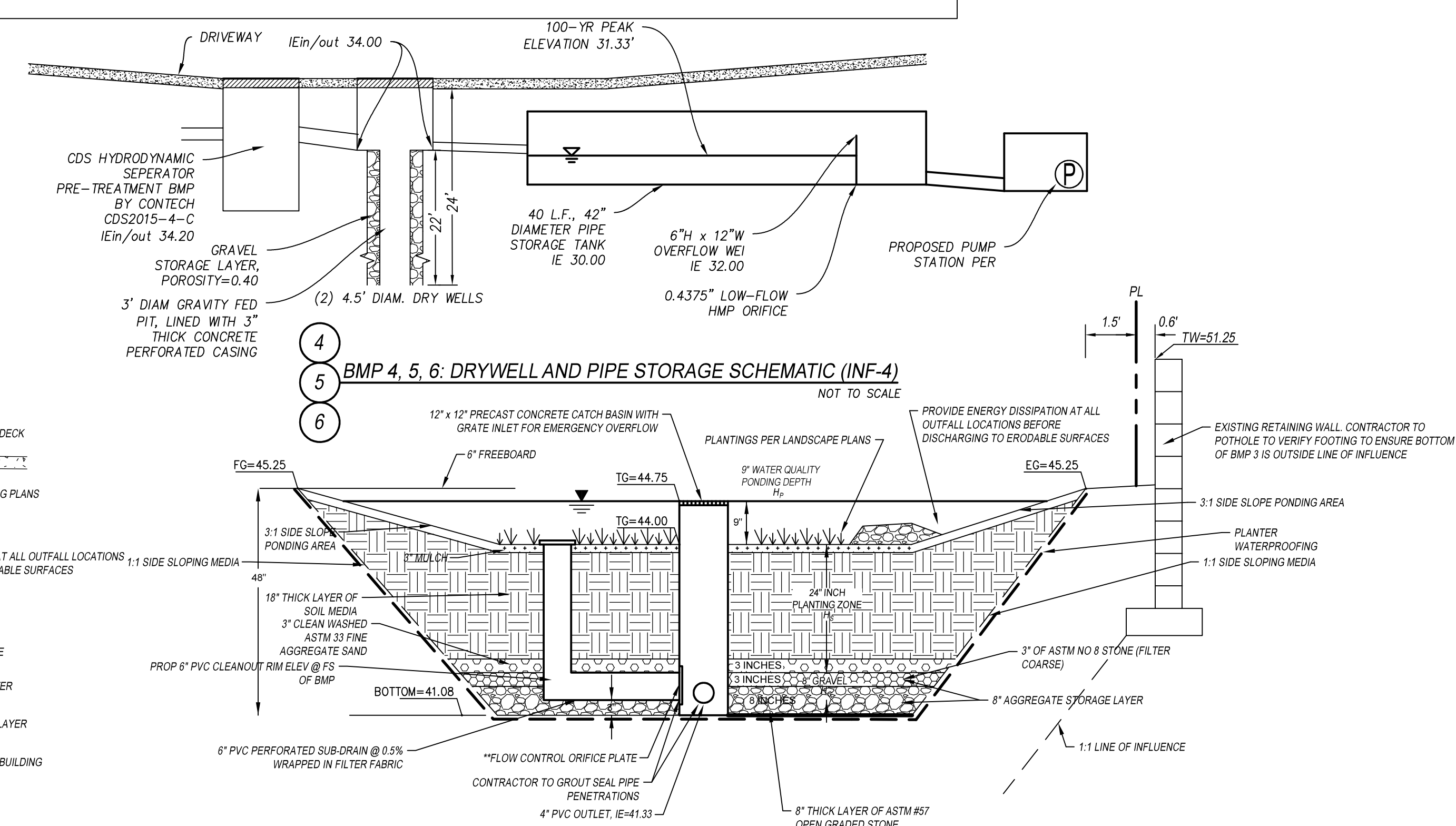
BMP #	BMP TYPE	BMP AREA	BMP OUTLET	OUTLET PIPE
4	CDS HYDRODYNAMIC SEPARATOR PRE-TREATMENT BMP BY CONTECH CDS2015-4-C	TBD	6" PVC DRAIN	6"
5	(2) INFILTRATION DRYWELLS (INF-4)	(2) 4' DIAM, 22' DEEP, WITH INTERNAL 3' DIAM CONCRETE PERFORATED CASING (4" THICK) TOTAL STORAGE=347 CF	INFILTRATION 0.125 IN/HR 6" PVC DRAIN @ TOP OF INFILTRATION STORAGE	6"
6	CONCRETE PIPE STORAGE TANK WITH HMP ORIFICE	42" DIAMETER 40 LINEAR FEET	0.4375" LOW-FLOW HMP ORIFICE AND 6" H x 12" W OVERFLOW WEIR TO 6" PVC DRAIN	6"



1 BMP 1: BIOFILTRATION CROSS SECTION (BF-1)
NOT TO SCALE



2 BMP 2: BIOFILTRATION CROSS SECTION (BF-1)
NOT TO SCALE



3 BMP 3: BIOFILTRATION CROSS SECTION (BF-1)
NOT TO SCALE

PASCO LARET SUITER & ASSOCIATES
 San Diego | Solana Beach | Orange County
 Phone 858.259.8212 | www.plsaengineering.com

REGISTERED PROFESSIONAL ENGINEER
 WILLIAM GREGG MACK
 No. 73620
 CIVIL
 STATE OF CALIFORNIA



PERSPECTIVE VIEW



PERSPECTIVE VIEW



SOUTHEAST VIEW



NORTHEAST VIEW



WEST VIEW

WALL LEGEND	
	STONE VENEER
	NEW WALL
	12" CMU WALL

GARAGE WALL LEGEND		
WALL	LENGTH	QUALIFY AS BASEMENT
(A)	13'	13'
(B)	39'	39'
(C)	48'	0
(D)	11'	11'
(E)	3'	3'
(F)	49'	49'
(G)	44'	44'
(H)	21'	21'
TOTAL	234'	186'

CALCULATIONS

TOTAL PERIMETER: $39' + 13' + 11' + 48' + 49' + 3' + 21' + 44' = 224'$

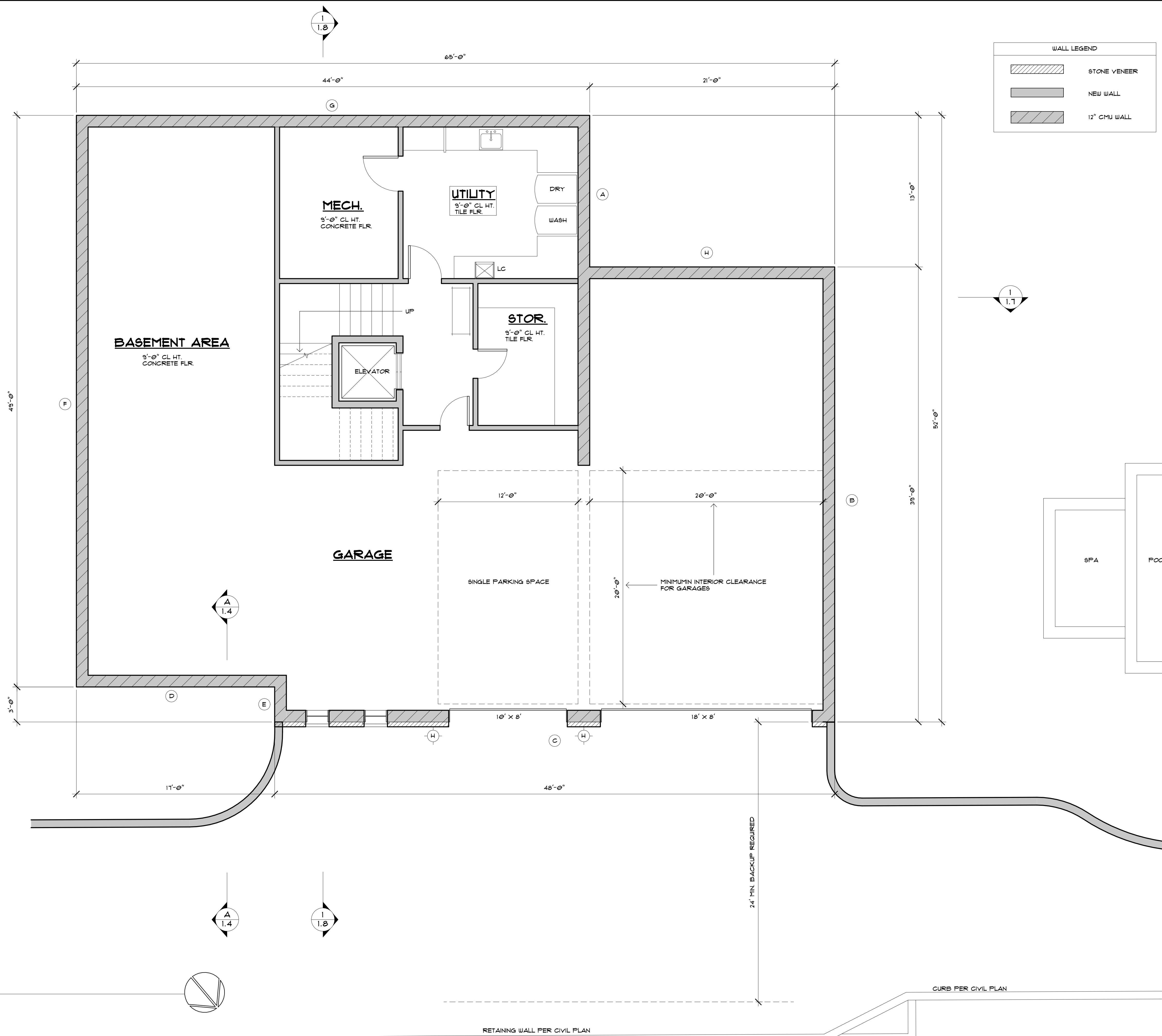
PERIMETER AT WHICH THE VERTICAL DISTANCE FROM EXTERIOR GRADE TO INTERIOR FLOOR BELOW IS GREATER THAN THE VERTICAL DISTANCE FROM EXTERIOR GRADE TO THE ADJACENT INTERIOR CEILING ABOVE: (PER SECTION 21.04.045)

$44' + 21' + 3' + 49' + 11' + 13' + 39' = 186'$

$186' / 224' = .83 \times 100 = 83.5\% > 75\%$, THEREFORE IT IS A BASEMENT

* GARAGE MEETS THE DEFINITION OF A BASEMENT PER CMC 21.04.045 - SEE SHEET 1.1 § 1.4 FOR BASEMENT CALCULATIONS

* PURSUANT TO CMC 21.04.065, BUILDING HEIGHT INCLUDES ALL PORTIONS OF A BUILDING EXPOSED ABOVE THE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL PORTIONS OF EXTERIOR WALLS OF A BASEMENT, UNDERGROUND PARKING OR OTHER SUBTERRANEAN AREAS THAT ARE EXPOSED ABOVE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER, AND THE EXPOSED EXTERIOR PORTION OF A BASEMENT LOCATED ON THE DOWNHILL OR UPHILL SIDE OF A BUILDING ON A SLOPING LOT, BUT DOES NOT INCLUDE THE EXPOSED PORTION OF AN 'UNDERGROUND PARKING' STRUCTURE ENTRANCE THAT IS MINIMALLY NECESSARY TO PROVIDE VEHICLE ACCESS TO THE 'UNDERGROUND PARKING' STRUCTURE AND WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, OF THE AREA THAT IS IMMEDIATELY ADJACENT TO THE 'UNDERGROUND PARKING' STRUCTURE

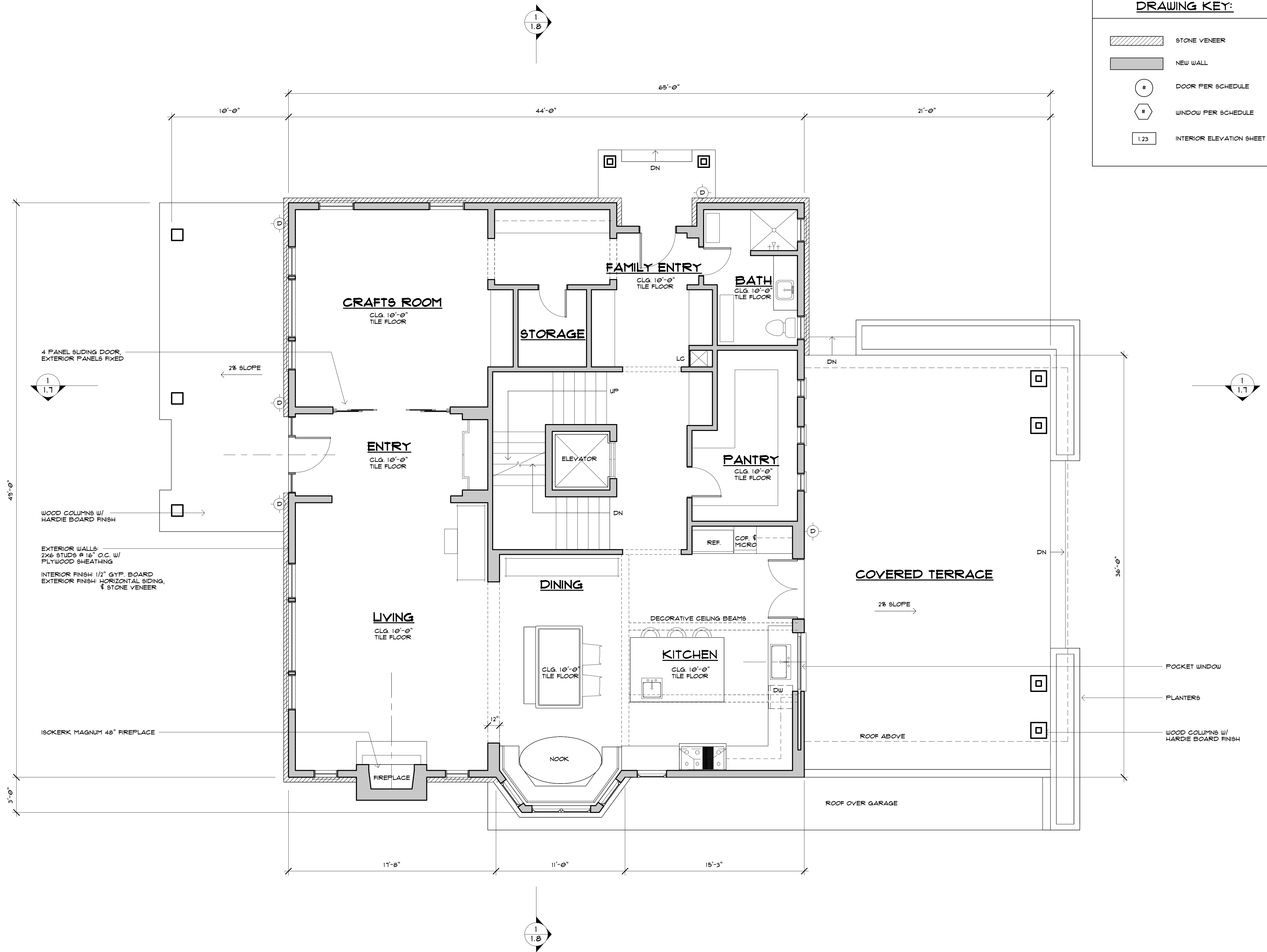


GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"

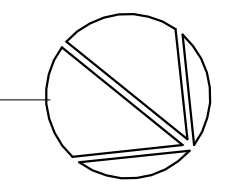
DRAWING KEY:

	STONE VENEER
	NEW WALL
	DOOR PER SCHEDULE
	WINDOW PER SCHEDULE
	INTERIOR ELEVATION SHEET #



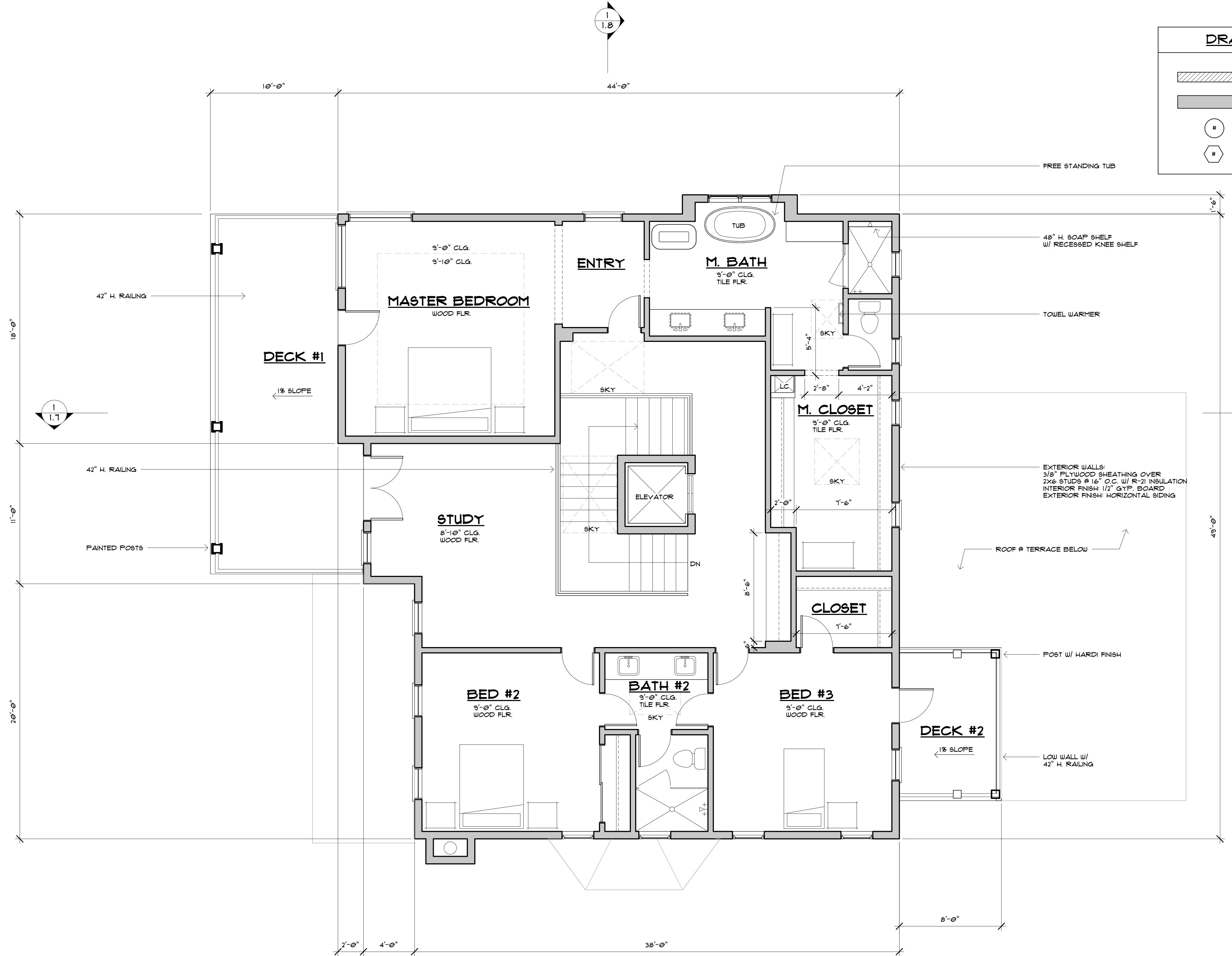
MAIN LEVEL FLOOR PLAN - NOTED

SCALE: 1/4" = 1'-0"



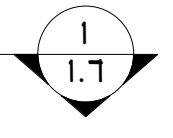
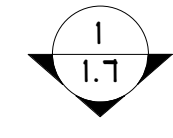
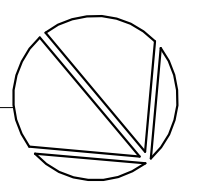
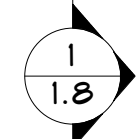
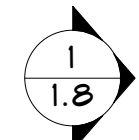
DRAWING KEY:

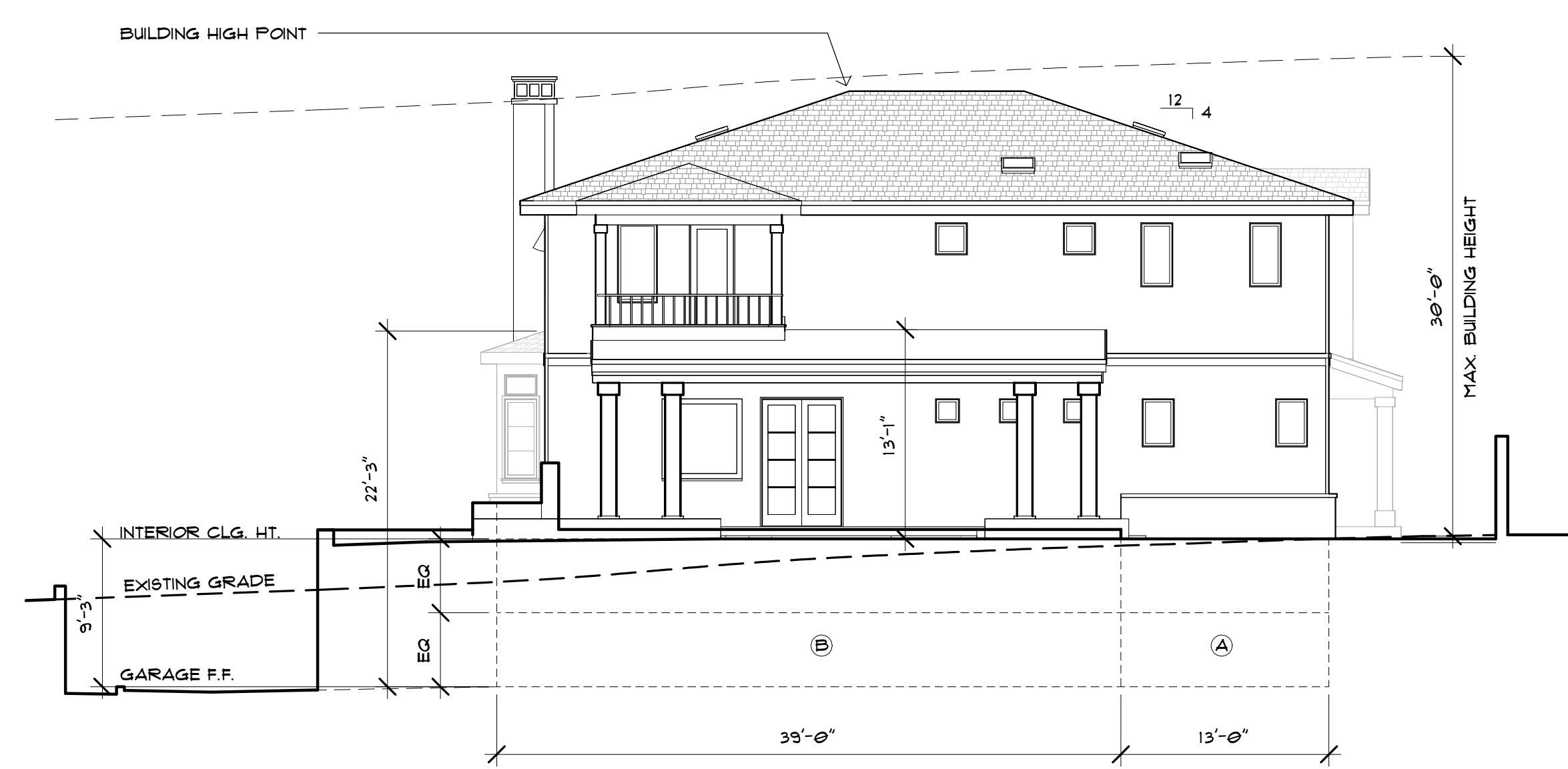
- STONE VENEER
- NEW WALL
- DOOR PER SCHEDULE
- WINDOW PER SCHEDULE



UPPER LEVEL FLOOR PLAN

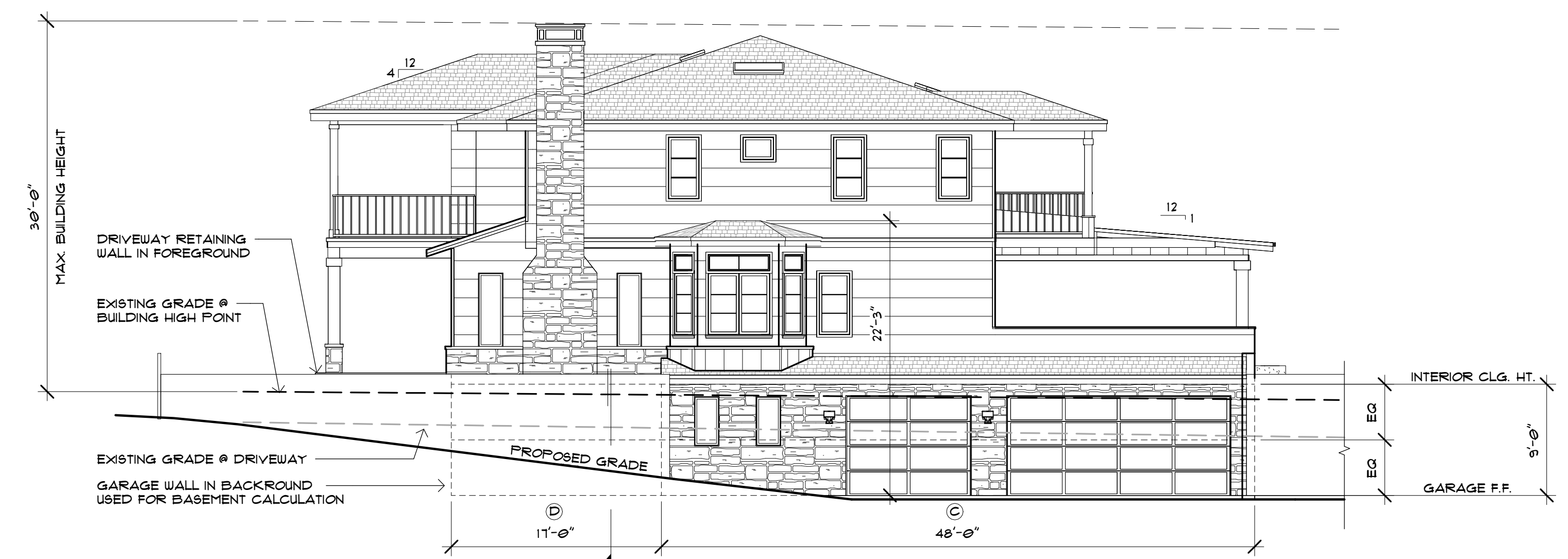
SCALE: 1/4" = 1'-0"





NORTH

SCALE: 1/8" = 1'-0"



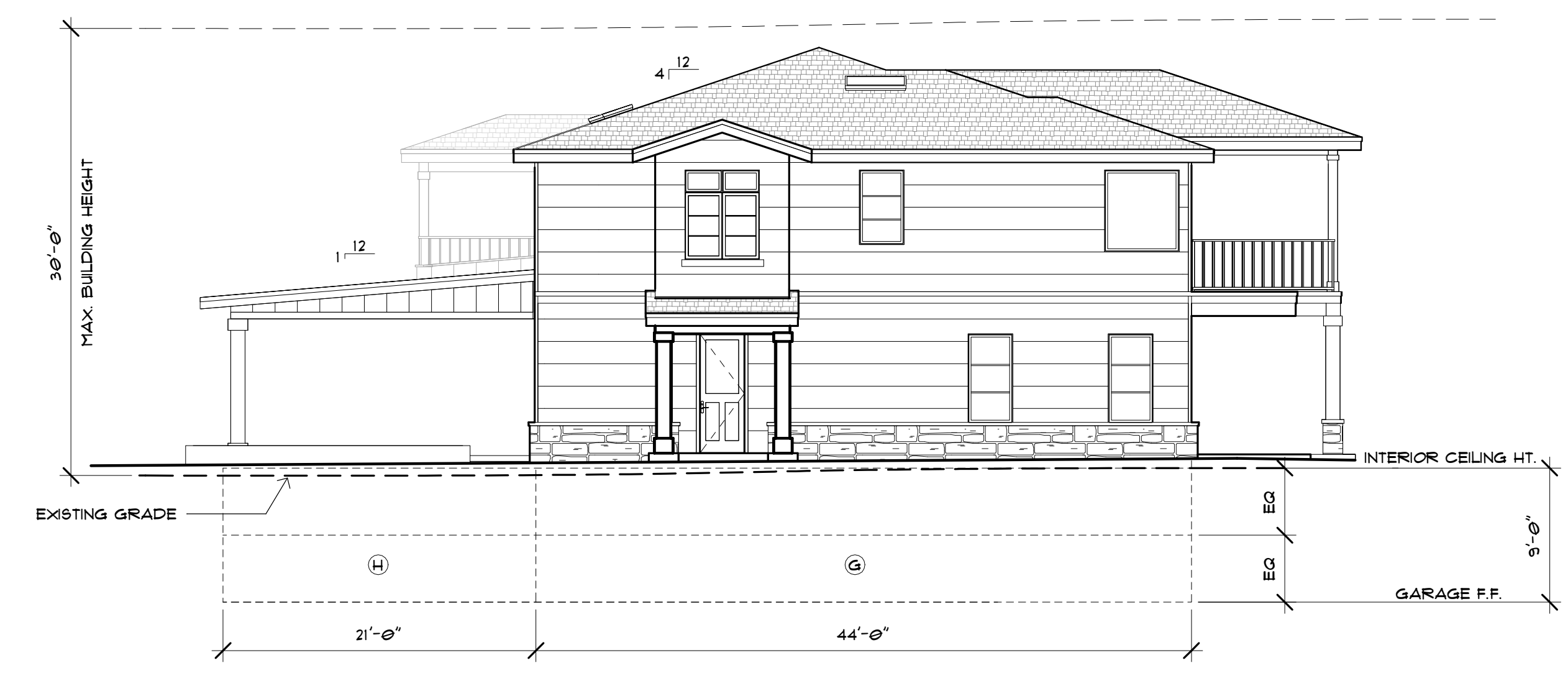
EAST

SCALE: 1/8" = 1'-0"



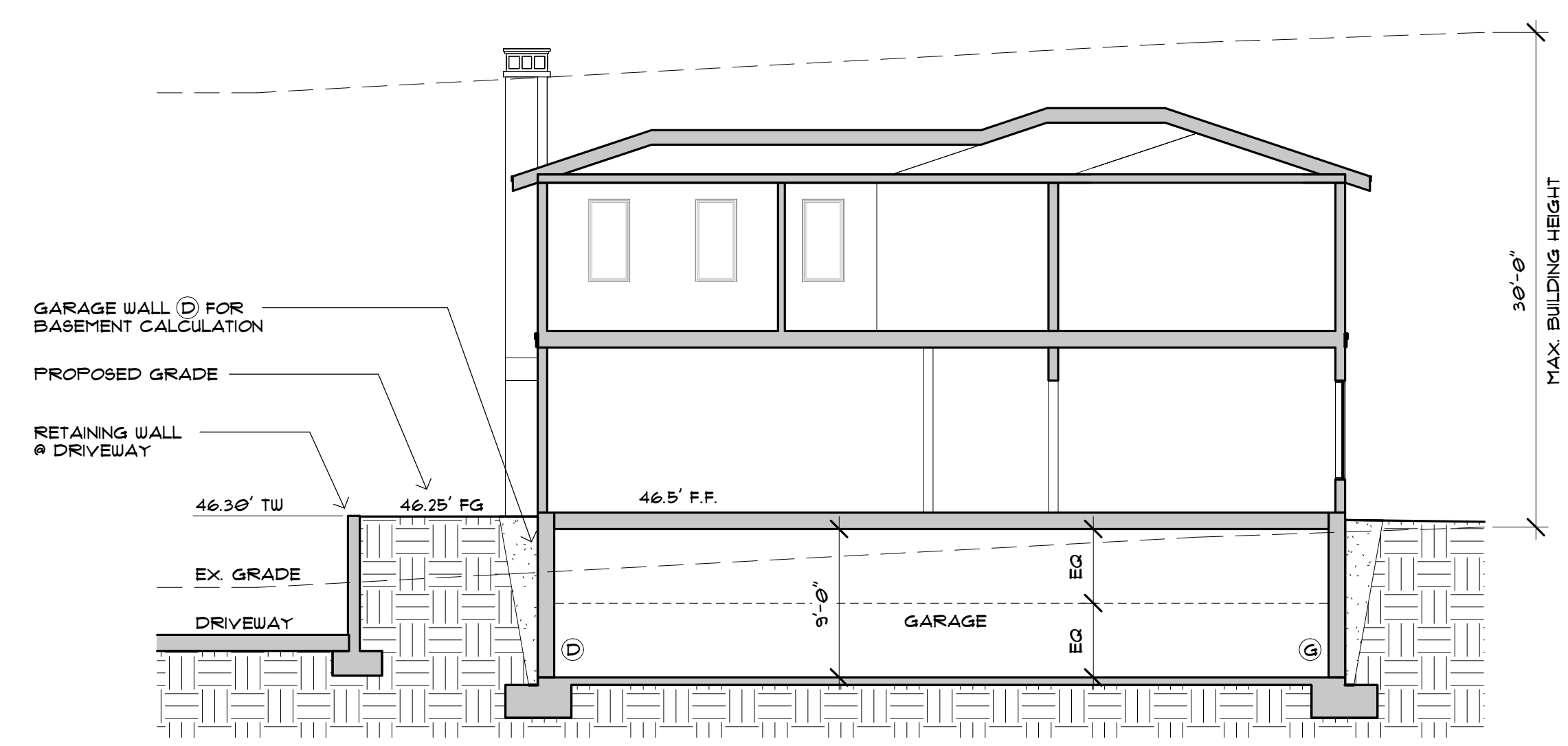
SOUTH

SCALE: 1/8" = 1'-0"



WEST

SCALE: 1/8" = 1'-0"



A RETAINING WALL SECTION

SCALE: 1/8" = 1'-0"

GARAGE WALL LEGEND		
WALL	LENGTH	QUALIFY AS BASEMENT
(A)	13'	13'
(B)	39'	39'
(C)	48'	-
(D)	11'	11'
(E)	3'	3'
(F)	49'	49'
(G)	44'	44'
(H)	21'	21'
TOTAL	234'	186'

CALCULATIONS
 TOTAL PERIMETER: 39' + 13' + 11' + 48' + 49' + 3' + 21' + 44' = 234'
 PERIMETER AT WHICH THE VERTICAL DISTANCE FROM EXTERIOR GRADE TO INTERIOR FLOOR BELOW IS GREATER THAN THE VERTICAL DISTANCE FROM EXTERIOR GRADE TO THE ADJACENT INTERIOR CEILING ABOVE: (PER SECTION 21.04.045)
 44' + 21' + 3' + 49' + 11' + 13' + 39' = 186'
 186' / 234' = .795 x 100 = 79.5% > 75%. THEREFORE IT IS A BASEMENT

GARAGE MEETS THE DEFINITION OF A BASEMENT PER CMC 21.04.045
 - SEE SHEET 1.1 § 1.4 FOR BASEMENT CALCULATIONS

PURSUANT TO CMC 21.04.065, BUILDING HEIGHT INCLUDES ALL PORTIONS OF A BUILDING EXPOSED ABOVE THE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL PORTIONS OF EXTERIOR WALLS OF A BASEMENT, UNDERGROUND PARKING OR OTHER SUBTERRANEAN AREAS THAT ARE EXPOSED ABOVE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS LOWER, AND THE EXPOSED EXTERIOR PORTION OF A BASEMENT LOCATED ON THE DOWNHILL OR UPHILL SIDE OF A BUILDING ON A SLOPING LOT, BUT DOES NOT INCLUDE THE EXPOSED PORTION OF AN "UNDERGROUND PARKING" STRUCTURE ENTRANCE THAT IS MINIMALLY NECESSARY TO PROVIDE VEHICLE ACCESS TO THE "UNDERGROUND PARKING" STRUCTURE AND WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, OF THE AREA THAT IS IMMEDIATELY ADJACENT TO THE "UNDERGROUND PARKING" STRUCTURE



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



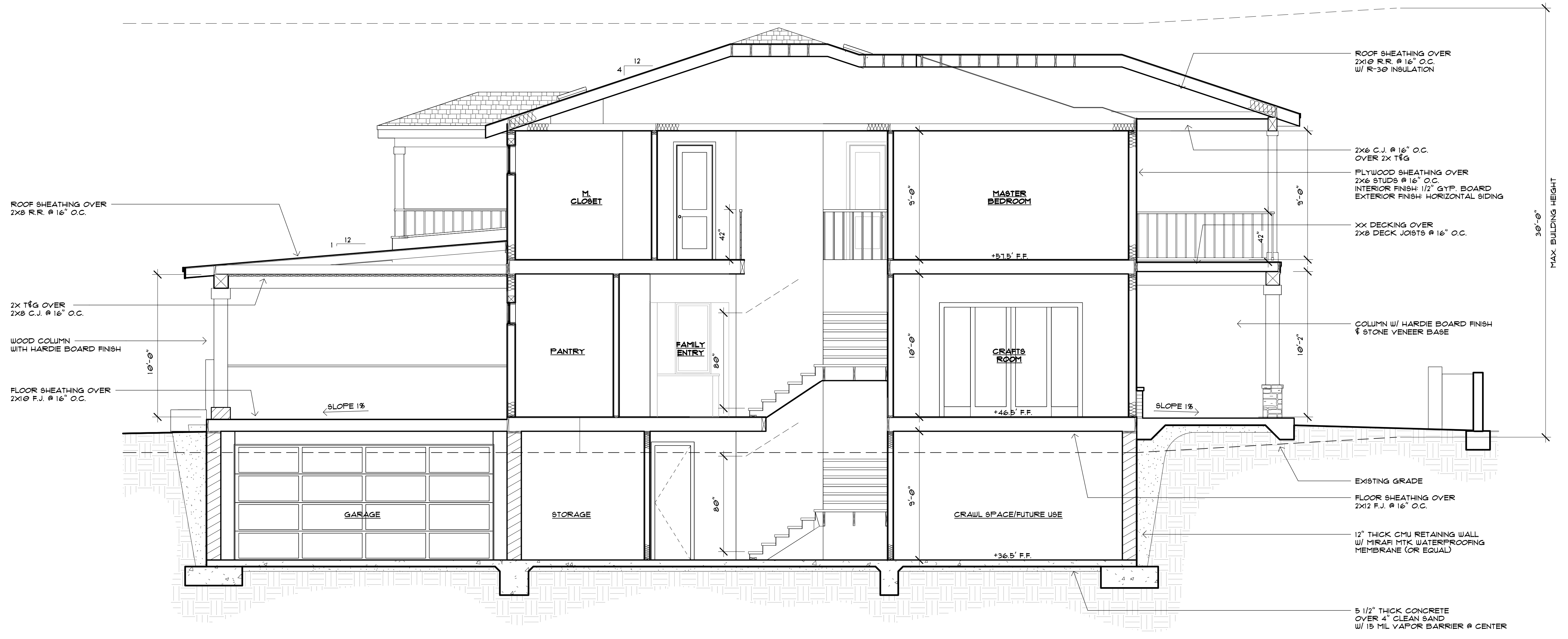
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

