

**CALAVERA HILLS  
MASTER PLAN AMENDMENT  
MP-150(H) and (I)**

**PREPARED FOR:**

**CITY OF CARLSBAD  
Planning Department  
1635 Faraday Ave.  
Carlsbad, CA 92008**

**Approval Date: Jan. 15, 2002  
Ordinance No.: NS-616  
Amended: Jan. 14, 2004 (Fire Suppression)**

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**1/14/04**



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**FEB 23 2004**

**CALAVERA HILLS MASTER PLAN  
CHRONOLOGY OF MASTER PLAN AMENDMENTS**

**CITY OF CARLSBAD  
PLANNING DEPT.**

- 
- MP-150: May 7, 1974 - City Council approved MP-150/EIR-230 (Resolution #3407).
- MP-150(A): December 28, 1978 - City Council Approval MP-150(A) (Ordinance #9517).
- MP-150(B): February 2, 1982 - City Council approved MP-150(B) (Ordinance #6888).
- MP-150(C): May 26, 1992 - Planning Commission recommended approval of MP-150(C) (Resolution #1966).
- MP-150(D): April 18, 1983 - City Council approved MP-150(D) (Ordinance #9682 and #9683).
- MP-150(E): May 11, 1983 - Planning Commission recommended approval of MP-150(E) (Resolution #2117).
- MP-150(F): December 14, 1983 - Planning Commission recommended approval of MP-150(F) (Resolution #2214)
- MP-150(G): November 2, 1993 - City Council Certified EIR 90-05, and approved Master Plan Amendment MP-150(G), (Resolution #93-301).
- MP-150(H): January 15, 2002 - City Council approved MP-150(H) (Ordinance #NS-616).
- MP-150(I): January 14, 2004 - Planning Director approved administrative MP Amendment for Fire Suppression.

## TABLE OF CONTENTS

I.	INTRODUCTION.....	1
A.	PURPOSE.....	1
B.	PROJECT LOCATION AND DESCRIPTION.....	6
C.	HISTORY.....	8
D.	MASTER PLAN GOALS.....	12
E.	MASTER PLAN THEME.....	12
II.	LAND USES.....	14
A.	GENERAL PLAN.....	14
B.	ZONING REGULATIONS.....	14
C.	LAND USES.....	17
D.	GENERAL PROVISIONS.....	22
III.	TRAFFIC CIRCULATION.....	29
A.	INTRODUCTION.....	29
B.	ARTERIAL ROADWAYS.....	29
C.	PHASING & TIMING OF ROADWAY INSTALLATION.....	31
D.	VILLAGE ROADWAY DESIGN.....	32
E.	ALTERNATIVE TRANSPORTATION.....	33
IV.	OPEN SPACE.....	35
A.	INTRODUCTION.....	35
B.	RELATIONSHIP OF THE MASTER PLAN TO THE HMP.....	35
C.	SECTION 21.38 OPEN SPACE REQUIREMENTS.....	37
D.	PEDESTRIAN TRAILS.....	39
E.	EASEMENT DEDICATION.....	41
F.	MAINTENANCE OF OPEN SPACE AREAS.....	41
V.	GRADING / HILLSIDE DEVELOPMENT.....	42
A.	INTRODUCTION.....	42
B.	GRADING GUIDELINES.....	42
C.	BLASTING AREAS.....	43
D.	ROCK CRUSHING / HAUL ROUTES.....	44
VI.	PUBLIC FACILITIES.....	45
A.	INTRODUCTION.....	45
B.	PUBLIC FACILITY COMPLIANCE SUMMARY.....	45

## TABLE OF CONTENTS (CONTINUED)

VII.	PHASE II CITY PERMITS / MASTER PLAN AMENDMENTS.....	47
A.	MASTER PLAN.....	47
B.	TENTATIVE MAP.....	47
C.	PLANNED DEVELOPMENT PERMITS - PUD.....	47
D.	PLANNED DEVELOPMENT PERMITS - CONDOMINIUMS - CP.....	47
E.	SITE DEVELOPMENT PLAN.....	48
F.	CONDITIONAL USES.....	48
G.	AMENDMENTS.....	48
H.	VILLAGE PERMIT MATRIX.....	49
VIII.	PHASE II VILLAGE DESIGN STANDARDS.....	50
A.	GENERAL ARCHITECTURAL GOALS.....	50
B.	ARCHITECTURAL DESIGN CRITERIA - SINGLE FAMILY.....	51
C.	ARCHITECTURAL DESIGN CRITERIA - MULTI FAMILY.....	54
D.	LANDSCAPE GUIDELINES.....	55
E.	WALLS AND FENCING.....	69
F.	VIEWS.....	72
G.	SIGNAGE.....	72
H.	LIGHTING.....	73
IX.	PHASE II VILLAGE DEVELOPMENT STANDARDS.....	77
A.	VILLAGE E-1.....	77
B.	VILLAGE H.....	84
C.	VILLAGE I.....	90
D.	VILLAGE K.....	91
E.	VILLAGE L-2.....	99
F.	VILLAGE R.....	104
G.	VILLAGE U.....	109
H.	VILLAGE W.....	116
I.	VILLAGE X.....	123
J.	VILLAGE Y.....	129
K.	VILLAGE Z.....	135



## LIST OF EXHIBITS

EXHIBIT 1	LOCATION MAP	3
EXHIBIT 2	MASTER PLAN MAP	4
EXHIBIT 3	LEGAL MAP	5
EXHIBIT 4	LAND USE MAP	15
EXHIBIT 5	EXISTING ZONING MAP	16
EXHIBIT 6	ARTERIAL ROADWAYS	30
EXHIBIT 7	ACCESS POINTS	34
EXHIBIT 8	HABITAT LINK MAP	36
EXHIBIT 9	OPEN SPACE	38
EXHIBIT 10	CIRCULATION / TRAILS MAP	40
EXHIBIT 11	LANDFORM PLANTING	58
EXHIBIT 12	HOA MAINTAINED AREAS	62
EXHIBIT 13	STREET SECTIONS	63
EXHIBIT 14	FIRE CONTROL LANDSCAPING - A	64
EXHIBIT 15	FIRE CONTROL LANDSCAPING - B	65
EXHIBIT 16	VILLAGES K AND X OPEN SPACE WALL DESIGN	67
EXHIBIT 17	VILLAGES K AND X FIRE CONTROL LANDSCAPING	68
EXHIBIT 18	NOISE ATTENUATION	70
EXHIBIT 19	WALL DETAILS	71
EXHIBIT 20	ENTRY DETAILS	74
EXHIBIT 21	ENTRY DETAILS	75
EXHIBIT 22	SIGN PLAN	76
EXHIBIT 23	VILLAGE E-1	83
EXHIBIT 24	VILLAGE H	89
EXHIBIT 25	VILLAGE I	92
EXHIBIT 26	VILLAGE K	98
EXHIBIT 27	VILLAGE L-2	103
EXHIBIT 28	VILLAGE R	108
EXHIBIT 29	VILLAGE U	115
EXHIBIT 30	VILLAGE W	122
EXHIBIT 31	VILLAGE X	128
EXHIBIT 32	VILLAGE Y	134
EXHIBIT 33	VILLAGE Z	137

## LIST OF TABLES

TABLE 1	EXISTING DEVELOPMENT	7
TABLE 2	PROPOSED RESIDENTIAL DEVELOPMENT	8
TABLE 3	PROPOSED NON-RESIDENTIAL DEVELOPMENT	8
TABLE 4	LAND USE DESCRIPTIONS	14
TABLE 5	AFFORDABLE HOUSING ANALYSIS	18
TABLE 6	DEVELOPMENT AREA LAND USE SUMMARY	22
TABLE 7	PHASE I LAND USE / DEVELOPMENT STANDARDS	23
TABLE 8	PHASE II UNIT YIELD ANALYSIS	24
TABLE 9	ZONE 7 PUBLIC FACILITY COMPLIANCE SUMMARY	45
TABLE 10	VILLAGE PERMIT MATRIX	49

## **I. INTRODUCTION**

This introduction outlines the legal basis and scope of the Calavera Hills Master Plan. It is also intended to provide an explanation of the location of the community, a description of the buildout of the community, the regulatory history of the Master Plan, and concludes with a statement of goals for the community development.

### **A. PURPOSE**

This Calavera Hills Master Plan constitutes the zoning standards for the area shown on Exhibit 1, as required by the Planned Community Zone, Section 21.38 of the Carlsbad Municipal Code.

This Master Plan map (Exhibit 1) delineates specific neighborhoods within the Master Plan area. The Master Plan text defines the allowable type and intensity of land uses within each neighborhood. In addition, it provides detailed development and design standards, requirements, development phasing and timing. The Calavera Hills Master Plan has been approved by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code. Approval of the Calavera Hills Master Plan however, does not vest development rights for the Master Plan Area. Construction of a portion of the Master Plan Area pursuant to this Master Plan shall not vest any right to construct the balance of the plan.

Proposed land uses and development within the Calavera Hills Master Plan or amendments thereto, shall be subject to all present and future plans, policies, or ordinances adopted by the City Council as may be limited pursuant to Section 66474.2 of the California Subdivision Map Act.

This Master Plan Amendment affects only the land use and development standards for Phase II of Calavera Hills. Land uses and standards within the non-Phase II area (built out) will remain the same. The intent and purpose of this Master Plan Amendment (MP-150-H) is as follows:

- To provide a wildlife corridor across Village K and adequately mitigate for impacts to the California gnatcatcher, as required by the City, State and Federal Resource Agencies,
- To redistribute the land uses within Phase II of the Master Plan, primarily land uses displaced by the wildlife corridor,
- To change the existing commercial land use site to residential use,
- To provide for community facilities land uses such as daycare or church facilities.

- To incorporate the adjacent 110-acre Calavera nature Preserve into the Master Plan,
- To provide for affordable residential housing as required pursuant to the requirements of Carlsbad Municipal Code section 21.85, and
- To modify the development standards, residential design criteria, and architectural guidelines to ensure functional and aesthetically pleasing design and compatible architectural styles.

The location of the Calavera Hills Master Plan area is shown on Exhibit 1. The villages included within Phase II and specifically addressed in this Master Plan Amendment are demonstrated on Exhibit 2.

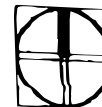
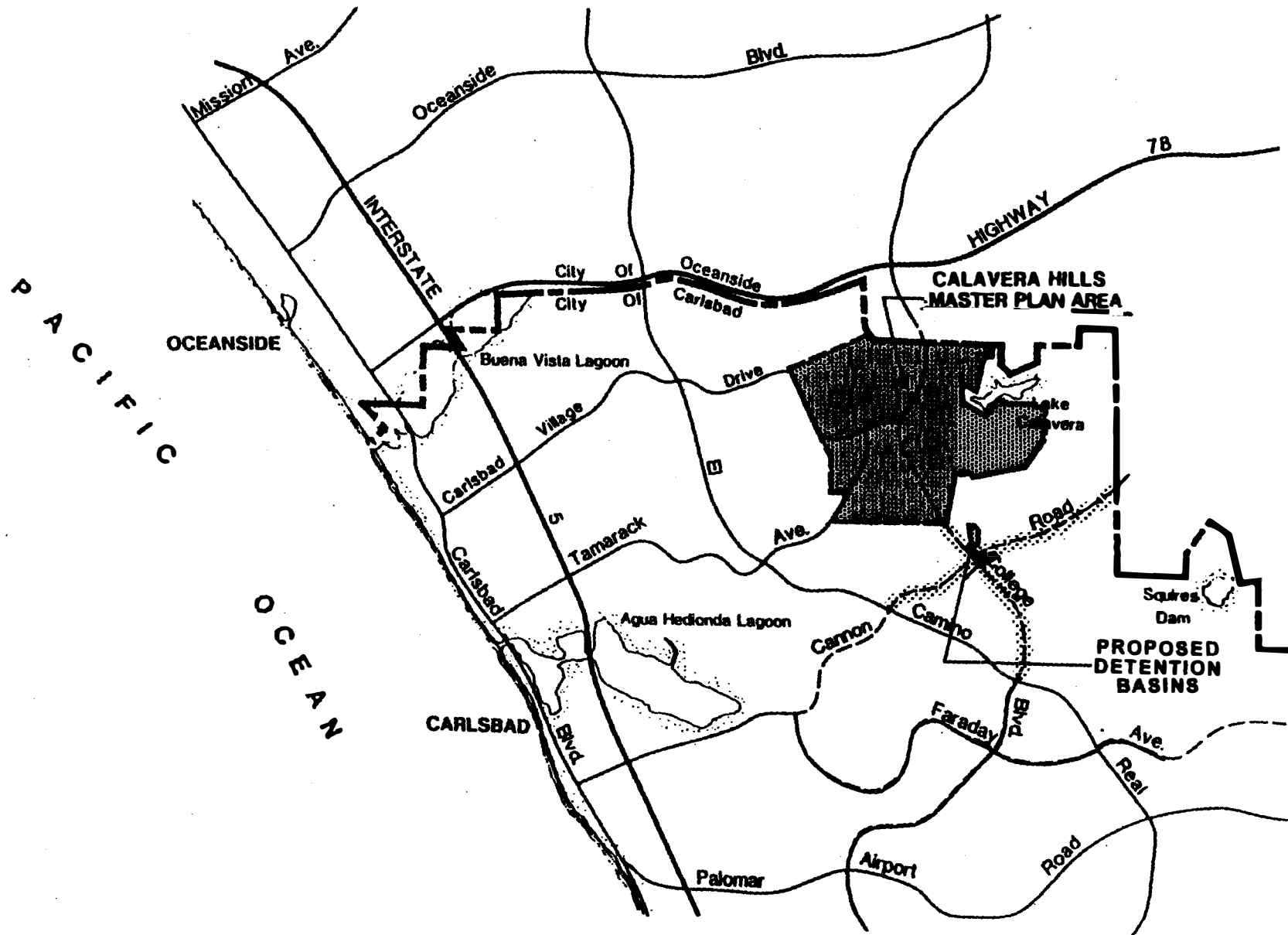
Development within the Calavera Hills Master Plan Area shall fulfill all requirements established by the Citywide Facilities and Improvement Plan and Local Facilities Management Plan (LFMP) for Zone 7 (as amended), pursuant to Carlsbad Municipal Code Chapter 21.90. The Zone Plan provides a detailed description and analysis of how Zone 7 will develop from its current status to build out. The LFMP also delineates how and when each facility and improvement will be constructed in order to accommodate development within the Zone (phasing). The plan further provides a complete description of how each facility and improvement will be financed when mitigation is necessary. The Master Plan defines the phased development of the Calavera Hills Planning Area and assures that all phases of development are consistent with the requirements of the Local Facilities Management Plan for Zone 7 (as amended).

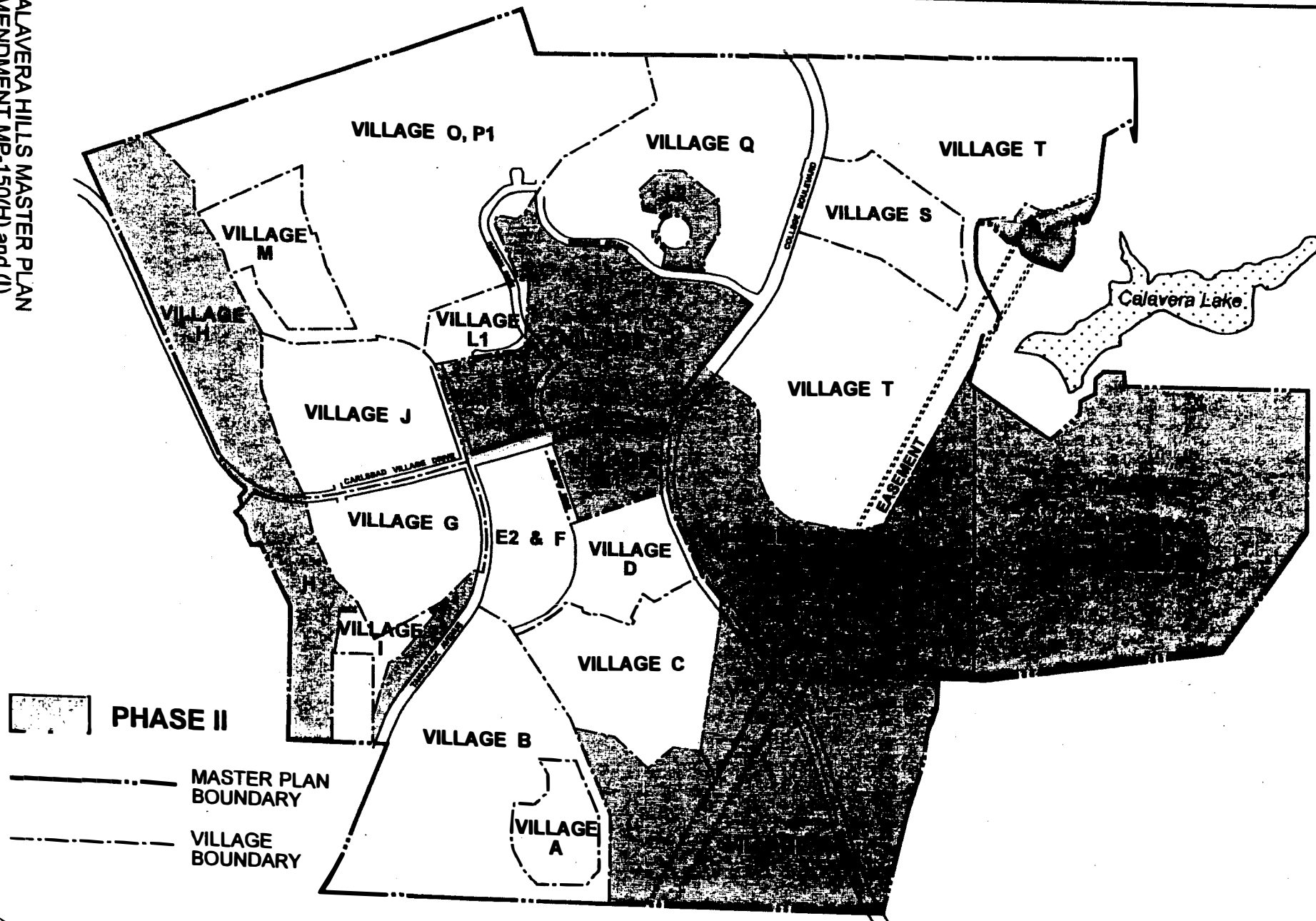
The residential development potential for the Master Plan area has been established by applying the density ranges and the "control points" of the General Plan Land Use designations which were previously applicable to the property.