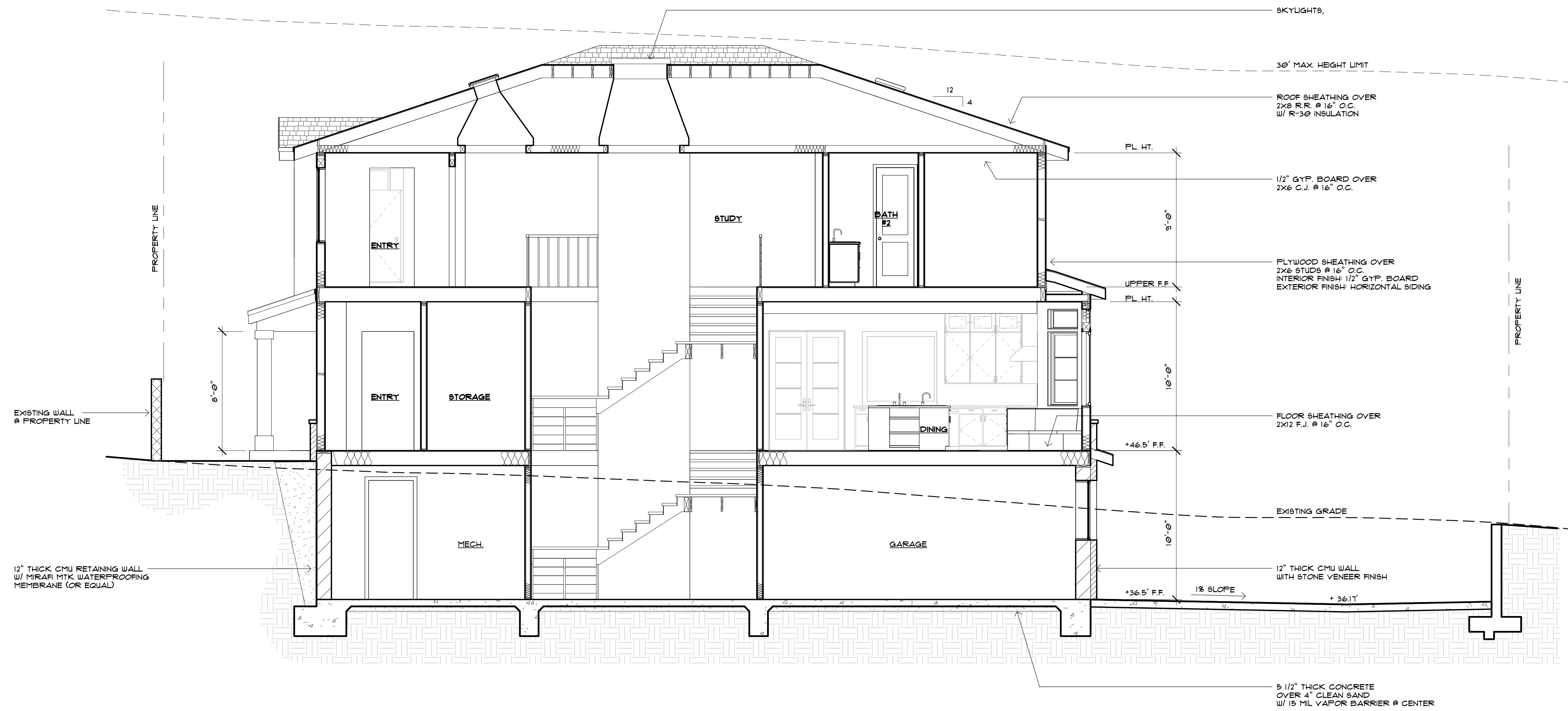


WEST ELEVATION

SCALE: 1/4" = 1'-0"



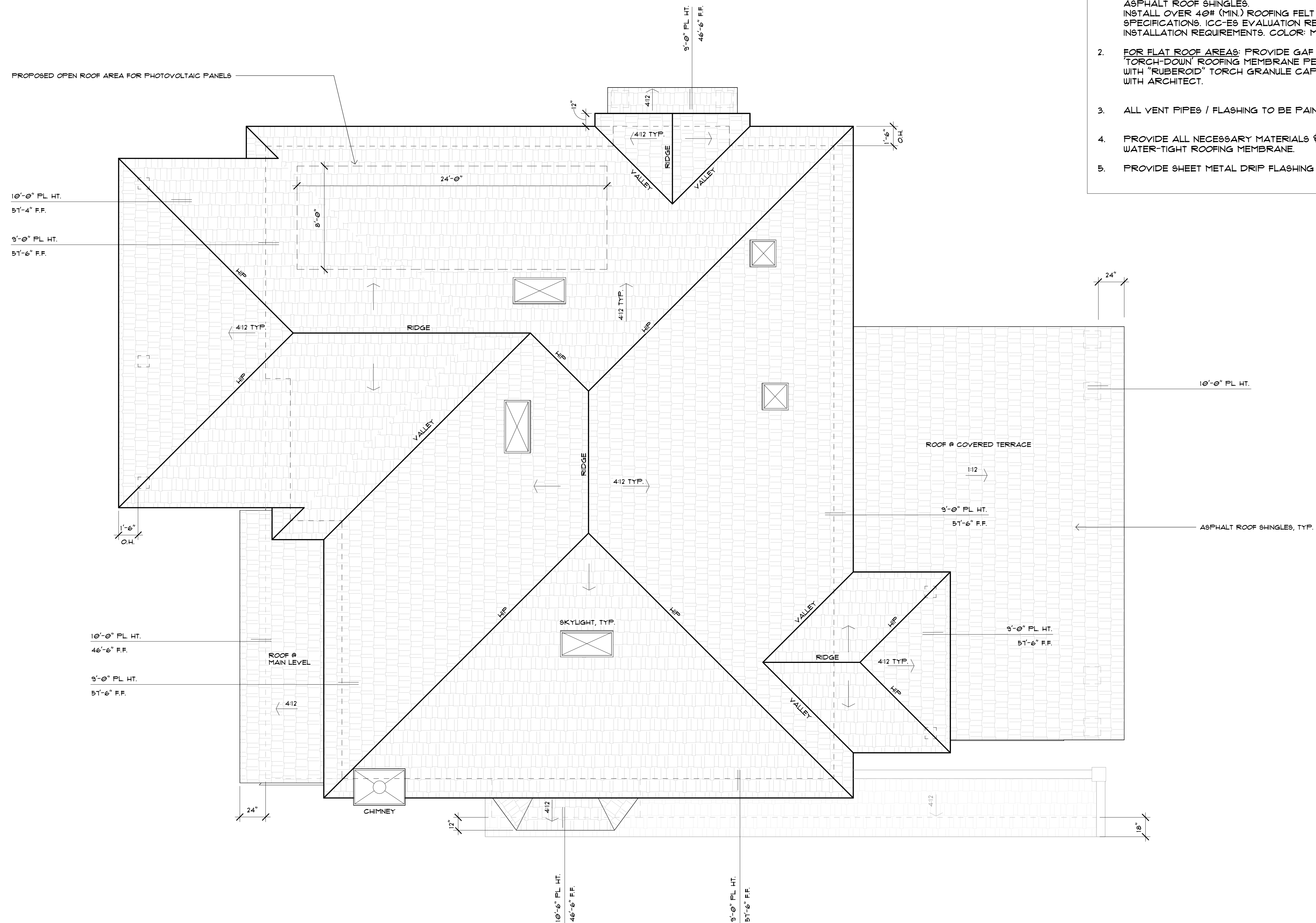
1 MAIN RESIDENCE CROSS SECTION
SCALE: 1/4" = 1'-0"



1 MAIN RESIDENCE BUILDING SECTION
SCALE: 1/4" = 1'-0"

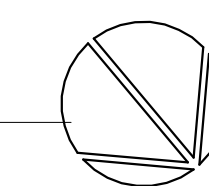
ROOF PLAN NOTES:

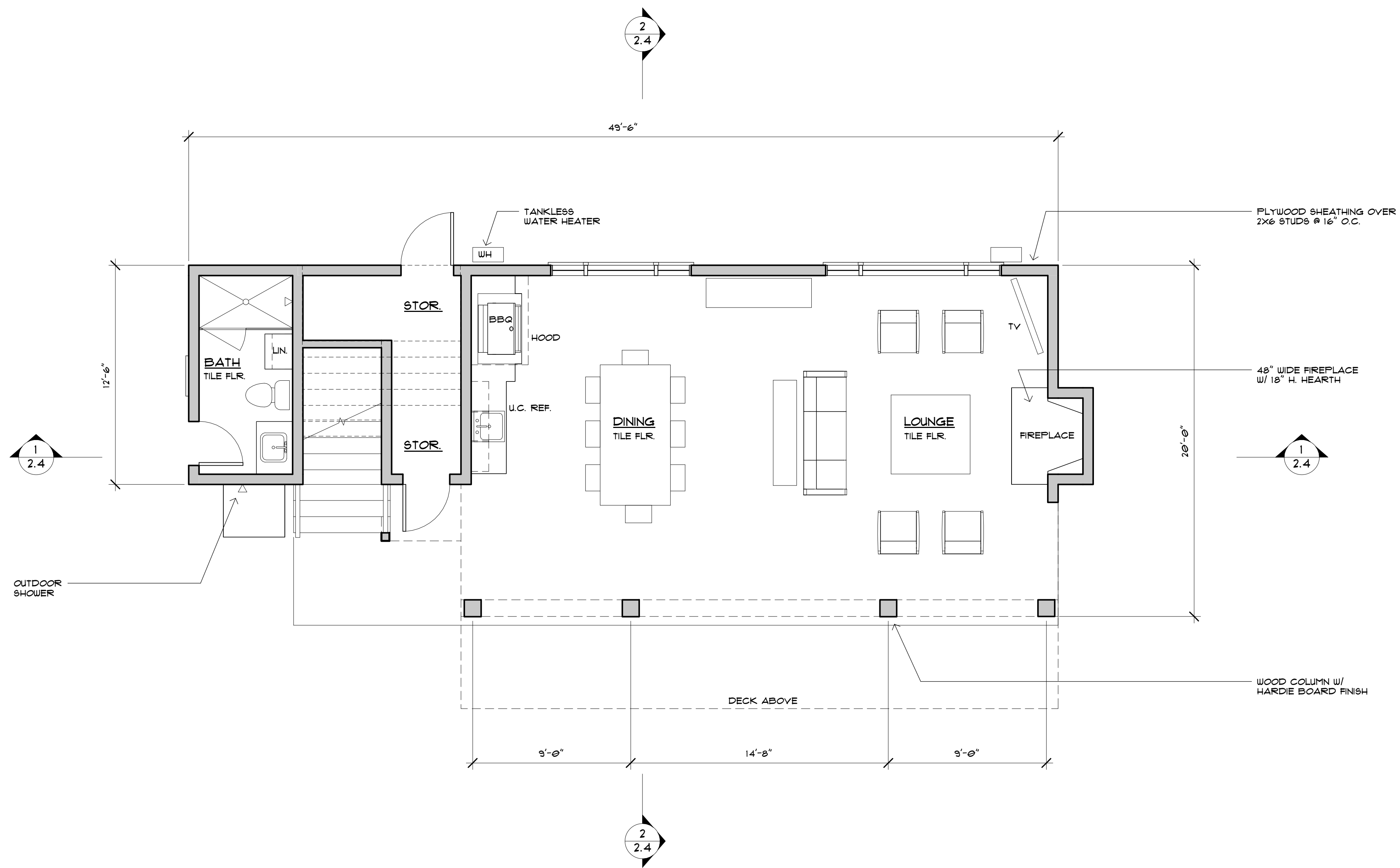
1. FOR AREAS WITH ROOF TILE: INSTALL CLASS 'A' BORAL ASPHALT ROOF SHINGLES. INSTALL OVER 40# (MIN.) ROOFING FELT PER MANUFACTURER'S SPECIFICATIONS. ICC-ES EVALUATION REPORT #ESR-1041 FOR INSTALLATION REQUIREMENTS. COLOR: MATCH EXISTING
2. FOR FLAT ROOF AREAS: PROVIDE GAF "RUBEROID" TORCH-DOWN ROOFING MEMBRANE PER ICC ESR-1214 REPORT. WITH "RUBEROID" TORCH GRANULE CAP SHEET. CONFIRM COLOR WITH ARCHITECT.
3. ALL VENT PIPES / FLASHING TO BE PAINTED TO MATCH ROOFING
4. PROVIDE ALL NECESSARY MATERIALS & FLASHING TO INSURE A WATER-TIGHT ROOFING MEMBRANE.
5. PROVIDE SHEET METAL DRIP FLASHING AT NEW ROOF EDGES.



ROOF PLAN - MAIN RESIDENCE

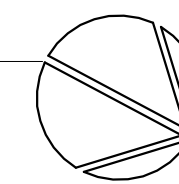
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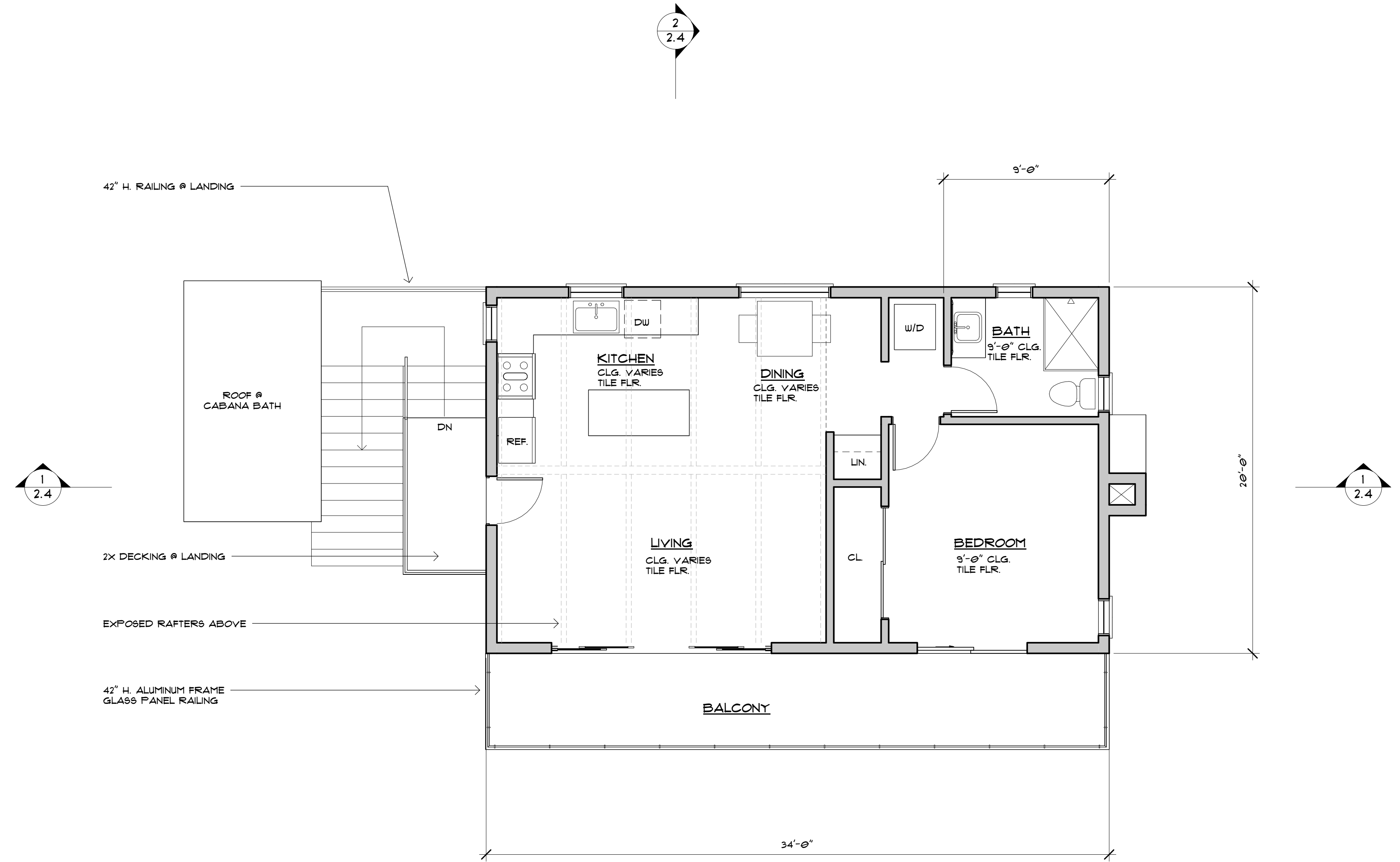




CABANA FLOOR PLAN

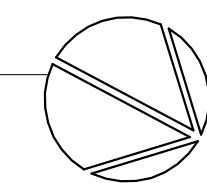
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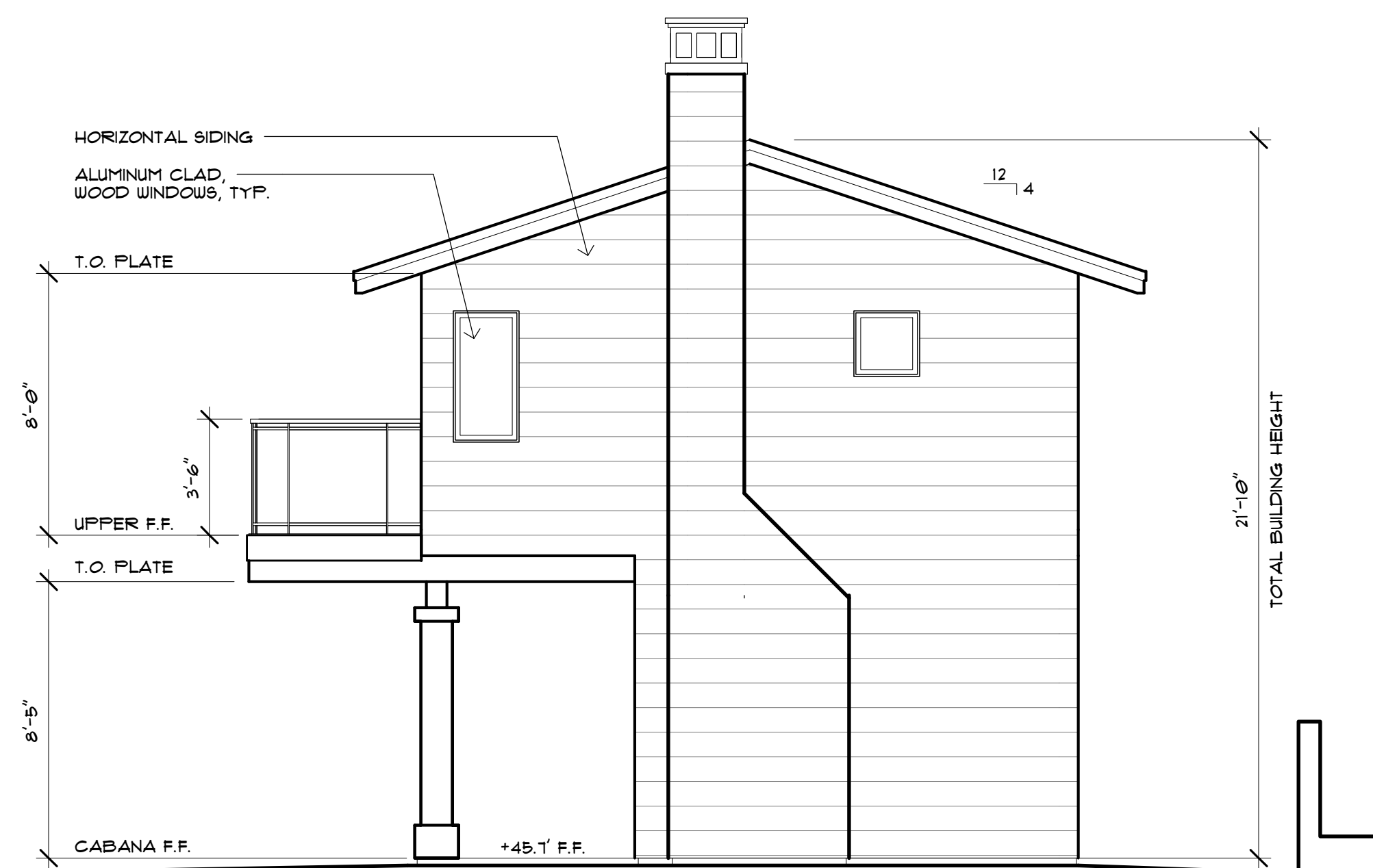




UNIT 2 FLOOR PLAN

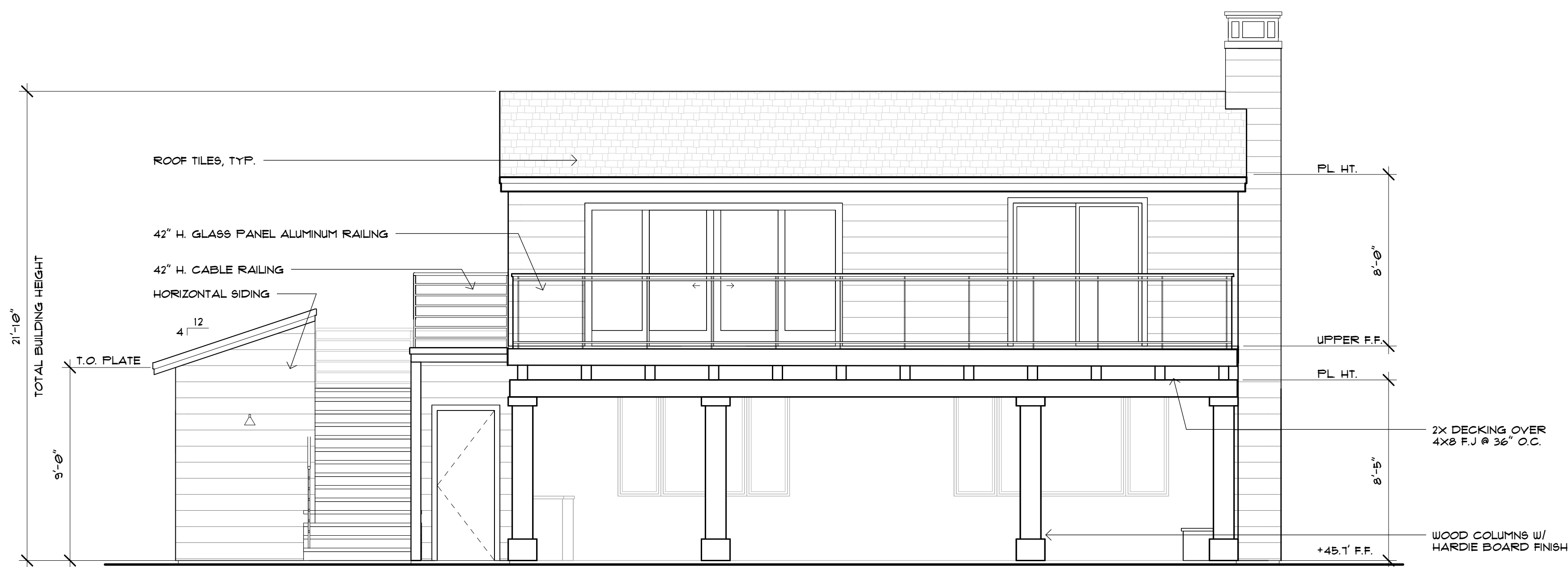
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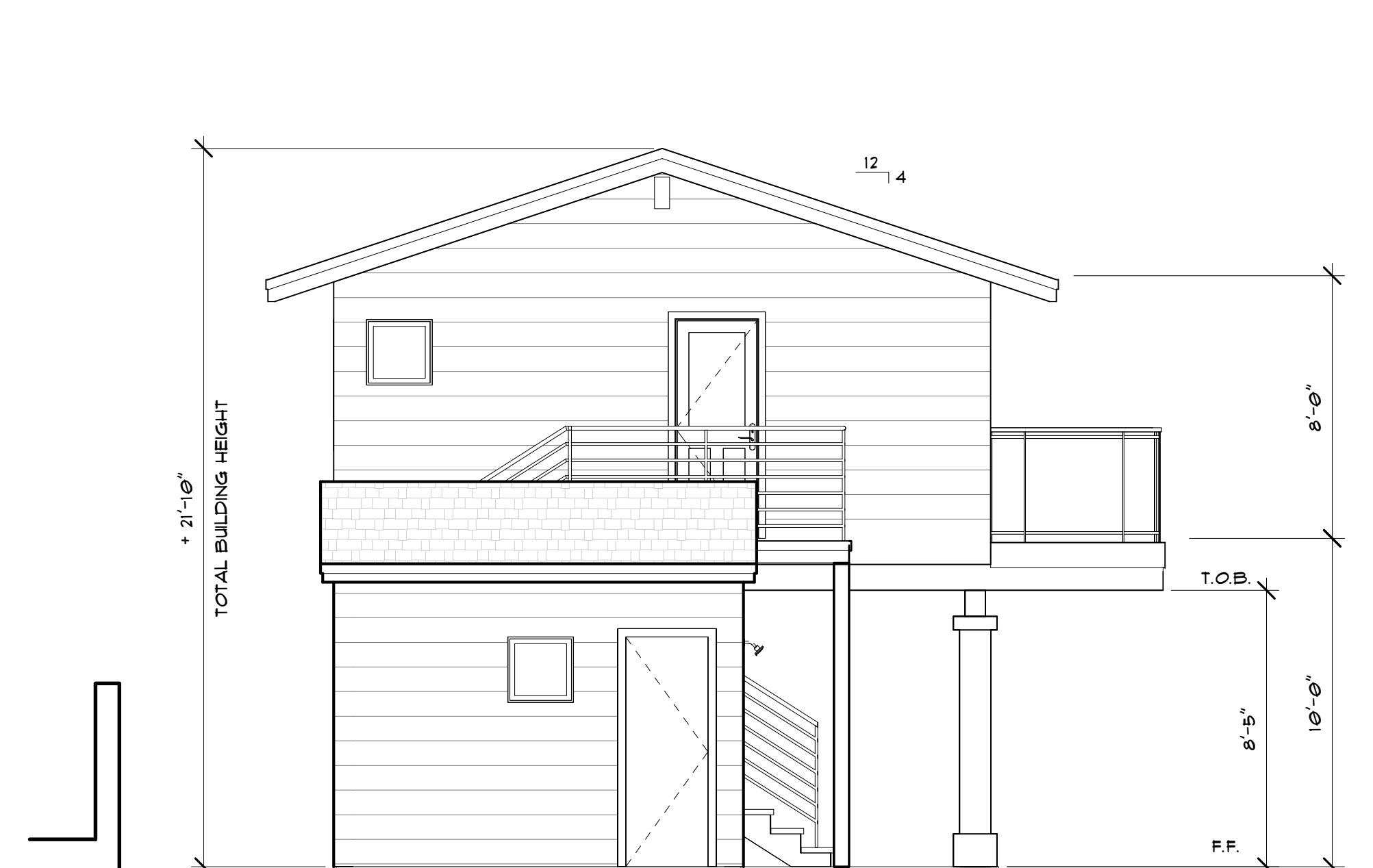
CABANA - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



CABANA - EAST ELEVATION

SCALE: 1/4" = 1'-0"



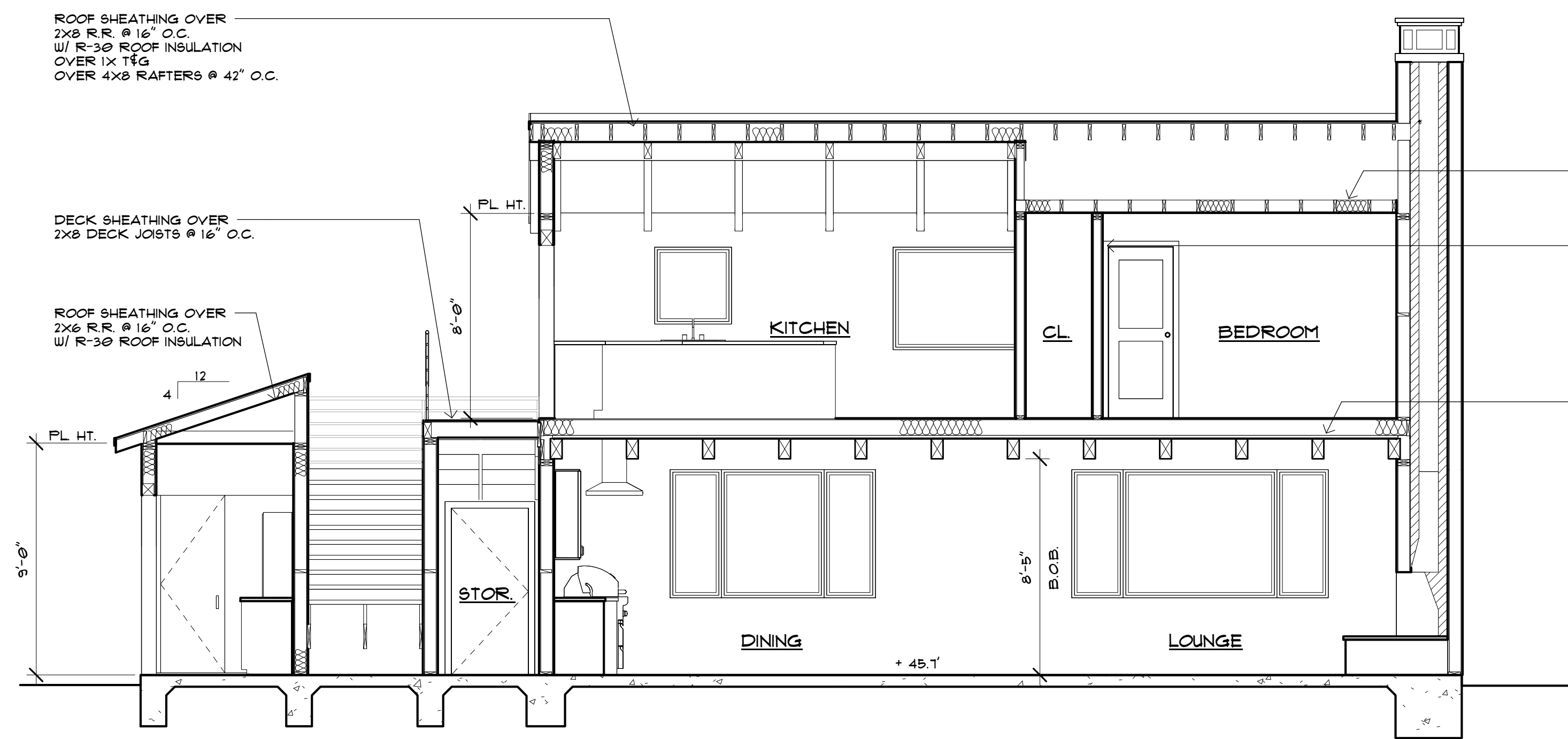
CABANA - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

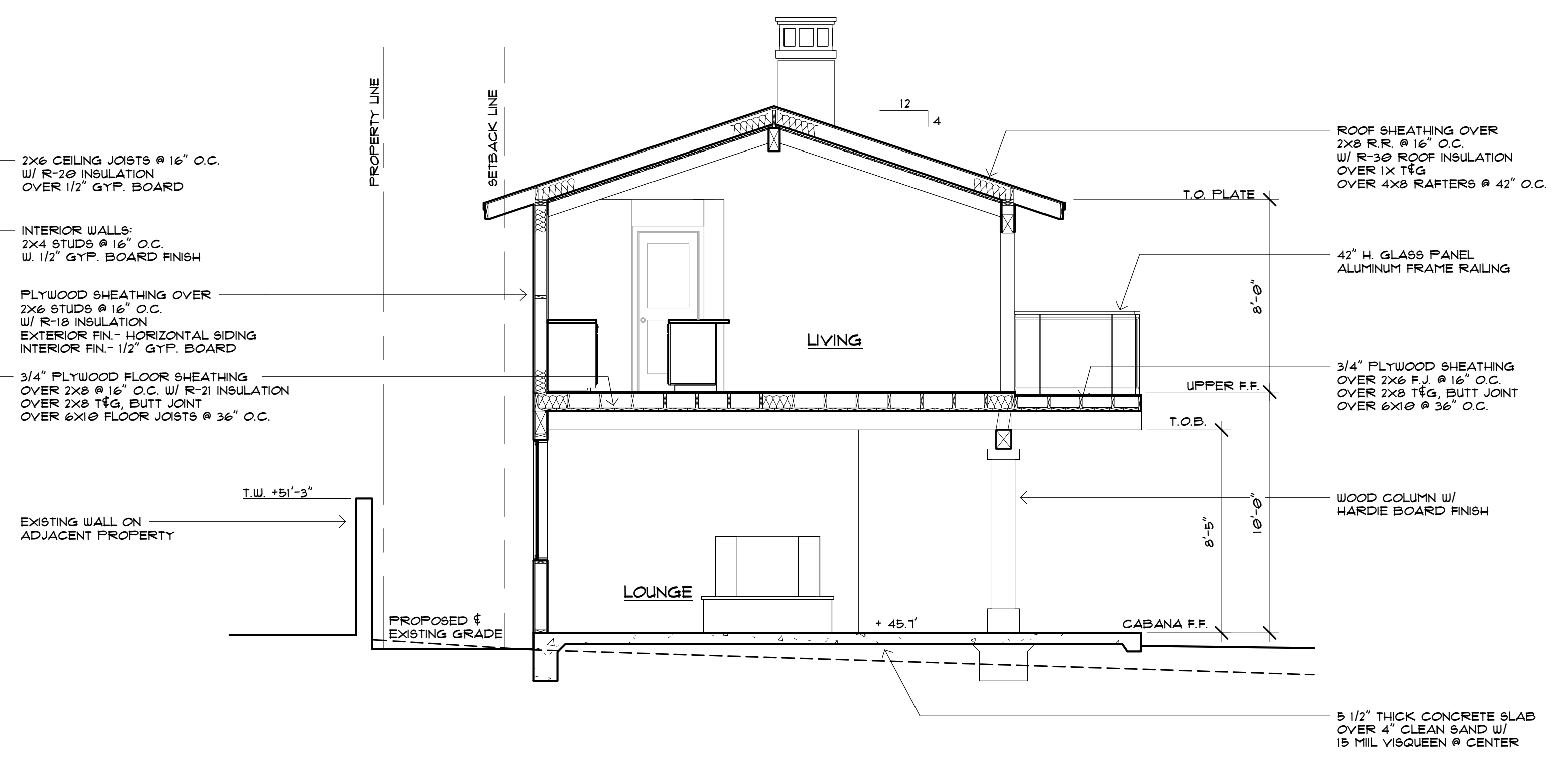


CABANA - WEST ELEVATION

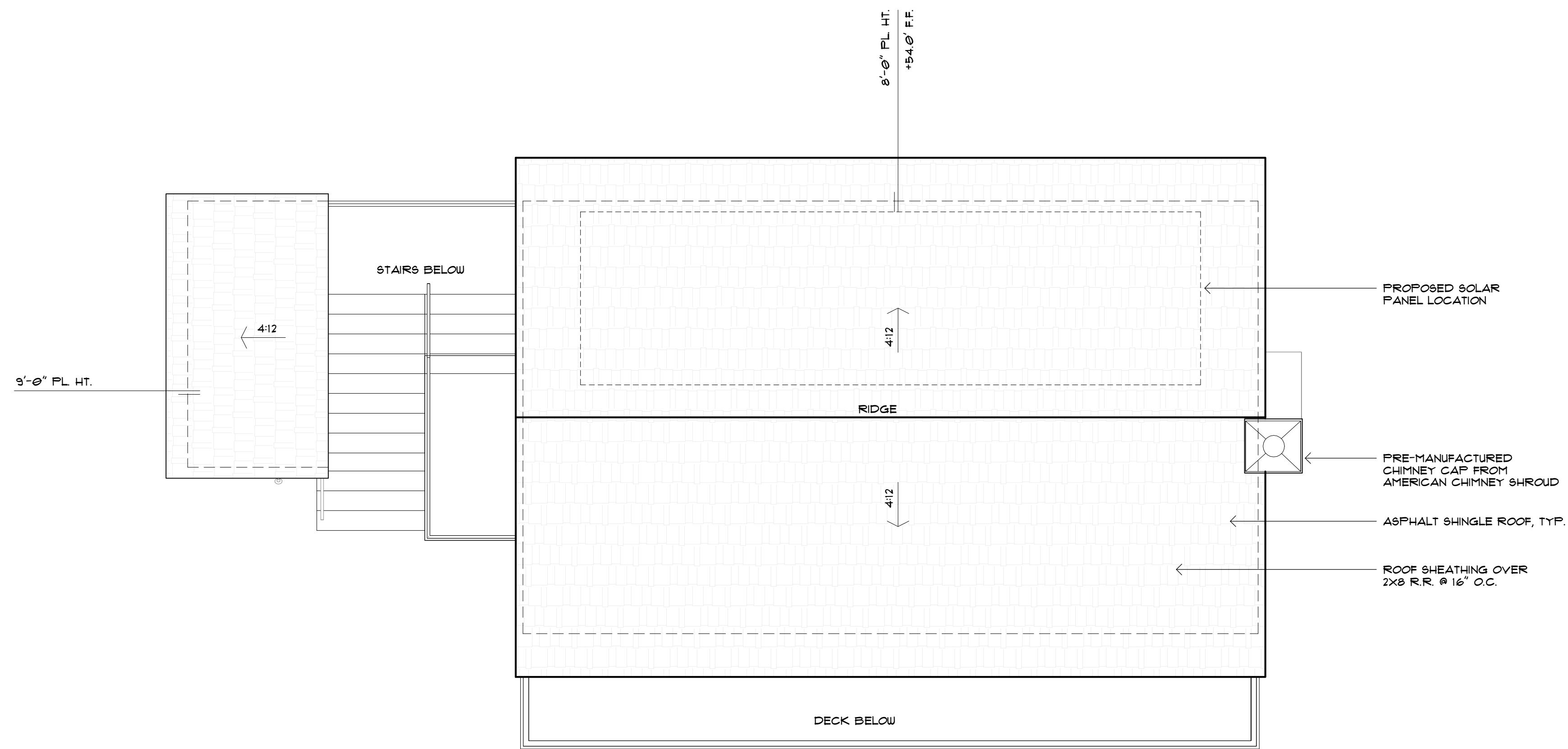
SCALE: 1/4" = 1'-0"



1 CABANA SECTION
SCALE: 1/4" = 1'-0"

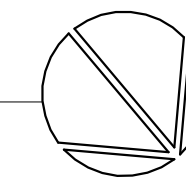


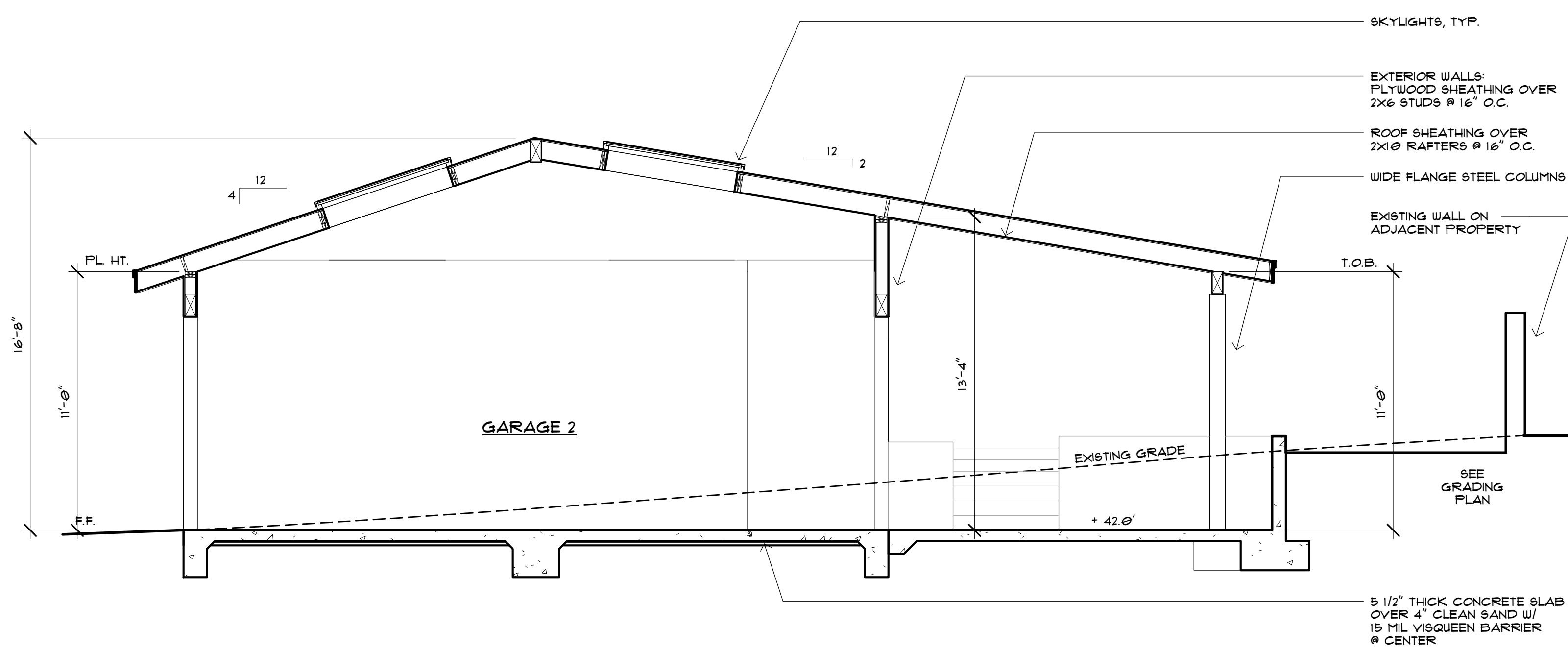
2 CABANA CROSS SECTION
SCALE: 1/4" = 1'-0"



ROOF PLAN - CABANA

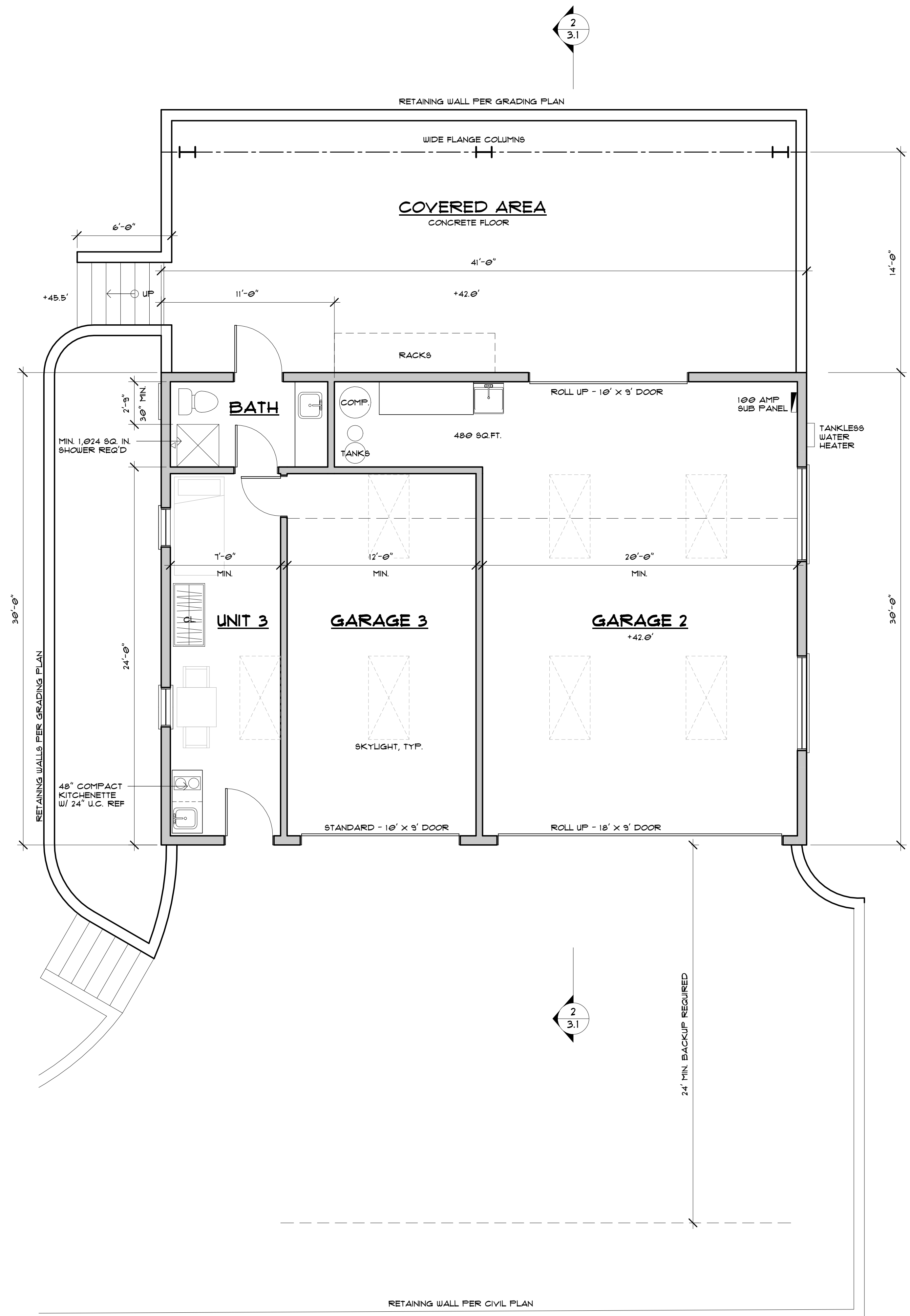
SCALE: 1/4" = 1'-0"





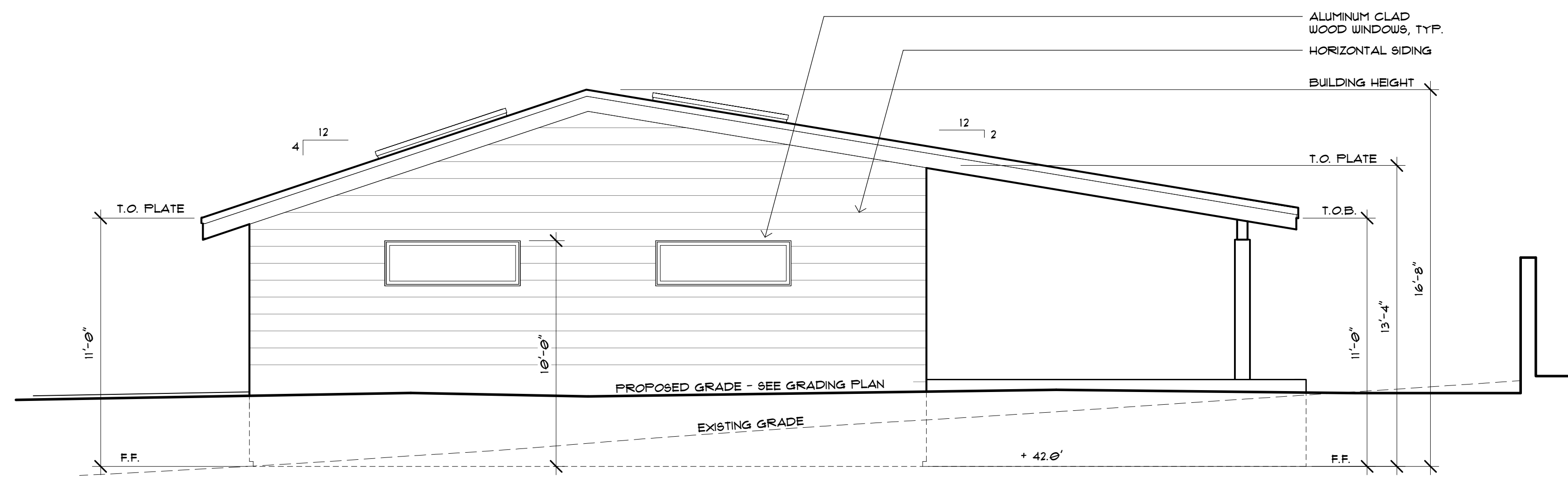
STUDIO SECTION

SCALE: 1/4" = 1'-0"



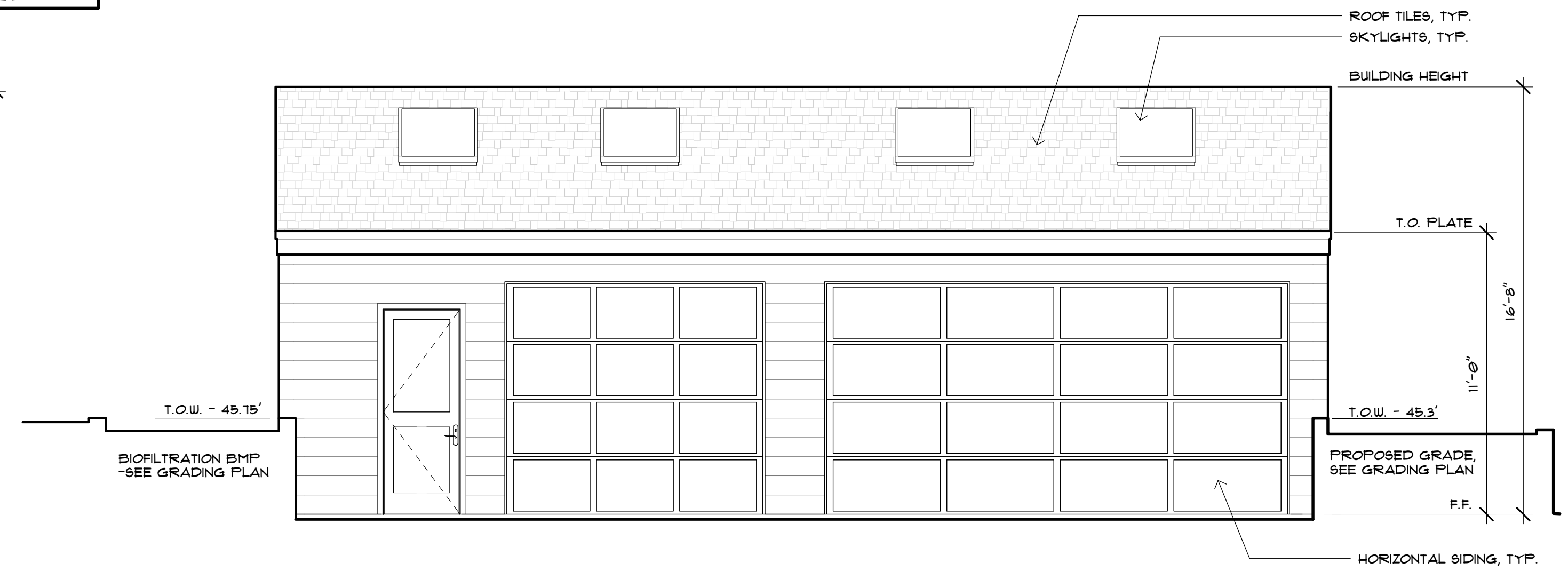
PROPOSED STUDIO FLOOR PLAN

SCALE: 1/4" = 1'-0"



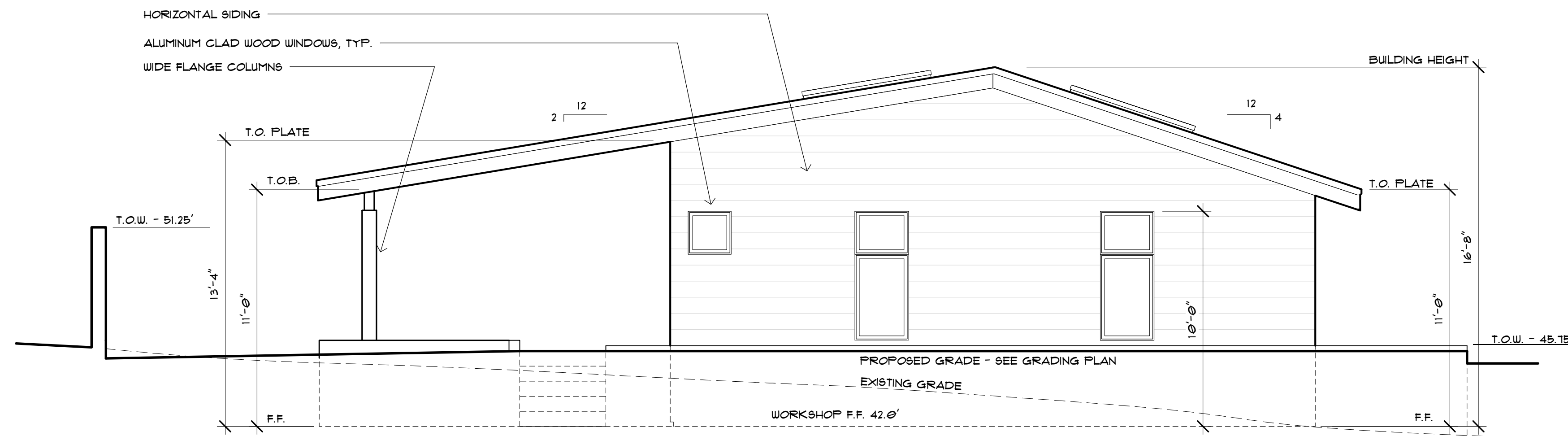
STUDIO - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



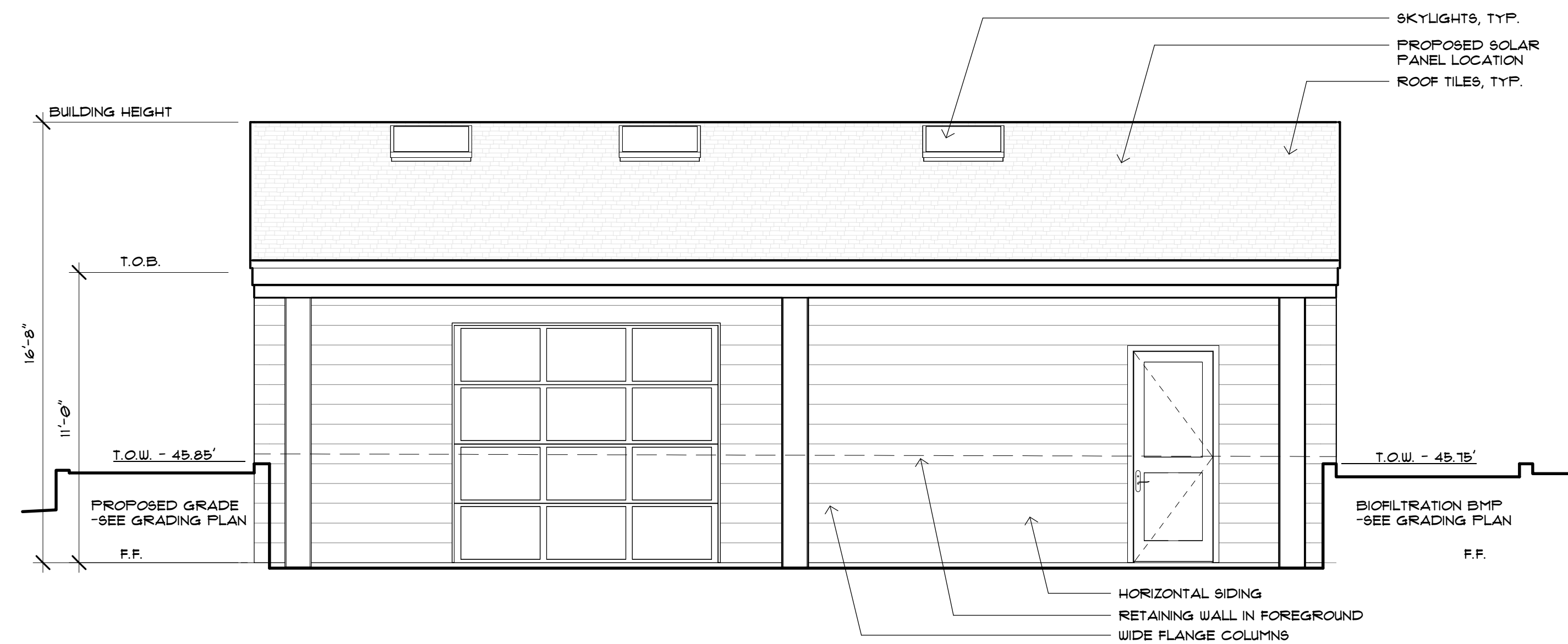
STUDIO - EAST ELEVATION

SCALE: 1/4" = 1'-0"



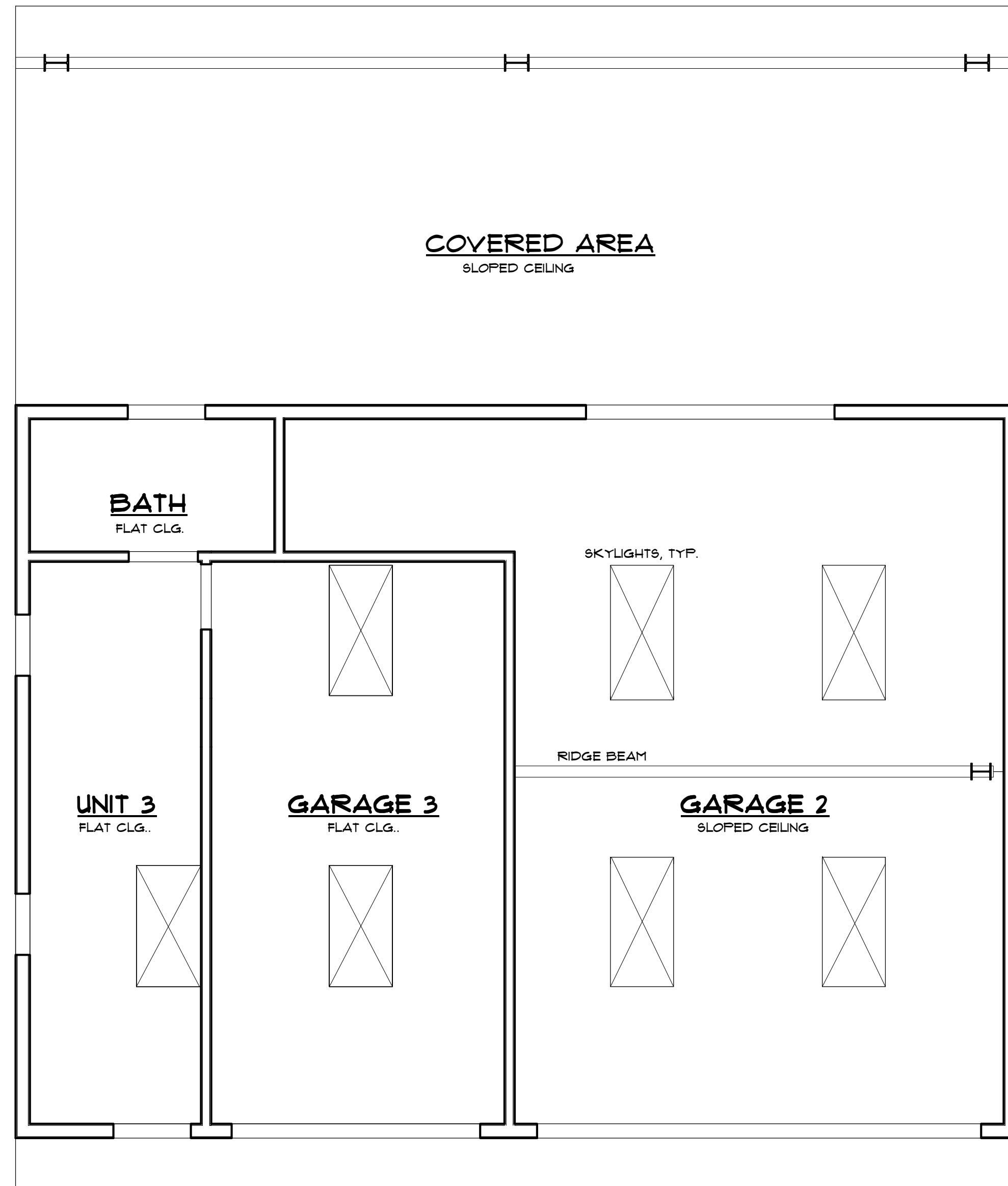
STUDIO - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



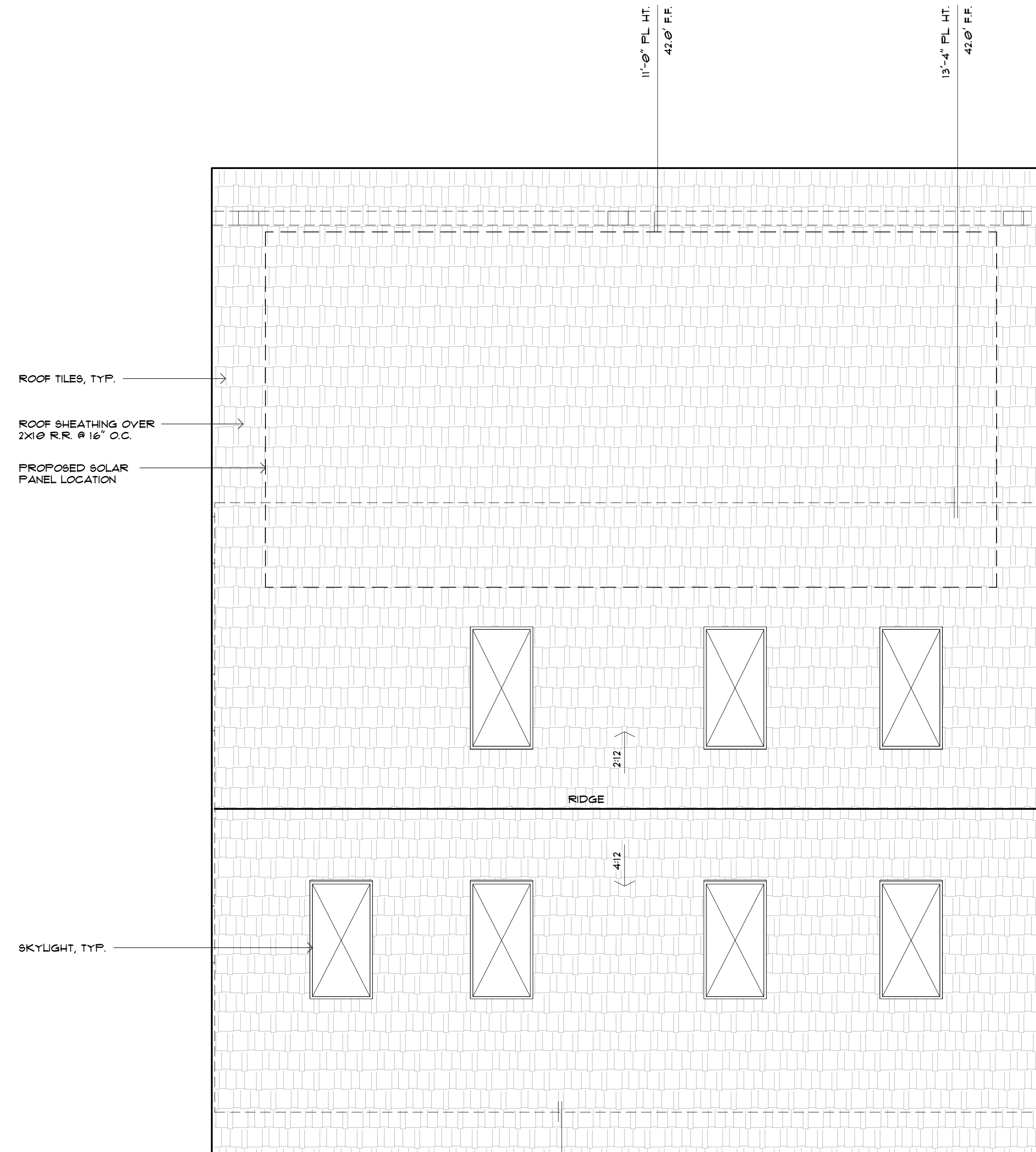
STUDIO - WEST ELEVATION

SCALE: 1/4" = 1'-0"



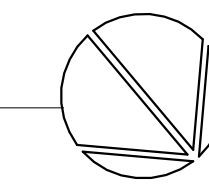
STUDIO - REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



STUDIO - ROOF PLAN

SCALE: 1/4" = 1'-0"



CONCEPTUAL PLANT LEGEND

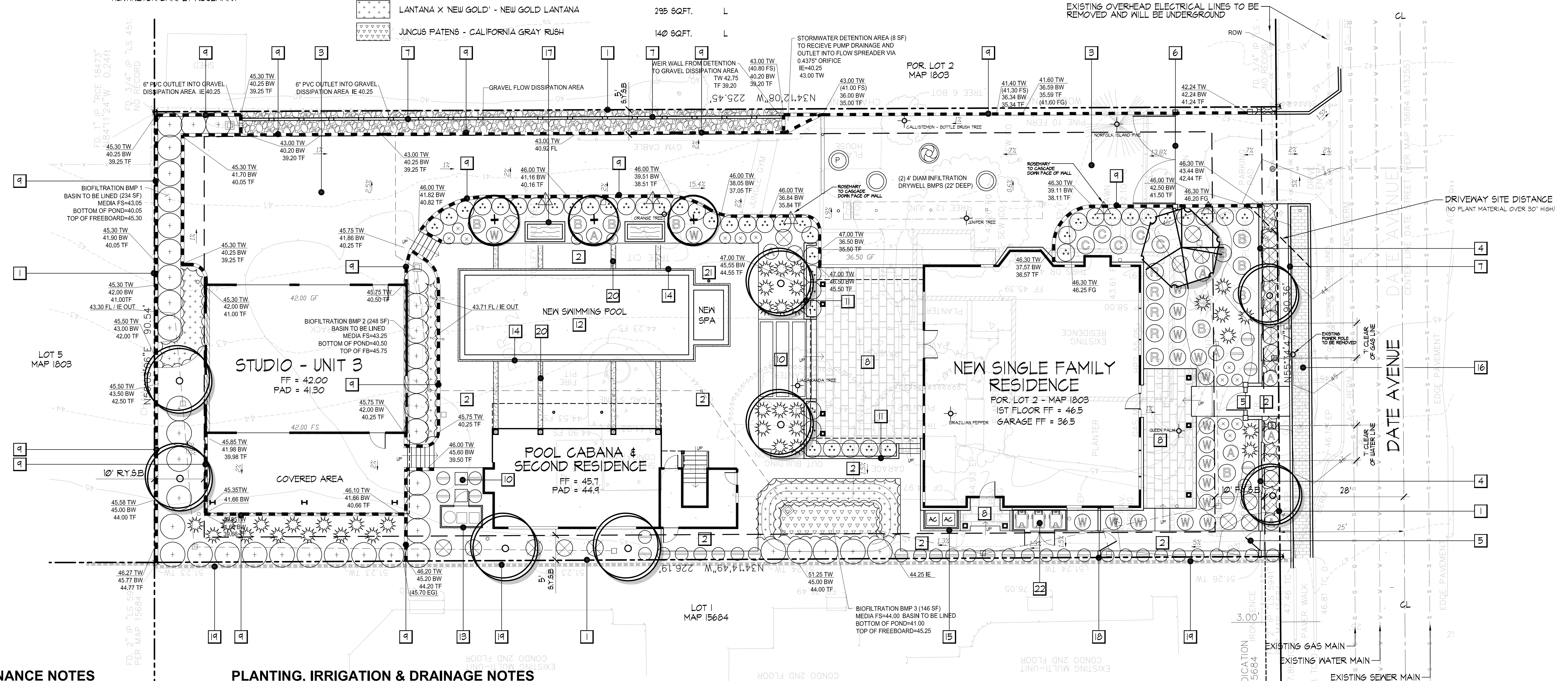
BOTANICAL - COMMON NAME	QTY.	WCOL
ACCENT TREE : (24" BOX+)		
AREBUTUS X 'MARINA' - MARINA STRAWBERRY TREE SINGLE TRUNK FORM	8	L
OLEA EUROPAEA 'SWAN HILL' MULTI - SWAN HILL OLIVE TREE MULTI TRUNK - FRUITLESS	1	L
CITRUS SPP. (FRUIT TREE)	3	M
TALL SCREEN SHRUB - (15 GAL)		
DODONAEA VISCOSA 'PURPUREA' PURPLE HOPSEED (15' TALL)	41	L
TRAILING GROUNDCOVER TO SOFTEN WALLS: (5 GAL)		
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' - HUNTINGTON CARPET ROSEMARY	5	L

BOTANICAL - COMMON NAME	QTY.	WCOL
MEDIUM SIZED SHRUBS: (5 GAL)		
AGAVE ATTENUATA - AGAVE	8	L
BOUGAINVILLEA VARIETES - RED BOUGAINVILLEA	10	L
CRASSULA OVATA - JADE PLANT	5	L
CRASSULA 'BLUE WAVES' - CRASSULA 'BLUE WAVES'	40	L
ROSE VARIETES	5	M
RHAPHIOLEPIS UMBELLATA - YEDDO HAWTHORNE	50	L
SALVIA LEUCANTHA 'SANTA BARBARA'	22	L
WESTRINGIA FRUTICOSA 'GREY BOX' - DWARF COAST ROSEMARY	18	L
SMALL ACCENT SHRUBS: (1 GAL)		
DIETES VARIEGATA - VARIEGATED DIETES	35	L
LEYMUS CONDENSATUS 'CANYON PRINCE' - CANYON PRINCE WILD RYE	35	L
SALVIA 'MYSTIC SPIRES' - MYSTIC SPIRES SALVIA	8	L
GROUNDCOVERS: (1 GAL) @ 30" O.C.		
ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' - HUNTINGTON CARPET ROSEMARY	120 SQFT.	L
BIOFILTRATION BASIN BMP: 1 GAL @ 12" O.C.		
NOTE: GROUND COVER SPECIES FOR THE BASINS WILL BE PLANTED THROUGHOUT THE ENTIRE BASIN AREA		
LANTANA X 'NEW GOLD' - NEW GOLD LANTANA	295 SQFT.	L
JUNCUS PATENS - CALIFORNIA GRAY RUSH	140 SQFT.	L

KEY NOTE LEGEND

- | | |
|--|---|
| 1 PROPERTY LINE | 14 NEW 4" WIDE BEACH COBBLE CHANNEL BETWEEN POOL COPING AND POOL DECK |
| 2 NEW GRAY COLORED CONCRETE WALKWAY / POOL DECKING | 15 NEW 3/8" HIGH HORIZONTAL WOOD A/C SCREEN |
| 3 NEW DRIVEWAY (PER CIVILS PLAN) | 16 NEW PAVER WALKWAY (MATCH STYLE AND COLOR OF EXISTING WALKWAY OF ADJACENT PROPERTY) |
| 4 NEW +42" HIGH FREE STANDING BLOCK WALL WITH SMOOTH STUCCO FINISH | 17 NEW RAISED WOOD VEGGIE GARDEN BOX'S (TYP. OF 2) |
| 5 NEW +42" HIGH PEDESTRIAN GATE (PER ARCHITECTS PLAN) | 18 NEW 5' HIGH GATE AND FENCE RETURN |
| 6 NEW VEHICLE GATES (PER ARCHITECTS PLAN) | 19 EXISTING +6' HIGH CMU BLOCK WALL TO REMAIN |
| 7 NEW +6" HIGH CURB (PER CIVILS PLAN) | 20 NEW ARTIFICIAL TURF CHANNEL IN POOL DECK |
| 8 NEW THIN SET DECORATIVE TILE | 21 NEW 'TUGGI' BRAND POOL DECK UMBRELLA'S SET IN CONCRETE FOOTINGS |
| 9 NEW CMU BLOCK RETAINING WALLS (PER CIVILS PLAN) | 22 NEW TRASH ENCLOSURE WITH GATES |
| 10 NEW GRAY COLORED CONCRETE STEPPING PADS WITH BEACH COBBLE BETWEEN | |
| 11 NEW +18" HIGH RAISED PLANTERS (PER CIVILS PLAN) | |
| 12 NEW POOL AND SPA | |
| 13 NEW POOL EQUIPMENT WITH +48" HIGH ENCLOSURE WITH GATE | |

EXISTING TREE TO BE REMOVED SYMBOL



MAINTENANCE NOTES

1. Owner is responsible for all landscape maintenance.

GENERAL NOTES

1. Landscape design and site plan is conceptual or schematic in purpose and only shows the design intent. It is not a construction drawing. Actual site conditions take precedence over design concept. Landscape contractor shall be responsible for field verifying all existing dimensions and conditions and adjust accordingly and shall inform designer and owner prior to making any changes or modifications to the plans.

2. All utilities are to be screened.

HARDSCAPE NOTES

1. Landscape Contractor shall be responsible for providing expansion joints in all concrete areas in order to help minimize cracking of concrete.

2. All hardscape areas must have positive drainage away from the house, prevent pooling and be collected in a landscape drainage system.

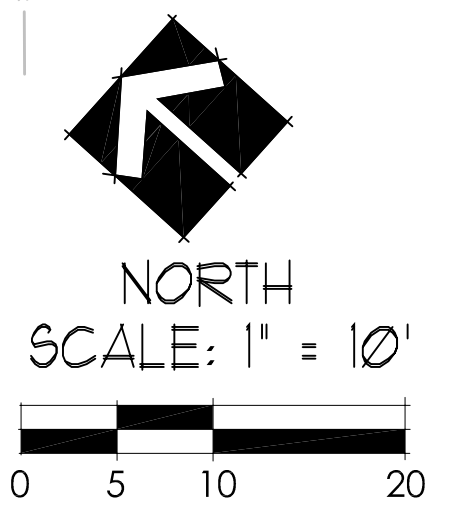
PLANTING, IRRIGATION & DRAINAGE NOTES

- Landscape Contractor shall maintain existing drainage patterns on the lot.
- Landscape Contractor shall be responsible for accounting for drain placement in all hardscape & planting areas where pooling may occur.
- Planter beds shall maintain a 2% min. drainage away from all buildings, structures, walls and hardscape areas towards an approved area drain. Finish grades shall be smoothed to prevent pooling or standing water.
- Irrigation systems shall be fully operational.
- Only subsurface irrigation shall be used to irrigate any vegetation within twenty four inches of an impermeable surface unless the adjacent impermeable surfaces are designed and constructed to cause water to drain entirely into a landscape area.
- Except as noted, remove all existing vegetation, trash, clippings, rock and other debris in planting areas. Rake and line grade all planting areas prior to planting.
- Soil amendments/organic amendments are highly recommended in shrub beds.
- Soil level shall be maintained at (4) four inches below stucco screed on buildings.
- Planting pit dimensions shall be twice the plant container size, and shall be backfilled with a 50/50 or organic amendments and existing soil.
- All planter beds shall be finished with 3" min. of bark mulch.
- All trees (except on slopes 3:1 or steeper) shall be a minimum of 15 gallon size.
- 50% of the shrubs shall be a minimum of 5 gallon size.
- Trees located within a vehicular sight line must have limbs removed to a height of 6 feet above the adjacent top of curb.
- All irrigation water shall be potable water. Recycled water shall not be used on this project.