Amendments to the Master Plan are permitted pursuant to the procedure established in Chapter 21.38 of the Carlsbad Municipal Code (P-C Zone) and Chapter III of the Master Plan.

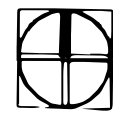
This Master Plan implements the City of Carlsbad's General Plan and Municipal Code by providing guidelines and standards for the development of the planning area by requiring facilities and services consistent with the City's Local Facilities Management Plan; and by ensuring that all other City standards and requirements will be met in a consistent and uniform manner.

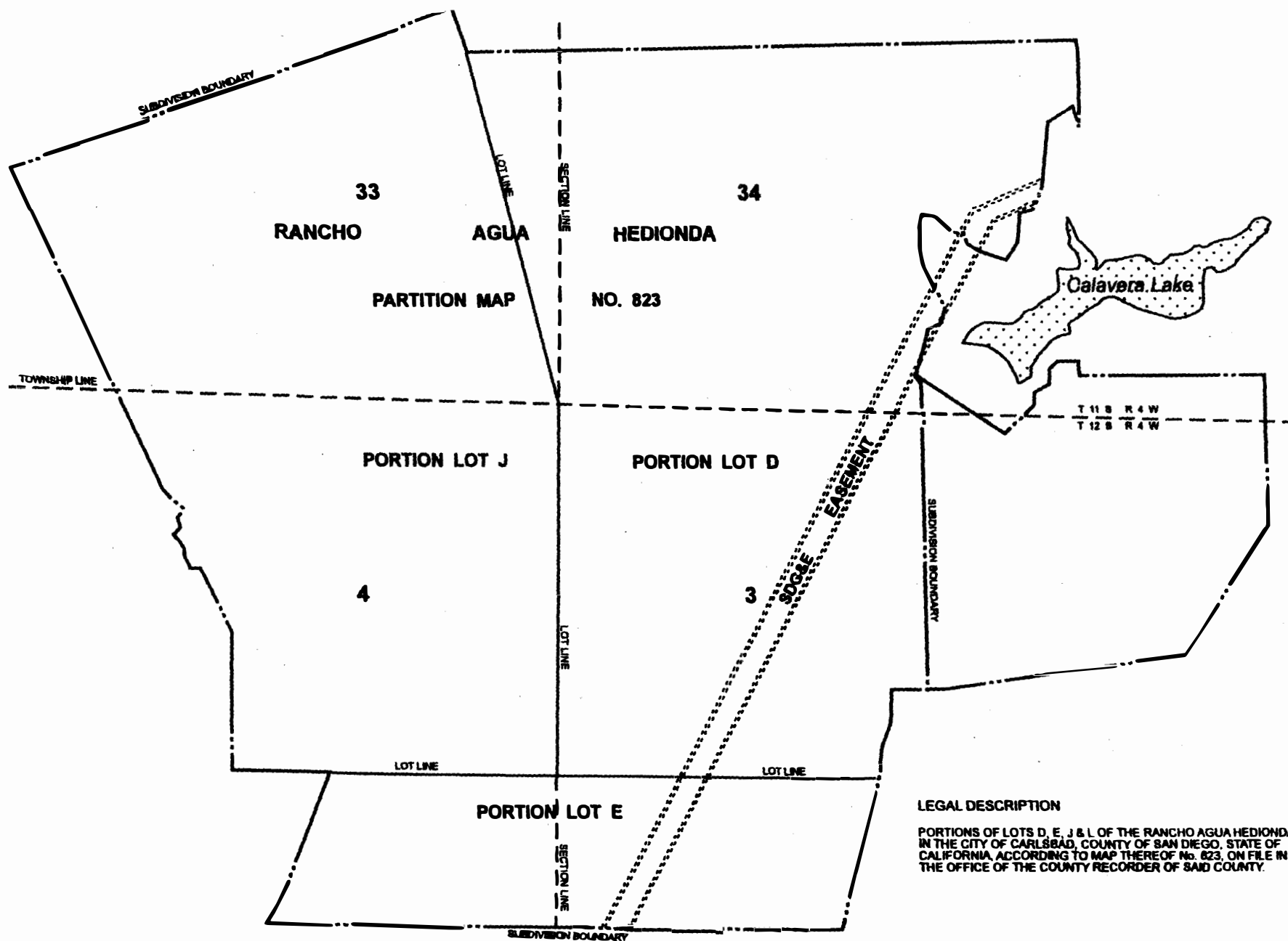
No person shall use or develop any property covered by this Master Plan in a manner which is contrary to the Master Plan as established by the City Council. All developers within the Master Plan shall be subject to all terms and conditions of the Calavera Hills Master Plan. Unless specifically provided otherwise in this Master Plan, all City policies and ordinances apply to the Calavera Hills Master Plan Area as they would apply to any property in the City of Carlsbad. The Master Plan requires conformance with all applicable City development standards and requirements.





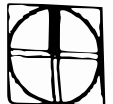
PLANNING SYSTEMS





**LEGAL DESCRIPTION**

PORTIONS OF LOTS D, E, J & L OF THE RANCHO AGUA HEDIONDA  
 IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF  
 CALIFORNIA, ACCORDING TO MAP THEREOF No. 823, ON FILE IN  
 THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



## **B. PROJECT LOCATION AND DESCRIPTION**

### **1. LOCATION**

The Calavera Hills Master Plan area is located in the northeast portion of the City of Carlsbad, south of Highway 78 and east of El Camino Real, approximately three miles inland of the Pacific Ocean. The central portion of the property is situated 4 miles southeast of the geographic center of the City of Oceanside, 4 miles southwest of the geographic center of the City of Vista, and 33 miles north of downtown San Diego. Exhibit 2 indicates the boundaries of the project.

### **2. LEGAL DESCRIPTION**

Portion of Lots D, E, J and L of the Rancho Agua Hedionda in the City of Carlsbad, County of San Diego, State of California, according to the Map thereof No. 823 on file at the office of the County Recorder of San Diego County.

### **3. PROJECT DESCRIPTION**

The Calavera Hills Master Planning area includes approximately 909 acres of urban villages and open space. An additional 110-acre environmental mitigation parcel (The Calavera Nature Preserve (CNP) is proposed for inclusion within the Master Plan pursuant to MP 150(H). This addition brings the total Master Plan acreage to approximately 1019 acres. Exhibit 2 indicates the location of the project which is divided by arterial roadways College Boulevard, Carlsbad Village Drive, and Tamarack Avenue.

The overall Master Plan as amended will feature 19 residential villages, 1 community park, 2 school sites, 2 community facility sites, 1 recreational vehicle storage facility, an environmental mitigation open space parcel (the CNP), as well as large areas of open space corridors.

#### **a. PHASE I**

Over half of the Calavera Hills Master Plan area has been developed. A total of 1619 dwelling units, 1 elementary school, 1 recreational vehicle storage area, and 1 community park exist or are under construction as of October 1, 2001.

Villages A, B, C, D, G, J, L-1, O and P-1 have been developed for residential purposes with a variety of single family and multiple family residential product types. Villages Q and T have recorded final maps for single family residences and are being developed at the time of this master plan amendment. Completion and full occupancy of Villages Q and T is expected in 2001-2002.

The following residential development has been completed within the Calavera Hills Master Plan Area:

**Table 1 - Existing Development**

Village A	36	Single Family Homes (The Colony)
Village B	167	Single Family Homes (The Colony)
Villages C & D	230	Multi-Family Units (The Cape)
Villages E-2 & F	-0-	Community Park/Fire Station
Village G	108	Duplex Units (The Crest)
Village I	-0-	RV Storage Area
Village J	210	Multi-Family Units (The Villas)
Villages M & N	-0-	Elementary School (Hope Elem.)
Villages O & P-1	350	Single Family and Duplex Units (The Trails and The Knolls)
Village L-1	35	Multi-Family Units
Total Units -	1136	

The following villages have recorded final maps and are being developed at the time of this master plan amendment:

**Table 1 - Existing Development (Cont.)**

Village Q -	140	Single Family Homes
Village T -	343	Single Family Homes
Total Units -	483	

**Residential Unit Count Summary**

Total Developed	1136
Being Developed	483
TOTAL PHASE I	1619

**B. PHASE II**

This latest update of the Master Plan (MP 150-H) applies only to the remaining undeveloped and unapproved Villages (Phase II) within the Calavera Hills Master Plan. The provisions and requirements of this update of the existing Calavera Hills Master Plan do not apply to the developed Villages within the Master Plan Area or any other village for which discretionary approvals have been received. This update impacts the following Villages specifically:



**Table 2 - Proposed Residential**

Phase II Village	Existing MP Land Use	Existing MP Max. DU	Proposed MPA Land Use	Proposed MPA Max. DU
Village E-1	Commercial	Commercial	Multi-family	117
Village K	416	Multi-family	Single Family	88
Village L-2	119	Multi-family	Single Family	15
Village R	6	Single Family	Single Family	4
Village U	139	Multi-family	Multi Family	179
Village W	32	Single Family	Single Family	121
Village X	36	Single Family	Single Family	117
Village Y	5	Single Family	Multi-Family	140
Total	795			781

**Table 3 - Proposed Non-residential**

Phase II Village	Existing MP Land Use	Existing MP Acres	Proposed MPA Land Use	Acres
Village H	42 Single Family (included in above total)	6.8 ac.	Community Facilities	3.2 ac.
Village Y	Single Family	N/A	Community Facilities	1.0 ac.
Village Z	Not in MP	N/A	Nature Preserve	109.9 ac.

## C. HISTORY

The Calavera Hills Master Plan has a history which dates back to 1974 when the Planning Commission approved MP-150 - The Calavera Hills Master Plan. Since that time there have been many amendments to both the Master Plan and the General Plan for the Calavera Hills Area Development of the area has continued with many of the villages built.

The following is a chronological history of the policy and permitting activity within the Calavera Hills Master Plan Area since initial planning for the area began in 1973:

### 1. PERMITTING ACTIVITY

March 12, 1974 - Planning Commission recommended approval of MP-150 (Resolution #1050).

May 7, 1974 - City Council approved MP-150/EIR-230 (Resolution #3407).

May 21, 1974 - City Council adopted ZC 138 (Ordinance #9388).

January 26, 1977 - Planning Commission recommended approval of CT 76-12/PUD-4 (Resolution #1314).

August 4, 1977 - City Council approved CT-76-12/PUD-4 (Resolution #5145 and Resolution #5146).

July 12, 1978 - Planning Commission recommended approval of GPA-51(A).

July 12, 1978 - Planning Commission recommended certification of EIR-403 for GPA-51(A).

September 19, 1978 - City Council certified EIR-403.

October 3, 1978 - City Council approved GPA-51(A) (Resolution #5550).

October 25, 1978 - Planning Commission recommended approval of MP 150(A) (Resolution #1481).

December 28, 1978 - City Council Approval MP-150(A) (Ordinance #9517).

January 13, 1982 - Planning Commission recommended approval of MP-150(B) (Resolution #1912).

January 13, 1982 - Planning Commission recommended approval of CT 81-47/PUD-35- Villages C & D (Resolution #1911).

February 2, 1982 - City Council approved MP-150(B) (Ordinance #6888).

May 26, 1982 - Planning Commission recommended approval of MP-150(C) (Resolution #1966).

July 14, 1982 - Planning Commission recommended approval of CT 92-8/PUD-41- Village G (Resolution #1993).

August 25, 1982 - Planning Commission recommended approval of CT 82-16/CP-213 - Village J (Resolution #2008).

March 23, 1983 - Planning Commission recommended approval of MP-150(D) (Resolution #2095).

March 23, 1983 - Planning Commission recommended approval of ZC-273 (Resolution #2096).

March 23, 1983 - Planning Commission recommended approval of CT 83-3/PUD 51 (Resolution #2094).

April 18, 1983 - City Council approved MP-150(D) (Ordinance #9682 and #9683).

May 11, 1983 - Planning Commission recommended approval of MP-150(E) (Resolution #2117).

October 12, 1983 - Planning Commission recommended approval of GPA 83-3 (Resolution #2190)- Change in densities, park sites & open space.

November 23, 1983 - Planning Commission recommended approval of CT 83-21/PUD-57 (Resolution #2224)- Village O & P-1.

December 14, 1983 - Planning Commission recommended approval of MP-150 (F) (Resolution #2214) - Changes to reflect the General Plan.

March 14, 1984 - Planning Commission recommended approval of CT 84-1/PUD-66 (Resolution #2255)- Village A.

July 11, 1984 - Planning Commission recommended approval of CT 83-19/PUD-56 (Resolution #2289) - Village T.

July 11, 1984 - Planning Commission recommended approval of CT 83-32/PUD-62 (Resolution #2292) - Village Q.

May 22, 1985 - Planning Commission recommended approval of CT 84-20 (Resolution #2440) - Master Tentative Map for Villages E-1, E-2, I, K L-2, M, Q, R, S, T, U, W, X, Y.

August 14, 1985 - Planning Commission approved PCD-83 (Resolution #2466) Village I - RV storage facility.

October 15, 1985 - City Council denied CT 83-18/PUD-55 (Resolution 38222) - Village H.

November 13, 1985 - Planning Commission denied CT 84-37/CP-300 (Resolution #2510)- Village U.

November 13, 1985 - Planning Commission denied CT 84-38/PUD-76 (Resolution #2511)- Village W, X, Y.

November 13, 1985 - Planning Commission denied CT 85-4/PUD-79 (Resolution #2512) Village L-2.

November 13, 1985 - Planning Commission recommended approval of PUD-57(A) (Resolution #2513) - Village P-1 & O Phase 4 - Change product type from four-plex to duplex.

February 18, 1986 - City Council approved PUD-57(A) Village P-1 & O Phase 4 exemption from Ordinance 9791.

July 28, 1987 - City Council approved CT 83-19/PUD 56 (Resolution #9177) Village T - time extension for tentative map.

July 28, 1987 - City Council approved CT 83-32/PUD 63 (Resolution #9176) Village Q - time extension for tentative map.

December 7, 1988 - Planning Commission approved PCD 87-3(A) (Resolution #2802) Village I- modification to allow for night watchman at RV storage yard.

May 11, 1989 - Planning Commission minute motion for substantial conformance CT 83-19/PUD 56 (Village T) and CT 83-32 - PUD 63 (Village Q).

July 7, 1992 - City Council approved Final Map for CT 83-32 - Village Q (Resolution #92-211).

July 7, 1992 - City Council approved Final Map for CT 83-19 - Village T (Resolution #92-212).

June 16, 1993 - Planning Commission recommended approval of Certification of Environmental Impact Report 90-05 (Resolution #3513) and recommended approval of a General Plan Amendment to the Land Use Element GPA 90-04 (Resolution #3516, a Master Plan Amendment MP-150(G) (Resolution #3517), a Tentative Tract Map CT 90-26 - Villages W, X, & Y (Resolution #3518), a Planned Unit Development PUD 90-26 - Villages W, X and Y (Resolution #3519), and a Hillside Development Permit HDP 90-33 - Villages W, X and Y (Reso. #3520).

November 2, 1993 - City Council Certified EIR 90-05, and approved General Plan Amendment GPA 90-04, Master Plan Amendment MP-150(G), CT 90-26 (Villages W, X and Y), Planned Unit Development PUD 90-26 (Villages W, X and Y), and Hillside Development Permit HDP 90-33 (Villages W, X and Y) (Resolution #93-301).

December 15, 1998 - City Council approved Final Map for CT 97-04 - Village L-1 (Resolution #98-411).

November 10, 1999 - City Council acceptance of Grant Deed for Calavera Heights Mitigation Parcel (Resolution 98-404) and transfer to The Environmental Trust for property ownership and Management.

## **2. ENVIRONMENTAL IMPACT REPORTS**

In addition, two environmental impact reports (EIR's) have been prepared and certified by the Carlsbad City Council, and a third will be certified in conjunction with MP 150(H):

September 19, 1978 - City Council certifies Environmental Impact Report EIR-403 for GPA-51(A).

November 2, 1993 - City Council certifies Environmental Impact Report EIR 90-05 (Resolution #3513).

#### **D. MASTER PLAN GOALS**

The Calavera Hills Master Plan has been developed based on the following goals. All development within the Master Plan area shall conform to goals:

1. Preserve the significant environmental resources and existing topographic character of the Master Plan Area.
2. Ensure the development within the Master Plan is compatible with internal development as well as compatible with surrounding developments.
3. Create and maintain an open space network (i.e., pedestrian and bicycle trails) which links neighborhoods within the Master Plan and the Master Plan community to surrounding land uses.
4. Create a variety of single family and multi family neighborhoods interspersed with natural open space corridors.
5. Conform to all aspects of Carlsbad's General Plan Zone 7 Facilities Management Plan and all applicable City ordinances and regulations, and policies.
6. Ensure that public facilities and services that serve the Master Plan Community meet or exceed applicable City standards and requirements prior to, or concurrent with development, and to provide community facilities.
7. Create an attractive, buffered circulation system that provides for the safety needs of automobiles, bicyclists, and pedestrians.
8. Provide the Master Plan Amendment's fair share of affordable housing and community facilities opportunities.
9. Provide a biological habitat link from east to west in order to adequately mitigate for impacts to the California Gnatcatcher and other species, consistent with current habitat conservation efforts. The purpose of MP 150(H) is to provide a habitat link across Village K, and to redistribute allowable dwelling units among the remaining buildable Villages.

#### **E. MASTER PLAN THEME**

Development of Calavera Hills began in the early 1980's. At first Tamarack Avenue was extended easterly from El Camino Real thereby providing access for the development of Villages A, B, C and D. By the end of the 1980's, approximately 1100 homes, Calavera Hills Community Park and Hope elementary School had been built. During this time a community theme began to evolve. The topographic characteristics and natural habitat of Calavera Hills encourage the creation of urban villages set amongst large areas of natural open space.

As the urban villages of the 1980's have matured they have blended into the conserved natural open space. The result has been the creation of a distinguishable community theme of open spaces. The areas of natural open space meander/thread their way through the community serving as a common linkage between and amongst the villages.

Since the initial development work at Calavera Hills, more areas have been designated for conserved natural open space, such as the large portion of Village H northerly of Carlsbad Village Drive. In 1993, a General Plan Amendment was adopted by the City that changed the land use designation on this large area to open space.