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CARLSBAD LANDSCAPE MANUAL AND WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

SCOTT HAMILTON, RLA LIC. # 5931

3/20/24 DATE



REVISIONS	BY
8/31/23	5H
1/17/24	5H
3/20/24	5H



APN: 206-080-24-00

TIMM RESIDENCE
314 DATE AVENUE
CARLSBAD, CA 92008

LANDSCAPE CONCEPT PLAN

Sheet Title:
 Date: 10/15/22
 Scale: 1" = 10'
 Drawn: SH
 Job: Timm
 Sheet: [L-1]
 Of 2 Sheets
 61 of 62

THE DESIGN BUILD COMPANY
 LANDSCAPE ARCHITECTURE + CONSTRUCTION
 Phone 760-722-9306
 Fax 760-722-9307
 www.thedesignbuildcompany.com
 PO Box 2464
 Carlsbad, CA 92018

Maximum Applied Water Allowance

A landscape project subject to the Water Efficient Landscape Ordinance shall include the MAWA for the plants, including the calculations used to determine the MAWA. A landscape project shall not exceed the MAWA. The MAWA for a landscape project shall be determined by the following equation:

Residential: MAWA = (ET₀)(0.62)(0.55 x LA) + (0.45 x SLA)
Non-Residential: MAWA = (ET₀)(0.52)(0.45 x LA) + (0.55 x SLA)
 The abbreviations used in the equation have the following meanings:
MAWA Maximum Applied Water Allowance in gallons per year.
ET₀ Evapotranspiration in inches per year.
0.62 Conversion factor to gallons per square foot.
0.55 or 0.45 ET adjustment factor (ETAF) for plant factors and irrigation efficiency.
LA Landscaped area includes special landscaped areas in square feet.
0.45 or 0.55 The additional ET adjustment factor for a special landscaped area (1.0 - 0.55 = 0.45 or 1.0 - 0.45 = 0.55)
SLA Special landscaped area in square feet.

Show Calculation:

$$(40.0)(0.62) \left[(0.55 \times 5,548) + (0.45 \times 0) \right]$$

$$24.8 \times 3,051 = 75,664.8$$

Maximum Applied Water Allowance = 75,665 gallons per year

Hydrozone Table for Calculating ET_W

Please complete the hydrozone table(s). Use as many tables as necessary.

CITY OF CARLSBAD ESTIMATED TOTAL WATER USE (ET _W)							
Evapotranspiration Rate (ET ₀)	Process Step No. (Below)	Hydrozone Number (1 = smallest; Zone below - use as many tables as necessary to complete all hydrozones)					SLA
		1	2	3	4	5	
40.0	1						
	2						
	3						
	4	.5	.3	.3	.5	.8	
	5	99	4,561	81	27	780	
	6	41.5	1,368	24.3	15.5	624	
	7	.80	.80	.75	.75	1.0	
	8	62	1,700	32.4	18	624	
	9						2,446.4
	10						60,670.72

ET₀
 West of S-5 = 40.0
 East of S-5 and West of Ed Camino Real = 44.0
 East of Ed Camino Real = 62.0
 Applicant may provide a different ET₀ if supported by documentation subject to approval by the City Planning Division

Plant Factor & Water Use
 0.5 = F2/B: Very Low Water Use Plants
 0.3 = L/W: Low Water Use Plants
 0.8 = M/W: Moderate Water Use Plants
 0.8 = H/W: High Water Use Plants

HYDROZONE LEGEND

SYMBOL	HYDROZONE	PLANT WATER USE (WUCOLS)	IRRIGATION METHOD / EFFICIENCY	AREA SF.
	HYDROZONE 1	MOD SHRUBS 0.5	DRIPLINE 18" O.C. 0.80	99 SF
	HYDROZONE 2	LOW SHRUBS 0.3	DRIPLINE 18" O.C. 0.80	4,561 SF
	HYDROZONE 3	LOW TREES 0.3	BUBBLER 0.75	81 SF
	HYDROZONE 4	MOD TREES 0.5	BUBBLER 0.75	27 SF
	HYDROZONE 5	POOL (HIGH) 0.8		780 SF

WATER CONSERVATION NOTES:

- Potable water will be used for irrigation system.
- All planted areas are to be owner maintained.
- The plants have been selected for their aesthetic value as well for their ability to flourish with the existing soil, wind, water and solar conditions of the site. These plants are well adapted to the Carlsbad climate and do not require an excessive amount of water to retain their lush foliage throughout the year.
- A soil sample shall be taken from the site to amend the soil and further improve the plants cultural environment. Ground covers shall fill in between the shrubs to protect the soil from erosion and to reduce evapotranspiration rates. All flowers and shrub beds shall be organically mulched to help conserve water by lowering the soil temperature, reducing weed growth, and by eliminating direct sunlight on the soil surface. Replace mulch periodically as it decomposes. The shrubs shall be allowed to take on their natural form and shape to encourage less water consumption.
- Proper landscape maintenance can provide both energy and water conservation through the recycling and reuse of landscape trimmings. Use organic fertilizers and composting to improve soil texture. Occasional pruning of trees and shrubs to remove dead stems promotes blooming and controls height/spread.
- Irrigation system shall be designed so that all valves shall be connected to an E.T. based automatic controller with multiple start times. Controllers can be overridden by rain sensor devices strategically placed per the manufacturer specifications. Low - flow drip and bubblers shall be used for planter beds. Water in the evening or early morning and avoid irrigating property during the heat of the mid-day sun to reduce the effects of evapotranspiration. Install check valves as require to prevent low head drainage. Regularly inspect, maintain and adjust irrigation system.

REVISIONS	BY
8/31/23	SH
1/17/24	SH
3/20/24	SH



APN: 206-080-24-00

TIMM RESIDENCE
314 DATE AVENUE
CARLSBAD, CA 92008

WATER CONSERVATION PLAN

Date: 10/15/22

Scale: 1" = 10'

Drawn: SH

Job: Timm

Sheet

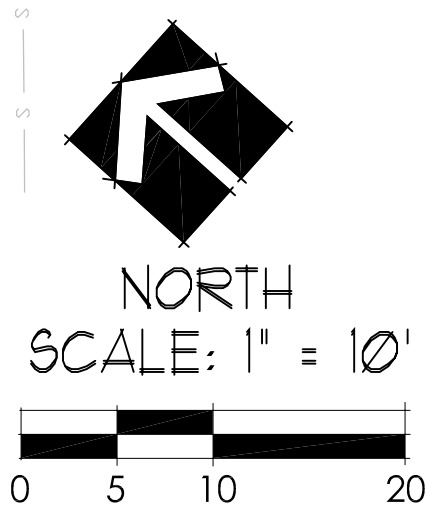
L-2

Of 2 Sheets

62 of 62

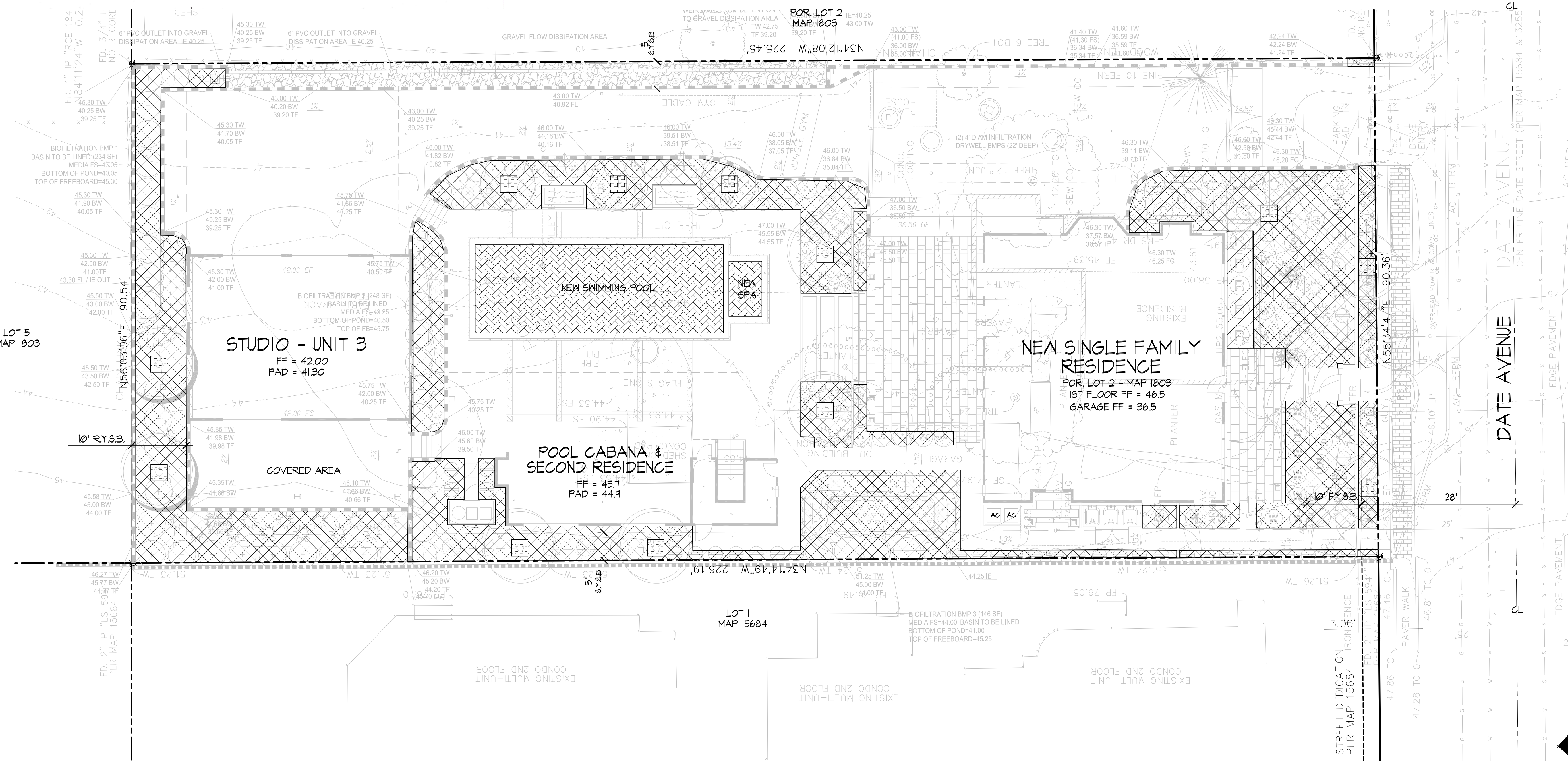
Item #1

Sheet Title:



I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CARLSBAD LANDSCAPE MANUAL AND WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

SCOTT HAMILTON, RLA LIC. # 5931
 DATE 3/20/24





- Meeting Date:** June 19, 2024
- To:** Planning Commission
- Staff Contact:** Lauren Yzaguirre, Associate Planner; 442-339-2634, Lauren.Yzaguirre@carlsbadca.gov
- Subject:** Premier Cadillac
- Location:** 5556 & 5566 Paseo Del Norte, Carlsbad CA 92008/ 2-00/District 2
- Case Numbers:** SDP 2023-0016/CDP 2023-0026 (DEV2022-0190)
- Applicant/Representative:** Crystal Cardona, (909) 355-6688, administration@aaifirm.com
- CEQA Determination:** Not a Project Exempt IS/ND or IS/MND EIR
 Other:
- Permit Type(s):** SDP CUP CDP TM/TPM GPA REZ LCPA
 Other:
- CEQA Status:** The environmental assessment IS on the Agenda for discussion
 A CEQA determination was already issued. That decision is final and IS NOT on the Agenda
- Commission Action:** Decision Recommendation to City Council Informational (No Action)

Recommended Actions

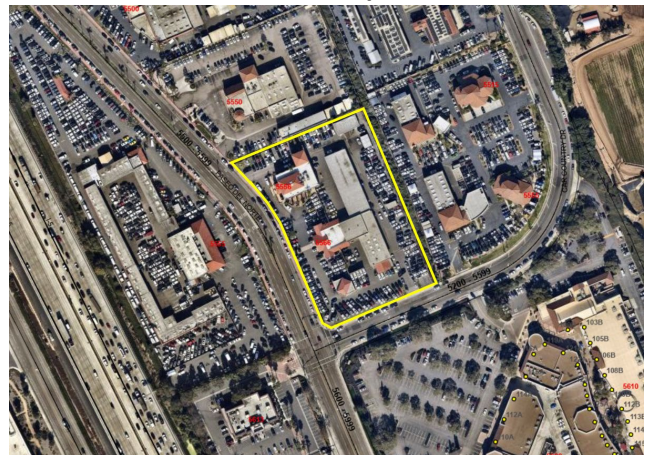
That the Planning Commission **ADOPT** Planning Commission Resolution (Exhibit 1), **APPROVING** Site Development Plan (SDP) 2023-0016, and Coastal Development Permit (CDP) 2023-0026 based upon the findings and subject to the conditions contained therein.

Existing Conditions & Project Description

Existing Setting

The subject site consists of a 3.39-acre lot, located at 5556 and 5566 Paseo Del Norte at the northeast corner of Paseo Del Norte and Car Country Drive. The lot contains an existing 8,732-square-foot, sales and parts building with a 2,584-square-foot attached storage mezzanine (Building A), a 4,543-square-foot sales office building (Building B) attached to a 17,078-square-foot office, service and parts building with a 2,869-square-foot attached storage mezzanine (Building C), a 1,853-square-foot car wash building (Building D), and a 1,512-square-foot office building (Building E). The parcel is generally flat slightly with a small slope at the east property line

Site Map



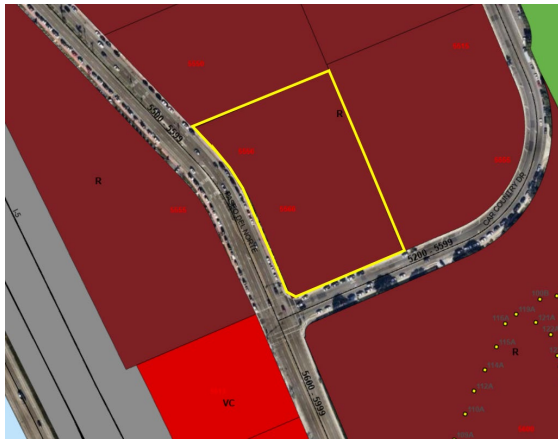
and is mostly hardscaped with parking spaces and contains a low concrete masonry unit wall along the east property line. The lot contains two driveway connections to Paseo Del Norte and one driveway connection to Car Country Drive. The subject site is surrounded by other car dealerships to the north, east and west as well as the Carlsbad Premium Outlets to the South allowed by the existing General Commercial (C-2) zoning and the Car Country Carlsbad Specific Plan (SP 19(J)) and consistent with the Regional Commercial General Plan designation.

Table “A” below includes the General Plan designations, zoning and current land uses of the subject site and surrounding properties. Also refer to Exhibit 2 for larger site map.

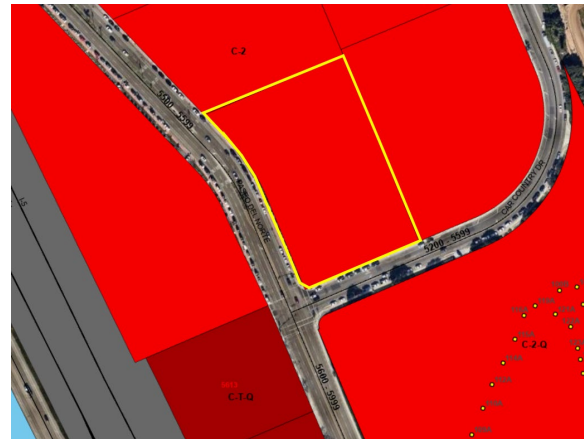
TABLE A – SITE AND SURROUNDING LAND USE

Location	General Plan Designation	Zoning Designation	Current Land Use
Site	Regional Commercial (R)	General Commercial (C-2)	Auto Dealership
North	Regional Commercial (R)	General Commercial (C-2)	Auto Dealership
South	Regional Commercial (R)	General Commercial, Qualified Overlay Development (C-T-Q)	Carlsbad Premium Outlets
East	Regional Commercial (R)	General Commercial (C-2)	Auto Dealership
West	Regional Commercial (R)/ Visitor Commercial (VC)	General Commercial (C-2)/ Commercial Tourist, Qualified Development Overlay (C-T-Q)	Auto Dealership, Restaurant

General Plan Designation



Zoning Designation



Proposed Project

The applicant proposes to demolish the existing 4,543-square-foot automotive sales office (Building B) and 1,512-square-foot automotive sales office (Building E) and construct a new sales office, showroom and service lane addition. The modifications are as follows:

- Proposed Office, Showroom and Service Lane Addition

A 8,703-square-foot, one story, 23-foot-5-inch-tall showroom and sales office addition will be constructed on the west side of the existing auto parts building fronting Paseo Del Norte. The addition will include a 1,918-square-foot show room, a 574-square-foot concierge area, a 497-square-foot new car delivery area, a 498-square-foot guest lounge and a 412-square-foot service reception area. The remaining square footage will be dedicated to office space. A 2,096-square-foot service lane will be attached to the south side of the structure. The architectural design is characterized as Spanish/Mediterranean and includes building materials and design features such as rafter tails,

recessed windows cornices, slump stone veneer and boral roofing. The existing structures on site will be painted off-white to match the proposed addition. The project includes a revised parking layout to accommodate the addition as well as two new small, landscaped areas to the north and south of the proposed addition.

- **Grading & Improvements**

Grading for the proposed improvements and uses consist of 390 cubic yards of cut, 64 cubic yards of fill and 326 cubic yards of export. The project site has three existing driveways: two connecting to Paseo Del Norte and one connecting to Car Country Drive. The project proposes to revise the driveway approach for the south most driveway on Paseo Del Norte to comply with ADA standards. The project is also proposing to replace the curb ramp at the northeast corner of Paseo Del Norte and Car Country Drive as needed to conform with current accessibility requirements.

Project plans are attached to the staff report (Exhibit 6). The improvements and uses described above are hereinafter referred to as “Project.”

Public Outreach & Comment

Public notice of the proposed Project was mailed on July 7, 2023, to property owners within 600 feet of the subject property and all residents within 100 feet. No comments were received as a result of the public notice. A Notice of Determination of Exemption was posted on the city’s website and an email was distributed to interested individuals on April 8, 2024, no comments were received. Additionally, the Project is not subject to the enhanced stakeholder outreach in City Council Policy No. 84 (Development Project Public Involvement Policy).

Response to Public Comment & Project Issues

No comments were received.

Project Analysis

General Plan Consistency

The City of Carlsbad General Plan includes several goals and policies that guide development and land use within the city. A discussion of how the project is consistent with the applicable General Plan policies is summarized in Exhibit 3.

Car Country Carlsbad Specific Plan Consistency

The subject site is located within the Original Specific Plan Area (Lot 9) of the Car Country Carlsbad Specific Plan (SP 19(J)). The proposed project complies with the development standards and design guidelines contained in the Specific Plan, as summarized in Exhibit 3.

Municipal Code Consistency

The City of Carlsbad Municipal Code, most notably Tile 21 Zoning Code, includes requirements and provisions that guide development and land use within the city, consistent with the General Plan. The project is required to comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC) including C-2 General Commercial Zone (CMC Chapter 21.28). Specific compliance with these relevant requirements is described in Exhibit 3.

Local Coastal Program Consistency

The project site is in the Coastal Zone and requires a Coastal Development Permit. The project complies with the Mello II Segment of the Local Coastal Program, including all goals and policies of the General Plan and all zoning code standards, as referenced above.

Discretionary Actions & Findings

The proposed Project requires approval of certain permit types, each of which is discussed below:

Site Development Plan (SDP 2023-0016)

The Car Country Carlsbad Specific Plan requires approval of an SDP for new development. For construction of new buildings that would result in an increase of between ten and fifty percent of the combined internal floor area, the City Planner is the final decision maker. However, pursuant to CMC 21.54.040, the planning commission is the final decision maker as the project is being processed concurrently with a Coastal Development Permit (CDP) that requires decision from the planning commission. Staff recommends finding that the project meets the required findings for approval of a SDP, as described in Exhibit 3.

Coastal Development Permit (CDP 2023-0026)

The project site is located within the Mello II Segment of the Local Coastal Program (LCP) but is not within the appealable jurisdiction of the California Coastal Commission. The site is also located within and subject to the Coastal Resources Protection Overlay Zone. The LCP and Coastal Resource Protection Overlay Zone require approval of a Coastal Development Permit (CDP) for new development. Staff recommends finding that the project is consistent with the relevant policies of the Mello II Segment of the LCP and the Coastal Resource Protection Overlay Zone and meets the required findings for approval of a CDP, as described in Exhibit 3.

Environmental Review

In accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines, the City Planner has determined that the project qualified for an exemption pursuant to CEQA Guidelines Section 15332, In-fill Development Projects. On April 8, 2024, a notice of intended decision regarding the environmental determination was advertised and posted on the city's website. No comment letters or appeals were received and consistent with Chapter 21.54 (Procedures, Hearings, Notices, and Fees) of the Zoning Ordinance the City Planner's written decision is final. Refer to Exhibit 3 for additional support and justification.

Conclusion

Considering the information above and in the referenced attachments, staff has found that the proposed Project is consistent with all applicable policies of the General Plan, Car Country Carlsbad Specific Plan, Local Coastal Program, and the provisions of the Municipal Code and Local Facility Management Zone 3. All required public improvement and utilities are available to serve the proposed development. In addition, there are no environmental issues associated with the Project.

The Project is conditioned to ensure the proposed Project's compatibility with the surrounding properties and that the public health, safety, and welfare of the community are maintained. The Project would be required to comply with all applicable California Building Standards Codes and engineering standards through the standard building permit and civil improvement plan checking process. Staff recommends the Planning Commission adopt the resolutions, approving the proposed Project described in this staff report.

Exhibits

1. Planning Commission Resolution
2. Location Map
3. Project Analysis
4. Disclosure Form
5. CEQA Determination of Exemption
6. Reduced Project Exhibits
7. Full Size Project Exhibits "A" – "N" dated June 19, 2024 (on file in the Planning Division).
8. List of Acronyms and Abbreviations

PLANNING COMMISSION RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CARLSBAD, CALIFORNIA, APPROVING A SITE DEVELOPMENT PLAN AND COASTAL DEVELOPMENT PERMIT TO DEMOLISH TWO EXISTING SALES OFFICES AND CONSTRUCT A SALES OFFICE, SHOWROOM AND SERVICE LANE ADDITION TO AN EXISTING AUTOMOBILE DEALERSHIP, LOCATED ON A 3.39-ACRE LOT AT 5556 AND 5566 PASEO DEL NORTE, WITHIN THE CAR COUNTRY CARLSBAD SPECIFIC PLAN (SP 19(J)), THE MELLO II SEGMENT OF THE LOCAL COASTAL PROGRAM AND LOCAL FACILITIES MANAGEMENT ZONE 3.

CASE NAME: PREMIER CADILLAC
CASE NO.: SDP 2023-0016/CDP 2023-0026 (DEV2022-0190)

WHEREAS, **Crystal Cardona**, “Developer,” has filed a verified application with the City of Carlsbad regarding property owned by **Eric Brooking**, “Owner,” described as

LOT 9 OF CARLSBAD TRACT NO. 72-3, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7492, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOV. 30, 1972.

(“the Property”); and

WHEREAS, said verified application constitutes a request for a Site Development Plan as shown on Exhibit(s) “**A**” – “**N**” dated **June 19, 2024**, on file in the Planning Division, **SDP 2023-0016/CDP 2023-0026 (DEV2022-0190) – PREMIER CADILLAC** as provided by Chapter 21.06 and Section 21.201.030 of the Carlsbad Municipal Code; and

WHEREAS, the Planning Division studied the **Site Development Plan** and **Coastal Development Permit** application and performed the necessary investigations to determine if the project qualified for an exemption from further environmental review under the California Environmental Quality Act, (CEQA, Public Resources Code section 21000 et. seq.), and its implementing regulations (the State CEQA Guidelines), Article 14 of the California Code of Regulations section 15000 et. seq. After consideration of all evidence presented, and studies and investigations made by the city planner and on its behalf, the city planner determined that the project was exempt from further environmental review pursuant to State CEQA Guidelines sections 15332 – In-fill Development Projects, in that project is consistent with the

General Plan and Zoning Ordinance; the project site is located within the City limits, on a development area of less than five acres in size, and substantially surrounded by urban uses; there is no evidence that the project site has value as habitat for endangered, rare, or threatened species; approval of the project will not result in significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services. The project will not have a significant effect on the environment and all the requirements of CEQA have been met; and

WHEREAS, on April 8, 2024, the city distributed a notice of intended decision to adopt the “In-Fill Development Projects” exemption. The notice was circulated for a 10-day period, which began on April 8, 2024 and ended on April 18, 2024. The city did not receive any comment letters on the CEQA findings and determination. The effective date and order of the city planner CEQA determination was April 18, 2024; and

WHEREAS, the Planning Commission did, on **June 19, 2024**, hold a duly noticed public hearing as prescribed by law to consider said request; and

WHEREAS, at said public hearing, upon hearing and considering all testimony and arguments, if any, of all persons desiring to be heard, said Commission considered all factors relating to the Site Development Plan and Coastal Development Permit.

NOW, THEREFORE, BE IT HEREBY RESOLVED by the Planning Commission of the City of Carlsbad as follows:

- A) That the foregoing recitations are true and correct.
- B) That based on the evidence presented at the public hearing, the Planning Commission **APPROVES SDP 2023-0016/CDP 2023-0026 (DEV2022-0190) – PREMIER CADILLAC** based on the following findings and subject to the following conditions:

Findings:

Site Development Plan (SDP 2023-0016)

1. That the proposed development or use is consistent with the General Plan and any applicable master plan or specific plan, complies with all applicable provisions of Chapter 21.06 of the

Carlsbad Municipal Code, and all other applicable provisions of this code, in that **the various goals and objectives of the General Plan will be implemented since the proposed project falls within an approved Specific Plan (Car Country Carlsbad Specific Plan), which was found to be consistent with the General Plan. The existing use, motor vehicle dealerships for retail sales and service, is a permitted use within the Car Country Carlsbad Specific Plan (SP 19(J)). The addition of a new showroom, sales office and service lane to an existing motor vehicles dealership will also comply with all applicable development standards.**

2. That the requested development or use is properly related to the site, surroundings and environmental settings, will not be detrimental to existing development or uses or to development or uses specifically permitted in the area in which the proposed development or use is to be located, and will not adversely impact the site, surroundings or traffic circulation, in that **the addition of a new showroom, sales office and service lane to an existing motor vehicles dealership will not be detrimental to existing uses since the area immediately surrounding the project site to the north, east and west are also developed with motor vehicle dealerships. The project site will also not be adversely impacted as it is currently developed with an existing automobile dealership. All required roadway improvements were constructed in conjunction with the existing development on site. The project will not result in an increase in average daily trips (ADTs) as the showroom, office, and service lane will replace existing office space and the majority of the increased internal floor area will be utilized for vehicle displace. No additional employees will be required for the expansion and therefore traffic will not significantly impact the nearby intersections and freeway on/off ramps.**
3. That the site for the intended development or use is adequate in size and shape to accommodate the use, in that **the addition of a new showroom, sales office and service lane for an existing motor vehicles dealership complies with the required development and design standards of the Car Country Carlsbad Specific Plan (SP 19(J)). The project is consistent with the required setbacks and has a proposed lot coverage of 24.4%, which is below the allowable lot coverage of 25%. The height of the showroom/sales office and service lane comply with the height limitations of the Car Country Specific Plan.**
4. That all yards, setbacks, walls, fences, landscaping, and other features necessary to adjust the requested development or use to existing or permitted future development or use in the neighborhood will be provided and maintained, in that **the site functions as a component of the Specific Plan's allowed automobile sales, service, and auto-related uses. The project has been designed in accordance with all development and design standards of the Car Country Carlsbad Specific Plan (SP 19(J)) and, therefore, the project is compatible with existing permitted and future uses. Specifically, the proposed new showroom, sales office and service lane will be setback from the property line along Car Country Drive a distance of 79 feet (45-foot minimum required), and 45 feet from the property line along Paseo Del Norte (25-foot minimum required). In addition, circulation, access aisles, parking spaces and landscaping will meet city code requirements.**
5. That the street systems serving the proposed development or use is adequate to properly handle all traffic generated by the proposed use, in that **the proposed project, which consists of the demolition of two existing office spaces to allow for a replacement sales office, showroom and service lane addition, will result in an increase in building area; however, the number of employees will remain the same. Additionally, the majority of the increased area is to**

accommodate vehicle display. Therefore, no new vehicle trips are expected with the buildout of the project and there will be no increase to traffic. Access to the site will continue to be provided by a total of three existing driveways, one along Car Country Drive and two along Paseo Del Norte. The south most driveway approach on Paseo Del Norte will be reconstructed for ADA compliance. Furthermore, the proposed service lane will replace the existing service lane attached to Building A, which will allow for additional vehicle queuing. The project is also conditioned to contain all parking and queuing on-site to avoid any parking or queuing within the public right-of-way.

Coastal Development Permit (CDP 2023-0026)

6. That the proposed development is in conformance with the **Mello II Segment** of the Certified Local Coastal Program and all applicable policies in that **the proposed sales office, showroom and service lane addition to the existing automobile dealership is consistent with the LCP Land Use Plan, which designates the site Regional Commercial (R) and allows for regional commercial-related uses. Furthermore, no agricultural activities, sensitive resources, geological instability, flood hazard, or coastal access opportunities exist onsite, and the development does not obstruct views of the coastline as seen from public lands or public right-of-way or otherwise damage the visual beauty of the coastal zone.**
7. The proposal is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act in that **the property is not located adjacent to the shoreline. Therefore, the project will not interfere with the public's right to physical access to the ocean and the site is not suited for water-oriented recreational activities.**
8. The project is consistent with the provisions of the Coastal Resource Protection Overlay Zone (Chapter 21.203 of the Zoning Ordinance) in that **the project will adhere to the city's Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban runoff, pollutants, and soil erosion. No steep slopes or native vegetation is located on the subject property and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.**
9. The project is not between the sea and the first public road parallel to the sea and therefore, is not subject to the provisions of the Coastal Shoreline Development Overlay Zone (Chapter 21.204 of the Zoning Ordinance).

General

10. The **Planning Commission** finds that the project, as conditioned herein, is in conformance with the Elements of the City's General Plan, based on the facts set forth in the staff report dated **June 19, 2024** including, but not limited to the following:
 - a. Land Use & Community Design – **The automotive sales and services project is consistent with the elements and objectives of the General Plan as discussed in Section "A" of the Project Analysis. The proposed project falls within an approved Specific Plan (Car Country Carlsbad Specific Plan), which was found to be consistent with the General Plan. The existing use,**

motor vehicle dealerships for retail sales and service, is a permitted use within the Car Country Carlsbad Specific Plan (SP 19(J)).

- b. Mobility – **The proposed project has been designed to meet all circulation requirements, including vehicular access to and from Car Country Drive and Paseo Del Norte. In addition, the applicant will be required to pay any applicable traffic impact fees, prior to issuance of a building permit, that will go toward future road improvements.**
 - c. Housing – **The project is not adding additional housing units. Therefore, the project is not subject to inclusionary housing requirements.**
 - d. Public Safety – **The proposed structural improvements will be required to be designed in conformance with all seismic design standards. In addition, the proposed project is consistent with all the applicable fire safety requirements including fire sprinklers. Additionally, the proposed project is not located in an area of known geologic instability or flood hazard and the site is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.**
11. The project is consistent with the Citywide Facilities and Improvements Plan, the Local Facilities Management Plan for Zone 3 and all City public facility policies and ordinances. The project includes elements or has been conditioned to construct or provide funding to ensure that all facilities and improvements regarding sewer collection and treatment; water; drainage; circulation; fire; schools; parks and other recreational facilities; libraries; government administrative facilities; and open space, related to the project will be installed to serve new development prior to or concurrent with need. Specifically,
- a. The project has been conditioned to provide proof from the Carlsbad Unified School District that the project has satisfied its obligation for school facilities.
 - b. The Public Facility fee is required to be paid by Council Policy No. 17 and will be collected prior to the issuance of building permit.
 - c. The Local Facilities Management fee for Zone 3 is required by Carlsbad Municipal Code Section 21.90.050 and will be collected prior to issuance of building permit.
12. That the project is consistent with the City’s Landscape Manual and Water Efficient Landscape Ordinance (Carlsbad Municipal Code Chapter 18.50).
13. The City Planner has determined that the project belongs to a class of projects that the State Secretary for Resources has found do not have a significant impact on the environment, and it is therefore categorically exempt from the requirement for the preparation of environmental documents pursuant to **Section 15332 – In-fill Development Projects**, of the state California Environmental Quality Act (CEQA) Guidelines.
14. The Planning Commission has reviewed each of the exactions imposed on the Developer contained in this resolution, and hereby finds, in this case, that the exactions are imposed to mitigate impacts caused by or reasonably related to the project, and the extent and the degree of the exaction is in rough proportionality to the impact caused by the project.

Conditions:

NOTE: Unless otherwise specified herein, all conditions shall be satisfied prior to **grading permit**.

1. If any of the following conditions fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the city shall have the right to revoke or modify all approvals herein granted; deny or further condition issuance of all future building permits; deny, revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation. No vested rights are gained by Developer or a successor in interest by the city's approval of this **Site Development Plan and Coastal Development Permit**.
2. Staff is authorized and directed to make, or require the Developer to make, all corrections and modifications to the **Site Development Plan and Coastal Development Permit** documents, as necessary to make them internally consistent and in conformity with the final action on the project. Development shall occur substantially as shown on the approved Exhibits. Any proposed development, different from this approval, shall require an amendment to this approval.
3. Developer shall comply with all applicable provisions of federal, state, and local laws and regulations in effect at the time of building permit issuance.
4. If any condition for construction of any public improvements or facilities, or the payment of any fees in-lieu thereof, imposed by this approval or imposed by law on this Project are challenged, this approval shall be suspended as provided in Government Code Section 66020. If any such condition is determined to be invalid, this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.
5. Developer/Operator shall and does hereby agree to indemnify, protect, defend, and hold harmless the City of Carlsbad, its Council members, officers, employees, agents, and representatives, from and against any and all liabilities, losses, damages, demands, claims and costs, including court costs and attorney's fees incurred by the city arising, directly or indirectly, from (a) city's approval and issuance of this **Site Development Plan and Coastal Development Permit**, (b) city's approval or issuance of any permit or action, whether discretionary or nondiscretionary, in connection with the use contemplated herein, and (c) Developer/Operator's installation and operation of the facility permitted hereby, including without limitation, any and all liabilities arising from the emission by the facility of electromagnetic fields or other energy waves or emissions. This obligation survives until all legal proceedings have been concluded and continues even if the city's approval is not validated.
6. Prior to submittal of the building plans, improvement plans, grading plans, or final map, whichever occurs first, developer shall submit to the City Planner, a 24" x 36" copy of the (**Site Plan or other**), conceptual grading plan and preliminary utility plan reflecting the conditions approved by the final decision-making body. The copy shall be submitted to the City Planner, reviewed and, if found acceptable, signed by the city's project planner and project engineer. If no changes were required, the approved exhibits shall fulfill this condition.

7. Prior to the issuance of a building permit, the Developer shall provide proof to the Building Division from the **Carlsbad Unified** School District that this project has satisfied its obligation to provide school facilities.
8. This project shall comply with all conditions and mitigation measures which are required as part of the Zone **3** Local Facilities Management Plan and any amendments made to that Plan prior to the issuance of building permits.
9. This approval shall become null and void if building permits are not issued for this project within 24 months from the date of project approval.
10. Building permits will not be issued for this project unless the local agency providing water and sewer services to the project provides written certification to the city that adequate water service and sewer facilities, respectively, are available to the project at the time of the application for the building permit, and that water and sewer capacity and facilities will continue to be available until the time of occupancy.
11. Developer shall pay the Citywide Public Facilities Fee imposed by City Council Policy #17, the License Tax on new construction imposed by Carlsbad Municipal Code Section 5.09.030, and CFD #1 special tax (if applicable), subject to any credits authorized by Carlsbad Municipal Code Section 5.09.040. Developer shall also pay any applicable Local Facilities Management Plan fee for Zone **3**, pursuant to Chapter 21.90. All such taxes/fees shall be paid at issuance of building permit. If the taxes/fees are not paid, this approval will not be consistent with the General Plan and shall become void.
12. Prior to the issuance of the **grading or building permit**, whichever occurs first, Developer shall submit to the city a Notice of Restriction executed by the owner of the real property to be developed. Said notice is to be filed in the office of the County Recorder, subject to the satisfaction of the City Planner, notifying all interested parties and successors in interest that the City of Carlsbad has issued a **Site Development Plan and Coastal Development Permit** by this Resolution on the property. Said Notice of Restriction shall note the property description, location of the file containing complete project details and all conditions of approval as well as any conditions or restrictions specified for inclusion in the Notice of Restriction. The City Planner has the authority to execute and record an amendment to the notice which modifies or terminates said notice upon a showing of good cause by the Developer or successor in interest.
13. The project is subject to the Prescriptive Compliance Option (PCO) of the City of Carlsbad's Landscape Manual. Developer shall construct and install all landscaping and irrigation as shown on the PCO plan approved as part of this project and on file in the Planning Division. Prior to issuance of a building permit, Developer shall submit an application pursuant to the landscape plancheck process on file in the Planning Division; however, no landscape plans are required, and Developer shall only be responsible to pay the landscape inspection fee, with said application. The approved PCO plan will be utilized by the city as part of the project's final inspection process.
14. All roof appurtenances, including air conditioners, shall be architecturally integrated and concealed from view and the sound buffered from adjacent properties and streets, in substance

as provided in Building Department Policy No. 80-6, to the satisfaction of the Directors of Community and Economic Development Department and Planning

15. No outdoor storage of materials shall occur onsite unless required by the Fire Chief. When so required, the Developer shall submit and obtain approval of the Fire Chief and the City Planner of an Outdoor Storage Plan, and thereafter comply with the approved plan.
16. Developer shall construct, install, and stripe not less than **135** parking spaces, as shown on Exhibits “A” – “N” dated **June 19, 2024**.
17. **Additional fleet/display parking is permitted; however, all parking and vehicle queuing shall be contained on-site outside of the public right-of-way and in no case shall parking impact circulation into the public road network.**
18. Any signs proposed for this development shall at a minimum be designed in conformance with the city’s Sign Ordinance **and the Car Country Carlsbad Specific Plan (SP 19) sign standards** and shall require review and approval of the City Planner prior to installation of such signs.

Engineering

NOTE: Unless specifically stated in the condition, all of the following conditions, upon the approval of this proposed development, must be met prior to approval of a building or grading permit whichever occurs first.

General

19. Prior to hauling dirt or construction materials to or from any proposed construction site within this project, developer shall apply for and obtain approval from, the city engineer for the proposed haul route.
20. This project is approved upon the express condition that building permits will not be issued for the development of the subject property, unless the district engineer has determined that adequate water and sewer facilities are available at the time of permit issuance and will continue to be available until time of occupancy.
21. Developer shall include rain gutters on the building plans subject to the city engineer’s review and approval. Developer shall install rain gutters in accordance with said plans.
22. Developer shall install sight distance corridors at all street intersections and driveways in accordance with City Engineering Standards. The property owner shall maintain this condition.
23. Property owner shall maintain all landscaping (street trees, tree grates, shrubs, groundcover, etc.) and irrigation along the parkway frontage with Paseo Del Norte and Car Country Drive as shown on the Site Plan.

Fees/Agreements

24. Developer shall cause property owner to execute and submit to the city engineer for recordation,

the city's standard form Geologic Failure Hold Harmless Agreement.

25. Developer shall cause property owner to execute and submit to the city engineer for recordation the city's standard form Drainage Hold Harmless Agreement.
26. Developer shall cause property owner to submit an executed copy to the city engineer for recordation a city standard Permanent Stormwater Quality Best Management Practice Maintenance Agreement.

Grading

27. Based upon a review of the proposed grading and the grading quantities shown on the site plan, a grading permit for this project is required. Developer shall prepare and submit plans and technical studies/reports as required by city engineer, post security and pay all applicable grading plan review and permit fees per the city's latest fee schedule.

Storm Water Quality

28. Developer shall comply with the city's Stormwater Regulations, latest version, and shall implement best management practices at all times. Best management practices include but are not limited to pollution control practices or devices, erosion control to prevent silt runoff during construction, general housekeeping practices, pollution prevention and educational practices, maintenance procedures, and other management practices or devices to prevent or reduce the discharge of pollutants to stormwater, receiving water or stormwater conveyance system to the maximum extent practicable. Developer shall notify prospective owners and tenants of the above requirements.
29. Developer shall complete and submit to the city engineer a Determination of Project's SWPPP Tier Level and Construction Threat Level Form pursuant to City Engineering Standards. Developer shall also submit the appropriate Tier level Storm Water Compliance form and appropriate Tier level Storm Water Pollution Prevention Plan (SWPPP) to the satisfaction of the city engineer. Developer shall pay all applicable SWPPP plan review and inspection fees per the city's latest fee schedule.
30. This project is subject to 'Priority Development Project' requirements and trash capture requirements. Developer shall prepare and process a Storm Water Quality Management Plan (SWQMP), subject to city engineer approval, to comply with the Carlsbad BMP Design Manual latest version. The final SWQMP required by this condition shall be reviewed and approved by the city engineer with final grading plans. Developer shall pay all applicable SWQMP plan review and inspection fees per the city's latest fee schedule.
31. Developer is responsible to ensure that all final design plans (grading plans, improvement plans, landscape plans, building plans, etc) incorporate all source control, site design, pollutant control BMP and applicable hydromodification measures.

Dedications/Improvements

32. Developer shall design the private drainage systems, as shown on the site plan to the satisfaction

of the city engineer. All private drainage systems (12" diameter storm drain and larger) shall be inspected by the city. Developer shall pay the standard improvement plan check and inspection fees for private drainage systems.

33. Prior to any work in city right-of-way or public easements, Developer shall apply for and obtain a right-of-way permit to the satisfaction of the city engineer.
34. Developer shall prepare and process public improvement plans and, prior to city engineer approval of said plans, shall execute a city standard Development Improvement Agreement to install and shall post security in accordance with C.M.C. Section 20.16.070 for public improvements shown on the site plan. Said improvements shall be installed to city standards to the satisfaction of the city engineer. These improvements include, but are not limited to:
 - A. **Replacement of curb ramp at the northeast corner of Paseo Del Norte and Car Country Drive, as needed, to conform with current accessibility requirements.**
 - B. **Installation of new water and fire sprinkler service in Paseo Del Norte.**
 - C. **Installation of new driveway approach on Paseo Del Norte.**

Additional public improvements required in other conditions of this resolution are hereby included in the above list by reference. Developer shall pay the standard improvement plan check and inspection fees in accordance with the fee schedule. Improvements listed above shall be constructed within 36 months of approval of the subdivision or development improvement agreement or such other time as provided in said agreement.

35. Developer shall design, and obtain approval from the city engineer, the structural section for the access aisles with a traffic index of 5.0 in accordance with city standards due to truck access through the parking area and/or aisles with an ADT greater than 500. Prior to completion of grading, the final structural pavement design of the aisle ways shall be submitted together with required R-value soil test information subject to the review and approval of the city engineer.
36. Developer is responsible to ensure utility transformers or raised water backflow preventers that serve this development are located outside the right-of-way as shown on the [Tentative Map/Site Plan] and to the satisfaction of the city engineer. These facilities shall be constructed within the property.

Utilities

37. Developer shall meet with the fire marshal to determine if fire protection measures (fire flows, fire hydrant locations, building sprinklers) are required to serve the project.
38. The developer shall agree to design landscape and irrigation plans utilizing recycled water as a source and prepare and submit a colored recycled water use map to the Planning Department for processing and approval by the district engineer.
39. Developer shall install potable water and/or recycled water services and meters at locations approved by the district engineer. The locations of said services shall be reflected on public improvement plans.

40. The developer shall agree to install sewer laterals and clean-outs at locations approved by the city engineer. The locations of sewer laterals shall be reflected on public improvement plans.
41. The developer shall design and agree to construct public water, sewer, and recycled water facilities substantially as shown on the site plan to the satisfaction of the district engineer and city engineer.

Code Reminders

The project is subject to all applicable provisions of local ordinances, including but not limited to the following:

42. Developer shall pay planned local area drainage fees in accordance with Section 15.08.020 of the City of Carlsbad Municipal Code to the satisfaction of the city engineer.
43. Developer shall pay traffic impact and sewer impact fees based on Section 18.42 and Section 13.10 of the City of Carlsbad Municipal Code, respectively. The Average Daily Trips (ADT) and floor area contained in the staff report and shown on the site plan are for planning purposes only.

NOTICE TO APPLICANT

An appeal of this decision to the City Council must be filed with the City Clerk at 1200 Carlsbad Village Drive, Carlsbad, California, 92008, within ten (10) calendar days of the date of the Planning Commission's decision. Pursuant to Carlsbad Municipal Code Chapter 21.54, section 21.54.150, the appeal must be in writing and state the reason(s) for the appeal. The City Council must make a determination on the appeal prior to any judicial review.

NOTICE

Please take **NOTICE** that approval of your project includes the "imposition" of fees, dedications, reservations, or other exactions hereafter collectively referred to for convenience as "fees/exactions."

You have 90 days from date of final approval to protest imposition of these fees/exactions. If you protest them, you must follow the protest procedure set forth in Government Code Section 66020(a), and file the protest and any other required information with the City Manager for processing in accordance with Carlsbad Municipal Code Section 3.32.030. Failure to timely follow that procedure will bar any subsequent legal action to attack, review, set aside, void, or annul their imposition.

You are hereby FURTHER NOTIFIED that your right to protest the specified fees/exactions DOES NOT APPLY to water and sewer connection fees and capacity charges, nor planning, zoning, grading, or other similar application processing or service fees in connection with this project; NOR DOES IT APPLY to any fees/exactions of which you have previously been given a NOTICE similar to this, or as to which the statute of limitations has previously otherwise expired.

PASSED, APPROVED, AND ADOPTED at a regular meeting of the Planning Commission of the City of Carlsbad, California, held on **June 19, 2024**, by the following vote, to wit:

AYES:

NAYES:

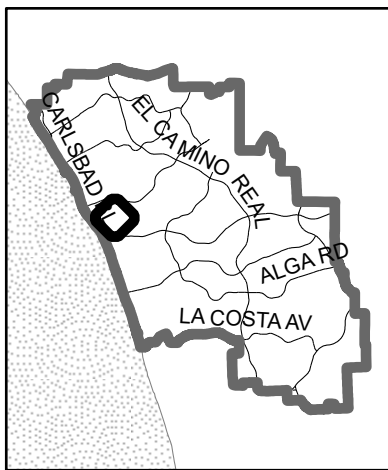
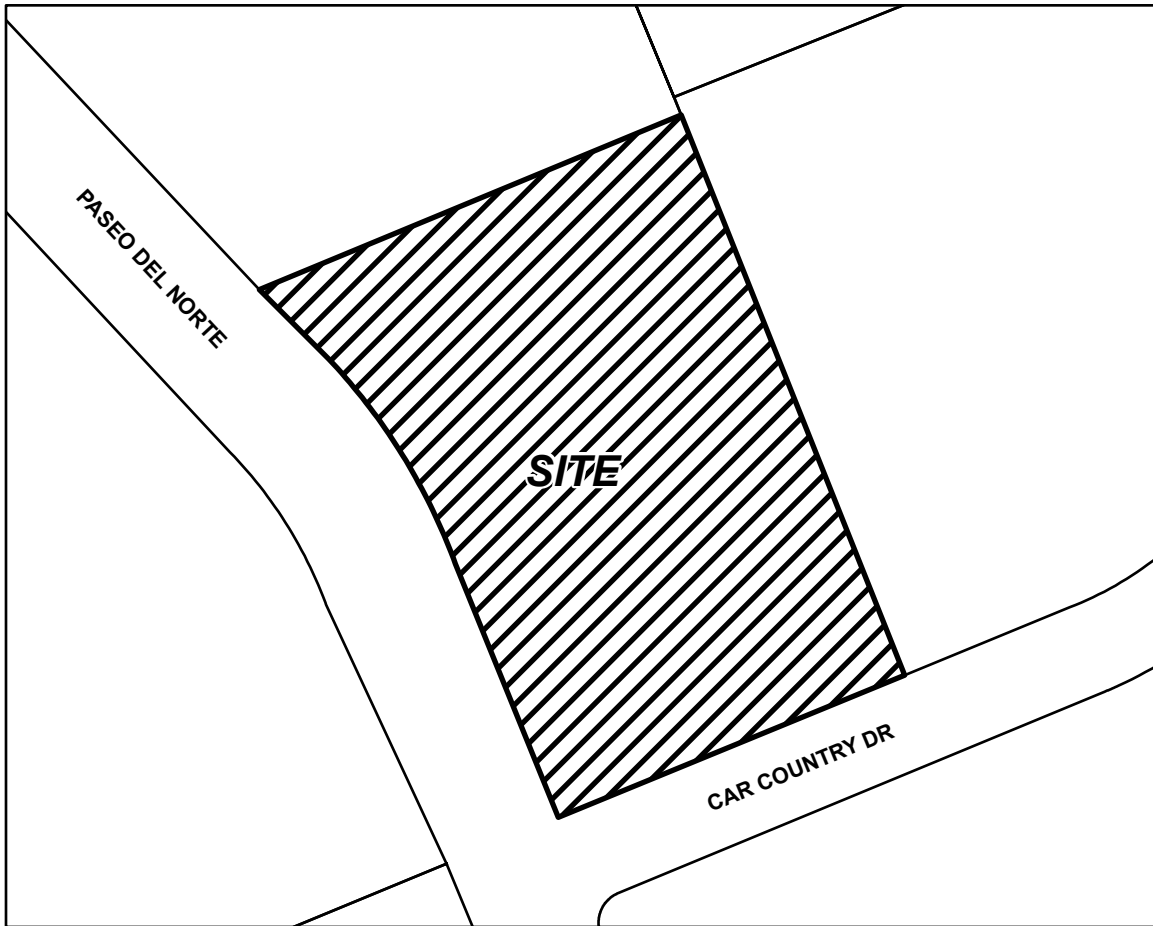
ABSENT:

ABSTAIN:

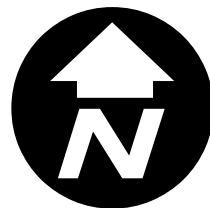
WILLIAM KAMENJARIN, Chairperson
CARLSBAD PLANNING COMMISSION

ATTEST:

ERIC LARDY
City Planner



SITE MAP



NOT TO SCALE

Premier Cadillac

SDP 2023-0016/CDP 2023-0026 (DEV2022-0190)

PROJECT ANALYSIS

The project is subject to the following regulations:

- A. General Plan Land Use Designation, Regional Commercial (R)
- B. General Commercial (C-2) Zone (CMC Chapter 21.28), Site Development Plan (CMC Chapter 21.06), Coastal Resource Protection Overlay Zone (CMC Chapter 21.203), and Commercial/Visitor-Serving Overlay Zone (CMC 21. 208)
- C. Car Country Carlsbad Specific Plan (SP-19(J))
- D. Coastal Development Procedures for the Mello II Segment of the Local Coastal Program (CMC Chapter 21.201); and Coastal Resource Protection Overlay Zone (CMC Chapter 21.203).
- E. Growth Management Ordinance (CMC Chapter 21.90) and Local Facilities Management Plan Zone 3

The recommendation for approval of this project was developed by analyzing the project’s consistency with the applicable regulations and policies. The project’s compliance with each of the above regulations is discussed in detail within the sections below.

A. General Plan Land Use Designation, Regional Commercial (R)

The site has a Regional Commercial (R) General Plan Land Use designation. The R designation identifies areas that are intended for commercial centers that draw customers from outside of the city, such as automobile sales. For this reason, R designated properties are customarily located on sites that are visible as well as accessible from interchange points between highways and freeways. This project supports the general plan goals as outlined below in Table A:

TABLE A – GENERAL PLAN COMPLIANCE

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
Land Use & Community Design	<u>Goal 2-G.3</u> : Promote infill development that makes efficient use of limited land supply, while ensuring compatibility and integration with existing uses. Ensure that infill properties develop with uses and development intensities supporting a cohesive development pattern.	The existing dealership is located on Lot 9 of the Car Country Carlsbad Specific Plan (SP 19(J)). The project continues and enhances the property’s existing use. Automobile sales and repair-related services are both local and regional commercial uses which serve local residents and	Yes

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
	<p><u>Goal 2-G.8:</u> Provide opportunities for continued economic growth and vitality that enhance Carlsbad’s position as a premier regional employment center.</p> <p><u>Policy 2-P.25:</u> Ensure that commercial development is designed to include:</p> <ul style="list-style-type: none"> a. Integrated landscaping, parking, signs, and site and building design. b. Common ingress and egress, safe and convenient access and internal circulation, adequate off-street parking and loading facilities. Each commercial site should be easily accessible by pedestrians, bicyclists, and automobiles to nearby residential development. c. Architecture that emphasizes establishing community identity while presenting tasteful, dignified and visually appealing designs compatible with their surroundings. d. A variety of courtyards and pedestrian ways, bicycle facilities, landscaped parking lots, and the use of harmonious architecture in the construction of buildings. 	<p>draw customers from outside the city, generate tax revenue and jobs, and provide goods and services to residents in the city.</p> <p>The existing dealership and proposed addition and remodel comply with all required standards, including onsite landscaping and parking. The site contains three existing ingress/egress points that provide safe and convenient access to the site.</p> <p>The proposed Spanish/ Mediterranean architectural design is consistent with the Car Country Carlsbad Specific Plan, SP 19(J). The proposed project will continue to provide adequate off-street parking and loading facilities.</p>	

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

ELEMENT	USE, CLASSIFICATION, GOAL, OBJECTIVE, OR PROGRAM	PROPOSED USES & IMPROVEMENTS	COMPLY
Economy, Business Diversity, & Tourism	<p><u>Goal 8-G.2:</u> Facilitate retention, expansion, attraction, and incubation of businesses that meet the city’s economic development objectives.</p> <p><u>Goal 8-G.4:</u> Establish land use priorities based on economic criteria and long-term community needs; reserve sites for designated uses rather than accepting any development.</p>	The existing automobile dealership will continue to generate tax revenue and jobs and provide goods and services to residents in the city. The dealership is located within the Car Country Carlsbad Specific Plan (SP 19(J)), which specifically allows and encourages the existing land use	Yes

B. General Commercial Zone (CMC Chapter 21.28); Site Development Plan (Chapters 21.06); Coastal Resource Protection Overlay Zone (CMC Chapter 21.203), and Commercial/Visitor-Serving Overlay Zone (CMC 21. 208).

The subject property is zoned General Commercial (C-2). As the property is also located within the boundaries of the Car Country Specific Plan (SP 19(J)), the C-2 zone is superseded by the Car Country Specific Plan, which allows for new and used auto sales as well as service-related uses with the approval of a Site Development Plan.

The project also falls within the boundaries of the Commercial/Visitor-Serving Overlay Zone. However, pursuant to CMC Section 21.208.030, automobile dealerships located within the Car Country Specific Plan area are not subject to the development standards or processing procedures of the Commercial/Visitor-Serving Overlay Zone.

The Car Country Specific Plan requires a Site Development Plan approved by the City Planner for any addition that would result in an increase of 10 to 50% of the internal floor area of the existing building, and any new building which would result in an increase of 10 to 50% of the combined internal floor area of all existing buildings on site for lots located within the boundaries of the Specific Plan. The project proposes to demolish 4,543 square feet of a 19,947-square-foot building and replace it with a 8,703-square-foot office and showroom and 2,096 service lane addition, resulting in a net increase of 6,256 square feet which equates to a 31% increase in square footage. However, because the Coastal Development Permit requires a decision from the Planning Commission, subject to the Carlsbad Municipal Code it shall have the authority to approve, conditionally approve or deny all permits, including the Site Development Plan.

As demonstrated in the Planning Commission Resolution (Exhibit 1) all the required Site Development Plan findings can be made. In summary, the office, showroom and service lane

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

addition to the existing automobile dealership is compatible with the surrounding land uses, which include automobile dealerships to the north, east and west. In addition, the proposed project is consistent with the various elements of the General Plan, will not adversely impact traffic, and the site is adequate in size to accommodate the proposed project. The required findings for SDP 2023-0016, with justification for each, are summarized below and contained in the Planning Commission Resolution (Exhibit 1).

- 1. That the proposed development or use is consistent with the General Plan and any applicable master plan or specific plan, complies with all applicable provisions of Chapter 21.06 of the Carlsbad Municipal Code, and all other applicable provisions of this code.**

The project is consistent with the Regional Commercial (R) General Plan Land Use designation as discussed above and is subject to the development standards of the Car Country Carlsbad Specific Plan. The Specific Plan is found to be consistent with the various elements of the General Plan, and the project design complies with the requirements of the Car Country Carlsbad Specific Plan. The demolition of two existing offices spaces and the addition of a new showroom, office and service lane for an existing motor vehicles dealership is consistent with the goals and vision of the Specific Plan for Lot 9, and the project design complies with all applicable Specific Plan development standards.

- 2. That the requested development or use is properly related to the site, surroundings, and environmental settings, will not be detrimental to existing development or uses or to development or uses specifically permitted in the area in which the proposed development or use is to be located, and will not adversely impact the site, surroundings, or traffic circulation.**

The demolition two existing offices spaces and the addition of a new showroom, office and service lane for an existing motor vehicles dealership will not be detrimental to existing uses since the area immediately surrounding the project site to the north, east and west are also developed with automobile uses. The project site will not be adversely impacted as it is currently developed with an existing automobile dealership. All required roadway improvements were constructed in conjunction with the existing development on site. The project will not result in an increase in average daily trips (ADTs) as the expanded area in Building B will accommodate more vehicles to display in the showroom and moves vehicles from outside to inside. No additional employees will be required for the expansion and therefore traffic will not significantly impact the nearby intersections and freeway on/off ramps.

- 3. That the site for the intended development or use is adequate in size and shape to accommodate the use.**

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

The addition of a new showroom, office and service lane for an existing motor vehicles dealership complies with the required development and design standards of the Car Country Carlsbad Specific Plan (SP 19(J)). The project is consistent with the required setbacks and has a proposed lot coverage of 24.4%, which is below the allowable lot coverage of 25%. The height of the showroom/sales office and service lane comply with the height limitations of the Car Country Specific Plan.

- 4. That all yards, setbacks, walls, fences, landscaping, and other features necessary to adjust the requested development or use to existing or permitted future development or use in the neighborhood will be provided and maintained.**

The site functions as a component of the Specific Plan's allowed automobile sales, service, and auto-related uses. The project has been designed in accordance with all development and design standards of the Car Country Carlsbad Specific Plan (SP 19(J)) and, therefore, the project is compatible with existing permitted and future uses. Specifically, the proposed new showroom/sales office and service lane will be setback from the property line along Car Country Drive a distance of 79 feet (45-foot minimum required), and 45 feet from the property line along Paseo Del Norte (25-foot minimum required). In addition, circulation, access aisles, parking spaces and landscaping meet city code requirements.

- 5. That the street systems serving the proposed development or use is adequate to properly handle all traffic generated by the proposed use.**

The proposed project consists of demolition of two existing office spaces to allow for an addition to Building B which will include sales office and a showroom. Although there is an increase in building area for the project, the number of employees will remain the same. The majority of the increased building area is to accommodate vehicle display. Therefore, no new vehicle trips are expected with the buildout of the project and there will be no increase to traffic. Access to the site will continue to be provided by a total of three existing driveways, one along Car Country Drive and two along Paseo Del Norte. The south most driveway approach along Paseo Del Norte will be reconstructed for ADA compliance. Furthermore, the proposed service lane will replace the existing service lane attached to Building A, which will allow for additional vehicle queuing. The project is also conditioned to contain all parking and queuing on-site to avoid any parking or queuing within the public right-of-way.

C. Car Country Carlsbad Specific Plan (SP 19(J))

The subject site is located within the boundaries of Specific Plan 19(J). As demonstrated in Table B below, the proposed project complies with the development standards contained in the Specific Plan.

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

TABLE B: PARKING COMPLIANCE

USE	STANDARDS	REQUIRED/ALLOWED	PROPOSED/PROVIDED	COMPLY
Sales	1 space/400 SF 20% required as customer parking (designated and striped) 80% undesignated employee parking	18,758 SF/400 = 47 total spaces Customer: 20% of 47 = 10 customer spaces Employee: 37 employee	10 customer 37 employee 47 spaces total	Yes
Repair/Service	4 spaces per work bay for first 3 bays, 2 spaces per bay in excess of 3	33 work bays $4(3) + 2(30) = 72$ spaces	79 spaces	Yes
Parts	Customer parking: 1 space/1,000 SF	Customer parking: $8,389 \text{ SF} / 1,000 = 9$ customer spaces	Customer parking: 9 spaces	Yes
Inventory/Display	Permitted as long as required customer and employee parking is provided	Permitted as long as required customer and employee parking is provided	38 spaces	Yes
Additional Parking	No requirement	No requirement	Customer: 4 spaces Employee: 6 spaces	Yes
Total Parking		135 spaces	190 spaces (6 accessible spaces)	Yes

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

TABLE C: SPECIFIC PLAN COMPLIANCE

STANDARDS	REQUIRED/ALLOWED	PROPOSED/PROVIDED	COMPLY
Building Setbacks	<p>Front (Car Country Drive): 45 feet</p> <p>Rear (north property line): No rear setback required</p> <p>Street Side (Paseo Del Norte): 25 feet</p> <p>Interior Side (east property line): 10 feet</p>	<p>Front (Car Country Drive): 79 feet</p> <p>Rear: 10 feet</p> <p>Street Side (Paseo Del Norte): 45 feet</p> <p>Interior Side (east property line): 20 feet</p>	Yes
Building Height	<p>Main Buildings: 35 feet (2 stories)</p> <p>Service Buildings: 24 feet (1 story)</p>	23'-5" (1 stories)	Yes
Building Coverage	25% permitted and may be increased to 50% when a parking structure is proposed as part of the Site Development Plan	24.4% proposed	Yes
Architectural Design	Spanish or Mediterranean motif	Spanish/Mediterranean features include decorative cornice, terra cotta-colored tile roof elements, recessed windows, arched openings, rafter tails and a slump stone building façade.	Yes
Roof Equipment	Roof-mounted equipment shall be screened from view of adjacent properties and public streets.	All roof top equipment is shielded by the existing and proposed parapets.	Yes
Trash Collection	Enclosed by a 6-foot-high masonry wall with gates; shall be of similar colors to the project.	Existing enclosure has 6-foot walls and roof matching the building's color.	Yes

D. Coastal Development Procedures for the Mello II Segment of the Local Coastal Program (CMC Chapter 21.201); and Coastal Resource Protection Overlay Zone (CMC Chapter 21.203).

PROJECT ANALYSIS

(GENERAL PLAN, MUNICIPAL CODE, AND OTHER REGULATIONS)

The project site is located within the non-appealable area of the Coastal Zone and within the Mello II Segment of the Local Coastal Program (LCP). The site is also located within and subject to the Coastal Resources Protection Overlay Zone (Chapter 21.203). The project's compliance with each of these programs and ordinances is discussed below:

1. Mello II Segment of the Certified Local Coastal Program and all applicable policies

The Specific Plan implements the intent of the Regional Commercial (R) General Plan Land Use designation and LCP Land Use designation. The Car Country Carlsbad Specific Plan is the implementing ordinance for, and is consistent with, the LCP. The proposed demolition of an existing automobile sales office, Building E, and the sales office space within Building B and the expansion of Building B with a new office and service lane will not result in any conflicts with the provisions of the LCP. The proposed one-level structure is compatible with the existing surrounding automotive and commercial uses. The proposed structure will not obstruct views of the coastline as seen from public lands or the public right-of-way, nor otherwise damage the visual beauty of the coastal zone. No agricultural uses or sensitive resources exist on this previously graded and developed site. The proposed structure is not located in an area of known geologic instability or flood hazard. The site is near the coast, but no public opportunities for coastal shoreline access or water-oriented recreational activities are available from the site.

2. Coastal Resource Protection Overlay Zone

The project is consistent with the provisions of the Coastal Resource Protection Overlay Zone (CMC Chapter 21.203 of the Zoning Ordinance) in that the project will adhere to the city's Master Drainage Plan, Grading Ordinance, Storm Water Ordinance, BMP Design Manual and Jurisdictional Runoff Management Program (JRMP) to avoid increased urban run-off, pollutants, and soil erosion. The project site does not include steep slopes (equal to or greater than 25% gradient) or native vegetation; and, is not located in an area prone to landslides, or susceptible to accelerated erosion, floods, or liquefaction.

F. Growth Management Ordinance (CMC Chapter 21.90) and Local Facilities Management Plan Zone 13

The proposed project is located within Local Facilities Management Zone 3. The Car Country Carlsbad Specific Plan was found to be in compliance with the Zone 3 Local Facilities Management Plan when adopted and amended. The proposed replacement of an existing automobile sales office space with a new showroom and sales office is consistent with the Carlsbad Ranch Specific Plan and does not change the growth projections analyzed in the Zone 3 Local Facilities Management Plan. No new facilities analysis is required and no amendment to the facilities plan is necessary.



**DISCLOSURE STATEMENT
P- 1(A)**

Development Services

Planning Division
1635 Faraday Avenue
(442) 339-2610
www.carlsbadca.gov

Applicant’s statement or disclosure of certain ownership interests on all applications which will require discretionary action on the part of the City Council or any appointed Board, Commission or Committee.

The following information **MUST** be disclosed at the time of application submittal. Your project cannot be reviewed until this information is completed. Please print.

Note:
Person is defined as “Any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, in this and any other county, city and county, city municipality, district or other political subdivision or any other group or combination acting as a unit.”
Agents may sign this document; however, the legal name and entity of the applicant and property owner must be provided below.

- APPLICANT** (Not the applicant’s agent)
Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person <u>Troy Duhon</u>	Corp/Part <u>Premier Automotive BCG of Carlsbad LLC</u>
Title <u>Managing Member</u>	Title <u>Applicant</u>
Address <u>13040 I-10 ServiceRD, New Orleans, LA</u>	Address <u>5556 Paseo Del Norte, Carlsbad, CA 92008</u>

- OWNER** (Not the owner’s agent)
Provide the **COMPLETE, LEGAL** names and addresses of **ALL** persons having any ownership interest in the property involved. Also, provide the nature of the legal ownership (i.e., partnership, tenants in common, non-profit, corporation, etc.). If the ownership includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. IF NO INDIVIDUALS OWN MORE THAN 10% OF THE SHARES, PLEASE INDICATE NON-APPLICABLE (N/A) IN THE SPACE BELOW. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.)

Person <u>Eric Brooking</u>	Corp/Part _____
Title <u>Owner</u>	Title _____
Address <u>375 Skyline Dr.</u> <u>Vista, CA 92084</u>	Address _____

3. NON-PROFIT ORGANIZATION OR TRUST

If any person identified pursuant to (1) or (2) above is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the non-profit organization or as trustee or beneficiary of the.

Non Profit/Trust _____	Non Profit/Trust _____
Title _____	Title _____
Address _____	Address _____
_____	_____

4. Have you had more than \$500 worth of business transacted with any member of City staff, Boards, Commissions, Committees and/or Council within the past twelve (12) months?

Yes No If yes, please indicate person(s): _____

NOTE: Attach additional sheets if necessary.

I certify that all the above information is true and correct to the best of my knowledge.

Eric Brooking 6-11-24
Signature of owner/date

Troy Duhon
Signature of applicant/date

Eric Brooking
Print or type name of owner

Troy Duhon
Print or type name of applicant

Signature of owner/applicant's agent if applicable/date

Print or type name of owner/applicant's agent

Attachments: Determination of Exemption

CEQA DETERMINATION OF EXEMPTION

Subject: This California Environmental Quality Act (CEQA) Determination of Exemption is in compliance with Carlsbad Municipal Code Section 19.04.060. An appeal to this determination must be filed in writing with the required fee within ten (10) calendar days of the City Planner's decision consistent with Carlsbad Municipal Code Section 21.54.140.

City Planner Decision Date: April 8, 2024

Project Number and Title: SDP 2023-0016/CDP 2023-0026 – PREMIER CADILLAC

Project Location - Specific: 5566 Paseo Del Norte (APN 211-060-06-00)

Project Location - City: Carlsbad

Project Location - County: San Diego

Description of Project: Demolish an existing 1,512-square-foot office building and a 4,543-square-foot sales office and construct an 8,703-square-foot, 21-foot-4-inch-tall showroom and office building with a 2,096-square-foot, 23-foot-6-inch-tall service lane for Premier Cadillac. The project also includes revised parking and landscaping.

Name of Public Agency Approving Project: City of Carlsbad

Name of Person or Agency Carrying Out Project: City of Carlsbad

Name of Applicant: Crystal Cardona

Applicant's Address: 17087 Orange Way, Fontana, CA 92335

Applicant's Telephone Number: (909) 355-6688

Name of Applicant/Identity of person undertaking the project: _____

Exempt Status: CEQA Section 15332 – In-fill Development Projects

Reasons why project is exempt: The project consists of the demolition of an existing 1,512-square-foot office building and a 4,543-square-foot sales office and construction of an 8,703-square-foot, 21-foot-4-inch-tall showroom and office building with a 2,096-square-foot, 23-foot-6-inch-tall service lane, revised parking, and modified landscaping is on a project site that is less than five acres, is consistent with applicable general plan policies, zoning regulations and does not endanger rare or threatened species. Furthermore, the project will not result in significant effects relating to traffic, noise, air quality, or water quality, and the site can be adequately served by all required utilities and public services.

Lead Agency Contact Person: Lauren Yzaguirre, Associate Planner Telephone: 442-339-2634



ERIC LARDY, City Planner

4/8/2024

Date



Sequence of Drawings - DR

Number	Description
PL1	Cover Sheet
PL1.1	Demo Site Plan
PL1.2	Area & Parking Plan
PL2	Existing Floor Plan
PL3	Proposed Floor Plan
PL4	Existing Exterior Elevations
PL5	Proposed Ext. Elevations
PL6	3D Views
PL7	Roof Plan & Sections
PL8	Street Views
PL9	Details
D.1	ADA - Details
D.2	ADA - Details

Sequence of Drawings - DR

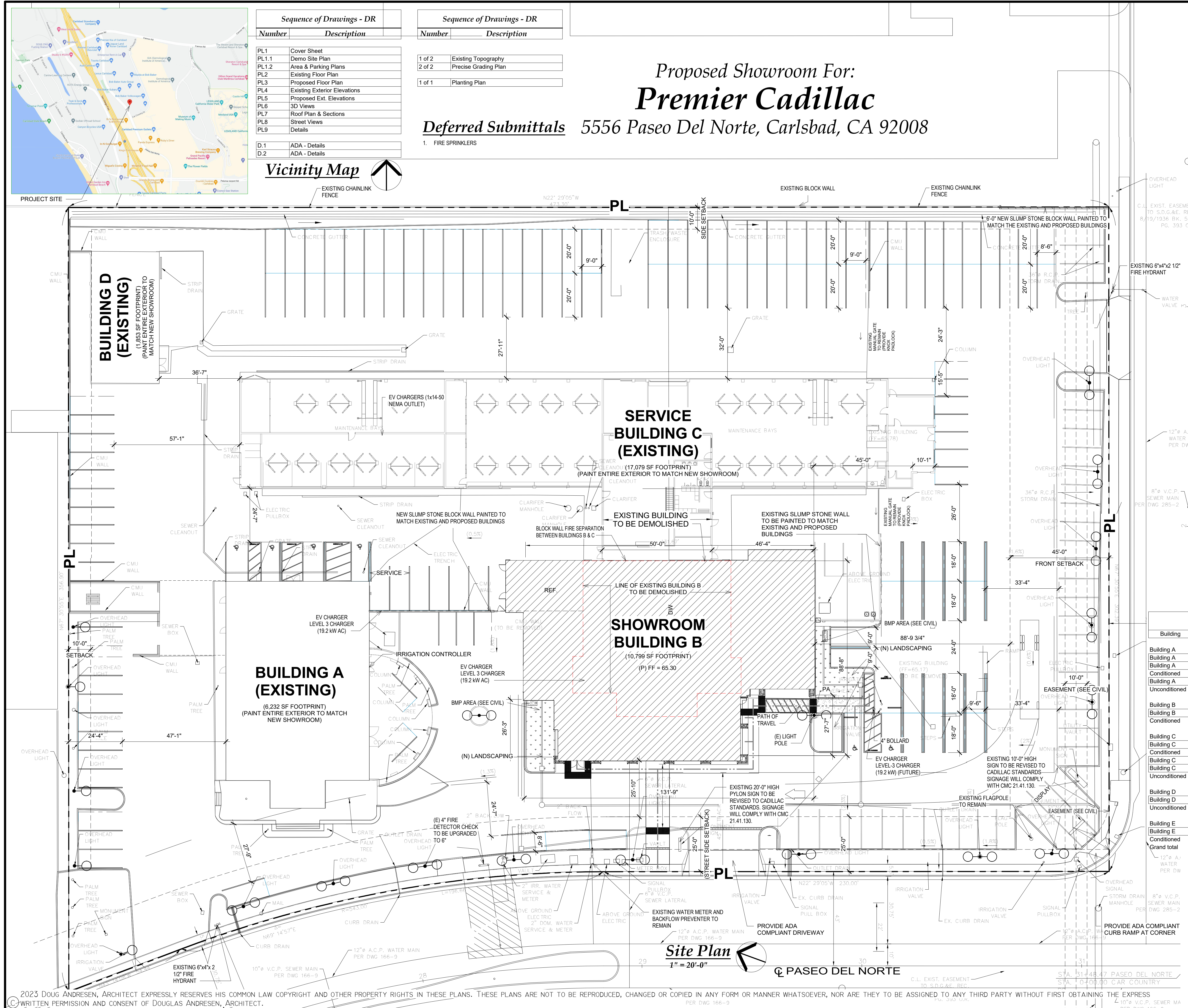
Number	Description
1 of 2	Existing Topography
2 of 2	Precise Grading Plan
1 of 1	Planting Plan

Deferred Submittals 5556 Paseo Del Norte, Carlsbad, CA 92008

- FIRE SPRINKLERS



Proposed Showroom For:
Premier Cadillac



OWNER: PREMIER AUTOMOTIVE MANAGEMENT
5556 PASEO DEL NORTE, CARLSBAD, CA 92008

PROJECT ADDRESS: 5556 PASEO DEL NORTE, CARLSBAD, CA 92008

ARCHITECT: ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY, FONTANA, CA 92335
ADRIANA GOMEZ (909) 355-6688
adriana.gomez@aafir.com

CONTACT: ADRIANA GOMEZ

CONTRACTOR: SAJERS LOPEZ CONSTRUCTION INC.
26072 MERIT CIRCLE, SUITE 112, LAGUNA HILLS, CA 92653
FRED LOPEZ (949) 362-0756
fred@slconst.com

CONTACT: FRED LOPEZ

CIVIL ENGINEER: JONES, CAHL & ASSOCIATES INC.
18090 BEACH BLVD., SUITE #12, HUNTINGTON BEACH, CA 92648
DANIEL RUBIO (714) 848-0566
jca@jonescahl.com

CONTACT: DANIEL RUBIO

LANDSCAPE ARCHITECT: LANDSCAPE DYNAMICS
SARA ZOLL (951) 264-8195
sarazoll@landscapedynamics.net

APN: 2110600600

GENERAL PLAN: REGIONAL COMMERCIAL (R)

SPECIFIC PLAN: SP000019 (LOT 9 OF ORIGINAL SP 19 AREA)

ZONING: GENERAL COMMERCIAL ZONE (G-2)

COASTAL ZONE: YES (COASTAL LAND USE DESIGNATION AND ZONE ARE THE SAME AS THE GENERAL PLAN AND ZONING ABOVE)

LOT CLASSIFICATION: COMMERCIAL

CONSTRUCTION TYPE: V-B

OCCUPANCY: B/S-1

FIRE SPRINKLERS: NFPA 13 REQUIRED (EXISTING FIRE SPRINKLERS SYSTEM TO BE EXTENDED INTO NEW BUILDING) FIRE ALARM SYSTEM NOT REQUIRED PER CBC 907.2.2

- THIS PROJECT REQUIRES:**
- MINOR SITE DEVELOPMENT PLAN (SDP) FOR INCREASE BETWEEN 10% AND 50% OF THE COMBINED TOTAL FLOOR AREA OF ALL EXISTING BUILDINGS ON SITE.
 - APPROVAL OF PLANNING COMMISSION, COASTAL DEVELOPMENT PERMIT (CDP) FOR DEVELOPMENT IN THE COASTAL ZONE (APPROVAL OF PLANNING COMMISSION), CLIMATE ACTION PLAN (CAP).