Associated with the ribbons of open space that tie the villages together, walking trails exist that promote human interaction and common passive recreation. The community trails traverse the open space from north to south and from east to west. They make Calavera Hills a linked community of open space and trails. Some of the community trails are official city walking trails. Others perform additional functions such as easements for public utilities, but also serve as excellent trails.

To enhance the open space network and add to the community character, 110 acres of land on the easterly boundary of Calavera Hills was purchased, and dedicated as a nature preserve to the City of Carlsbad in 1998. The site is prominent to the area because it is dominated by Calaveras Mountain. The City has since granted the property to The Environmental Trust, a California non-profit organization that specializes in habitat restoration, enhancement and management. The Environmental Trust is responsible for the continued open space maintenance of the area, as well as implementation of a plan to allow pedestrian trail use of the property. A Habitat Management Plan is in place and are nearing completion of the five (5) year management plan.

With the development of Calavera Hills Phase II, the open space theme of the community will be completed. As provided for in proposed Amendment MP 150(H), significant portion of Village K, in the geographical heart of the community, will be set aside as a natural habitat conservation area. This will create a linkage between the large open spaces to the east with the westerly open space hillsides and canyons in Village H on the west.

## II. LAND USES

### A. GENERAL PLAN

The City of Carlsbad General Plan designations for the Calavera Hills Phase I (existing) and Phase II (proposed) are shown on Exhibit 4. They include the following designations:

**Table 4- Land Use Descriptions**

General Plan Designation	Description	Density/Range	Growth Control Point
RLM	Residential Low Medium	0-4 Dwelling units per acre	3.2 du/ac
RM	Residential Medium	4-8 Dwelling units per acre	6 du/ac
RMH	Residential Medium High	8-15 Dwelling units per acre	11.5 du/ac
RH	Residential High	15-23 Dwelling units per acre	19 du/ac
E	Elementary school		
J	K-8 School		
U	Public Utility		
CF	Community Facilities		
OS	Open Space - Natural Preserve - Community Park - RV Storage		

All development within the Master Plan shall be consistent with these land use designations as well as complying with the Master Plan and Village Development Standards.

### B. ZONING REGULATIONS

The property within the original boundary of this Master Plan is zoned Planned Community, (PC), as shown on Exhibit 5. The Calavera Nature Preserve mitigation parcel to the east is presently being rezoned to PC in order to incorporate it into the Master Plan as permanent open space. The PC Zone requires that a Master Plan be approved prior to any development on site. The Calavera Hills Master Plan complies with all of the requirements of Chapter 21.38, the Planned Community Zones of the Carlsbad Municipal Code and represents the zoning for the property within its boundaries. This Master Plan has been prepared in compliance with the four goals of the intent and Purpose section, (21.38.010), of the PC Zone. They are:

LEGEND

-  OPEN SPACE
-  PHASE I DEVELOPMENT
-  PHASE II DEVELOPMENT

15

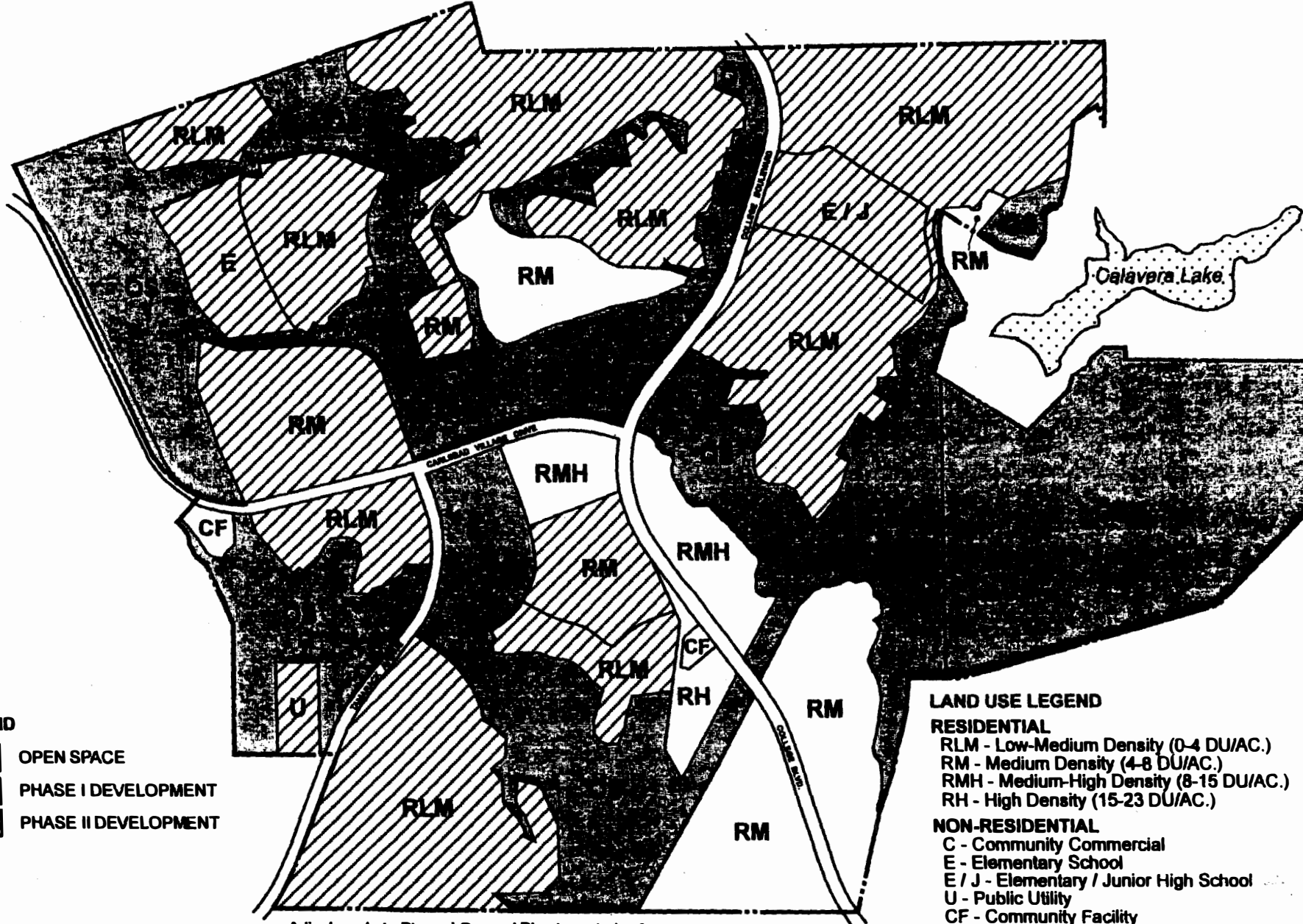
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11/06/01

PLANNING  
SYSTEMS



*Oran*  
CONSULTANTS



Adjustments to Phase I General Plan boundaries for cartographic corrections;  
only Phase II areas have new land uses and configurations.

LAND USE LEGEND

RESIDENTIAL

- RLM - Low-Medium Density (0-4 DU/AC.)
- RM - Medium Density (4-8 DU/AC.)
- RMH - Medium-High Density (8-15 DU/AC.)
- RH - High Density (15-23 DU/AC.)

NON-RESIDENTIAL

- C - Community Commercial
- E - Elementary School
- E / J - Elementary / Junior High School
- U - Public Utility
- CF - Community Facility
- OS - Open Space\*

\*RV Storage Lot is located within this area.

LAND USE MAP

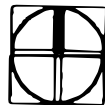
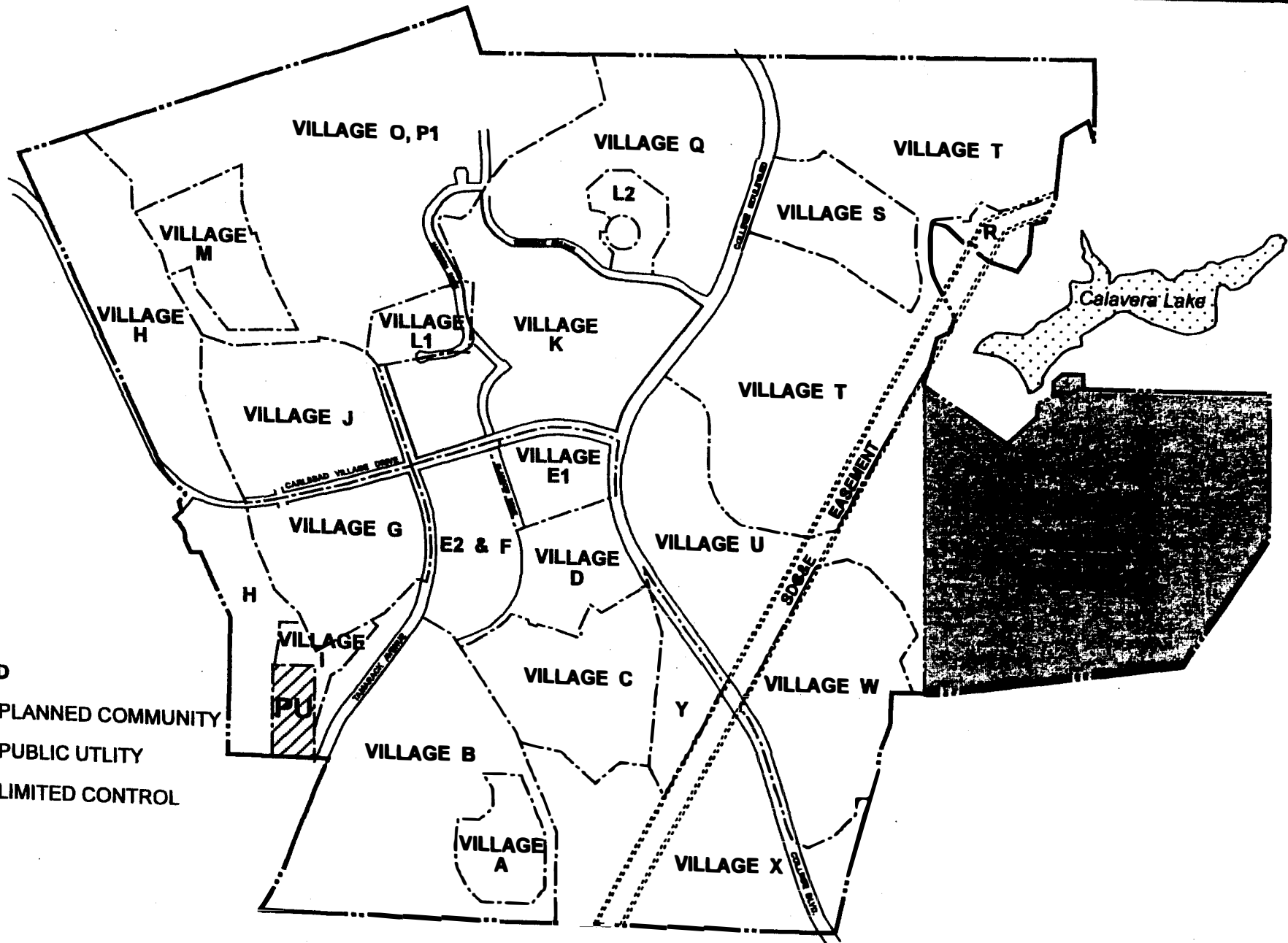
EXHIBIT 4





LEGEND

- P-C PLANNED COMMUNITY
- PU PUBLIC UTILITY
- L-C LIMITED CONTROL



1. Provide a method for and to encourage the orderly implementation of the general plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accordance with an adopted master plan to provide an environment of suitable and desirable character;
2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
3. Allow the coordination of planning efforts between the developer and the City to provide for the orderly development of all necessary public facilities to ensure their availability concurrent with need;
4. Provide a framework for the orderly development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the City, provided such plans are in accordance with the approved planned community master plan.

## **C. LAND USES**

### **1. RESIDENTIAL**

All residential projects proposed within the master plan shall be consistent with the policies and programs contained in the City's General Plan and Housing Element and any related code sections of Title 21 of the Carlsbad Municipal Code, except as may be stipulated in this Master Plan.

#### **a. SINGLE FAMILY HOUSING**

Single family detached housing is proposed within Phase II Villages K, L-2, R, W, and X, on 4,000 square feet and greater lots. All homes will be served by public streets, and include common recreational facilities in areas centrally-located to the neighborhood.

#### **b. MULTI-FAMILY HOUSING**

Multi-family, attached, condominium housing is proposed within Phase II Villages E-1, and U. These villages will include tri-plex to six-plex buildings, served by private streets, and sub-association maintained internal common facilities. Multi-family Village Y is proposed for affordable apartment development, in compliance with the requirements of the Carlsbad Inclusionary Housing Ordinance.

c. **AFFORDABLE HOUSING**

1. **General Requirements**

All residential development projects within the Phase II portions of the Calavera Hills Master Plan are subject to the requirements of the Inclusionary Ordinance (Chapter 21.85), and are required to construct housing units affordable to persons and families of lower income. A minimum of 15 percent of all units approved for any master planned community or residential specific plan shall be affordable to lower-income households. As a result, the Phase II obligation for affordable housing is calculated as the number of units approved by the City in Villages E-1, K, L-2, R, U, W, X and Y, multiplied times 15 percent. The maximum number of affordable units that could be required (based upon the maximum allowable units pursuant to this Master Plan) is as follows:

**Table 5 - Affordable Housing Analysis**

Village	Master Plan Max. DU	Max. Affordable Units	Anticipated DU	Anticipated Affordable Units
E-1	117		117	
K	88		84	
L-2	15		14	
R	4		4	
U	179		135	
W	121		114	
X	117		115	
Y	140		104	
Total	781	118	687	104
		Affordable Units*		Affordable Units*

\* The actual number of required affordable units will be based on the actual number of dwelling units approved within the villages.

2. **Affordable Housing Agreement / Site Development Plan**

- A. No building permit or other entitlement shall be issued for any affordable housing project of any size unless an Affordable Housing Agreement and a Site Development Plan have been approved for the project. The site development plan shall be processed pursuant to Chapter 21.53.120 of the Carlsbad Municipal Code. This site development plan, and the accompanying Affordable Housing Agreement shall be approved by

the City prior to approval of the first individual village final map in Phase II as required in Section 21.85.140. The Affordable Housing Agreement shall comply with all the requirements of the Carlsbad Municipal Code. The agreement shall be recorded, and the relevant terms and conditions therefrom filed and recorded as a deed restriction on those individual lots or units of a property which are designated for the location of affordable housing units.

- B. The affordable housing development shall provide a mix of affordable dwelling units (by number of bedrooms) in response to affordable housing demand priorities of the City, as required by the Affordable Housing Agreement.
- C. The design of the affordable units shall be reasonably consistent or compatible with the design of the total project development in terms of physical appearance, materials, and finished quality, as stipulated in Section 21.85.040 of the Municipal Code, and as required by the Affordable Housing Agreement.
- D. Affordable housing impact fees assessed to units within Calavera Hills Villages Q and T may be tolled in an account to be utilized in subsidizing costs of the Calavera Hills affordable housing project to be constructed in Village Y, only if approved as a stipulation in the Affordable Housing Agreement.
- E. If the requirements of this Master Plan are in any way inconsistent with any affordable housing requirements of the Affordable Housing Agreement, then the Affordable Housing Agreement shall take precedence.

### 3. Location For Affordable Housing Development

This Phase II inclusionary housing obligation is proposed to be fully met through construction of the necessary affordable apartment units within Village Y. Village Y has been identified as the affordable housing site due to its superior location to public transit along College Boulevard and Carlsbad Village Drive, and the close proximity of the Calavera Hills Community Park. Design standards for this project shall be in conformance with the requirements of Chapter IX(I) of this Master Plan; Village Y Development Standards. All units to be developed within Village Y are to be made available at affordable rental rates.

4. **Timing of Lower and Moderate Income Inclusionary Units**

The timing for construction of the required affordable housing units shall be in accordance with an Affordable Housing Agreement between the Phase II developer and the City of Carlsbad.

2. **OPEN SPACE**

Preservation and enhancement of open space is an important aspect of this Master Plan. Overall, including the CNP (Village Z), approximately 470.0 acres of open space or 46.1% of the total Master Plan area is devoted to open space. This total is approximated since it is based on existing projects that have been approved and constructed, and this proposed Master Plan Amendment (MP 150-H). The Master Plan Open Space program consists of natural habitat linkage preserves, environmental mitigation areas, recreation areas, riparian habitats, natural slopes, trails and landscape parkways. A more detailed discussion of open space and the Master Plan's trail system is provided in the Open Space Chapter IV.

This proposed Master Plan Amendment (MP 150-H) addresses the City of Carlsbad Draft Habitat Management Program (HMP) requirements through design of a natural habitat linkage corridor (Link A) between Core Area #2 and Core Area #3. This linkage corridor has significantly reduced the development area associated with Village K, from that originally allowed (416 units) pursuant to this Master Plan (maximum 88 units). Dwelling units previously allocated to Village K have been transferred to Villages U, W, X and Y, through implementation of this Master Plan Amendment. The Village K open space corridor will remain in permanent biological open space and be maintained by the Master Homeowners Association. The open space preserve (Village Z) link and Mitigation Parcel will be maintained through a maintenance agreement with The Environmental Trust.

3. **COMMUNITY FACILITIES**

To provide compliance with the newly-adopted Community Facilities Ordinance (Section 21.25 of the Carlsbad Zoning Code), a minimum 3.04 acres of community facilities land uses are required within Phase II. This total is based upon the minimum requirement (21.25.070) of "2 acres plus 1% of the total net developable acreage" (104 ac.) of Phase II. Compliance with this section of the Zoning Code is demonstrated with Community Facilities designation on a 2.04 net acre portion of Village H, located on the southeast corner of Carlsbad Village Drive and Victoria Drive, and a 1.0 net acre site at Village Y, are designated for Community Facility uses. These areas are expected to be developed as a child daycare, church, charitable service, social club or other community facility use.

#### **4. SCHOOL SITES**

The Calavera Hills Master Plan area has designated two areas for the development of an elementary school and a joint elementary/junior high school.

Villages M and N are an existing elementary school site. It is approximately 11.1 acres in size and has been developed with Hope Elementary School

Village S has been designated by the Carlsbad Unified School District as a K-8 School site. It is approximately 18.2 acres in size and was purchased by the District in April 1999. Plans are in process to design and build the school. Completion is expected in 2003.