LOT AREA: 147,634 SF TOTAL

PROPOSED LOT COVERAGE: 35,963 SF = (24.4%) < (25%) OK

NET LOT AREA: 111,671 SF TOTAL

EXISTING ADT: 250

PROPOSED ADT: 250

NET INCREASE ADT: 0

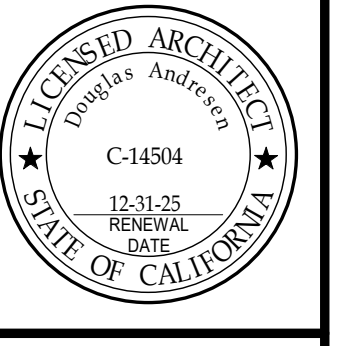
(SEE LOCAL MOBILITY ANALYSIS FOR TRIP GENERATION RATES)

Area Schedule (Existing and Demo)			Area Schedule (Existing and Proposed)		
Building	Name	Area	Building	Name	Area
Building A	Building A - First Floor	6,232 SF	Building A	Building A - First Floor	6,232 SF
Building A	Building A - Second Floor	2,500 SF	Building A	Building A - Second Floor	2,500 SF
Conditioned		8,732 SF	Conditioned		8,732 SF
Building A	Building A - Storage Mezzanine	2,584 SF	Building A	Building A - Storage Mezzanine	2,584 SF
Unconditioned		2,584 SF	Unconditioned		2,584 SF
Building B	Building B (Demo)	4,543 SF	Building B	Building B (New Showroom)	8,703 SF
Conditioned		4,543 SF	Conditioned		8,703 SF
			Building B	Building B (New Service Lanes)	2,096 SF
			Unconditioned		2,096 SF
Building C	Building C - First Floor	4,259 SF	Building C	Building C - First Floor	4,259 SF
Conditioned		4,259 SF	Building C	Building C - First Floor	2,937 SF
Building C	Building C - First Floor Service	12,819 SF	Building C	Building C - First Floor	1,323 SF
Building C	Building C - Storage Mezzanine	2,869 SF	Building C	Building C - Storage Mezzanine	2,869 SF
Unconditioned		15,688 SF	Conditioned		4,259 SF
			Building C	Building C - First Floor Service	12,819 SF
Building D	Building D	1,853 SF	Building C	Building C - Storage Mezzanine	2,869 SF
Unconditioned		1,853 SF	Unconditioned		15,688 SF
Building E	Building E (Demo)	1,512 SF	Building D	Building D	1,853 SF
Conditioned		1,512 SF	Unconditioned		1,853 SF
Grand total		39,172 SF	Grand total		43,916 SF

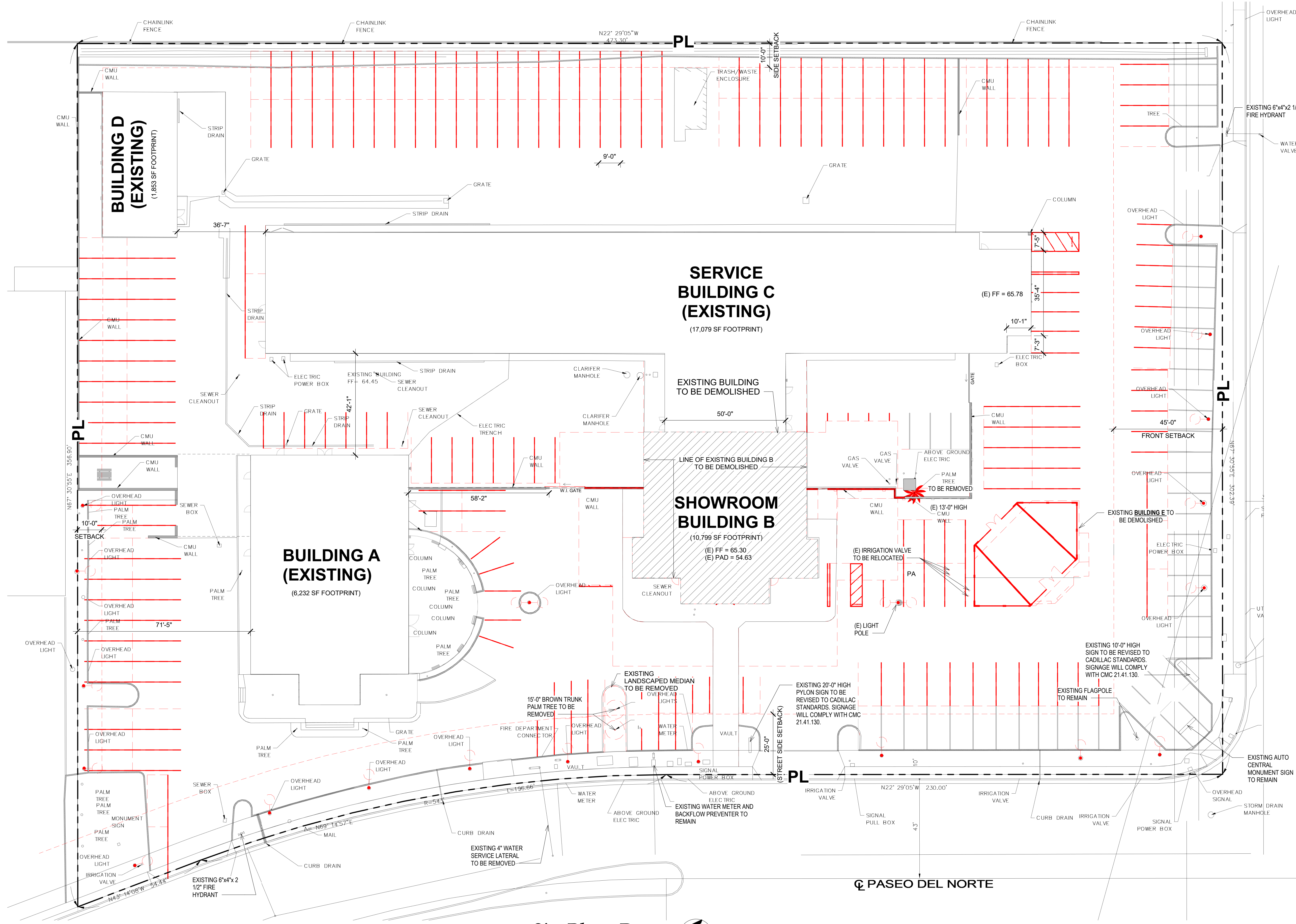
Proposed Showroom For:
Premier Cadillac
5556 Paseo Del Norte, Carlsbad, CA 92008

15 Apr. 2024

21-4227




Cover Sheet **PL1**



Site Plan - Demo
1" = 20'-0"

Q CAR COUNTRY ROAD

Q PASEO DEL NORTE

Proposed Showroom For:		
Premier Cadillac		
5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024		
21-4227		

Demo Site Plan PL1.1

Existing Building D - Wash Bays
1,853 SF

Existing Building C - Service
12,819 SF

Existing Building C - Office
1,323 SF

Existing Building C - Parts
2,937 SF

Building B - Service Lanes
2,096 SF

Building B - Showroom/Sales
8,703 SF

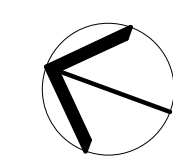
Existing Building A - Sales
6,232 SF

Existing Building A - Parts
2,584 SF

Existing Building C - Parts
2,869 SF

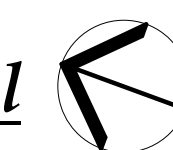
Area Plan Level 1

1" = 30'-0"



Area Plan Mezzanine Level

1" = 30'-0"



Area Schedule (Existing and Demo)			Area Schedule (Existing and Proposed)		
Building	Name	Area	Building	Name	Area
Building A	Building A - First Floor	6,232 SF	Building A	Building A - First Floor	6,232 SF
Building A	Building A - Second Floor	2,500 SF	Building A	Building A - Second Floor	2,500 SF
Conditioned		8,732 SF	Conditioned		8,732 SF
Building A	Building A - Storage Mezzanine	2,584 SF	Building A	Building A - Storage Mezzanine	2,584 SF
Unconditioned		2,584 SF	Unconditioned		2,584 SF
Building B	Building B (Demo)	4,543 SF	Building B	Building B (New Showroom)	8,703 SF
Conditioned		4,543 SF	Conditioned		8,703 SF
Building B	Building B (New Service Lanes)	2,096 SF	Building B	Building B (New Service Lanes)	2,096 SF
Unconditioned			Unconditioned		2,096 SF
Building C	Building C - First Floor	4,259 SF	Building C	Building C - First Floor	2,937 SF
Conditioned		4,259 SF	Conditioned		2,937 SF
Building C	Building C - First Floor Service	12,819 SF	Building C	Building C - First Floor	1,323 SF
Building C	Building C - Storage Mezzanine	2,869 SF	Building C	Building C - First Floor	4,259 SF
Unconditioned		15,688 SF	Conditioned		12,819 SF
Building D	Building D	1,853 SF	Building C	Building C - First Floor Service	12,819 SF
Unconditioned		1,853 SF	Unconditioned	Building C - Storage Mezzanine	2,869 SF
Building E	Building E (Demo)	1,512 SF	Unconditioned		15,688 SF
Conditioned		1,512 SF	Building D	Building D	1,853 SF
Grand total		39,172 SF	Unconditioned	Building D	1,853 SF
			Grand total		43,916 SF

Building Use (Existing and Proposed)			
Building	Name	Area	Bays
Parts			
Building C	Building C - First Floor	2,937 SF	-
Building A	Building A - Storage Mezzanine	2,584 SF	-
Building C	Building C - Storage Mezzanine	2,869 SF	-
Parts		8,389 SF	
Sales			
Building A	Building A - First Floor	6,232 SF	-
Building A	Building A - Second Floor	2,500 SF	-
Building B	Building B (New Showroom)	8,703 SF	-
Building C	Building C - First Floor	1,323 SF	-
Sales		18,758 SF	
Service			
Building B	Building B (New Service Lanes)	2,096 SF	0
Service		2,096 SF	
Service/Repair			
Building D	Building D	1,853 SF	3
Building C	Building C - First Floor Service	12,819 SF	30
Service/Repair		14,672 SF	
		43,916 SF	33 Bays

Parking Calculation

SALES PARKING REQUIRED: 18,758 / 400 = 47 SPACES
(1:400)(20% CUSTOMER / 80% EMPLOYEE)
(10 CUSTOMER & 37 EMPLOYEE)

SERVICE/REPAIR PARKING REQUIRED: 16,768 SF/33 BAYS = 72 SPACES
12 (4/BAY FOR FIRST 3 BAYS) + 60 (2 FOR EACH ADDITIONAL 30 BAYS)

TOTAL PARTS AREA: = 8,389 SF

CUSTOMER PARTS PARKING REQUIRED: (8,389/1,000) = 9 SPACES

EMPLOYEE PARTS PARKING REQUIRED: (8,389/1,250) = 7 SPACES

TOTAL REQUIRED: 135 SPACES
MAXIMUM COMPACT PARKING ALLOWED: 25% OF 135 = 33 SPACES)

TOTAL EMPLOYEE PARKING = 50 SPACES (INCLUDING 4 ACCESSIBLE SPACES)
TOTAL CUSTOMER PARKING = 23 SPACES (INCLUDING 2 ACCESSIBLE SPACES)
TOTAL SERVICE PARKING = 79 SPACES
TOTAL DISPLAY PARKING = 38 SPACES
TOTAL PARKING = 190 SPACES

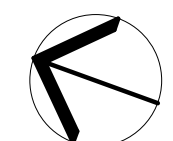
COMPACT PARKING: 17 SPACES (12.6% < 25% OK)

(PARKING SPACES DESIGNATED TO COMPLY WITH CUSTOMER/EMPLOYEE PARKING REQUIREMENTS SHALL NOT BE USED FOR DISPLAY AREA)
NO ADDITIONAL PARKING IS BEING PROPOSED. SO NO NEW EV CHARGING SPACES OR BICYCLE PARKING IS REQUIRED TO BE ADDED.

Building A - Offices
2,500 SF

Area Plan Level 2

1" = 30'-0"



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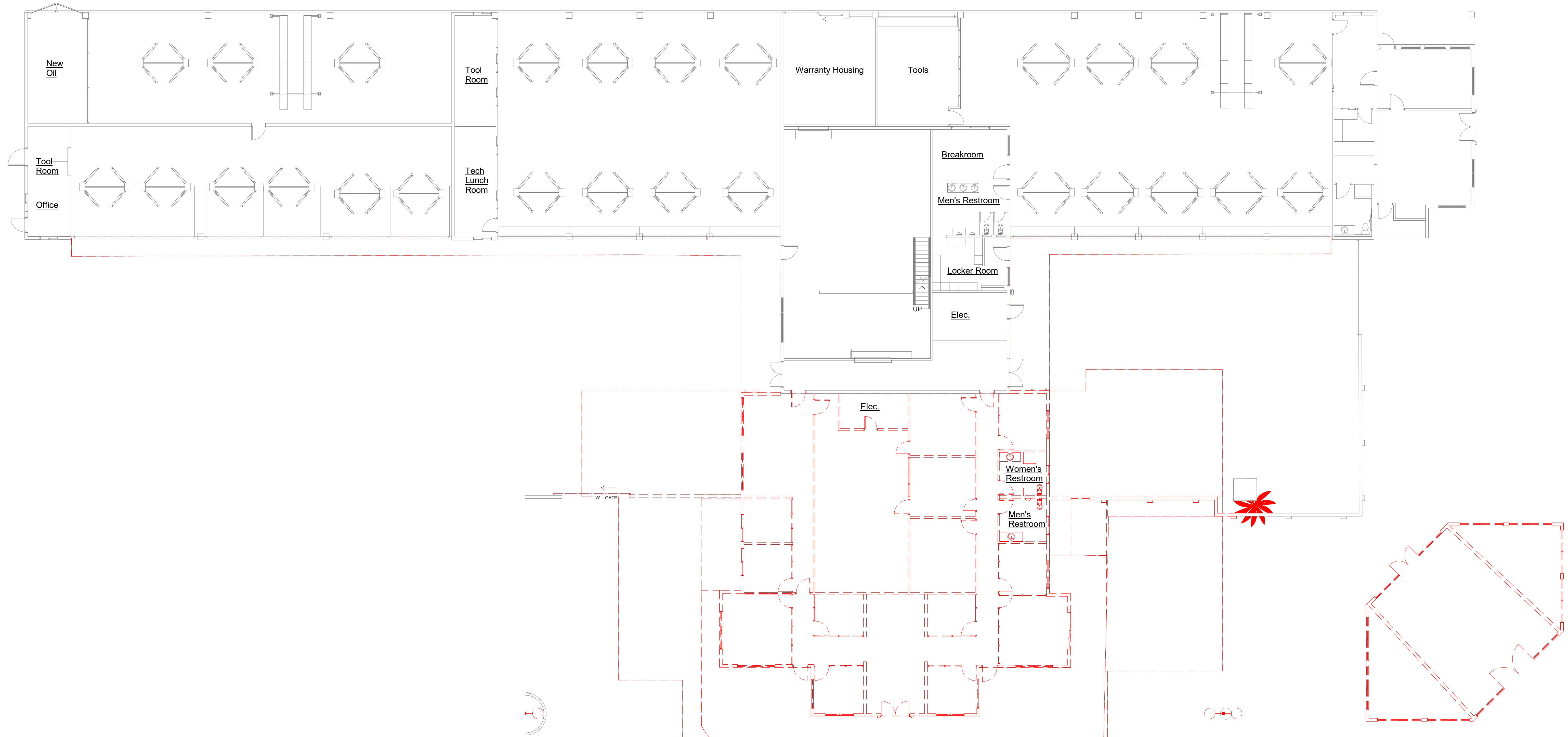
Proposed Showroom For:
Premier Cadillac
5556 Paseo Del Norte, Carlsbad, CA 92008

15 Apr. 2024

21-4227





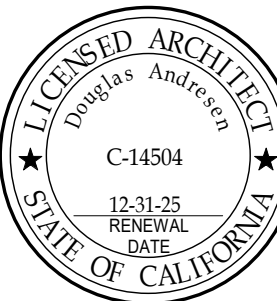
Area & Parking Plans PL1.2



Existing Overall Floor Plan 
3/32" = 1'-0"

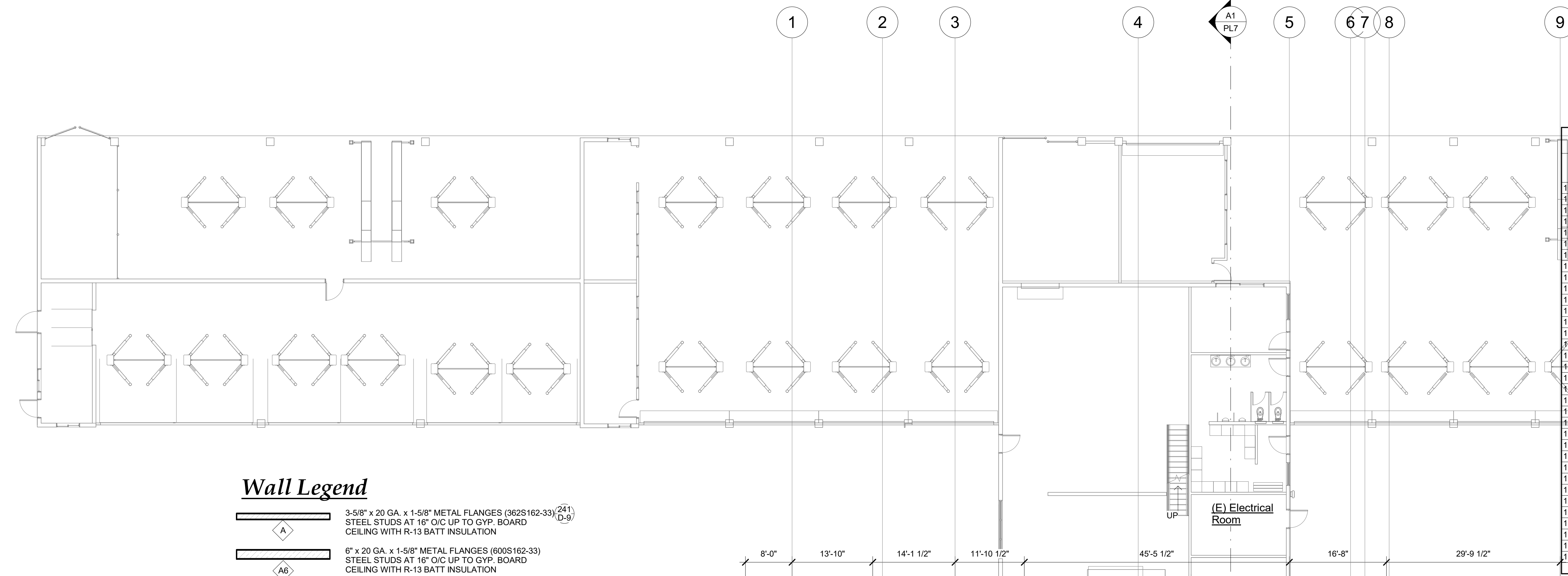
Wall Legend Demo

-  EXISTING 2x WOOD STUD WALL TO REMAIN
-  EXISTING 2x WOOD STUD WALL TO BE REMOVED

Proposed Showroom For:		
Premier Cadillac		
5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024		
21-4227		

**Existing Floor
Plan**

PL2



Occupancy Tabulation Per 2022 CBC Table 1004.5

Rm. No.	Name	Area	Room Occupancy	S.F. Per Person	Persons
101	Concierge	574 SF	Business Areas		150 4
102	Showroom	1,918 SF	Business Areas		150 13
103	Sales	131 SF	Business Areas		150 1
104	Sales	132 SF	Business Areas		150 1
105	Sales	134 SF	Business Areas		150 1
106	Sales Manager	235 SF	Business Areas		150 2
107	Sales	135 SF	Business Areas		150 1
108	New Car Delivery	497 SF	Business Areas		150 4
109	F&I	121 SF	Business Areas		150 1
110	F&I	121 SF	Business Areas		150 1
111	Sales	127 SF	Business Areas		150 1
112	Sales	115 SF	Business Areas		150 1
113	Sales	116 SF	Business Areas		150 1
114	Sales	120 SF	Business Areas		150 1
115	Dispatch	106 SF	Business Areas		150 1
116	Service Mgr	142 SF	Business Areas		150 1
117	Hallway	965 SF	(none)		
118	Employee Break Room	262 SF	Assembly W/O Fixed Seats - Unconcentrated (tables & chairs)		15 18
119	Files / Storage	142 SF	Accessory Storage Areas, Mechanical Equipment Room		300 1
120	Conference Room	357 SF	Assembly W/O Fixed Seats - Unconcentrated (tables & chairs)		15 24
121	Dealer Office	215 SF	Business Areas		150 2
121-A	Private RR	44 SF	(none)		
121-B	Dealer's Cache	52 SF	(none)		
122	Jan.	38 SF	Accessory Storage Areas, Mechanical Equipment Room		300 1
123	IT	82 SF	Accessory Storage Areas, Mechanical Equipment Room		300 1
124	Men's Restroom	183 SF	(none)		
125	Women's Restroom	214 SF	(none)		
126	Guest Lounge	498 SF	Assembly W/O Fixed Seats - Unconcentrated (tables & chairs)		15 37
127	Service Reception	412 SF	Business Areas		150 3
128	Service Lanes	1,786 SF	(none)		0
129	Fire Riser	37 SF	(none)		
130	Electrical	124 SF	(none)		
131	(E) Hallway	383 SF	(none)		
132	(E) Electrical Room	170 SF	(none)		
		10,687 SF			122

Wall Legend

- A** 3-5/8" x 20 GA. x 1-5/8" METAL FLANGES (362S162-33) (241) STEEL STUDS AT 16" O/C UP TO GYP. BOARD CEILING WITH R-13 BATT INSULATION
- A6** 6" x 20 GA. x 1-5/8" METAL FLANGES (600S162-33) STEEL STUDS AT 16" O/C UP TO GYP. BOARD CEILING WITH R-13 BATT INSULATION
- B** 3-5/8" x 20 GA UP TO BOTTOM OF TRUSSES (242) (D-5)
- B6** 6" x 20 GA UP TO BOTTOM OF TRUSSES
- C** 3-5/8" x 20 GA. SOUND PARTITION UP TO UNDERSIDE OF ROOF DECK WITH 5/8" TYPE "X" GYP. BOARD EACH SIDE AND R-13 BATT INSULATION WITH 1/2" RESILIENT CHANNELS HORIZONTALLY AT 24" O/C
- D** 2 x 4 WOOD STUDS @ 16" O/C FULL HEIGHT TO ROOF SHEATHING WITH R-13 INSULATION AND 1/2" PLYWOOD SHEATHING
- E** 2 x 6 WOOD STUDS @ 16" O/C (240) (WITH VENEER WHERE OCCURS) (D-9)
- F** FRAMELESS GLASS WITH 3-5/8" x 20 GA. x 1-5/8" METAL FLANGES (362S162-33) STEEL STUD @ 16" O/C SOFFIT WALL W/ GYPSUM BOARD EACH SIDE UP TO UNDERSIDE OF ROOF DECK FOR SOUND PARTITION.

WATER SUPPLY FIXTURE UNIT FOR BUILDING A

APPLIANCE / FIXTURES	UNITS	TOTALS
SHOWER	2.0	(1) = 2.0
LAVATORY	1.0	(5) = 5.0
URINAL	2.0	(1) = 2.0
WATER CLOSET	2.5	(5) = 12.5
TOTAL WSFU:		21.5

WATER SUPPLY FIXTURE UNIT FOR BUILDING B

APPLIANCE / FIXTURES	UNITS	TOTALS
KITC. SINK	1.5	(2) = 3.0
LAVATORY	1.0	(5) = 5.0
URINAL	2.0	(1) = 2.0
WATER CLOSET	2.5	(7) = 17.5
TOTAL WSFU:		27.5

WATER SUPPLY FIXTURE UNIT FOR BUILDING C

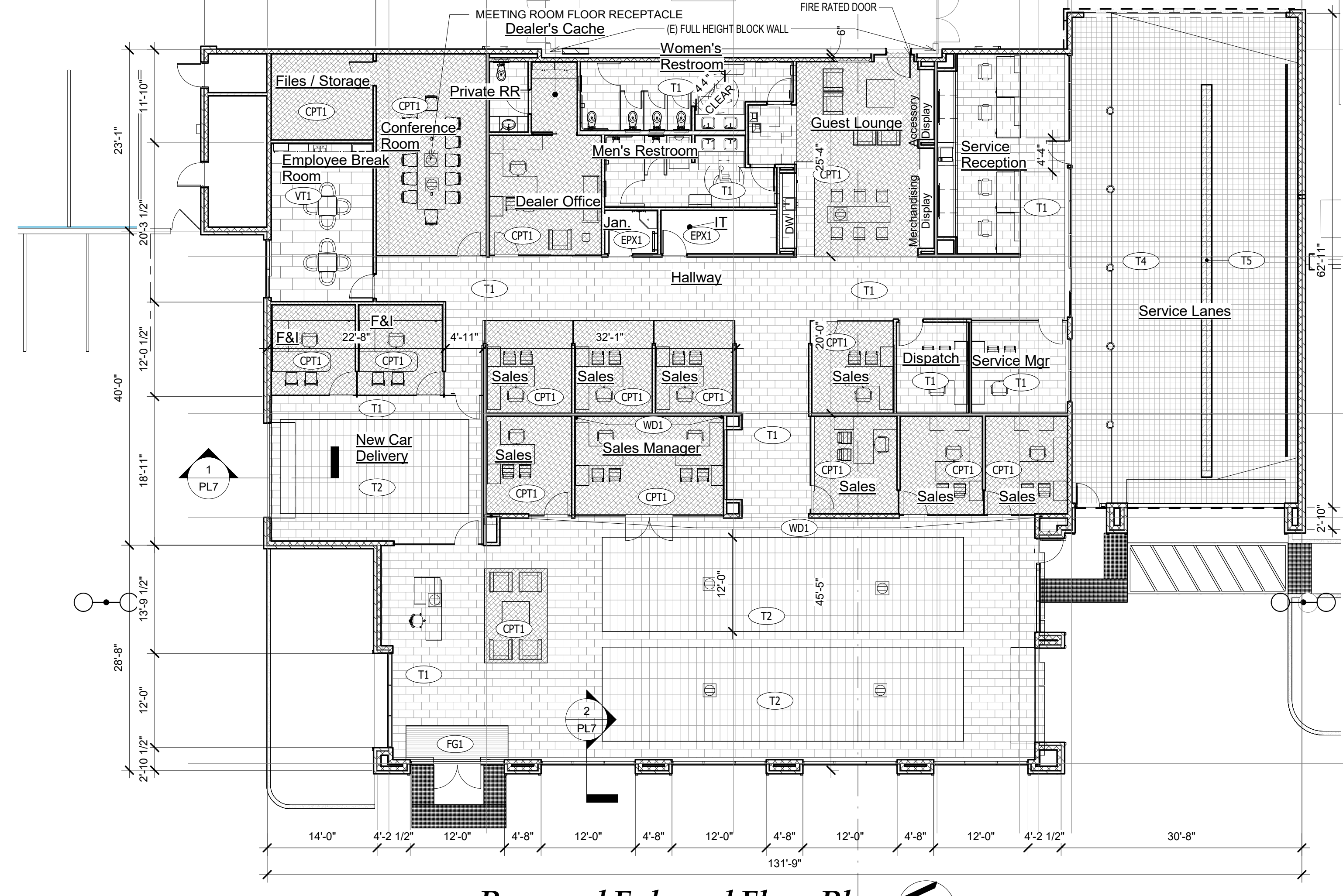
APPLIANCE / FIXTURES	UNITS	TOTALS
LAVATORY	1.0	(4) = 4.0
URINAL	2.0	(2) = 4.0
WATER CLOSET	2.5	(3) = 7.5
TOTAL WSFU:		15.5

COMBINED BUILDINGS A, B & C: 64.5

SEE CIVIL FOR 2" METER AND 2" SERVICE

FINISH SCHEDULE

FINISH CODE	COLOR & MATERIAL SPECIFICATIONS
CPT1	SHAW CONTRACT GROUP ARTISAN LOOM COLOR: ANGELOS 96500
EPX1	SHERWIN WILLIAMS ARMORSEAL 1000 HS NON-SKID EPOXY COLOR TO MATCH BENJAMIN MOORE 212130 PEWTER
FG1	KD SERIES STAINLESS STEEL FLOOR GRATE
T1	LEA CERAMICHE BASALTINA STONE PROJECT COLOR: NATURALE SIZE: 12 X 24 NUMBER: LOVSSR1-1300 TEC POWER GROUT 929
T2	LEA CERAMICHE BASALTINA STONE PROJECT COLOR: SABBATA SIZE: 12 X 24 NUMBER: LOVSSR1-1290 TEC POWER GROUT 934
T4	CROSSVILLE CROSS-TECH COLOR: ONYX AR80CTS SIZE: 8 X 8 TEC POWER GROUT 929
T5	CROSSVILLE CROSS-TECH COLOR: GRAPHITE AR80CTS SIZE: 8 X 8 TEC POWER GROUT 934
VT1	SHAW CONTRACT GROUP STRAND 9516V COLOR: SILT 16595 SIZE: 18 X 36
WD1	RECONSTITUTED WALNUT VENEER LOG #73579 FSC (SEE CONTROL SAMPLE)



Minimum Plumbing Facilities - Group B (Office Area)

Key Name	Male	Female	Other
Occupants (Total=61+61= 122)	61	61	
Water Closets	2	4	
Urinals	1		
Lavatories	1	1	
Drinking Fountains			1
Service Sink			1

Plumbing Fixture Schedule - Provided

Comments	Remarks	Men	Women	Unisex	Total
Drinking Fountain	Drinking Fountain	0	0	1	1
Janitor Sink	Janitor Sink	0	0	1	1
Lavatories	Lavatories	2	2	1	6
Sink	Sink	0	0	2	2
Urinals	Urinals	1	0	0	1
Water Closets	Water Closet	2	4	1	7


Proposed Enlarged Floor Plan
3/32" = 1'-0"

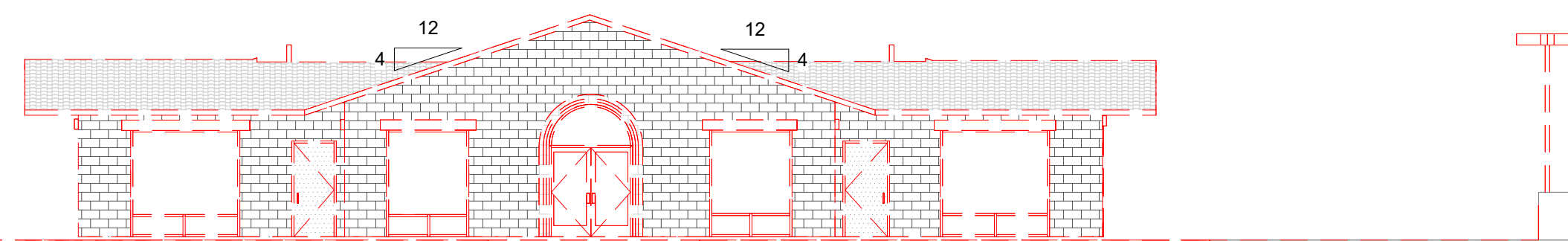
Proposed Showroom For:
Premier Cadillac
5556 Paseo Del Norte, Carlsbad, CA 92008

15 Apr. 2024
21-4227

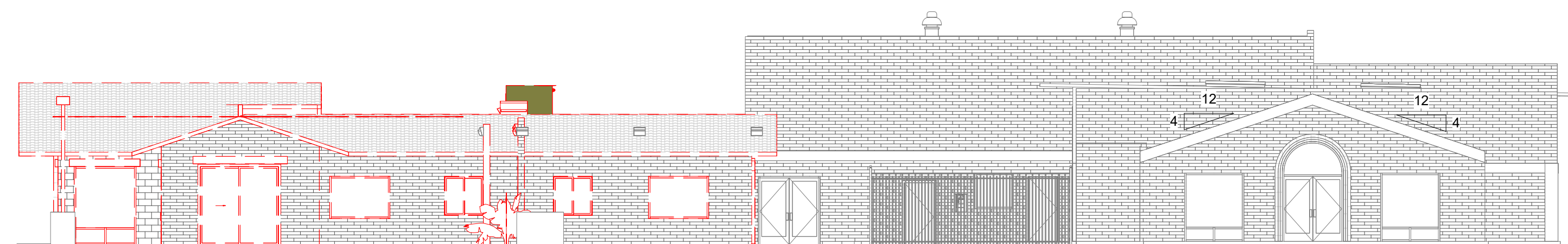
Proposed Floor Plan

PL3

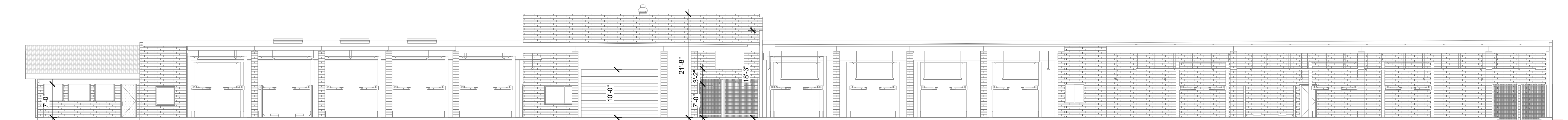




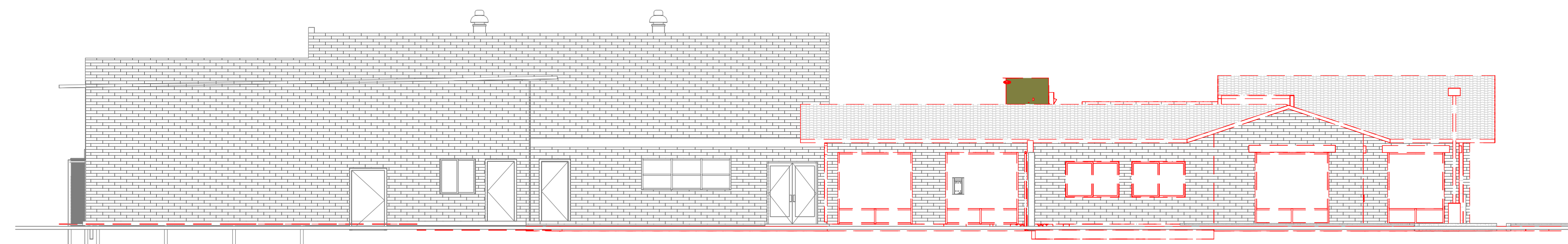
Bldg B & C - Front Elevation (West)
 3/32" = 1'-0"




Bldg B & C - Right Elevation (South)
 3/32" = 1'-0"



Bldg C - Rear Elevation (West)
 3/32" = 1'-0"

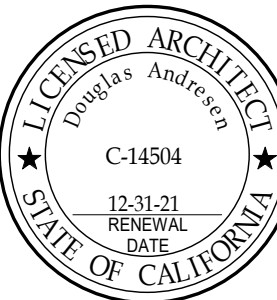


Bldg B & C - Left Elevation (North)
 3/32" = 1'-0"