#### **5. COMMUNITY PARKS**

Consistent with the City's Growth Management Ordinance, Villages E-2 and F have been developed as a community park. Villages E-2 and F are adjacent to one another and are located on the southeast corner of Carlsbad Village Drive and Tamarack Avenue. These Villages comprise 18 acres of community park land for the residents of Calavera Hills and the surrounding area. A community center, a gymnasium, several softball fields, basketball courts, children's play areas, picnic areas, and flat turfed play areas currently exist. The Village also contains a future fire station site. The City of Carlsbad Calavera Hills Park Dedication and Credit Summary indicates that 6.158 acres of credit from this dedication has been reserved for Phase II residential villages.

#### **6. RV STORAGE**

Section 21.34.090 of the Zoning Code requires a minimum of 20 square feet of RV Storage area per planned development unit. At buildout, Calavera Hills will contain approximately 2,093 planned development units (Villages A and Y excluded as non-planned developments), which results in an overall requirement of approximately .98 acres of RV Storage parking spaces, exclusive of driveways and approaches.

A 2.5 acre recreational vehicle storage lot is presently located on Village I, in the southwestern portion of the Master Plan. This facility is intended for the use of residents of the Calavera Hills community at buildout of the Master Plan. It presently contains .96 ac. of RV Storage parking spaces. Detailed discussion of Village I is included in Chapter IX of the Master Plan. With a program of re-striping to increase the area of parking spaces by a minimum of .04 ac., the RV Storage site will be adequate to serve the planned development requirements of both Phases I and II of Calavera Hills. This restriping program shall be completed prior to occupancy of the first residential unit within Phase II.

This RV storage area is operated and maintained by the Calavera Hills Recreational Vehicle Park Corporation, a non-profit corporation.

## D. GENERAL PROVISIONS

### 1. MAXIMUM NUMBER OF UNITS

The number of units constructed within the existing areas of this Master Plan (Phase I) are shown on Table 1. The maximum development potential permitted by this Master Plan (including Phase II) is shown on Table 2. The maximum number of units allowed within the total Phase II villages is 781 units (total in Column #9). This number is consistent with the Zone 7 LFMP and this Master Plan.

**Table 6**  
**Development Area Land Use Summary**

Village	Zoning District	Land Use	Max. Units
E-1	RD-M (Condo)	Multi-family Res.	117
H	CF and OS	Community Facility and Open Space	0
K	R-1 (PUD) and OS	Single Family Residential and Open Space	88
L-2	R-1 (PUD)	Single Family Residential	15
R	R-1 (PUD) and OS	Single Family Residential and Open Space	4
U	RD-M (Condo) and OS	Multi-family Residential and Open Space	179
W	R-1 (PUD)	Single Family Residential and Open Space	121
X	R-1 (PUD)	Single Family Residential and Open Space	117
Y	R-3/CF	Multi-family Res. & Comm. Facility	140
Z	OS	Open Space	0
Total			781

### 2. RECORDATION

Notice of the approval of this Master Plan Amendment for property within its boundaries shall be recorded with the County of San Diego Recorder's Office.

**Table 7 – CALAVERA HILLS MASTER PLAN – Phase I (Existing)**

**LAND USE DEVELOPMENT STANDARDS**

PLANNING AREA	DEV. PROCESS	GENERAL PLAN DESIG.	PERMITTED USES	DEVELOPMENT TYPE	GROSS ACRES	NET ACRES	EXIST. DU'S
Village A	PD	RLM	R-1	Single Family	10.40	10.40	36
Village B	PD	RLM	R-1	Single Family	52.30	52.30	167
Village C	PD	RLM	RD-M	Multi-Family	30.80	30.80	130
Village D	PD	RM	RD-M	Multi-Family	13.80	13.80	100
Village E-2 & F	CUP	OS	OS	Park	18.00	18.00	
Village G	PD	RLM	R-1	Single Family	27.00	27.00	108
Village I	PCD	OS	-	RV Storage	2.50	0.00	
Village J	PD	RM	RD-M	Multi-Family	30.70	30.70	210
Village L-1	PD	RMH	RD-M	Multi-Family	7.50	6.15	35
Village M & N	CUP	E	-	Elementary School	11.10	11.10	
Village O & P-1	PD	RLM	R-1 & RD-M	Single and Multi-Family	106.90	106.90	350
Village Q	PD	RLM	R-1 & R-2	Single and Multi-Family	51.20	43.00	140
Village S	CUP	J	-	Junior H.S.	20.20	18.20	
Village T	PD	RLM	R-1 & R-2	Multi-Family	116.80	105.30	343
				<b>TOTAL</b>	<b>499.20</b>	<b>473.65</b>	<b>1,619</b>



Table 8 – Calavera Hills Unit Yield Analysis – Phase II										
1	2	3	4	5	6	7	8	9	10	11
Columns 1 thru 6 demonstrate Existing Land Use Yield						Columns 7 thru 11 demonstrate Proposed Land Use Yield				
VILLAGE	GROSS ACREAGE	NET ACREAGE	CURRENT GENERAL PLAN LAND	CURRENT GROWTH CONTROL POINT	CURRENT UNIT YIELD	PROPOSED GENERAL PLAN	PROPOSED GROWTH CONTROL POINT	PROPOSED UNIT YIELD	AVAIL. UNIT CREDITS (#6 minus #9)	EXCESS UNITS BANK (#9 minus #6)
E-1	11.7	9.0	C	0.0	Community Comm(1)	RMH	11.5	117		117
H	66.0	42.2	RL	1.0	42	OS/CF	0.0	0	42	
K	51.1	36.2	RMH	11.5	416	RM/OS	6.0	88	328	
L-2	6.2	19.9(2)	RM	6.0	119	RLM	3.2	15	104	
R	5.1	1.9	RLM	3.2	6	RM/OS	6.0	4	2	
U	61.8	43.2	RLM	3.2	139	RMH/OS	11.5	179		40
W	36.2	32	RL	1.0	32	RM/OS	6.0	121		89
X	52.7	36.7	RL	1.0	36	RM/OS	6.0	117		81
Y	9.1	4.9	RL	1.0	5	RH/OS	19.0	140		135
Z	109.9	0.0	OS/RL	1.0(4)	0	OS	0.0	0		0
<b>TOTALS</b>	<b>409.8</b>	<b>226.0</b>			<b>795</b>			<b>781(3)</b>	<b>476</b>	<b>462</b>
(1) 117,612 SQ. FT. Community Commercial development.								<b>OVERALL D/U CREDIT =</b>		<b>14</b>
(2) Village L-2 Net Ac. based upon MP 150(H) shape of village, which is larger than original size.										
(3) Maximum allowable by MP 150(H).										
(4) In Zone 14.										
Note: Net acreages of Existing and Proposed are different due to increased General Plan Open Space in Proposed Land Use pattern.										

**3. NONVESTING OF RIGHTS**

Specific development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time said plans are before the Planning Commission and the City Council for approval. Pursuant to Section 21.38.030(d), where a conflict in development standards or regulation occurs, the provisions of this Master Plan shall take precedence. Approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

**4. MITIGATION MONITORING**

In accordance with California Assembly Bill 3184 all mitigation measures specified in the Calavera Hills Phase II EIR (EIR 98-02) and in the approving resolutions shall be complied with in their entirety at the appropriate time of implementation. A mitigation monitoring program shall be included as an attachment to the resolution certifying the Calavera Hills Phase II EIR. Mitigation measures that apply on a village-by-village basis are outlined for each Phase II village within Chapter IX - Village Development Standards, of this Master Plan.

**5. GROWTH MANAGEMENT**

The applicant shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The applicant, by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) (as amended) and the Finance Plan for Zone 7 (as amended), agrees that all of the dedication and other public facility requirements imposed as a condition of the Zone 7 LFMP (as amended) and the Finance Plan (as amended) are reasonably necessary to serve the needs of the development for which the building permits are required. No development is allowed within the Mitigation Parcel, which is located within LFMP Zone 14. As such, compliance with mitigation measures of the Zone 14 LFMP document are only necessary if proposed development within Zone 7 specifically also necessitates the mitigation in order to comply with Growth Management standards.

Maximum dwelling unit counts identified in this Master Plan represent the maximum density allowed in each residentially-designated Village, except Village Y, based solely on Growth Control Points established by the Growth Management Ordinance. Village Y, the affordable housing site has a density of up to 19 du/ac. Each village design will be evaluated in relation to topography and site sensitivity per the City's Design Guidelines Manual and the standards of this Master Plan to justify the proposed density. Exceptions to this maximum density may be approved by the City Council in accordance with Section 21.90.045 of the Carlsbad Municipal Code. Individual village densities exceeding growth management control points shall satisfy the findings of said section. Density increases may be considered in conjunction with the provision of affordable housing (density bonus) and/or the dedication of habitat mitigation lands as permanent open space (density transfer).

**6. CONDITION VALIDITY**

If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged, this approval shall be suspended as provided in Government Code Section 66020(c). If any such condition is determined to be invalid this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.

**7. DEDICATIONS**

All land/or easements required by this Master Plan for public streets, open space, recreational purposes and public utility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances, subject to the limits set forth in State Law.

**8. AVAILABILITY OF PUBLIC SERVICES**

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the Developer's timetable for construction. Availability of public services will be evaluated in the context of subsequent individual approvals.

**9. ZONING**

Pursuant to Chapter 21.38 of Carlsbad Zoning Ordinance (P-C Zone), this Master Plan shall constitute the zoning for all lands within the Master Plan. No person shall use or develop contrary to the provisions of the Master Plan any land located within the boundaries defined by the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning. Approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued. Pursuant to Section 2138.030(d), where a conflict in regulation occurs, the provisions of this Master Plan shall control.

Zoning districts for each Phase II village are identified in Chapter IX. Uses and development standards allowed in accordance with zoning districts are specified in the Carlsbad Zoning Code. Uses which would be allowed as conditional uses shall be permitted only upon obtaining a Conditional Use Permit processed according to the provisions of the Carlsbad Municipal Code.

**10. HILLSIDE DEVELOPMENT ORDINANCE**

All development within the Calavera Hills Master Plan shall be in compliance with Chapter 21.95, the Hillside Development Ordinance, of the Carlsbad Municipal Code. Phase II villages that propose mass grading in conjunction with a master tentative subdivision map (Villages E-1, K, L-2, U, W, X and Y) will require a Hillside Development Permit (HDP) as part of that approval package. Phase II villages for which no master tentative map is proposed (Villages H and R), shall address compliance with Hillside Ordinance requirements (Chapter 21.95) in conjunction with their specific development entitlement package. More specific requirements relative to hillside development permits per village, is provided in Chapter IX of this Master Plan.

**11. LOCATION OF IMPROVEMENTS**

The location of street, utilities, and other land use related improvements are approximate on the Master Plan Map. Precise locations will be established through the approval of the Tentative Map and Site Development Plans. These precise locations shall be consistent with the generalized locations shown on the exhibits in the Master Plan.

**12. LANDSCAPING**

A detailed landscape and irrigation plan shall be approved by the Planning Director prior to approval of final map, or the issuance of grading or building permits for each village, whichever occurs first. The detailed landscape plans shall be consistent with the landscape concept plan approved in conjunction with a village's discretionary approval.

### **13. NOISE**

A noise study shall be provided for all future residential projects fronting on arterial roadways per the requirement of the Carlsbad Noise Policy, Planning Department Policy No. 17 and consistent with the requirements of EIR 98-02. All future residential units subject to the policy shall be buffered from noise per the requirements of this policy, the recommendations of the noise study prepared in conjunction with the EIR, and noise studies completed specifically for each project that fronts on or is adjacent to an arterial roadway. Villages for which the Noise Policy is applicable are identified in Chapter IX of this Master Plan.

To provide assurance of compliance with the Noise Impact Notification Area (NINA) provisions of the Palomar Airport Comprehensive Land Use Plan (CLUP), recordation of Noise Form #2 (on file with the Carlsbad Planning Department) is required prior to final map approval for Villages E-1, K, L-2, R, U, W, X and Y.

### **III. TRAFFIC CIRCULATION**

#### **A. INTRODUCTION**

Existing and future roadways within Calavera Hills help to define the logical development areas of the community. The Calavera Hills Master Plan includes three arterial roadways shown in the City of Carlsbad's General Plan Circulation Element, College Boulevard, Tamarack Avenue and Carlsbad Village Drive. All other streets within the master planned area are local streets.

#### **B. ARTERIAL ROADWAYS**

##### **1. COLLEGE BOULEVARD.**

At the time of this Master Plan Amendment (MP 150(H)), College Boulevard extends from the Oceanside city boundary to Carlsbad Village Drive, however through traffic is not allowed and it is temporarily blockaded at the city boundary. College Boulevard is a 102-foot ROW public major arterial, with landscape median, four travel lanes, two bike lanes, and curb, gutter and sidewalk on both sides.

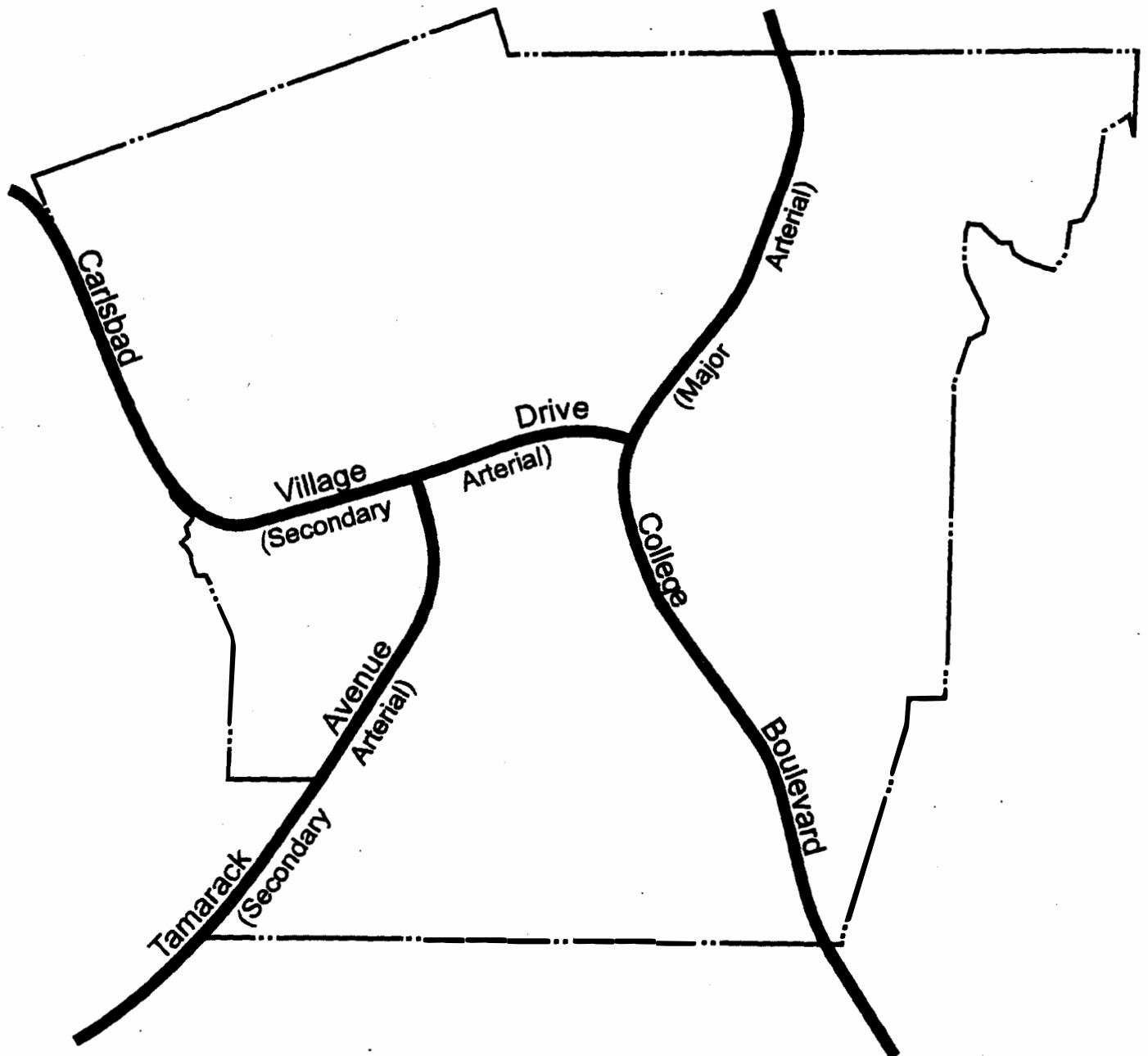
##### **2. TAMARACK AVENUE.**

Tamarack Avenue has been fully installed from El Camino Real to Carlsbad Village Drive as a public secondary arterial roadway, designed at 84-foot ROW, with four travel lanes, two bike lanes, and curb gutter and sidewalk on both sides. Tamarack Avenue continues northerly beyond Carlsbad Village Drive; however this link of the roadway is a meandering local collector street.

##### **3. CARLSBAD VILLAGE DRIVE.**

The third arterial roadway within Calavera Hills is Carlsbad Village Drive, a secondary arterial roadway, designed to an 84-foot ROW (102-foot along the Village E-1 frontage), with four travel lanes, two bike lanes, and curb, gutter and sidewalk on both sides. Preliminary traffic studies indicate that the existing cross-section design of Carlsbad Village Drive between the westerly Master Plan boundary and Victoria Street is adequate to serve projected traffic as designed; however minor modification to the transition area in the vicinity of Victoria Street will be necessary.

CALAVERA HILLS MASTER PLAN  
AMENDMENT MP-150(H) and (I)



## **C. PHASING AND TIMING OF PHASE II ROADWAY INSTALLATION**

The Zone 7 LFMP (as amended) identifies special conditions which need to be met to maintain acceptable service levels as new development places increasing demands on circulation facilities. These special conditions can be found in the Zone 7 LFMP (as amended) and Finance Plan (as amended). The amended plan analyzes existing, 2005 and buildout (2020) conditions based on yearly development phasing assumptions. The time increments are used more as bench marks than actual completion dates. If a future traffic analysis indicates that identified improvements or interim improvements are needed earlier, the timing of their completion must be adjusted to insure that the adopted performance standards will be maintained.

All circulation improvements required of the Zone 7 LFMP (as amended) are to be considered a condition of this master plan.

Required ultimate or interim improvements shall be designed and guaranteed for construction prior to recordation of the final map or issuance of a building or grading permit for projects identified as necessitating the improvements. Building permits totalling no more than 2500 Phase II ADT will be allowed prior to completion of the College Blvd. Cannon Road link to El Camino Real. Timing and phasing of other improvements may be allowed as approved by the City Engineer.

All streets within the master plan shall comply with City standards or as required or accepted by the City Engineer. Village access points for Phase II villages are to be located as demonstrated on Exhibit 7 of this Master Plan, which in some cases may be at variance with intersection spacing policy.

As required by the Zone 7 LFMP (as amended), an ongoing monitoring program will evaluate the aspects of improvements, development, and demand on circulation facilities. The required timing of improvements is based upon the projected demand of development in the zone and the surrounding region. This timing may be modified without amendment to the LFMP or this Master Plan, however, any deletions or additions to the improvements will require amending the LFMP.

### **1. ALL VILLAGES**

Street frontage improvements are required in conjunction with development of all Phase II Villages in accordance with the requirements of the Zone 7 LFMP. In addition, prior to issuance of building permits for any of these villages, construction activities on the College Boulevard / Cannon Road link south to El Camino Real (or an alternate approved by the City Engineer) must have begun.



Prior to approval of the first final map within Phase II of Calavera Hills, the developer shall enter into a secured agreement financially guaranteeing the construction of College Boulevard from Carlsbad Village Drive south of the Master Plan as shown below. Construction/grading on these improvements shall begin prior to issuance of the first future building permit within Zone 7.

a. **COLLEGE BOULEVARD WITHIN THE MASTER PLAN LIMITS  
(Reach C)**

College Boulevard from Carlsbad Village Drive to the southerly limits of the Calavera Hills Master Plan (Reach C) shall include full improvement to major arterial standards

b. **COLLEGE BOULEVARD SOUTH OF THE MASTER PLAN LIMITS /  
CANNON ROAD (Reaches B and either; Reach A, or Reach 3**

College Boulevard from the southerly boundary of the Calavera Hills Master Plan limits to the south. At the master developer's discretion, either the construction of Cannon Road from College Boulevard to El Camino Real or College Boulevard from future Cannon Road to El Camino Real. Said College Boulevard (portion outside the Calavera Hills Master Plan) and Cannon Road improvements shall include full width right-of-way, full width grading with two 18-foot travel lanes (one in each direction), on each side of a raised unimproved median, median curbs, outside asphalt curbing, drainage improvements necessary to protect the roadway grading, erosion control, necessary bridge structures and transition improvements at the arterial to arterial intersections.

**D. VILLAGE ROADWAY DESIGN**

**1. STREET STANDARDS**

Public streets within the single family villages of Phase II shall be designed in accordance with City of Carlsbad Engineering Department public street standards. The width of private streets within multi-family villages will vary and will be established at the tentative tract map and site plan review stage in accordance with City standards. All private streets within Phase II may be gated.

## **2. TRAFFIC CALMING**

During the buildout of Calavera Hills Phase II, the City Council may approve standards for the use of traffic calming devices. Should the use of traffic calming devices be approved by the City council, such devices may be incorporated into project designs for neighborhoods which have not yet received discretionary approvals for development or into existing developed neighborhoods. Recommendations on appropriate locations to achieve improved design and slow traffic shall be provided during project review by City departments, particularly the Engineering, Fire and Planning Departments.

## **E. ALTERNATIVE TRANSPORTATION**

### **1. BUS STOPS**

Bus stop facilities on College Boulevard at the Villages U and Y frontage intersection shall be provided in conjunction with these respective developments. Said facilities shall at a minimum include a bench, free from advertising, and a pole for a bus stop sign. The bench and pole shall be designed in a manner so as to not detract from the basic theme of the adjacent village and said design shall be subject to the approval of Planning Director and North County Transit District.

### **2. BIKEWAYS AND SIDEWALKS**

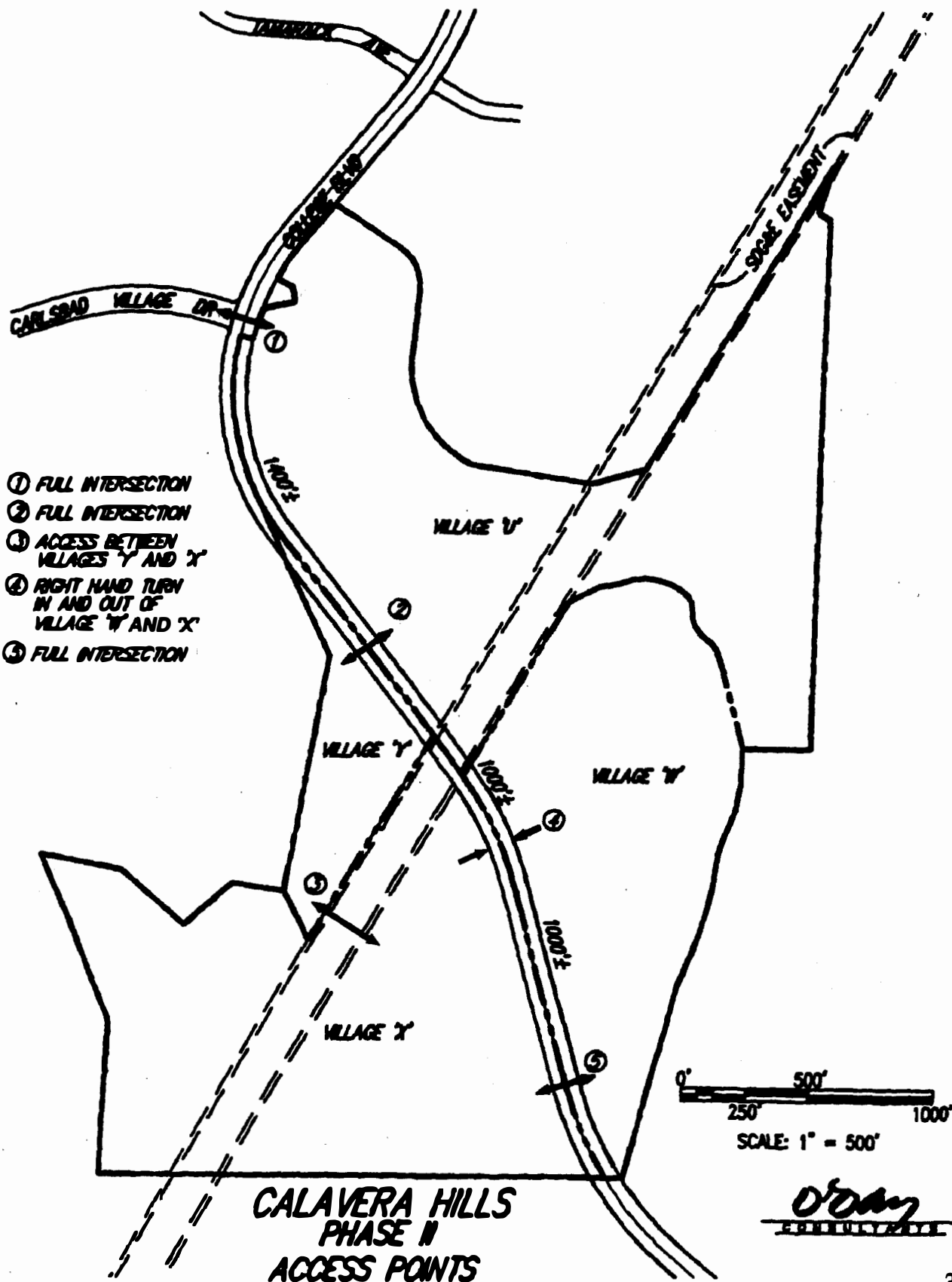
Bikeways shall be provided on Carlsbad Village Drive, College Boulevard, and Tamarack Avenue (west of Carlsbad Village Drive) within this Master Plan. Bicycle racks and related facilities shall be provided at common recreational facilities to encourage the use of this transportation mode.

All bikeways and pedestrian sidewalks shall be within arterial street right-of-ways subject to the approval of the City Engineer and Director of Parks and Recreation. Bikeways designs shall meet current city standards.

The pedestrian system within the public right-of-way shall consist of a five (5) foot wide sidewalk within a ten (10) foot wide area including the 0.5 foot face of curb. The remaining 4.5-feet shall be landscaped. Sidewalks may be reduced to 4' in width (or no sidewalks altogether) on private streets and driveways upon approval of the City Engineer.

All bikeway and pedestrian street crossings shall be located at street intersections with appropriate signage as required by the City Engineer.

**CALAVERA HILLS MASTER PLAN  
AMENDMENT MP-150(H) and (I)**



#### **IV. OPEN SPACE**

##### **A. INTRODUCTION**

Overall, approximately 470.0 acres or 46.1% of the total Master Plan area consists of open space. Exhibit 9 shows the locations of open space within the Master Plan. The open space provided within the Calavera Hills Master Plan complies with all applicable City ordinances and standards, and Federal and State habitat preserve policies.

All open space shall be provided consistent with the City's General Plan, Open Space and Conservation Resource Management Plan, and Draft Habitat Management Program, and open space shown within this Master Plan. If a proposed tentative map and/or site plan varies significantly from the City's General Plan or Zone 7 LFMP, the applicant must file for an amendment to the plan with which it is inconsistent. If a General Plan Amendment is required, the boundary adjustment procedures of the current Open Space and Conservation Element must be adhered to. The following findings must be made in order to adjust the boundaries of any open space area shown on the map titled Open Space and Conservation Map dated August 1988, as may be amended:

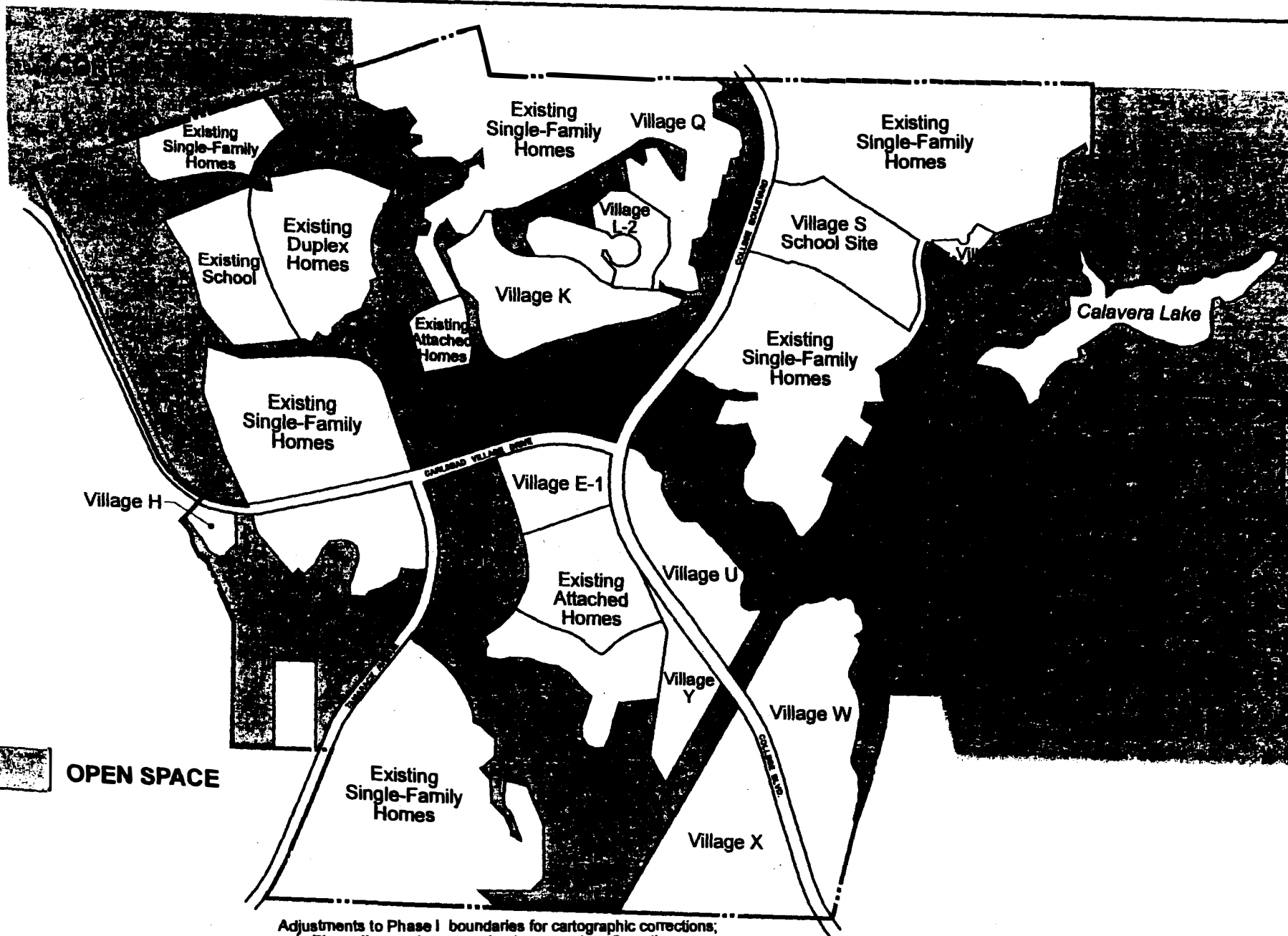
1. The proposed open space area is equal to or greater than the area depicted on the Open Space and Conservation Map, and;
2. The proposed open space area is of environmental quality equal to or greater than that depicted on the Official Open Space and Conservation Map, and;
3. The proposed adjustment to open space as depicted on the Official Open Space and Conservation Map, is contiguous or within close proximity to open space as shown on the open space map.

The Calavera Hills open space is intended to provide for recreational and social opportunities within the Planned Community, as well as provide for visual aesthetic relief, erosion control, and habitat protection for numerous plants and animals. The open space is utilized as a unifying element throughout the planned community while providing visual and physical separation between development areas.

Open space shown on the Master Plan Open Space Exhibit, other than constrained lands as identified in the Growth Management Ordinance, is private open space and may be utilized for density calculations.

##### **B. RELATIONSHIP OF THE MASTER PLAN TO THE HMP**

The Calavera Hills Master Plan community is located within Link A of the Draft Habitat Management Plan (HMP). This HMP demonstrates "hardline" open space limits for the area, which conversely demonstrate the limits of grading allowed for



Adjustments to Phase I boundaries for cartographic corrections;  
only Phase II areas have new land uses and configurations.



each affected village. An open space "equivalency determination" must be approved by the City for any modifications to the "hardline" identified in the Draft Habitat Management Plan (HMP). This determination is based on the value of the habitat preserve system proposed, relative to a strict interpretation of the HMP program. Development proposals for each Phase II village will be analyzed for compliance with the development limits stipulated in the HMP, and the conservation of open spaces identified therein.

## **C. SECTION 21.38 OPEN SPACE REQUIREMENTS**

The Calavera Hills Master Plan divides the project's open space into four major categories per Section 21.38.060 of the Carlsbad Municipal Code. All master plans must provide 15 % of the total master plan area in an integrated open space program which addresses: 1) Open space for the preservation of natural resources; 2) Open space for the managed production of resources; 3) Open space for outdoor recreation; and 4) Open space for public health and safety. Based on this standard, the Calavera Hills Master Plan is required to provide a minimum 122.85 acres of open space while approximately 470 acres of open space are provided. The following are subsections which explain how the Calavera Hills Master Plan complies with this requirement:

### **1. OPEN SPACE FOR THE PRESERVATION OF NATURAL RESOURCES**

The open space plan for the Master Plan preserves approximately 468 acres of undisturbed natural open space providing habitat for rare and endangered plant and animal species. As well, these open spaces provide a buffer from proposed development and linkages or corridors to adjacent open spaces outside the limits of the Master Planning area.

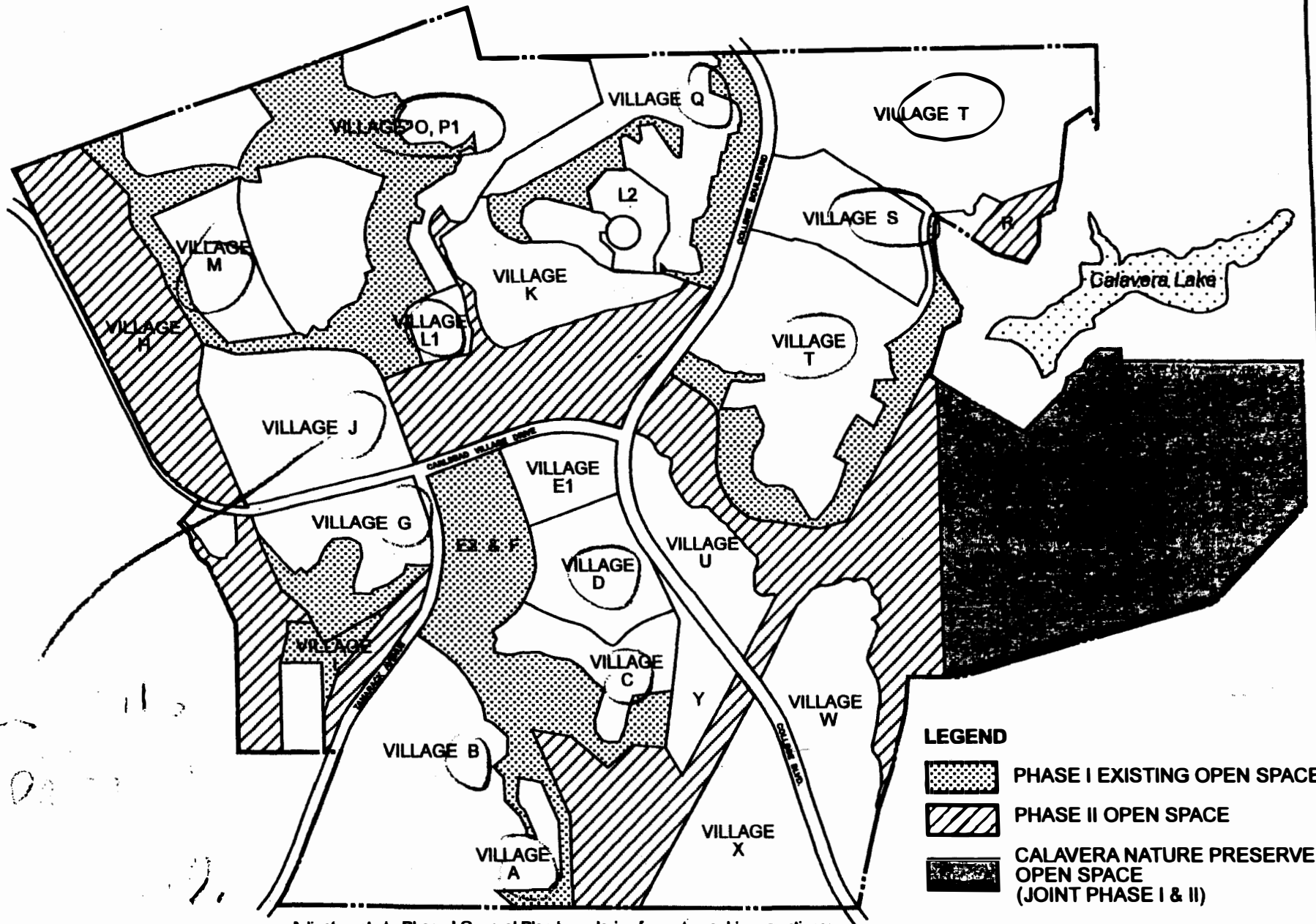
### **2. OPEN SPACE FOR THE MANAGED PRODUCTION OF RESOURCES**

The preservation of the above mentioned natural open space lands, as well as proposed manufactured slopes and other open space lands will provide watershed to aid in ground water recharge in the area. No portion of the Master Plan area is currently being used or will be reserved for the production of agricultural resources.