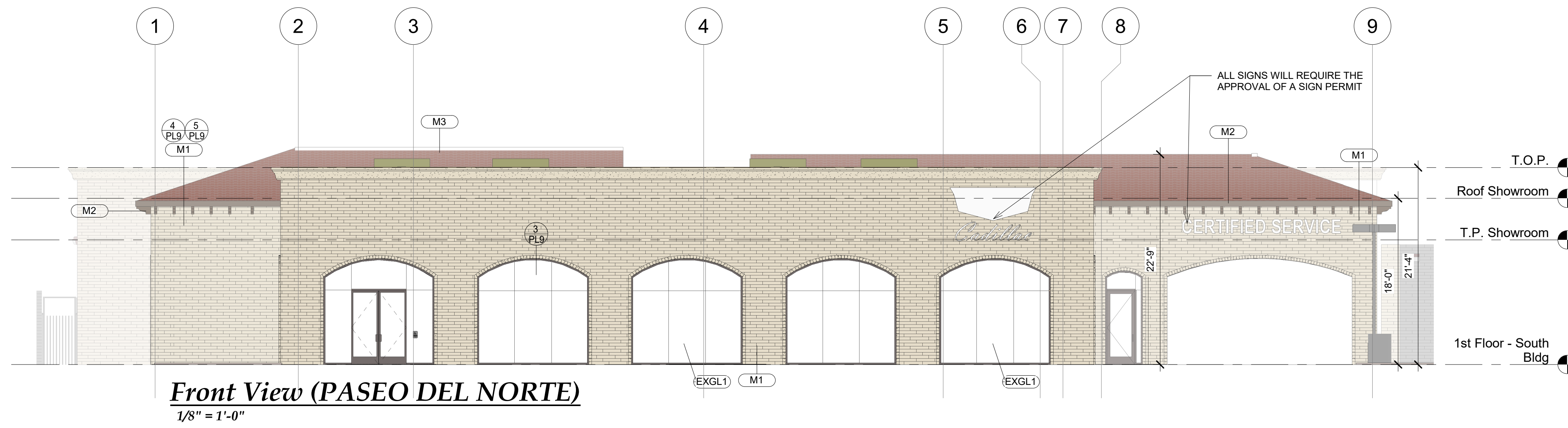
**ANDRESEN
ARCHITECTURE
INC.**

17087 ORANGE WAY, FONTANA, CA 92335 (909) 355-6688

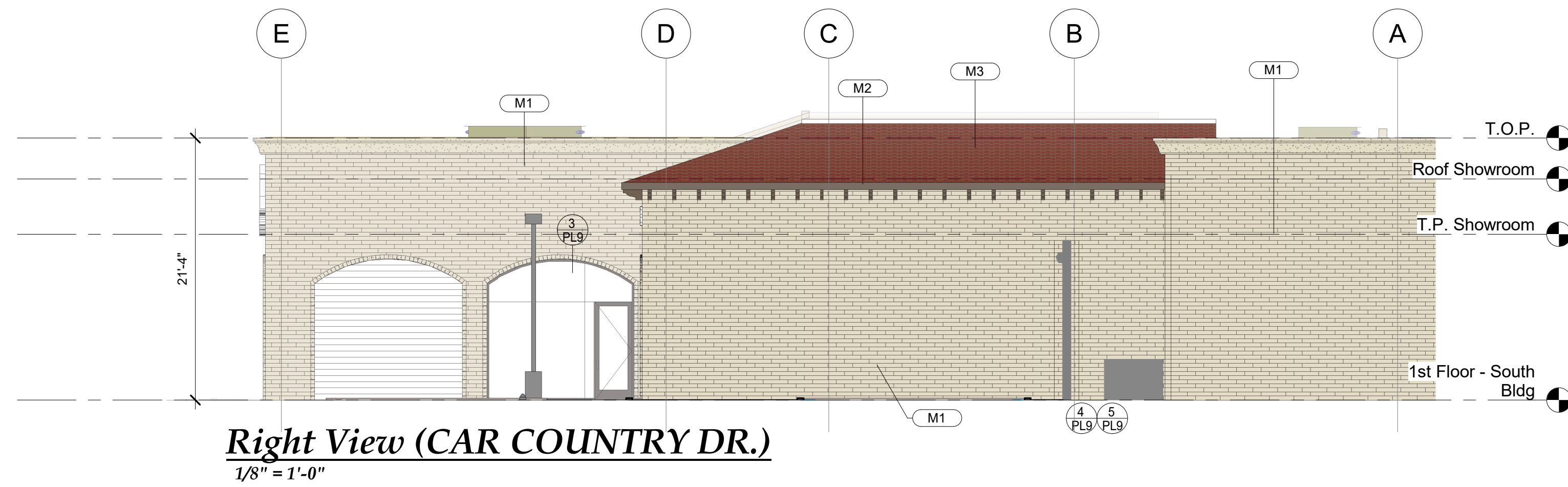
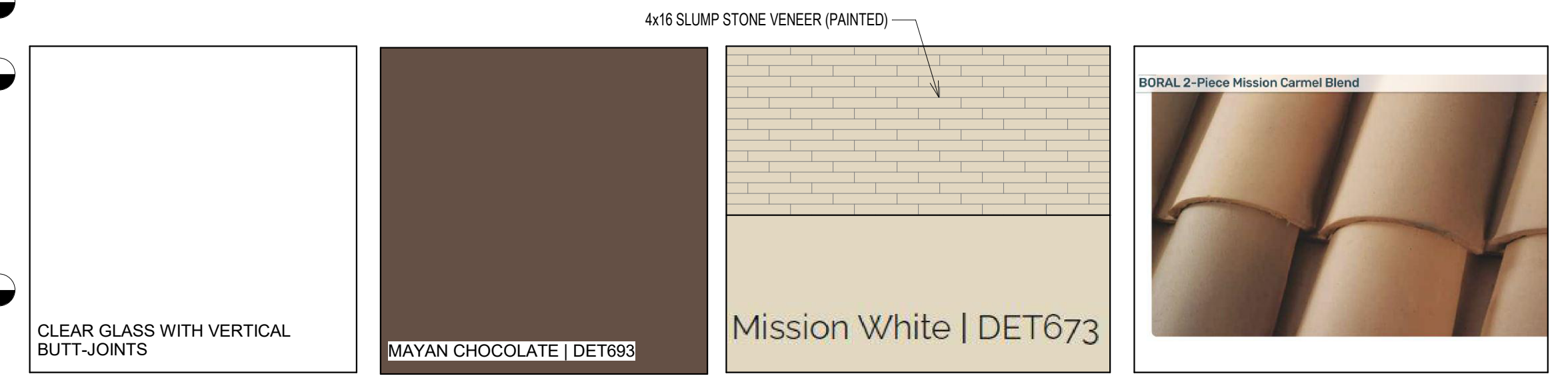
Proposed Showroom For:		
Premier Cadillac		
5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024		
21-4227		
Existing Exterior Elevations		PL4

Material List			
Material Mark	Material Description	Material Manufacturer	Material Model
M1	MAIN "DUNN EDWARDS PAINT" - MISSION WHITE - DET673	DUNN EDWARDS	DET673
M2	ACCENT "DUNN EDWARDS PAINT" - MAYAN CHOCOLATE - DET693	DUNN EDWARDS	DET 693
M3	ROOFING - BORAL ROOFING - BORAL 2-PIECE MISSION CARMEL BLEND	BORAL ROOFING	2-PIECE MISSION CARMEL BLEND

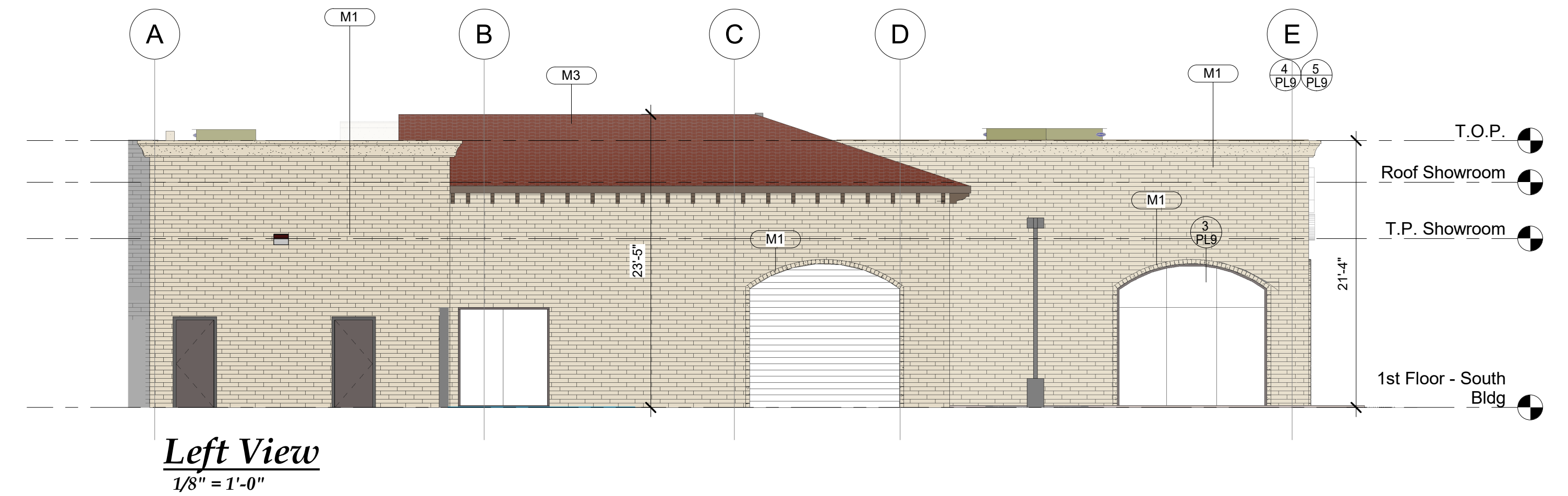
Note
ALL EXISTING BUILDINGS AND WALLS ON THE SITE ARE TO BE PAINTED TO MATCH PROPOSED



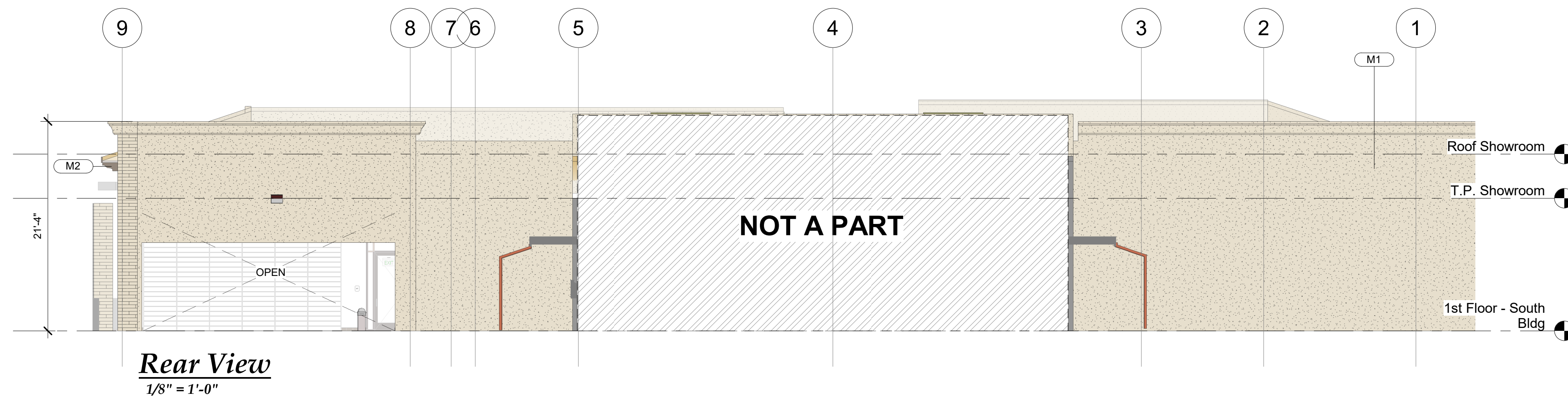
Front View (PASEO DEL NORTE)
1/8" = 1'-0"



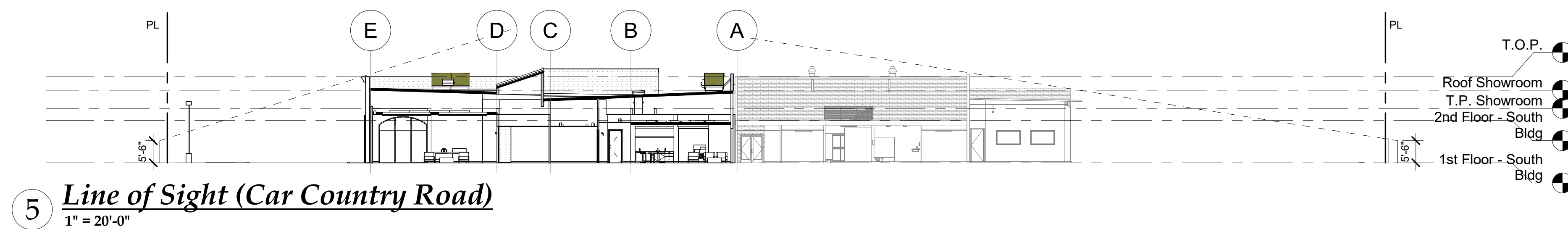
Right View (CAR COUNTRY DR.)
1/8" = 1'-0"



Left View
1/8" = 1'-0"



Rear View
1/8" = 1'-0"



Line of Sight (Car Country Road)
1" = 20'-0"

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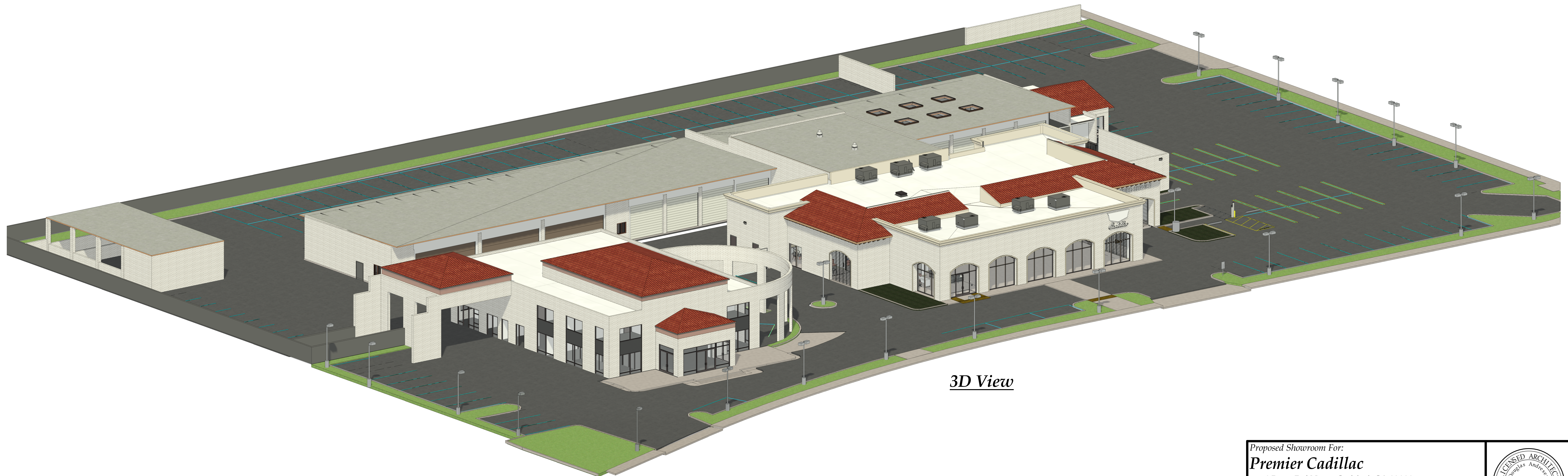
Proposed Showroom For: Premier Cadillac 5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024		
21-4227		

Proposed Ext. Elevations

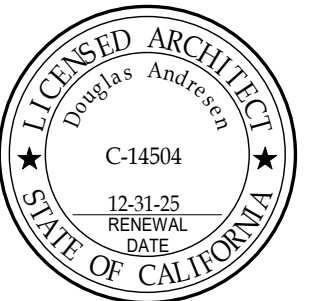
PL5



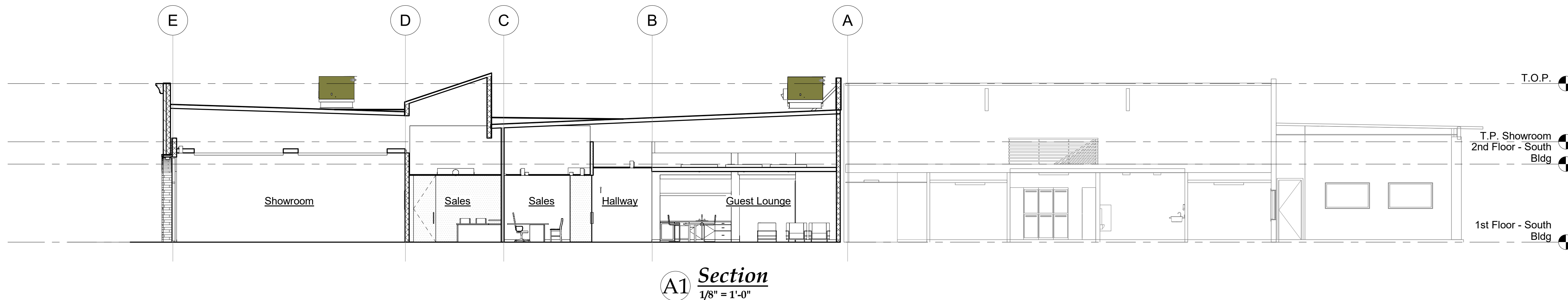
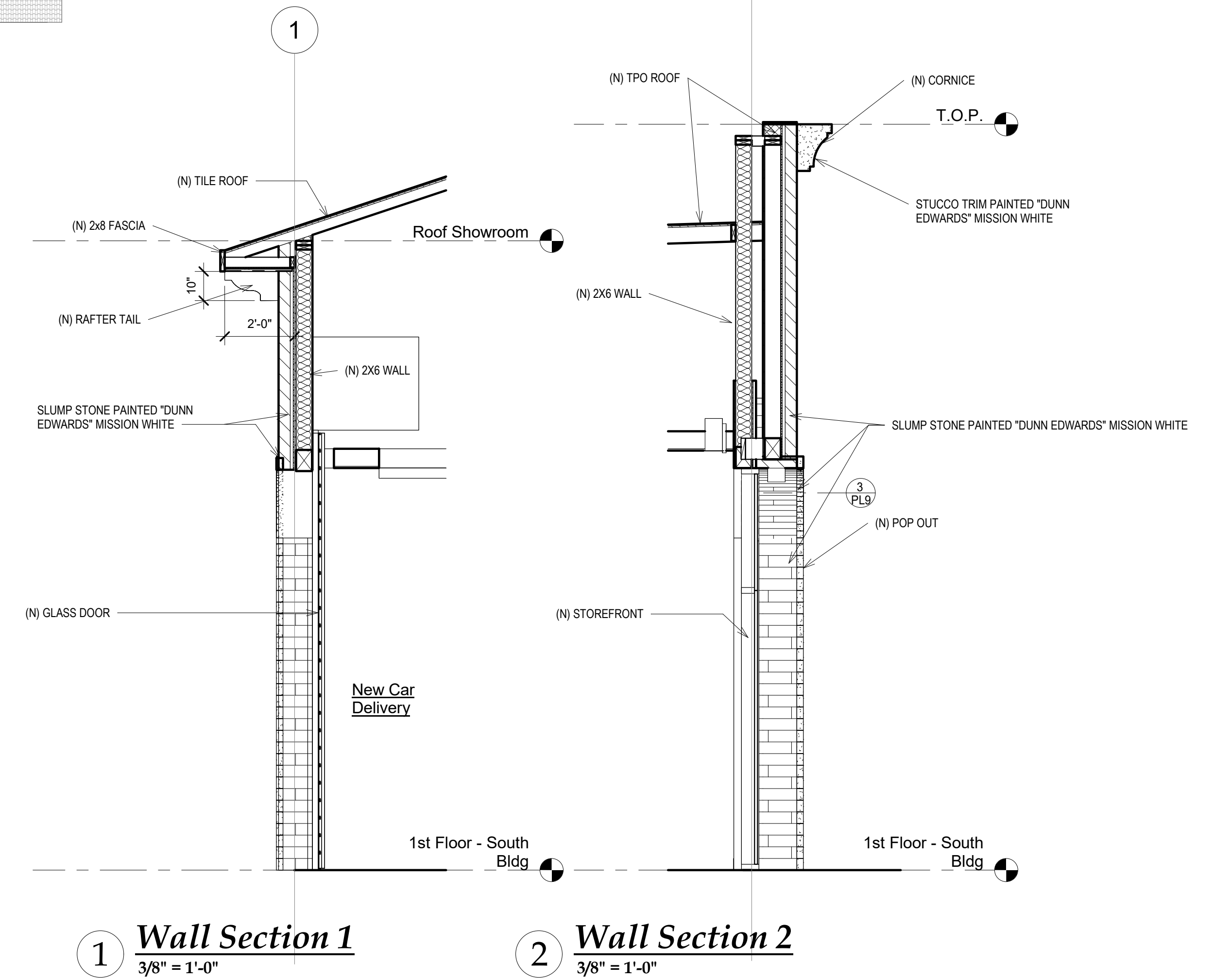
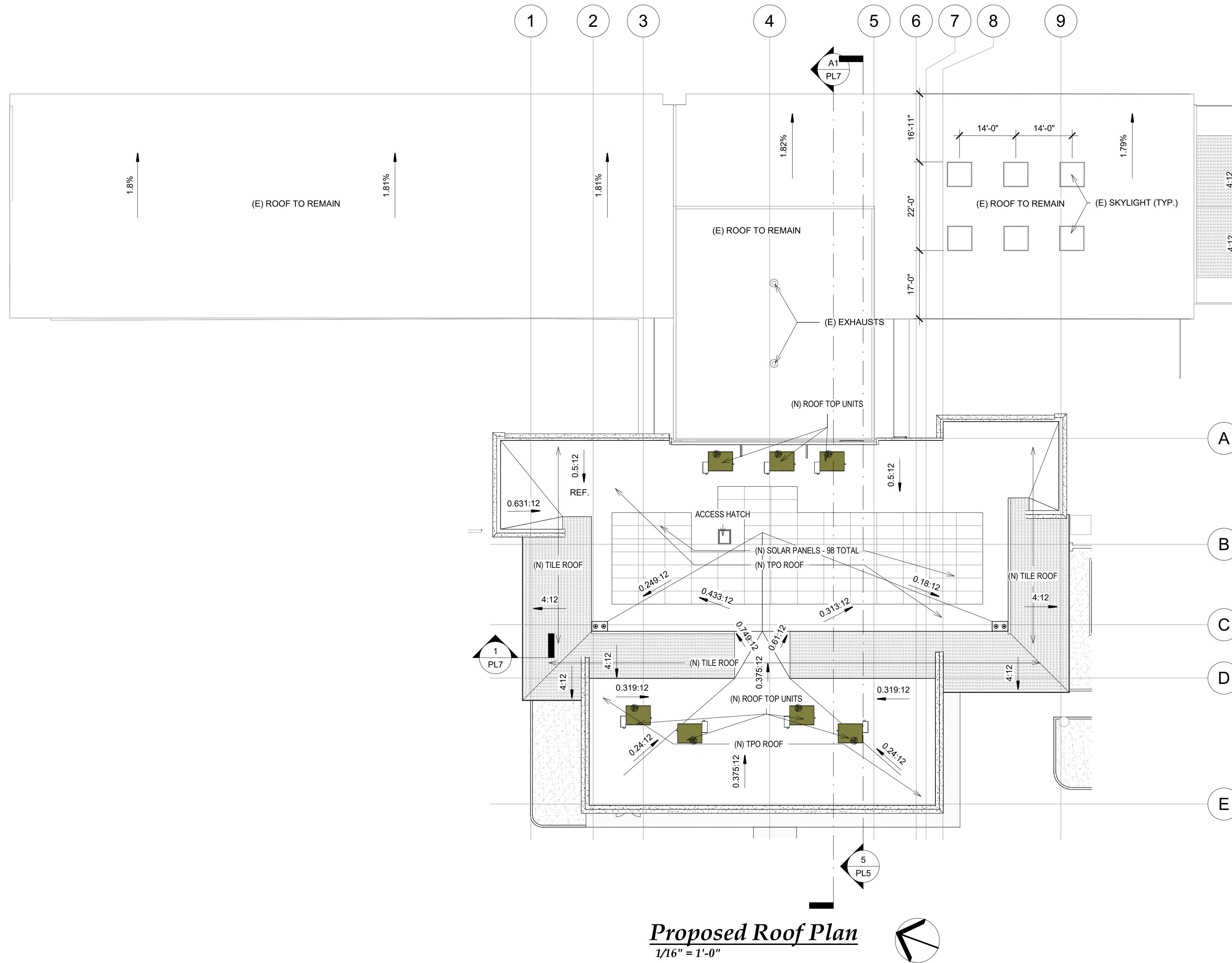
3D View

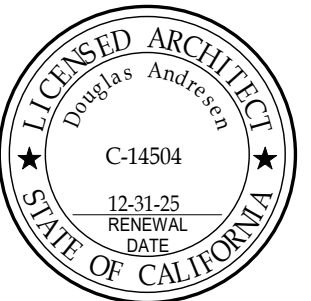


3D View

Proposed Showroom For: Premier Cadillac 5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024	▲	
21-4227	▲	

3D Views	PL6
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Proposed Showroom For: Premier Cadillac 5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024	21-4227	
Roof Plan & Sections		PL7



(A) Paseo Del Norte View A



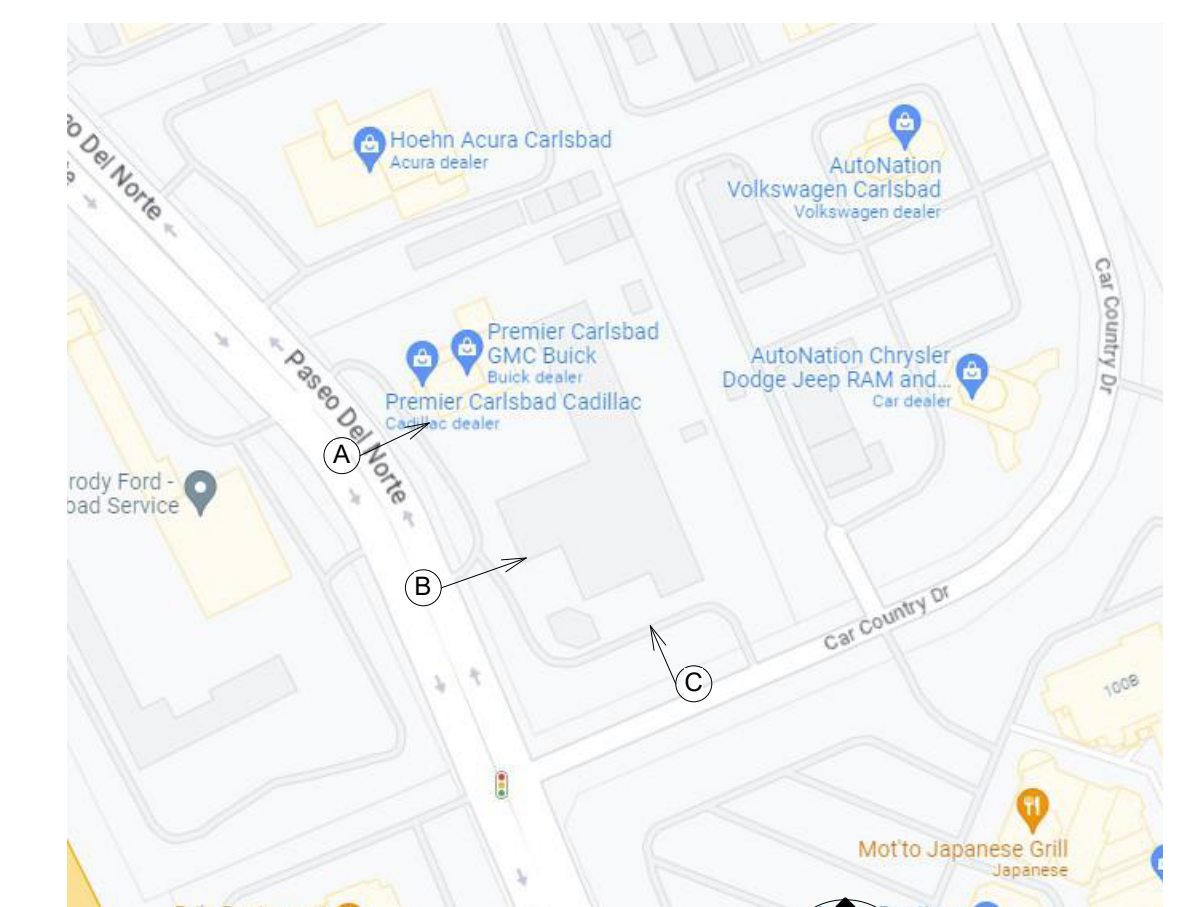
(B) Paseo Del Norte View B



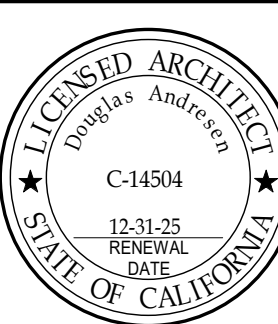
(C) Car Country Road View C

Material & Finishing Note

1. EXISTING BUILDINGS (A,C & D) TO REMAIN WILL BE PAINTED TO MATCH PROPOSED
2. FINISH OF BUILDING B WILL BE 4x16 SLUMP STONE VENEER (PAINTED) TO MATCH EXISTING BUILDINGS

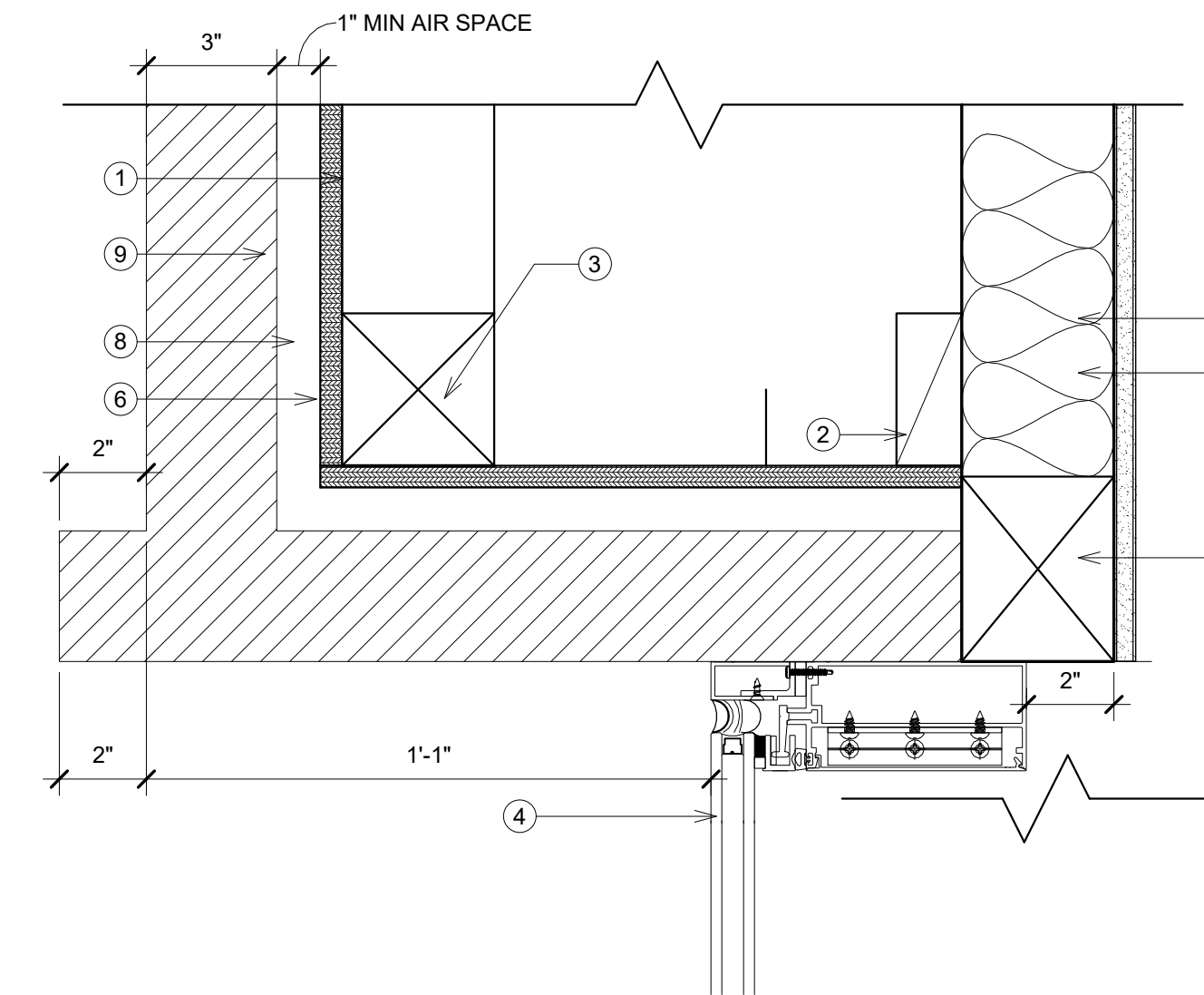


Street View Legend

Proposed Showroom For:		
Premier Cadillac		
5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024	▲	
21-4227	▲	

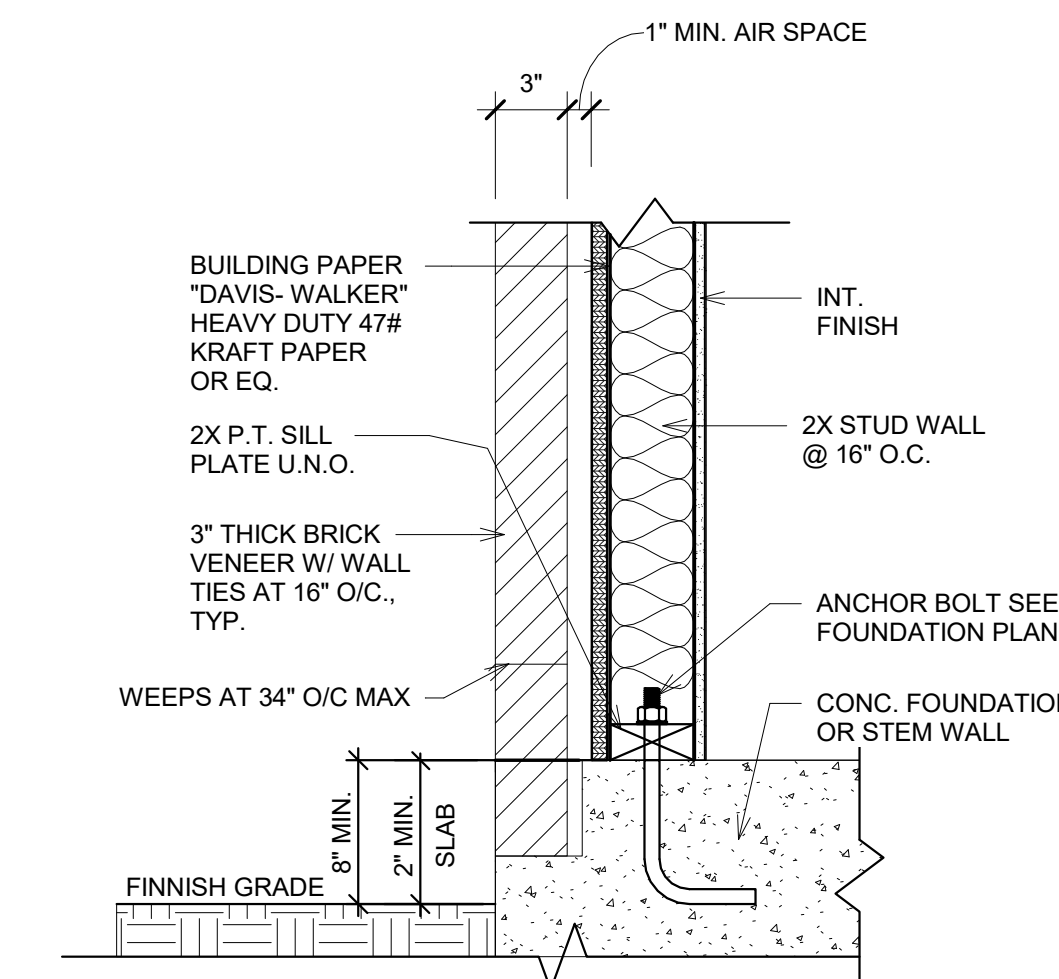
Street Views

PL8

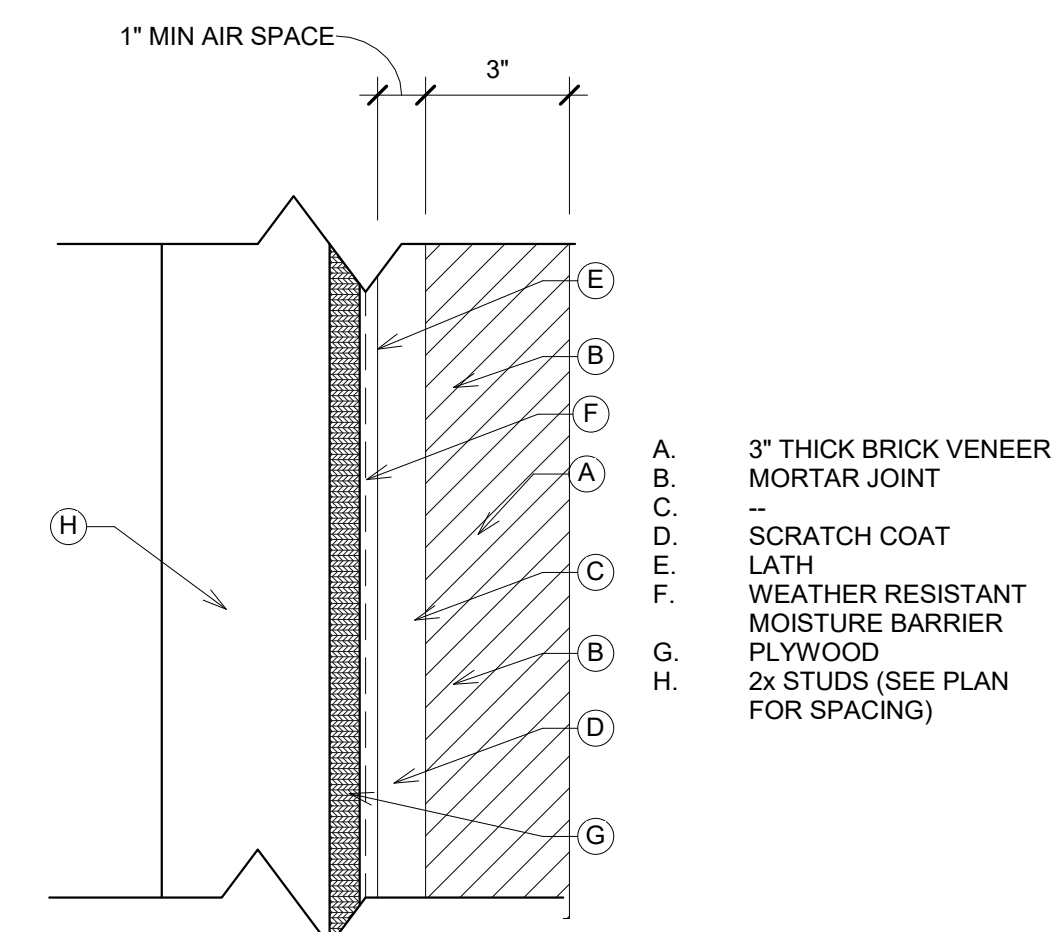


1. 2X WOOD STUDS @ 16" O/C
2. 2X SOLID BLOCKING
3. HEADER (SEE PLAN)
4. STORFRONT (SEE PLAN)
5. INSULATION (SEE PLAN)
6. 1/2" PLYWOOD SHEATHING
7. 24 GAUGE SHEET METAL ZEE FLASHING WITH 1/4" DRIP
8. WIRE MESH OVER BUILDING PAPER
9. 3" THICK BRICK VENEER

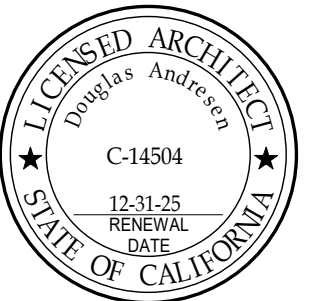
3 Recessed Window Sill
3" = 1'-0"