### **3. OPEN SPACE FOR OUTDOOR RECREATION**

Calavera Hills Community Park, together with Hope Elementary School park, currently provide nearly 19 acres of public parkland. The future K-8 school site located in Village "S" will provide some amount of playfields on their 18.2 acres once developed.

Active and passive common recreational facilities per the requirement of the Planned Development Ordinance, Chapter 21.45 of the Carlsbad Municipal Code, will be constructed within each village. The size and location of each of these areas will be determined at the time of the tentative map approval for each village. These areas will be for the exclusive use of the residents of the Calavera Hills Master Plan.



Adjustments to Phase I General Plan boundaries for cartographic corrections;  
 only Phase II areas have new land uses and configurations.



#### **4. OPEN SPACE FOR PUBLIC HEALTH AND SAFETY**

Native vegetation shall be preserved and, where warranted, enhanced on the major project slopes. Where deemed necessary by the Fire Marshal a fire protection plan shall be implemented as shown by Exhibits 13 and 14. Any irrigation system placed in the major project slopes shall comply with the City of Carlsbad's Landscape Guidelines Manual.

Open spaces along Tamarack Avenue and Carlsbad Village Drive provide a scenic visual amenity for road users.

#### **D. PEDESTRIAN TRAILS**

##### **1. TRAILS**

A pedestrian trails system shall be provided within the Master Plan area and is demonstrated on Exhibit 10. This Master Trails System is designed to tie into the proposed trail program on the Calavera Nature Preserve parcel to the east, and into the proposed Citywide Trails System to be operated throughout the city.

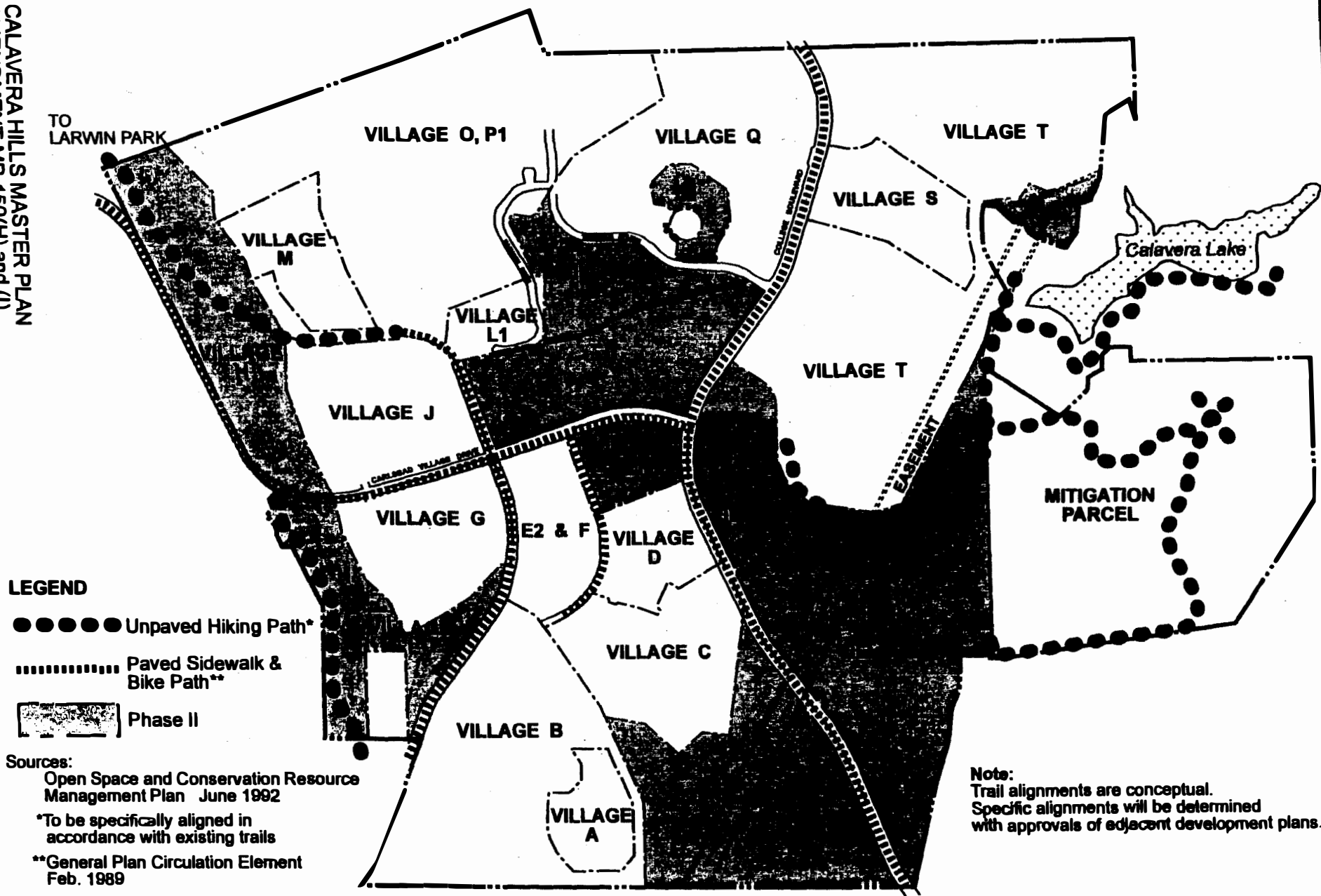
Community trails shall be provided to allow residents to move freely about the community in a more rural environment. It is anticipated that these trails will utilize pre-existing dirt roadway and trail alignments, and will not result in take of sensitive vegetation. The main Phase II pedestrian trail allows for connection at the north end of Village U, through the bottom of the open space corridor canyon, to connect to the proposed trails within the Mitigation Parcel (Village Z).

In addition, the Village H dog walk trail is located within the southern portion of the Village H open space, and an additional trail connection running the length of the northerly portion of Village H. Trails shall be installed in conjunction with development of the most adjacent Phase II development parcel.

##### **2. MAINTENANCE AND LIABILITY OF TRAILS**

Maintenance and liability of the open spaces and trails identified in this Master Plan will be the responsibility of the Phase II Master Homeowners Association. These maintenance and liability responsibilities may be assumed by the City of Carlsbad upon their adoption of a Citywide policy to maintain community trails. In the event the City of Carlsbad does not accept these responsibilities, then the trails shall be considered for the use of Calavera Hills residents only.





**E. EASEMENT DEDICATION**

Open space easements shall be dedicated over all Phase II open space areas shown on Exhibit 9 and any additional open space areas shown on approved tentative maps as required by the City. Each Tentative Map shall offer for dedication an easement for public access and use over all pedestrian and bicycle areas not contained within the public right-of-way as shown on each Tentative Map requesting approval.

**F. MAINTENANCE OF OPEN SPACE AREAS**

**1. AREAS/METHODS OF COMMON HOA MAINTENANCE**

Either the Master Homeowner's Association or Village Homeowner's Association shall be responsible for the maintenance of all public open space areas. If a Citywide landscape maintenance district is formed, the City may assume liability and maintenance responsibility for all or a portion of these open space areas. The designation of a responsible entity shall be determined at the time the affected tentative subdivision map is approved. If maintenance responsibility is retained by a homeowner's association and no district is formed, the City shall have the right to enforce this responsibility. Maintenance of all open spaces dedicated prior to the adoption of Master Plan Amendment MP-150(H) shall remain as provided for at the time of its dedication.

**2. AREAS OF PRIVATE HOMEOWNER MAINTENANCE**

Private homeowners shall maintain all privately-owned lots and slopes, with the exception of highly-visible slope areas which slope down to a public street, upon which maintenance responsibility is transferred to the HOA via common maintenance easement.

**3. INVASIVE SPECIES CONTROL AND REMOVAL**

A program for control and removal of invasive plants within the open spaces shall be adopted. This plan shall require regular monitoring of the edges of the open space corridors for invasive plant infestation. Invasive plants shall be eradicated promptly, in order that the naturally-occurring plants (primarily coastal sage scrub and chaparral plant communities) will not be stressed or overtaken by weedy invasive plants. Responsibility for this program shall be the Phase II Master Homeowner's Association, and will be implemented via enforceable CC&R's to be approved by the City prior to the subject village's final map approval.

## **V. GRADING / HILLSIDE DEVELOPMENT**

### **A. INTRODUCTION**

The purpose of this chapter is to establish appropriate guidelines for the grading of the remaining portions of the Master Plan Area which are currently undeveloped, and, for which no discretionary approvals have yet been granted. Specifically, these guidelines are established to control the future development of Villages E-1, H, K, L-2, R, U, W, X and Y. Since the intent of the Master Plan process is to review the area in question in a comprehensive manner, this grading plan proposes that the grading of these undeveloped villages be reviewed, not on an individual village basis, but for the entire Master Plan area. It is the intent of these guidelines to minimize potential impacts to existing landforms and to the visual aesthetics of the area. The implementation of these guidelines will mitigate the effects of the grading operation on existing residents while allowing for reasonable development of the project area(s).

### **B. GRADING GUIDELINES**

The following guidelines are hereby established to assure appropriate grading designs for the remaining villages of the Calavera Hills Master Planned Community.

1. Grading plans shall conform to the requirements of Chapter 15.16 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Mass and precise grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.
2. Grading shall be in compliance with the policies of the City's Hillside Development Ordinance, Chapter 21.95 of the Carlsbad Municipal Code. Contour grading, landscape screening, perimeter slope edge building setbacks and hillside development architectural guidelines shall apply in locations of high visibility, and where otherwise not excluded pursuant to Chapter 21.95.
3. Prior to issuance of grading permits and subject to the approval of the City Engineer, fills in cut slopes shall be stabilized consistent with recommendations included in the geotechnical report. Site excavation and grading shall employ remedial earthwork for all villages (including but not limited to, shear key construction for all fill slopes, removal and recompaction of colluvial topsoils and overexcavation of transition pads or cut pads exposing bedrock transitions or expansive soil). Buttresses and/or stabilization fills do not appear to be necessary but may be required depending on future slope stability analyses or field experience. Overexcavation may be required, below the depth of the lowest utility line for street areas exposing hard rock. Conventional grading and drill and shoot excavation may be required within all villages except Villages H and R where

conventional grading equipment should be sufficient. Grading and blasting activities (specifically, ripping and blasting of boulders) shall conform to the recommendations outlined in the geotechnical study, City of Carlsbad Grading Ordinance and San Diego County Blasting Ordinance as they apply

4. General Construction Activity Storm Water Permits (NPDES No. CAS000002) shall be obtained from the State Water Resources Control Board (SWRCB) prior to project implementation. Such permits are required for specific (or a series of related) construction activities which exceed five acres in size and include provisions to eliminate or reduce off-site discharges through implementation of a Storm Water Pollution Prevention Plan (SWPPP).
5. Specific SWPPP provisions include requirements for erosion and sediment control, as well as monitoring requirements both during and after construction. Pollution control measures also require the use of best available technology, best conventional pollutant control technology, and/or best management practices to prevent or reduce pollutant discharge (pursuant to SWRCB definitions and direction).
6. Post-construction erosion control measures shall be implemented where proposed disturbance is adjacent to or encroaches within existing drainage courses and projected runoff velocities exceed 5 fps.
7. Final project design shall incorporate all applicable BMPs contained in the City and State Best Management Practices to be Considered in the Development of Urban Stormwater Management Plan. Specifically, these may include measures such as the use of detention facilities, retention structures, infiltration facilities, permeable pavements, vegetation controls, discharge controls, maintenance (e.g., street sweeping), and erosion controls.
8. Surface drainage shall be designed to collect and discharge runoff into natural stream channels or drainage structures. All project-related drainage structures shall be adequately sized to accommodate 100-year flood events (or other storm events pursuant to direction from the City Engineer).

## **C. BLASTING AREAS**

Large areas of non-rippable rock exist within the limits of the project boundaries. These areas are most predominate in Villages E-1, K, L-2, U, W, X and Y. A blasting program will be established by the developer and approved by the City prior to and executed concurrent with the first final map approval of any individual residential village. A brief outline of the elements of the program are as follows:

1. The developer and blasting contractor will hold a public meeting with local residents to explain the proposed blasting program.

2. The blasting contractor will conduct a pre-inspection of existing structures within the defined limits of the blasting area. This inspection shall include documentation of the existing conditions.
3. Affected neighboring property owners will be notified 48-hours prior to commencement of blasting operations.
4. The blasting contractor will conduct a post-inspection of affected properties.
5. The developer and the blasting contractor will hold a follow up meeting with local residents. Notes from the meeting and the attendance list shall be submitted to the City Engineer and Planning Director.
6. Prior to the issuance of grading permits for the project, a specific report will be prepared for review and acceptance by the City Engineer.

#### **D. ROCK CRUSHING / HAUL ROUTES**

In all cases, the earth hauling necessary for development of the remainder villages attempt to minimize, to the extent possible, impacts with existing developments and roadways. Due to its distance from the majority of the Phase II excavation work, the development of outlying Villages H and R will require the greatest attention to reduce these potential conflicts. Specific routes and equipment operations schedules will be subject to review and acceptance by the Engineering Department prior to the approval of the grading permit for Villages H or R.

## **VI. PUBLIC FACILITIES**

### **A. INTRODUCTION**

With the exception of the Mitigation Parcel located in Zone 14, for which no development is proposed or allowed, the Calavera Hills Master Plan land area lies entirely within Local Facilities Management Zone 7. The majority of public facilities requirements for this Master Plan are fully addressed in the Zone 7 Local Facilities Management Plan (LFMP) (as amended). The Zone 7 LFMP Amendment; (1) provides detailed description of how the zone will develop, (2) demonstrates individually how and when each required facility and/or improvement will be constructed to accommodate phased development within the Master Plan, and (3) provides a general description of how each facility and improvement will be financed when mitigation is necessary.

### **B. PUBLIC FACILITY COMPLIANCE SUMMARY**

The Citywide Public Facilities Plan establishes performance standards for public facilities throughout the City. In accordance with these performance standards, the Zone 7 Local Facilities Management Plan (LFMP) (as amended) contains a detailed development phasing program for each of the eleven public facilities. All public facility performance standards identified in the Zone 7 Local Facilities Management Plan (as amended) and Zone 7 LFMP Finance Plan (as amended) must be complied with as the Master Plan develops.

The Zone 7 Local Facilities Management Plan and Finance Plan (as amended) provide a detailed description of adequacy of public facilities to serve the Phase II project. The following is a summary of that compliance analysis:

**Table 9**  
**Zone 7 Public Facility Compliance Summary (Phase II)**

<b>Facility</b>	<b>Demand</b>	<b>Mitigation</b>
City Administration	2,715 sq. ft.	CFD No. 1/PFF
Library	1,448 sq. ft.	CFD No. 1/PFF
Wastewater Treatment	785 EDU	Sewer Benefit Fee
Parks	5.43 ac.	City funding of new park facilities within 5-year time frame, if required.

**Zone 7 Public Facility Compliance Summary (Phase II) (Cont.)**

<b>Facility</b>	<b>Demand</b>	<b>Mitigation</b>
Drainage	Agua Hedionda and Buena Vista watersheds	<ul style="list-style-type: none"> <li>• Developer provide onsite facilities, including pollutant control basins.</li> <li>• Developer provide offsite Basin BJB as required by City Engineer.</li> <li>• Pay drainage fees or credits for construction of drainage facilities.</li> </ul>
Circulation	13,570 ADT	<ul style="list-style-type: none"> <li>• Developer provide onsite facilities.</li> <li>• Developer to construct College Blvd. and Cannon Rd. offsite.</li> <li>• Bridge &amp; Thoroughfare District No. 4</li> </ul>
Fire	Fire Station #3	PFF
Open Space	140.5 ac.	166.5 ac. provided onsite (Phase II)
Schools	Elem. - 305 students Mid. - 133 students High - 200 students	Schools Agreement and CFD Funding
Sewer Collection	785 EDU	<ul style="list-style-type: none"> <li>• Developer provide onsite facilities.</li> <li>• Pay sewer fees.</li> </ul>
Water	171,820 GPD	<ul style="list-style-type: none"> <li>• Developer provide onsite facilities.</li> <li>• Pay water fees.</li> </ul>

The provisions of public facilities within the Calavera Hills Master Plan shall be in accordance with the Zone 7 Local Facilities Management Plan (as amended). For greater detail of these facilities, their adequacy and their timing, please refer to the Local Facilities Management Plan for Zone 7 (as amended).

## **VII. PHASE II CITY PERMITS / MASTER PLAN AMENDMENTS**

Development plans for individual planning areas within this Master Plan shall be reviewed and entitled relative to the provisions of this chapter.

### **A. MASTER PLAN**

Approval of this Master Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Calavera Hills Master Plan.

### **B. TENTATIVE MAP**

Unless otherwise provided by Section C of this Chapter, a tentative tract map processed pursuant to Title 20 and 21 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of any single family detached residential villages (Phase II Villages R, K, L-2, W, and X). The tentative maps shall be consistent with the concepts, goals and standards specified in this Master Plan to ensure compatibility with all applicable City policies and ordinances. After final approval of each tentative map, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 7 Local Facilities Management Plan and Finance Plan. Tentative parcel maps may be necessary for Areas H and Y, in circumstances where less than 5 lots are proposed.

### **C. PLANNED DEVELOPMENT PERMITS - PUD**

A tentative tract map and planned development permit shall be required for single family Villages K, L-2, R (tentative parcel map), W, and X. No delayed architectural review is allowed.

### **D. PLANNED DEVELOPMENT PERMITS - CONDOMINIUMS - CP**

A tentative tract map and condominium permit shall be required for multi-family Villages E-1 and U. No delayed architectural review is allowed.



## **E. SITE DEVELOPMENT PLAN**

Pursuant to Section 21.53.120 of the Carlsbad Municipal Code, the Village Y affordable housing project shall obtain approval of a site development plan. This site development plan for the affordable housing shall be approved in conjunction with an Affordable Housing Agreement prior to approval of the first tentative map for Phase II, including a master tentative map for which no residential units are proposed.

The site development plan referenced above shall be consistent with the concepts, goals and standards specified in this Master Plan to ensure compatibility with all applicable City policies and ordinances. After final approval of each site development plan, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 7 Local Facilities Management Plan and Finance Plan.

Each site development plan shall be submitted and processed as set forth in Chapter 21.06, Qualified Development Overlay Zone, of the Carlsbad Municipal Code.

## **F. CONDITIONAL USES**

A conditional use permit, pursuant to Chapter 21.42, shall be required for any uses proposed for Village H, R and Y, community facilities, except for daycare uses, which are allowed by right, and for any expansion to the RV Storage Lot in Village I. Conditional uses may be allowed only as determined by the Planning Commission to be consistent with the requirements of Chapter 21.42.010.

## **G. AMENDMENTS**

### **1. MASTER PLAN AMENDMENTS**

Amendments to this Master Plan shall be reviewed and approved as stipulated in Chapter 21.38.120 of the Carlsbad Zoning Code.

### **2. PUD/CP AMENDMENTS**

Amendments to Planned Developments and Condominium Permits shall be reviewed and approved as stipulated in Chapter 21.45.160 of the Carlsbad Zoning Code.

### **3. TENTATIVE MAP AMENDMENTS**

Amendments to Tentative Maps shall be reviewed and approved pursuant to the requirements of Chapter 20 (Subdivisions) of the Carlsbad Municipal Code, and the applicable regulations of the Carlsbad Zoning Code.

#### 4. SDP AMENDMENTS

Site development plan amendments shall be reviewed and approved pursuant to the requirements of Chapter 21.06.090 (Qualified Development Overlay Zone), of the Carlsbad Zoning Code .

#### H. VILLAGE PERMIT MATRIX

Table 10 - Village Permit Matrix

Development Permit	Village <sup>1</sup>									
	E-1	H	I	K	L-2	R	U	W	X	Y
Tentative Map (5 du/lots or more)										
Planned Development Permit										
Condominium Permit										
Individual Hillside Development Permit <sup>2</sup>										
Site Development Plan										
Tentative Parcel Map (4 du/lots or less)										
Conditional Use Permit <sup>3</sup>										

Permit approval required =

<sup>1</sup> Shading denotes permit required.

<sup>2</sup> Master Tentative Map Hillside Development Permit satisfies HDO for Villages E-1, K, L-2, U, W, X and Y.

<sup>3</sup> Daycare use requires SDP. Other Community Facilities uses require CUP. The City Council will be the final decision-making authority for all uses within Village H.

## **VIII. ARCHITECTURAL AND DESIGN STANDARDS**

The purpose of this chapter is to identify design elements that will be utilized throughout the Phase II community to provide visual cohesiveness and order, and to establish a sense of place and belonging. Since Phase I has already been constructed, these standards are not intended to address Phase I. These elements will be influenced strongly by the general Calavera Hills community theme of open space. All development within the Master Plan shall comply with the general community development standards established by this chapter. These design guidelines have been developed to insure that all villages within the Master Plan maintain a consistent and unified character, while retaining their own identity.

The land use pattern for Calavera Hills Phase II in this Master Plan is a result of the redistribution and clustering of development areas from the southern and central portions of Village K, to other, more outlying areas. This redistribution was determined to be necessary in order to provide for natural vegetation connectivity across the middle of Calavera Hills, in conformance with the requirements of the Carlsbad Habitat Management Plan. The set-aside of the high quality vegetation corridor in Village K, necessitated the redistribution of these units onto clustered areas of less important vegetation, in primarily Villages W, X and Y.

This provision of increased open space, and the resulting clustering of development onto remaining buildable areas provides a significant trade-off for the modification and/or relaxation of certain specific development standards within the villages. The architectural goals and standards articulated in this chapter reflect compliance with City codes that have been updated since the most recent previous Master Plan amendments. These architectural design standards are specific to Calavera Hills Phase II, customized for this remaining development buildout of Calavera Hills, to provide compliance with this Master Plan's objectives.

### **A. GENERAL ARCHITECTURAL GOALS**

Architectural styles within the existing neighborhoods of Calavera Hills vary. Residential development within Calavera Hills should be oriented as much as feasible to take advantage of views of the open spaces that meander through the community. Architectural styles may be varied, but consistent with the following architectural goals:

1. To provide a framework for design that will allow the builder(s) to develop an architectural theme that is compatible with the area and also attuned to market and consumer preferences at the time of development.
2. To provide for high quality of design, in terms of detail, thematic interpretation, articulation and streetscape experience of the homes.
3. To create a visual "quality of life" experience for the future residents of Calavera Hills Phase II, with design elements and views that will remain in place for the life of the development.

4. To ensure that public views of the Calavera Hills Phase II homes remain aesthetically pleasing. Require that homes developed adjacent to public circulation element roads receive special attention to detailing on the elevation fronting the roads. This will include window detailing equal or superior to that of the front elevation.
5. To encourage variety in streetscape massing and aesthetics. To encourage the use of multiple planes, balconies and other architectural features to soften the building mass.
6. To encourage the use of unifying elements in the overall community, and the avoidance of visual conflicts caused by drastically dissimilar styles, colors and levels of quality located within the same visual area.
7. To ensure neighborhood cohesiveness by encouraging residential neighborhoods to utilize compatible building materials, architectural design elements, common design of village walls, and landscaping.

**B. ARCHITECTURAL DESIGN CRITERIA**  
**SINGLE FAMILY PUD NEIGHBORHOODS - Villages R, K, L-2, W and X**

**1. BUILDING MATERIALS**

- a. The building materials for each unit shall be compatible to one another as well as being compatible with surrounding villages.
- b. "Handcrafted" detailing, which may include exposed rafter tails, knee braces, and columns shall be used when appropriate to the proposed architectural style.
- c. Building architectural accent features and materials shall be incorporated into the exterior elevations when compatible with the style.

**2. ARCHITECTURAL STANDARDS**

All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in this Master Plan.

- a. The minimum lot size shall be 4,000 sq. ft. in area.
- b. Single story or Reduced-second story homes. A minimum of 25% of the total number of units along a single side of the street of any street exceeding 550-feet in length shall be single story or conform to the requirements of the following Reduced-second story criteria. A minimum of 20% of the total number of single family detached units within any particular Phase II single family village (Villages K, L-2, W

and X) shall be single story, or Reduced-second story. In addition, at least 10% of the total number of Phase II single family detached units shall be single story.

**Reduced-second story.** To qualify as a Reduced-second story home, the structure must comply with the following criteria; A minimum of 60% of the roofline shall be single story. A two-story element may be added in the central portion of the front and rear elevation. The second-story element may be no greater than 25% of the floor area of the first floor of the house (including garage).

The single story or Reduced-second story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.

- c. **Two story homes.** A maximum of 33% of the units in a particular single family village may be a maximum of 30 feet in height. The balance of the proposed two story homes in any particular village shall not exceed 26 feet in height.
- d. **Architectural variety.** It is the intent of this Master Plan that architectural variety of single story, dormer two story and reduced-second story homes exist from one single family Phase II village to another. To this end the site development plan applicant must demonstrate architectural variety both internal to the subject village, and external to the other villages. The applicant shall file a pre-filing submittal and shall follow the submittal requirements in accordance with the Planning Department's preliminary review process. In this pre-filing submittal, the applicant shall demonstrate compliance with this section of the Master Plan to the satisfaction of the Planning Director. Upon completion of the pre-filing submittal and review, the applicant may file a formal application for a planned development permit pursuant to this Master Plan.
- e. **Plan variety.** An overwhelming dominance of a particular floor plan is not allowed. A minimum of 25% of the units in any 3-plan village shall be of any single particular approved plan. A minimum of 20% of the units in any 4-plan village shall be of any single particular approved plan.
- f. **Side yard setbacks.** Side yard setbacks shall comply with Chapter 21.45 with the exception that the plans shall comply with both of the following criteria:
  - 1. As a result of the architectural standards and criteria specified in this chapter, compliance with Section 21.45.090(b)(5) (Distance between structures) of the Zoning Code is not required in the Phase II villages.

2. The following minimum percentages of the units shall have side yard setbacks that total a minimum of 12.5 feet. The remaining units shall have a minimum 5-foot side yard setback on each side.
    - a. Village K - 80% of the units
    - b. Village L-2 - 100% of the units
    - c. Village W - 50% of the units
    - d. Village X - 80% of the units
  3. Instances where two two-story architectural elements are planned on units side-by-side, the minimum building separation shall equal not less than 12.5 feet.
- g. Garage placement on single family lots. No street-facing three car garages are allowed. Garages facing the street shall not exceed 55% of the width of the home. Garage measurement in this case shall be measured from the internal walls of the garage. This is not intended to preclude side-facing, turn-in garages, which shall not be counted as garage width. Garage doors shall be no wider than 16-feet.
  - h. Front porch. On a three floor plan project, at least 33% of the homes (and at least 50% of the homes on a 4 or more plan project) shall be designed with a front porch, open courtyard, or balcony (each with a minimum area of 60 square feet) located at the front of the front of the dwelling. The front and sides of porches shall be open except for required and ornamental guardrails. A variety of roof elements shall be provided over porches. Porches may not be converted to living space.
  - i. Front entry features. At least 66% of the plans on a three floor plan project (and at least 75% of the plans on a 4 or more plan project) shall have a front entry that is visible from the street.
  - j. Recreation Areas. Each village shall provide a minimum of 200 square feet of recreation space per unit. Single family villages shall provide a minimum of 100 square feet of recreation space per unit in active centralized common facilities. The remaining 100 square feet may be provided in rear yards of single family lots provided that a minimum flat area of 18-feet X 18-feet exists for all 2 story home lots, a minimum flat area of 18-feet by 15-feet exists for all partial-second story home lots, and a minimum flat area of 15-feet X 15-feet exists for all single story and dormer two story homes lots. No architectural encroachments shall be allowed within this private rear yard recreation area.

Common active recreation facilities shall be dispursed throughout the villages, or located in a single large common area with convenient parking, and shall include facilities from the following two lists, as indicated more specifically per village in Chapter IX:

List A: Swimming pool with cabana, spa facility, tennis court,

List B: Childrens playground facilities, putting green, volleyball court, horseshoe pits, bocce ball and/or recreation rooms and buildings.

**C. ARCHITECTURAL DESIGN CRITERIA**  
**ATTACHED CONDOMINIUMS AND APARTMENTS - Villages E-1, U and Y**

**1. BUILDING MATERIALS**

**a. General**

1. "Handcrafted" detailing, exposed rafter tails, knee braces, and columns shall be used when appropriate to the proposed architectural style.
2. A variety of building architectural accent features and materials shall be incorporated into the exterior elevations when compatible with the style.

**2. SITE DESIGN**

- a. Attached condominium projects on Villages E-1 and U shall comply with the requirements of the Planned Development Ordinance, Section 21.45, except as required herein. Apartment projects shall comply with the requirements of the R-3 Zone, Section 21.16. Where conflicts occur between the requirements of Title 21, Zoning Ordinance, and the requirements of this Master Plan occur, the requirements of this Master Plan shall prevail. Exceptions to the Planned Development Ordinance for Villages E-1, U and Y area as follows:

1. Arterial setbacks. On Village E-1 only, a balcony encroachment into the arterial setback from Carlsbad Village Drive and College Boulevard shall be allowed. A maximum of two encroachments per building shall be allowed, and each such encroachment shall not exceed dimensions of up to 6-feet in depth and 10-feet in length.
2. Front yard setback measurement. On multi-family projects, the front yard setback shall be measured from the right-of-way line in the case of a public street and from the back of sidewalk in the case of a private street or private driveway. In specific

locations where the sidewalk is discontinuous to the curb (meanders away from the curb), the setback shall be measured from a point 5 feet back from the curb.

3. **Recreation Areas.** Multi family villages E-1 and U shall provide a minimum of 100 square feet per unit of required recreation space in common active facilities. In addition, each separate building shall provide an average 100 square feet per unit in private rear yards or balconies. Private balconies utilized for private recreation credit shall maintain a minimum 60 square feet in size.

Common active recreation facilities are limited to; swimming pool with cabana, childrens playground facilities, spa facility, tennis court, putting green, volleyball court, horseshoe pits, bocce ball and/or recreation rooms and buildings. Multi-family villages E-1 and U shall include as common active facilities, at least one swimming pool with cabana. The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

4. **Building Separation.** Motor court style developments may have a building separation of 10 feet if the front facade massing is separated by a minimum of 22 feet wide and at least 10 feet deep.

## **D. LANDSCAPE GUIDELINES**

### **1. INTRODUCTION**

The purpose of these landscape guidelines is to visually reinforce the patterns established by the Master Plan and communicate the overall landscape concept of the Calavera Hills community in a manner consistent with the community theme. Landscape plans shall be submitted for each village concurrent with applications for discretionary development approvals for that village. All landscaping and irrigation plans shall be prepared in accordance with the requirements of the City of Carlsbad's Landscape Guidelines Manual. All landscape maintenance shall conform to the City of Carlsbad's Landscape Guidelines Manual unless specifically authorized herein. All new construction shall be landscaped in accordance with the City approved Landscape Plan for that village and be subject to City inspection.

In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction shall be landscaped in accordance with a City approved landscape plan, and subject to City inspection. Non-blasted rock shall be introduced into the landscaping whenever possible, in order to assist in provision of a natural landscape appearance.



## **2. LANDSCAPE ZONES**

All landscape areas shall be assigned landscape intensity classifications based on the intensity of maintenance and water requirements per the City of Carlsbad Landscape Guidelines Manual. The location of these zones within individual projects shall be shown on the landscape plans submitted for each development proposal. A brief description of each zone is as follows:

### **a. Zone One: Lush Landscape**

Lush landscaping is used along the streets, around entry monuments and in the recreation center where lush, green, towering landscape are required. These are high maintenance areas and will require significant amounts of irrigation. Consideration will be given to water conservation measures where appropriate.

### **b. Zone Two: Refined Landscape**

Refined landscape are those which require less intensive maintenance practices (such as mowing, pruning, etc.) and less water. Their appearance is unmanicured but well kept. These areas are primarily slopes found in private rear yards and along main streets.

### **c. Zone Three: Naturalizing Landscape**

Naturalizing landscape shall be planted for low use areas that do not have a refined appearance but are not native - a transition between the two. It should be able to become naturalized and be self sustaining once established.

### **d. Zone Four: Native Landscape**

Areas of existing vegetation planned for low-level active use where existing vegetation is retained with very little modification. It will require a minimal level of maintenance (usually periodic control of debris and minor clearing for seasonal fire protection) and no supplemental irrigation. This type of landscaping is used for major open space areas along the SDG&E easement and riparian area.

### **e. Fire Protection Zone**

This zone is designed to help resolve the potential dangers of development adjacent to fire hazard areas. The fire protection program utilizes landscape zones two, and three to create and maintain a fire control landscape. Plants used here are specifically selected for their fire retardant and low fuel characteristics. The Fire Protection Zones are addressed in greater detail later in this chapter.

## **5. INVASIVE PLANT CONTROL**

A priority in the overall program of landscaping maintenance within Calavera Hills is the control of invasive and exotic weeds from encroachment into the native coastal sage scrub and chaparral habitat corridors. These weeds shall be controlled both on the periphery of the native corridors, and in native revegetation and fire suppression areas. Such maintenance will be conducted by the Homeowner's Association, as shall be stipulated in the CC&R's.

Most weeds can be eradicated by vigilant hand pulling on a regular basis. Other such weeds shall be sprayed or cut and painted with herbicide one or more times to thoroughly kill the roots. Herbicides should be used sparingly and only with the advice and supervision of a licensed pest control advisor.

## **6. LANDSCAPING OF ARTERIAL SETBACKS**

- a. A landscape setback will be provided along all arterial roads within the Master Plan area. The setback will buffer residential units from traffic through the use of mounding, walls and landscaping, thus providing an area for a common community landscape theme to mature. The streetscape is comprised of the relationship between buildings, structures, street scale, adjacent view/vista, signage, landscaping and street furnishings. Exhibit 13 illustrates a typical proposed streetscape within the Calavera Hills Master Plan.
- b. The average distance between sound walls on opposite sides of either College Blvd. or Carlsbad Village Dr. shall not be less than 142 total feet, measured within the Phase II area. In locations where the distance from edge of ROW to the adjacent sound wall is less than 20-feet, significantly increased plant material container sizes are required as follows:
  1. Street tree size: 100% 24" box in all areas where 20 foot minimum setback is maintained; 67% 24" box ; 33% 36" box in areas of less than 20 foot setback.
  2. Shrub size along ROW: 50% 5 gal. size; 50% 1 gal. size in all areas where 20 foot setback is maintained, with spacing at mature shrub size; 100% 5 gal. size in areas of less than 20 foot setback.
  3. Street tree spacing: 30 foot on center spacing
- b. All public street median landscaping within Calavera Hills will be maintained by the City of Carlsbad in accordance with the requirements of the Landscape Maintenance District. Parkway and setback landscaping will be maintained by the HOA.

## 7. FIRE CONTROL

### a. Standard open space interface

In all locations where structures immediately abut native vegetation, with the exception of along the southern row of lots on Villages K and X, heavily vegetated open space areas containing concentrations of volatile fire fuels shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, as shown on Exhibits 14 and 15. The various village homeowners associations shall assume responsibility for maintenance of these areas.