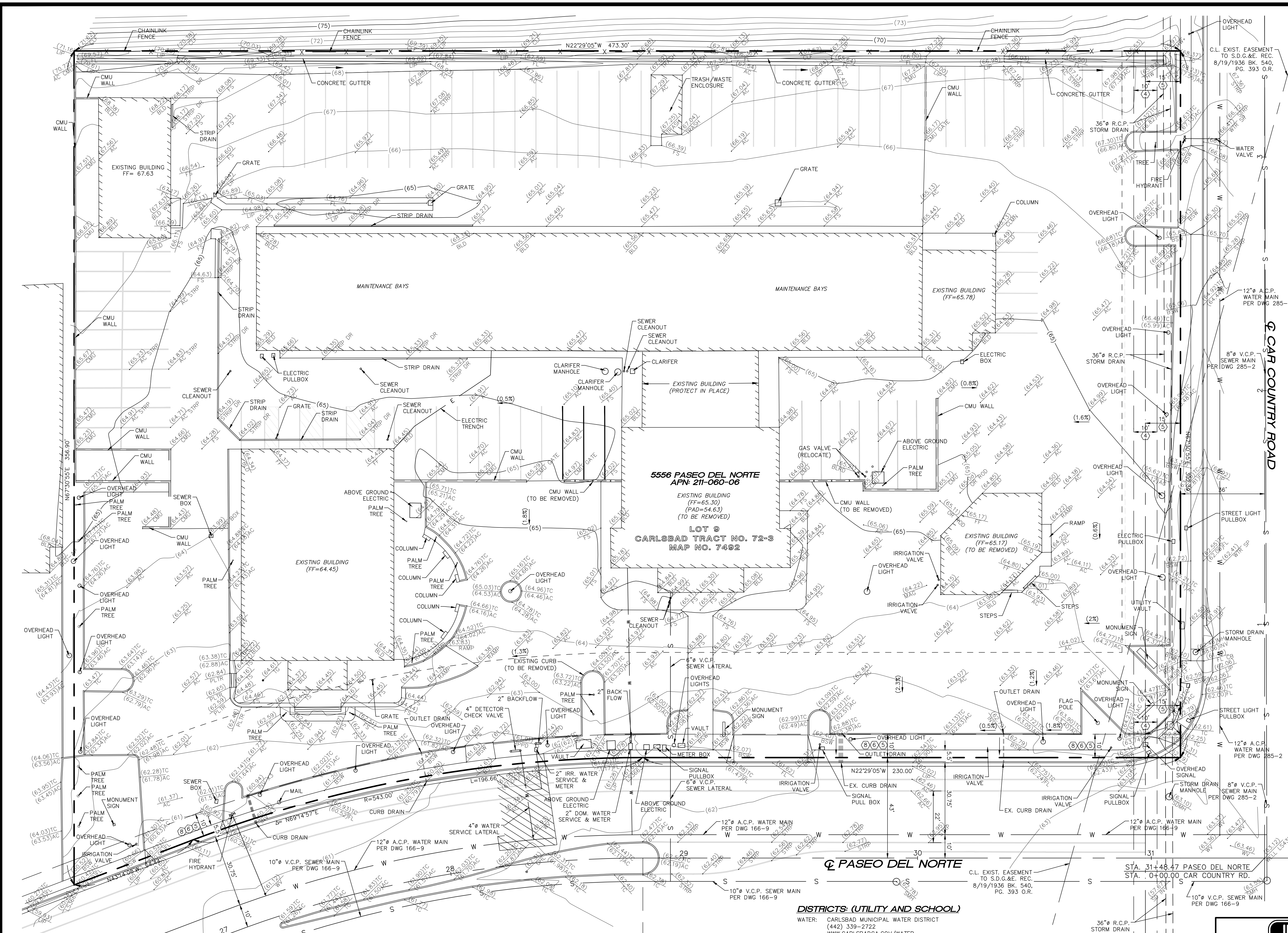
4 Wall Base (Stone Veneer)
1 1/2" = 1'-0"



5 Stone Veneer
3" = 1'-0"

Proposed Showroom For:		
Premier Cadillac		
5556 Paseo Del Norte, Carlsbad, CA 92008		
15 Apr. 2024	▲	
21-4227	▲	

<h1>Details</h1>	<h1>PL9</h1>
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LEGEND

- (XX) EXISTING CONTOURS
- (XXX.XX) EXISTING ELEVATIONS
- 72.82 TC EXISTING ELEVATIONS PER 482-2A
- 72.32 FL PROPOSED ELEVATIONS
- PROPERTY LINE
- - - EASEMENT LINE
- - - CHAIN LINK FENCE
- S SEWER LINE
- W WATER LINE
- G GAS LINE
- █ BLOCK WALL
- ▭ BUILDING
- - - EXISTING S.D. PIPE
- AC ASPHALTIC CONCRETE ABOVE GROUND
- AG BUILDING
- BS BOTTOM OF STEP
- BSW BACK OF SIDEWALK
- CL CENTERLINE
- CLF CHAIN LINK FENCE
- CLM BUILDING COLUMN
- CP SURVEY CONTROL POINT
- FF FINISHED FLOOR
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- LS LANDSCAPE AREA
- LT LIGHT
- AG NATURAL GRADE
- OH STRUCTURE OVERHANG
- SMH SEWER MANHOLE
- SW SIDEWALK
- TC TOP OF CURB
- TS TOP OF STEP
- TW TOP OF WALL
- WM WATER METER
- WV WATER VALVE

VICINITY MAP
NOT TO SCALE

SCALE: 1" = 20'
GRAPHIC SCALE

TITLE REPORT INFORMATION AND EASEMENTS:

FIRST AMERICAN TITLE COMPANY
3400 CENTRAL AVENUE, SUITE 100
RIVERSIDE, CA 92506

ORDER NO.: 5026900-6906341
DATED AS OF: MAY 4, 2023 AT 7:30 AM

3 AN EASEMENT FOR INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED MAY 15, 1961 AS INSTRUMENT NO. 83960 OF OFFICIAL RECORDS. IN FAVOR OF: CARLSBAD MUNICIPAL WATER DISTRICT AFFECTS: AS DESCRIBED THEREIN

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

4 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 20, 1972 AS INSTRUMENT NO. 1972-282939 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY AFFECTS: AS DESCRIBED THEREIN

5 AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF CARLSBAD TRACT NO. 72-3 RECORDED NOVEMBER 30, 1972 AND ON FILE IN MAP NO. 7492, OF TRACT MAPS. FOR: 10' GENERAL UTILITY, SIDEWALK & LANDSCAPE AND 15' DRAINAGE EASEMENT AND INCIDENTAL PURPOSES.

6 AN EASEMENT FOR LANDSCAPING, UTILITIES AND ENCROACHMENT OF A PUBLIC SIDEWALK AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 30, 1972 AS INSTRUMENT NO. 1972-320456 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF CARLSBAD AS DESCRIBED THEREIN

8 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED MARCH 22, 1973 AS INSTRUMENT NO. 73-074588 OF OFFICIAL RECORDS. IN FAVOR OF: PACIFIC TELEPHONE AND TELEGRAPH COMPANY AFFECTS: AS DESCRIBED THEREIN

9 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS, EGRESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 19, 1973 AS INSTRUMENT NO. 73-349534 OF OFFICIAL RECORDS. IN FAVOR OF: SAN DIEGO GAS AND ELECTRIC COMPANY AFFECTS: AS DESCRIBED THEREIN

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

10 AN EASEMENT FOR ROADWAY AND GENERAL UTILITY PURPOSES AND INCIDENTAL PURPOSES, RECORDED JUNE 15, 1988 AS INSTRUMENT NO. 88-286360 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF CARLSBAD AS DESCRIBED THEREIN

DOCUMENT RE-RECORDED JULY 19, 1988 AS INSTRUMENT NO. 88-348621 OF OFFICIAL RECORDS.

OWNER:
PREMIER AUTOMOTIVE MANAGEMENT
5556 PASEO DEL NORTE
CARLSBAD, CA 92008

ARCHITECT:
ANDRESEN ARCHITECTURE INC.
17087 ORANGE WAY
FONTANA, CA 92335
PHONE: (909) 355-6688
CONTACT: DOUG ANDRESEN
EMAIL: doug.andresen@aafirm.com

CONTRACTOR:
SAURES LOPEZ CONSTRUCTION INC.
26072 MERIT CIRCLE, SUITE 112
LAGUNA HILLS, CA 92653
PHONE: (949) 362-0756
CONTACT: FRED LOPEZ
EMAIL: fred@slconst.com

DIG ALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A PERMIT TO EXCAVATE WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK: CLSB-057
CITY OF CARLSBAD SURVEY CONTROL NETWORK

LEGAL DESCRIPTION:
LOT 9 OF CARLSBAD TRACT NO. 72-3, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7492, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 30, 1972.
A.P.N.: 211-060-06
ELEVATION: 44.01 FEET, NGVD 1929

EXISTING UTILITY NOTE:
LOCATION OF EXISTING UTILITIES WERE DETERMINED BY RECORD INFORMATION AND A VISUAL FIELD SEARCH EXACT LOCATION SHOULD BE DETERMINED BY A CONTRACTOR

BASIS OF BEARINGS:
BEARINGS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF CAR COUNTRY DRIVE BEING NORTH 67°30'55" EAST AS PER MAP OF CAR COUNTRY TRACT NO. 72-3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

DISTRICTS: (UTILITY AND SCHOOL)

WATER: CARLSBAD MUNICIPAL WATER DISTRICT
(442) 339-2722
WWW.CARLSBADCA.GOV/WATER

SEWER: CITY OF CARLSBAD WASTEWATER DIVISION
(760) 438-2722
WWW.CARLSBADCA.GOV/SEWER

SCHOOL: CARLSBAD UNIFIED SCHOOL DISTRICT
PHONE: (760) 331-5000
CARLSBADUSD.NET

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL

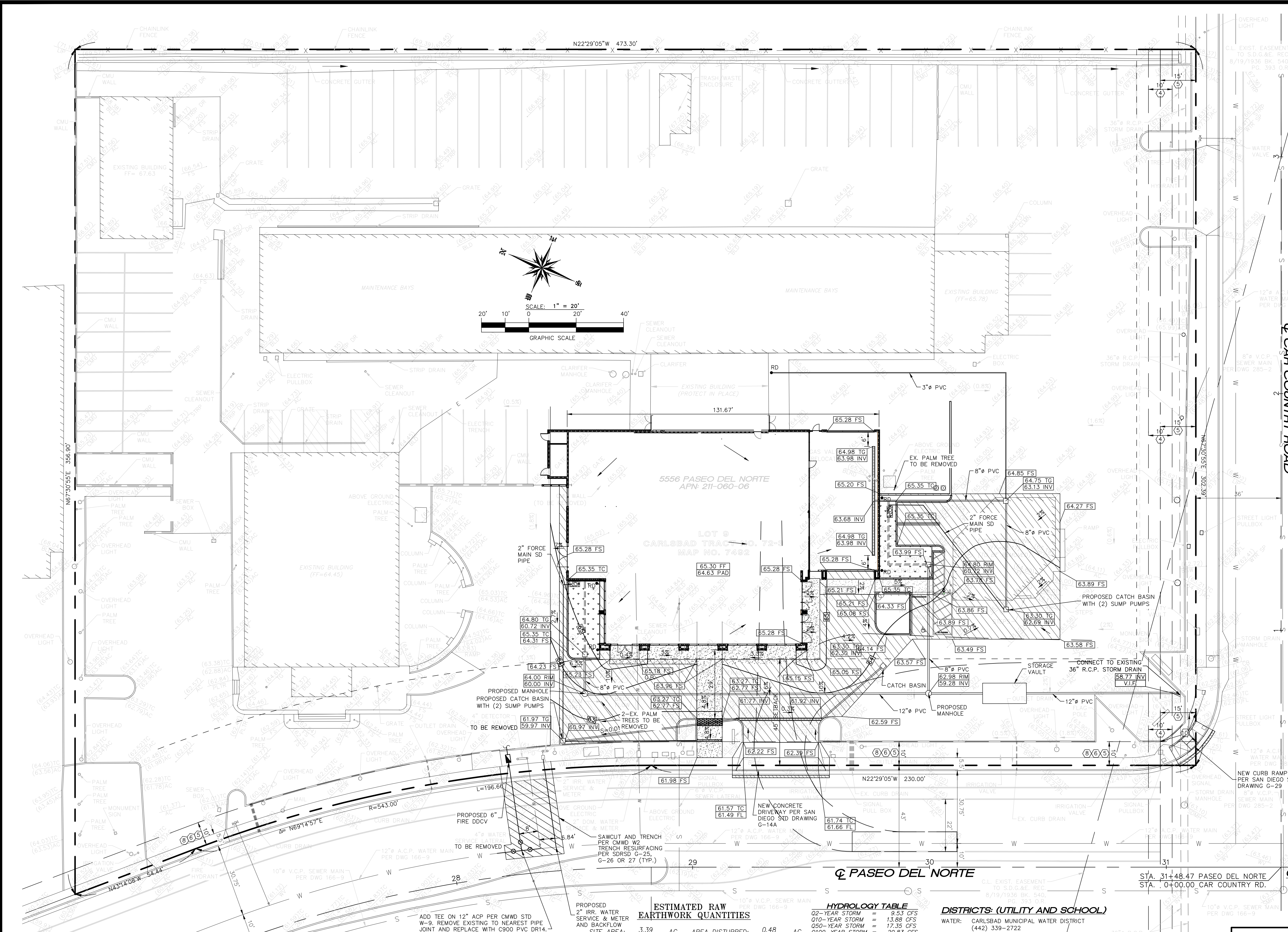
JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jonescahl.com

DESIGNED: - SCALE: 1" = 20'
DRAWN: C.H. DATE: 4/8/2024
CHECKED: D.R. JOB NO. 22-2633
PREPARED UNDER THE DIRECTION OF:
DANIEL RUBIO R.C.E. 60934/P.L.S. 8239 DATE

SHEET 1 CITY OF CARLSBAD ENGINEERING DEPARTMENT SHEETS 2

GRADING PLANS FOR:
PREMIER CADILLAC
5556 PASEO DEL NORTE
EXISTING TOPOGRAPHY CDP 2023-0026

PROJECT NO.
SDP 2023-0016

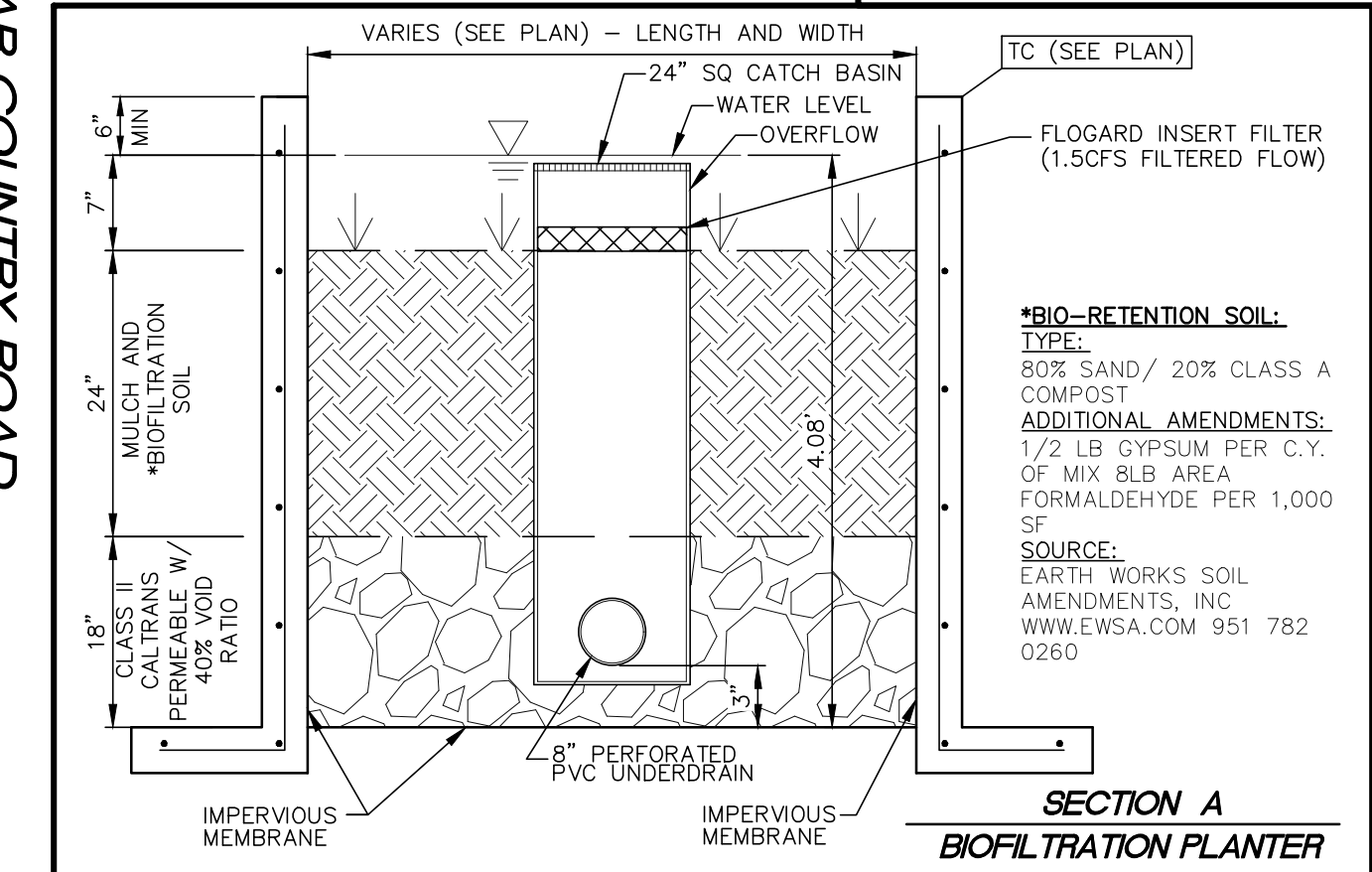


LEGEND

- (XX) EXISTING CONTOURS
- (XXX.XX) EXISTING ELEVATIONS
- 72.82 TC EXISTING ELEVATIONS PER 482-2A
- 72.32 FL
- 72.82 TC PROPOSED ELEVATIONS
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- PROPERTY LINE
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- CHAIN LINK FENCE
- SEWER LINE
- WATER LINE
- GAS LINE
- BLOCK WALL
- BUILDING
- EXISTING S.D. PIPE
- AC ASPHALTIC CONCRETE ABOVE GROUND
- ADG ABOVE GROUND BUILDING
- BS BOTTOM OF STEP
- BSW BACK OF SIDEWALK
- CLF CHAIN LINK FENCE
- CLM BUILDING COLUMN
- CMV SURVEY CONTROL POINT
- FF FINISHED FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- FS FINISHED SURFACE
- GM GAS METER
- LS LANDSCAPE AREA
- LT LIGHT
- NG NATURAL GRADE
- OH STRUCTURE OVERHANG
- SMH SEWER MANHOLE
- SW SIDEWALK
- TC TOP OF CURB
- TOF TOP OF STEP
- TW TOP OF WALL
- WM WATER METER
- WV WATER VALVE

SEWER DEMAND:
TOTAL BUILDING AREA = 43,275 S.F.
EDU = (43,275 SF) x (1 EDU/1,800 S.F.)
EDU = 24.04
ADF = 24.04 X 200 gal/day
ASF = 4,808 gal/day < 100,000 gal/day
PDF = 4,808 gal/day x 2.5
PDF = 12,020 gal/day

WATER DEMAND:
TOTAL SITE AREA = 3.39 ACRES.
NON RESIDENTIAL = 1,500 GPD/ACRES
DEMAND = 1,500 x 3.39 = 5,084 GPD



TRIP GENERATION RATES

Land Use	Weekday Daily	AM PEAK		PM PEAK	
		% ADT	In/Out Ratio	% ADT	In/Out Ratio
Auto Sales (Dealer & Repair)	50 trips / ksf	5%	0.70 : 0.30	8%	0.40 : 0.60
Single Tenant Office	14 trips / ksf	15%	0.90 : 0.10	15%	0.20 : 0.80

TRIP GENERATION CALCULATIONS

Land Use	Amount	ADT	AM PEAK			PM PEAK		
			In	Out	Total	In	Out	Total
Existing Use								
Office Bldg	1,512 ksf	22	3	0	3	1	2	3
Sales Office	4,546 ksf	228	8	3	11	8	10	18
Existing Use Subtotal		250	11	3	14	9	12	21
Proposed Use								
Premier Cadillac Sales/Showroom	8,771 ksf	439	16	6	22	15	21	36
Proposed Driveway Trips		439	16	6	22	15	21	36
Less Existing Trip Credit		-250	-11	-3	-14	-9	-12	-21
Net New Traffic		189	5	3	8	6	9	15

Notes:
ksf: 1,000 square feet
1. Based on the data provided in the SANDAG's Brief Guide of Vehicular Trip Generation Rates for the San Diego Region, April 2002.

TITLE REPORT INFORMATION AND EASEMENTS:

SEE SHEET 1 OF 2 FOR EASEMENT DESCRIPTIONS.

NOTES:

- FIRE ACCESS ROAD SURFACE. THE SURFACE OF ALL FIRE DEPARTMENT ACCESS ROUTES SHALL BE OF AN IMPERVIOUS "ALL-WEATHER" SURFACE MATERIAL, DESIGNED TO CARRY A MINIMUM LOAD OF 75,000 POUNDS AXEL WEIGHT.
- AN AUTOMATIC FIRE SPRINKLER SYSTEM AND STANDPIPES ARE REQUIRED FOR THIS PROJECT.
- ALL BUILDINGS WILL REQUIRE FIRE SPRINKLERS.

ARCHITECT: SAUREN ARCHITECTURE INC. 17087 ORANGE WAY FONTANA, CA 92335 PHONE: (909) 352-6688 CONTACT: DOUG ANDRESEN EMAIL: doug.andresen@saurenfirm.com

CONTRACTOR: SAUREN LOPEZ CONSTRUCTION INC. 26072 MERIT CIRCLE, SUITE 112 LAGUNA HILLS, CA 92653 PHONE: (949) 362-0756 CONTACT: FRED LOPEZ EMAIL: fred@slconst.com

DIG ALERT

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 811 TWO WORKING DAYS BEFORE YOU DIG

BENCHMARK: CLSB-057
CITY OF CARLSBAD SURVEY CONTROL NETWORK

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A.P.N.: 211-060-06
ELEVATION: 44.01 FEET, NGVD 1929

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LOCATION OF EXISTING UTILITIES WERE DETERMINED BY RECORD INFORMATION AND A VISUAL FIELD SEARCH EXACT LOCATION SHOULD BE DETERMINED BY A CONTRACTOR

BASIS OF BEARINGS:
BEARINGS BASED ON FOUND MONUMENTS ALONG THE CENTERLINE OF CAR COUNTRY DRIVE BEING NORTH 67°30'55" EAST AS PER MAP OF CARLSBAD TRACT NO. 72-3, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

ESTIMATED RAW EARTHWORK QUANTITIES

SITE AREA:	3.39 AC	AREA DISTURBED:	0.48 AC
CUT:	390 CY	FILL:	64 CY
EXPORT:	326 CY	IMPORT:	0 CY
REMEDIAL:	850 CY		

HYDROLOGY TABLE

02-YEAR STORM	= 9.53 CFS
010-YEAR STORM	= 13.88 CFS
050-YEAR STORM	= 17.35 CFS
0100-YEAR STORM	= 20.83 CFS

RUNOFF:
DIST. AREA: 21,867 SF
BUILDING: 11,150 SF
FS/AC: 9,618 SF

RUNOFF FACTOR = 1.0
ISO MAP = 0.6" (24HR) = 0.05"
D.C.V. = (21,867)(1.0)(0.05) = 1,093 CF

DISTRICTS: (UTILITY AND SCHOOL)

WATER: CARLSBAD MUNICIPAL WATER DISTRICT (442) 339-2722 WWW.CARLSBADCA.GOV/WATER

SEWER: CITY OF CARLSBAD WASTEWATER DIVISION (760) 438-2722 WWW.CARLSBADCA.GOV/SEWER

SCHOOL: CARLSBAD UNIFIED SCHOOL DISTRICT PHONE: (760) 331-5000 CARLSBADUSD.NET

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL	DATE	INITIAL

JCA
JONES, CAHL & ASSOCIATES
CONSULTING ENGINEERS
18090 Beach Boulevard - Huntington Beach
California 92648 - (714) 848-0566
e-mail: jca@jcaonline.com

DESIGNED: - SCALE: 1" = 20'
DRAWN: C.H. DATE: 4/8/2024
CHECKED: D.R. JOB NO. 22-2633
PREPARED UNDER THE DIRECTION OF:
DANIEL RUBIO R.C.E. 60934/P.L.S. 8239 DATE

SHEET 2 CITY OF CARLSBAD ENGINEERING DEPARTMENT SHEETS 2

GRADING PLANS FOR:
PREMIER CADILLAC
5556 PASEO DEL NORTE
PRECISE GRADING PLAN CDP 2023-0026

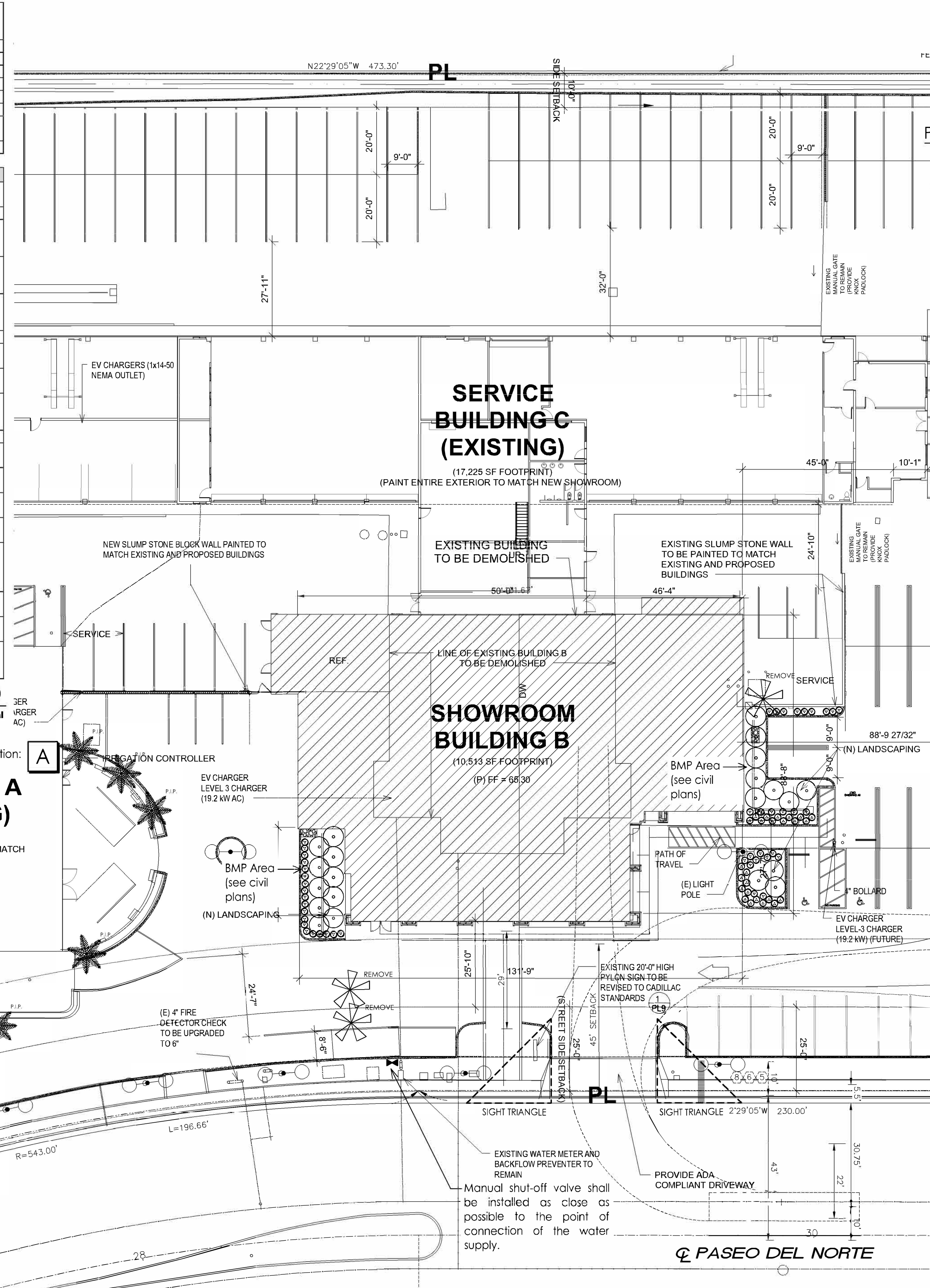
PROJECT NO.
SDP 2023-0016

Appendix D Prescriptive Compliance Option

This appendix contains prescriptive requirements which may be used as a compliance option to the Water Efficient Landscape Ordinance and this Landscape Manual for projects of less than 2,500 square feet. Compliance with the following items is mandatory and must be documented on a landscape plan in order to use this option.

Project Applicant: Andros Architecture	Date: 1/23/2024	
Project Address: 5556 Paseo Del Norte, Carlsbad CA	Assessor's Parcel Number:	
Total Landscape Area affected: 1,156 SF	Turf Area: N/A	Plant Area: 1,156 SF
Project Type: Renovation		
Water Supply Type: Potable		
Project Contact Name and Number: Crystal Cardona, (909) 355-6688		
"I agree to comply with the requirements of the prescriptive compliance option to the City of Carlsbad Landscape Manual"		
Signed:	Date: 4/10/2024	

YES	N/A	REQUIREMENTS
X		A. Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contraindicated by a soil test)
		B. Plant material shall comply with all of the following:
	X	1. For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.
	X	2. For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.
	X	3. A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
	X	C. Turf shall comply with all of the following:
	X	1. Turf shall not exceed 25% of the landscape area in residential areas, and there shall be no turf in non-residential areas.
	X	2. Turf shall not be planted on sloped areas which exceed a slope of 1 foot vertical elevation change for every 4 feet of horizontal length.
	X	3. Turf is prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by subsurface irrigation or by other technology that creates no overspray or runoff.
	X	D. Irrigation systems shall comply with the following:
	X	1. Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.
	X	2. Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
	X	3. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
	X	4. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
	X	5. All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
	X	6. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
	X	E. For non-residential projects with landscape areas of 1,000 sq. ft. or more, a private subcontractor(s) to measure landscape water use shall be installed.
	X	At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

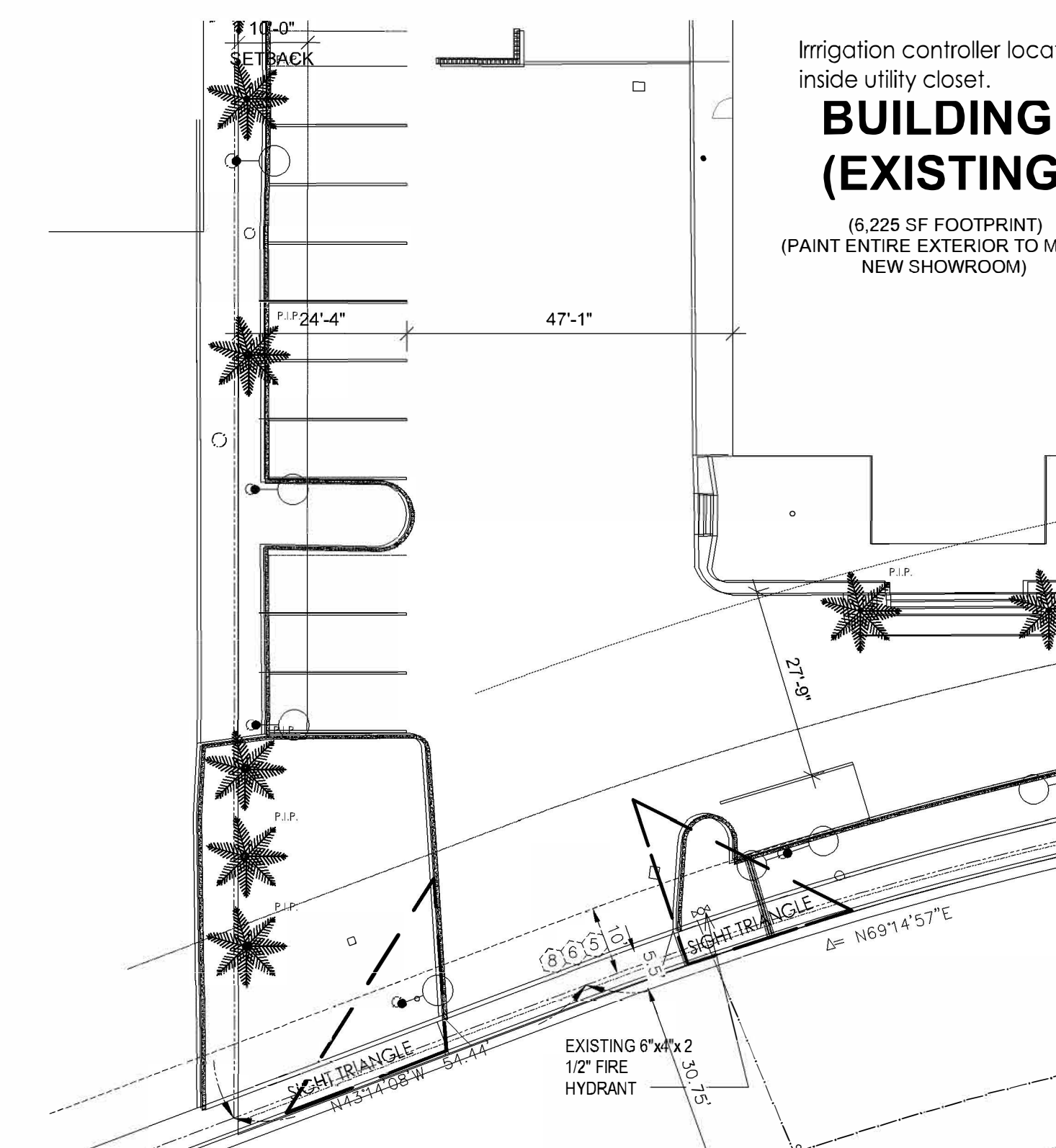


PLANTING LEGEND

Symbol	Botanical / Common Name	Kc	Use	Mature Water Height/ Width	Container	Quantity
⊙	Baccharis pilularis 'Pigeon Point'	0.3	Low	1'-2'	5 gallon	21
⊙	Dwarf Coyote Brush			6'-8'		
⊙	Diets iridioides	0.3	Low	2'	5 gallon	69
⊙	Fortnight Lily			2-3'		

- Existing Landscape - Protect in place. Existing landscaping damaged during project construction shall be replaced in kind and consistent with the City of Carlsbad Landscape Manual.
- Existing Palm Tree - Protect in place.
- Existing Palm Tree - Remove
- Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contraindicated by a soil test)
- A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Irrigation Systems shall comply with the following:
- Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.
 - Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
 - Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
 - Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
 - All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard." All sprinkler heads installed in the Landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
 - Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
- At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

Appendix D City of Carlsbad Landscape Manual



Statement of Design and Water Efficiency:
Plants have been selected to be water efficient, regionally appropriate, and suitable within LID areas where applicable. Aesthetics and visibility has been considered given plant locations adjacent to a showroom. Plants are spaced to provide adequate coverage while not overcrowding to minimize maintenance. An irrigation schedule to encourage deep root systems and good plant habits will be provided with construction drawings.

Maintenance Responsibility:
Landscape areas shall be maintained by the Owner.

I am familiar with the requirements for landscape and irrigation plans contained in the City of Carlsbad's Landscape Manual and water efficient landscape regulations. I have prepared this plan in compliance with those regulations and the Landscape Manual and agree to comply with all requirements when submitting construction documents. I certify that the plan implements those regulations to provide efficient use of water.

Gregory Zoll, RLA # 5204

April 10, 2024

Ecosystem Solutions
Urban LES
LandscapeDynamics.net
Landscape Architecture - Consulting
Water Management - Certified Arboriculture
(951) 264-4839
DESIGN PROJECT MANAGER
Greg Zoll
gregzoll@landscape-dynamics.net
(951) 264-4839

Premier Cadillac
5556 Paseo Del Norte, Carlsbad, CA 92008
PLANTING PLAN

DIG ALERT
DIAL TOLL FREE
1-800-227-2600
AT LEAST THREE DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

LICENSED LANDSCAPE ARCHITECT
GREGORY ZOLL
5204
April 10, 2024
State of California

North
Scale 1"=20'
0' 20' 40'
April 10, 2024
DESCRIPTION: JOB NO. 807
SHEET
1 of 1

Full Size Project Exhibits “A” – “N” dated June 19, 2024 (on file in the Planning Division).

LIST OF ACRONYMS AND ABBREVIATIONS

This is a list of acronyms and abbreviations (in alphabetical order) that are commonly used in staff reports.

Acronym	Description	Acronym	Description
APA	American Planning Association	LCPA	Local Coastal Program Amendment
APN	Assessor Parcel Number	LOS	Level of Service
AQMD	Air Quality Management District	MND	Mitigated Negative Declaration
BMP	Best Management Practice	NCTD	North County Transit District
CALTRANS	California Department of Transportation	ND	Negative Declaration
CC	City Council	PC	Planning Commission
CCR	Conditions, Covenants and Restrictions	PDP	Planned Development Permit
CEQA	California Environmental Quality Act	PEIR	Program Environmental Impact Report
CFD	Community Facilities District	PUD	Planned Unit Development
CIP	Capital Improvement Program	ROW	Right of Way
COA	Conditions of Approval	RWQCB	Regional Water Quality Control Board
CofO	Certificate of Occupancy	SANDAG	San Diego Association of Governments
CT	Tentative Parcel Map	SDP	Site Development Plan
CUP	Conditional Use Permit	SP	Specific Plan
DIF	Development Impact Fee	SWPPP	Storm Water Pollution Prevention Program
DISTRICT	City Council Member District Number	TM	Tentative Map
EIR	Environmental Impact Report	VBMP	Village & Barrio Master Plan
EIS	Environmental Impact Statement (federal)	ZC	Zone Change
EPA	Environmental Protection Agency		
FEMA	Federal Emergency Management Agency		
GP	General Plan		
GPA	General Plan Amendment		
GIS	Geographic Information Systems		
HCA	Housing Crisis Act 2019		
IS	Initial Study		