### b. Southern row of lots Villages K (Lots 1-22) and X (Lots 27-43)

As a result of the sensitivity of the interface between the southernmost line of residential lots along Villages K and X and the adjacent high quality coastal sage scrub native slopes, the fire protection requirements for these two specific areas shall be the subject of specific, customized regulations. The customized regulations in these two open space adjacent areas have been required and approved by the City of Carlsbad Fire Marshal and are applicable in order to achieve sufficient fire protection for the residences, while effecting minimal impact upon the habitat corridors they abut. The approved regulations for the southern row of lots on Villages K and X are:

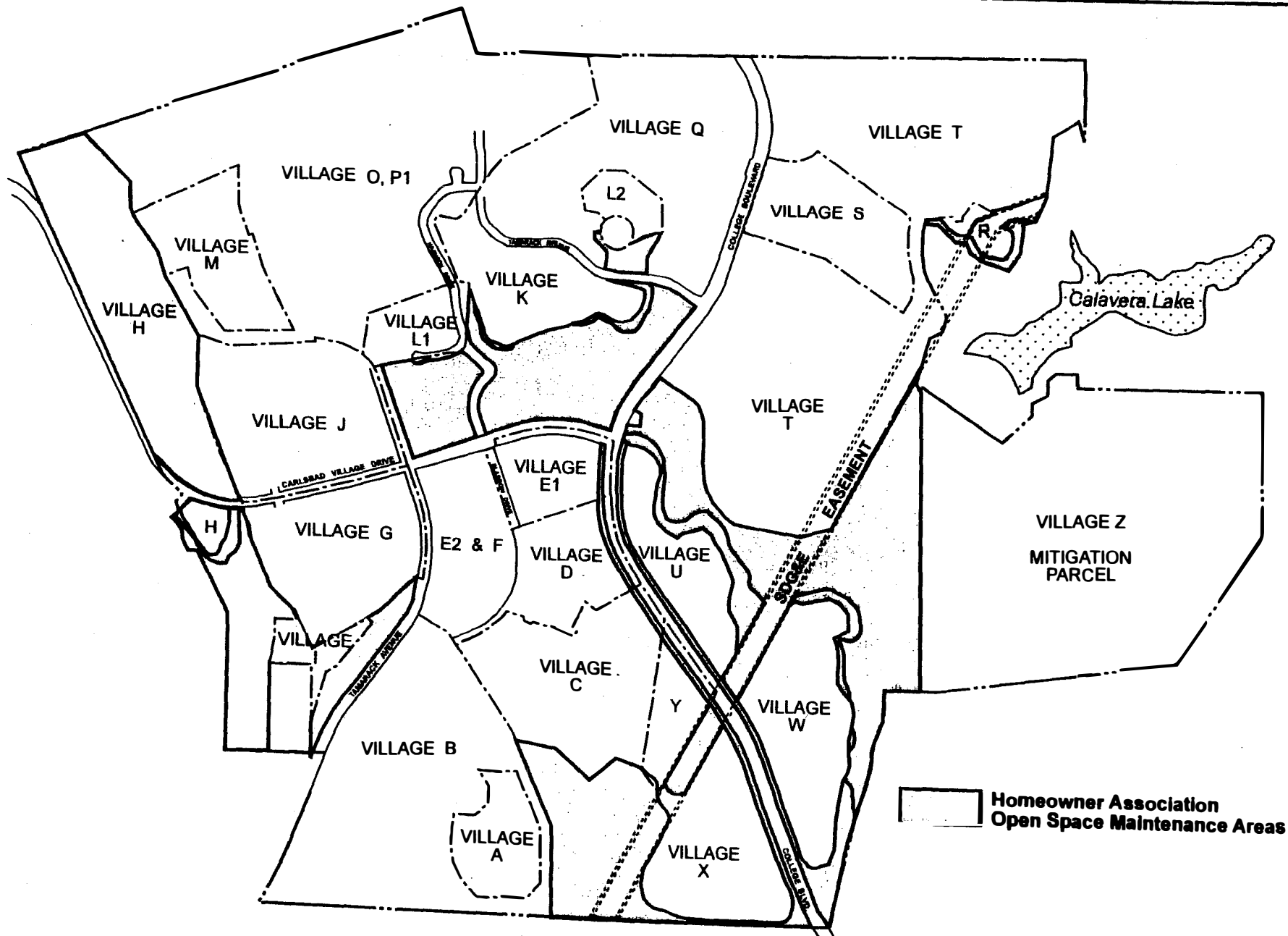
1. A perimeter wall or wildlife barrier consistent in design with Exhibit 16 will be provided at the interface between the rear top of slope or lot line, and the native open space.
2. Native fuel and plant modification in the fire protection zones shall be in conformance with the requirements stipulated in Exhibit 17.
3. Exterior wall finishes - All structural exterior walls facing the wildland interface on the southernmost line of residential lots along Villages K (Lots 1-22) and X (Lots 27-43) shall be finished on all exterior surfaces with one hour fire rated materials. All unoccupied space below the first floor shall be enclosed with a perimeter wall having a one-hour rating on the finish of the exterior side. This wall shall extend from the adjacent grade to the first floor.

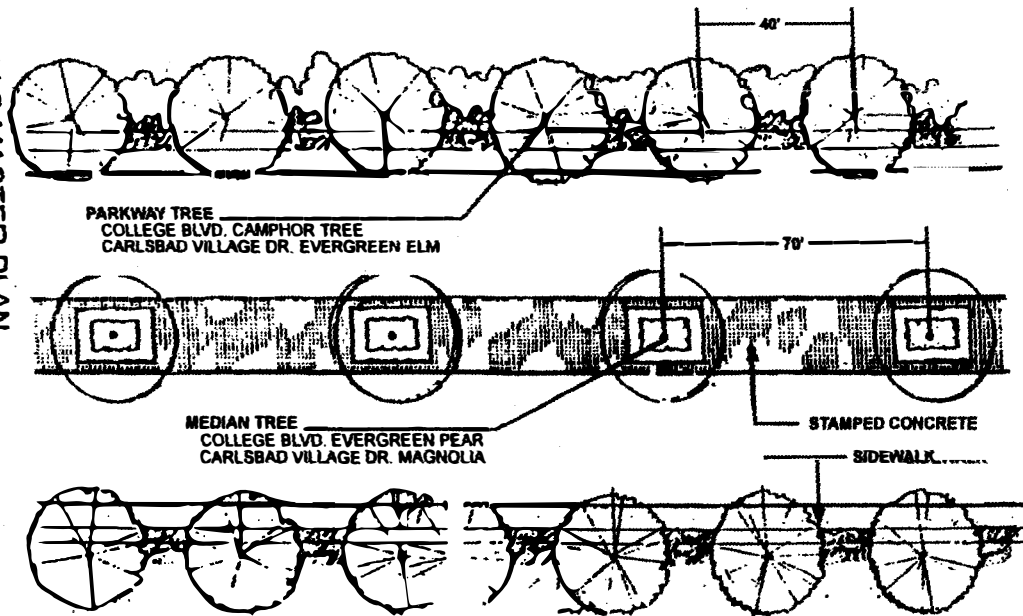
The exterior side of any exterior wall shall consist of a combination of materials that together form a one-hour rated assembly. Any veneer material installed over the fire rated material must be of a non-combustible material or shall have a minimum of a one-hour fire rating.

All glazed openings in exterior walls shall be dual glazed. Window frames must be certified and labeled to ANSI/AAMA/NWDA 101/2.5.2-97 standards or better, for structural requirements.

All exterior wood doors shall be a minimum 1-3/4 inch thick solid core type door or a rated 20-minute assembly. The total combined area of glazing and reduced thickness panels in each door shall not exceed 30% of the door area unless the dual glazed or fixed panels have been tested for a one-hour fire rating. Exterior doors constructed of materials other than wood and wood doors not meeting the minimum thickness requirement must be certified and labeled to ANSI/AAMA/NWDA 101/2.5.2-97 standards or better, for structural requirements. One exception to this requirement is allowed; i.e., overhead doors (such as garage doors) shall not be required to comply with the fire resistive requirements established for other doors.

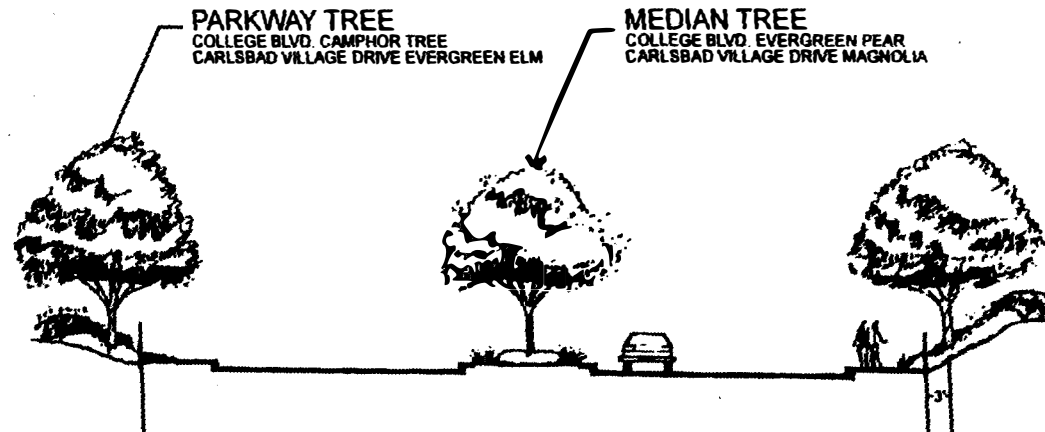
4. Architectural Appendages, Projections and Plant-Ons – All architectural elements that are exposed to the exterior of a structure shall be of non-combustible construction. These elements shall include any element of a building that projects beyond the exterior wall of the building including such elements as eaves, fascia board, gutters, shutters, or shelves, balcony and stair rails, arbors, awnings and braces. Protection of eaves and fascia board shall return each side 4.0 feet.
5. Openings Protection – All vent openings between the outside and interior building spaces shall be provided with a corrosion resistant wire mesh that covers the entire opening. The mesh openings shall be of a size that will not allow a 1/8 inch sphere to pass through. No individual vent opening shall exceed 144 square inches. Vent openings shall not be located on any building surface that is exposed to an adjacent wildland area. Exterior access openings to attic, underfloor, equipment closets and other similar points of access shall be protected by a 3/4-hour rated access cover or by a door as defined in the "Exterior Wall Finishes" section above.
6. Roofing System – The entire roof assembly for homes on these open space-adjacent lots shall comply with code requirements for a Class A roof. Roofing materials that, due to their shape, are not in full contact with the roof sheathing (such as barrel tile) shall be firestopped at eave edges, ridge cap edges and any other places that are capable of trapping burning embers.





## COLLEGE BOULEVARD

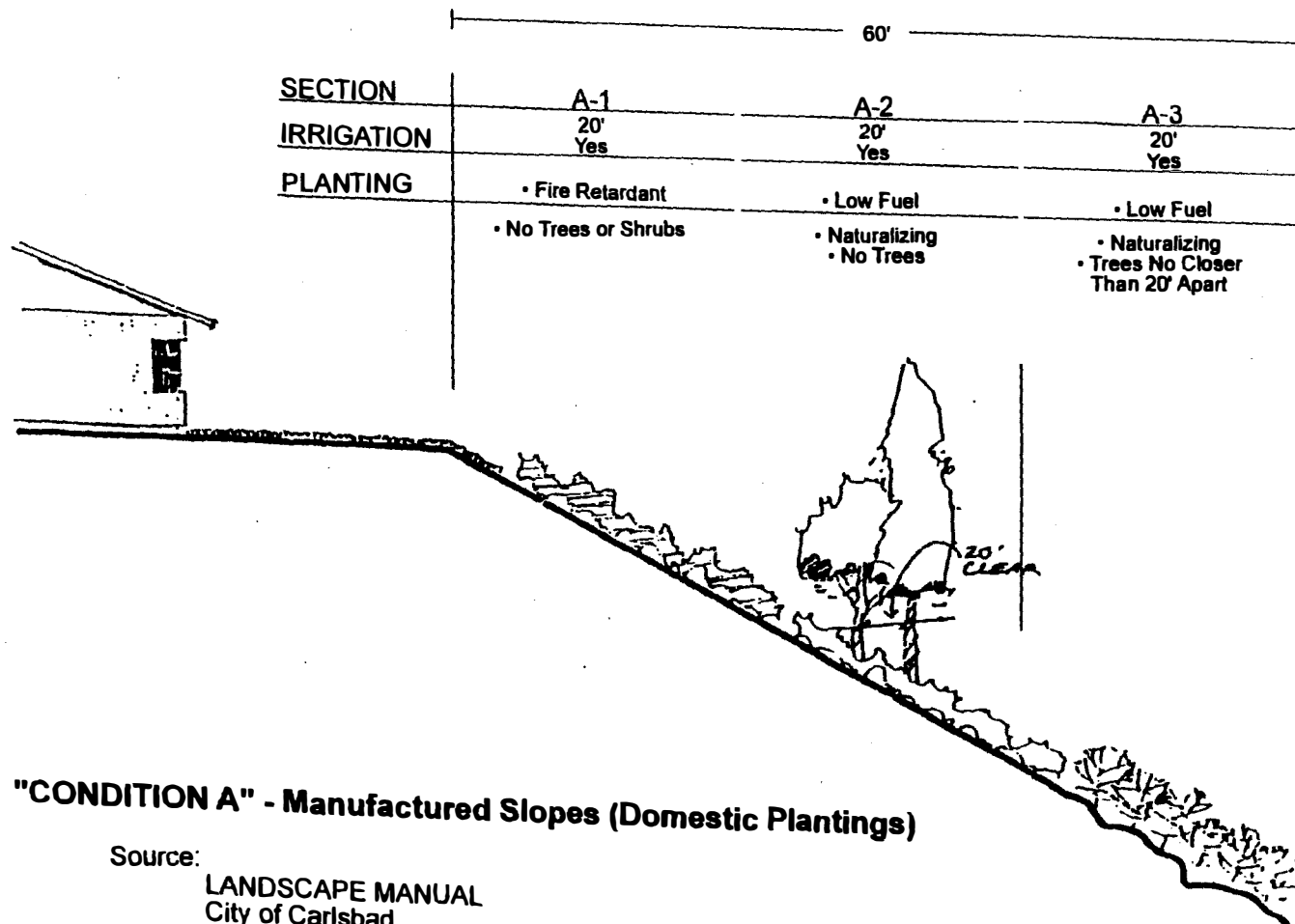
## STREETSCAPE SECTION



SOURCE:

CALAVERA HILLS MASTER PLAN MP-150(G)



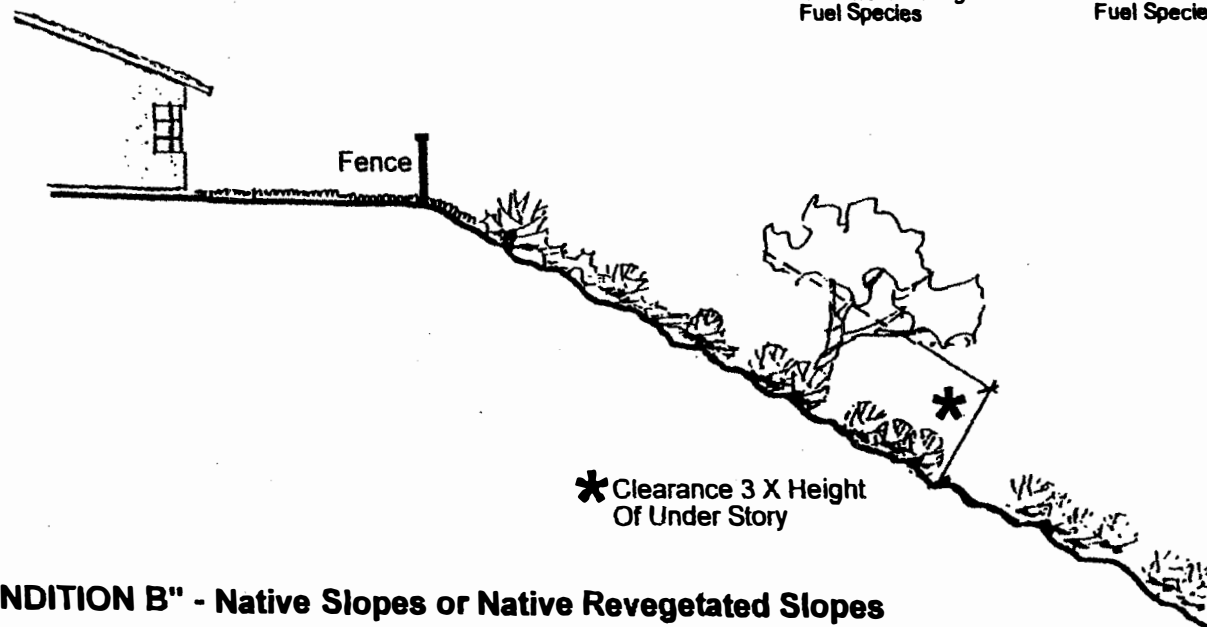


**"CONDITION A" - Manufactured Slopes (Domestic Plantings)**

Source:  
 LANDSCAPE MANUAL  
 City of Carlsbad  
 November 1990  
 Appendix F.2 - Fire Sections



	60'		
SECTION	B-1	B-2	B-3
IRRIGATION	20' Yes	20' Yes Temp.	20' No
PLANTING	<ul style="list-style-type: none"> <li>• Fire Retardant</li> <li>• No Trees or Shrubs</li> <li>• Removal of High Fuel Species</li> </ul>	<ul style="list-style-type: none"> <li>• Low Fuel</li> <li>• Selective Pruning Of 60% Of The Moderate Fuel Species Volume</li> <li>• 100% Removal of High Fuel Species</li> </ul>	<ul style="list-style-type: none"> <li>None</li> <li>• Selective Pruning Of 40% Of The Moderate Fuel Species Volume</li> <li>• 100% Removal of High Fuel Species</li> </ul>



**"CONDITION B" - Native Slopes or Native Revegetated Slopes**

Source:  
LANDSCAPE MANUAL  
City of Carlsbad  
November 1990  
Appendix F.2 - Fire Sections





Wood roofing materials, regardless of classification, and other similar roofing materials that due to their size and weight are capable of becoming airborne during a fire shall not be used.

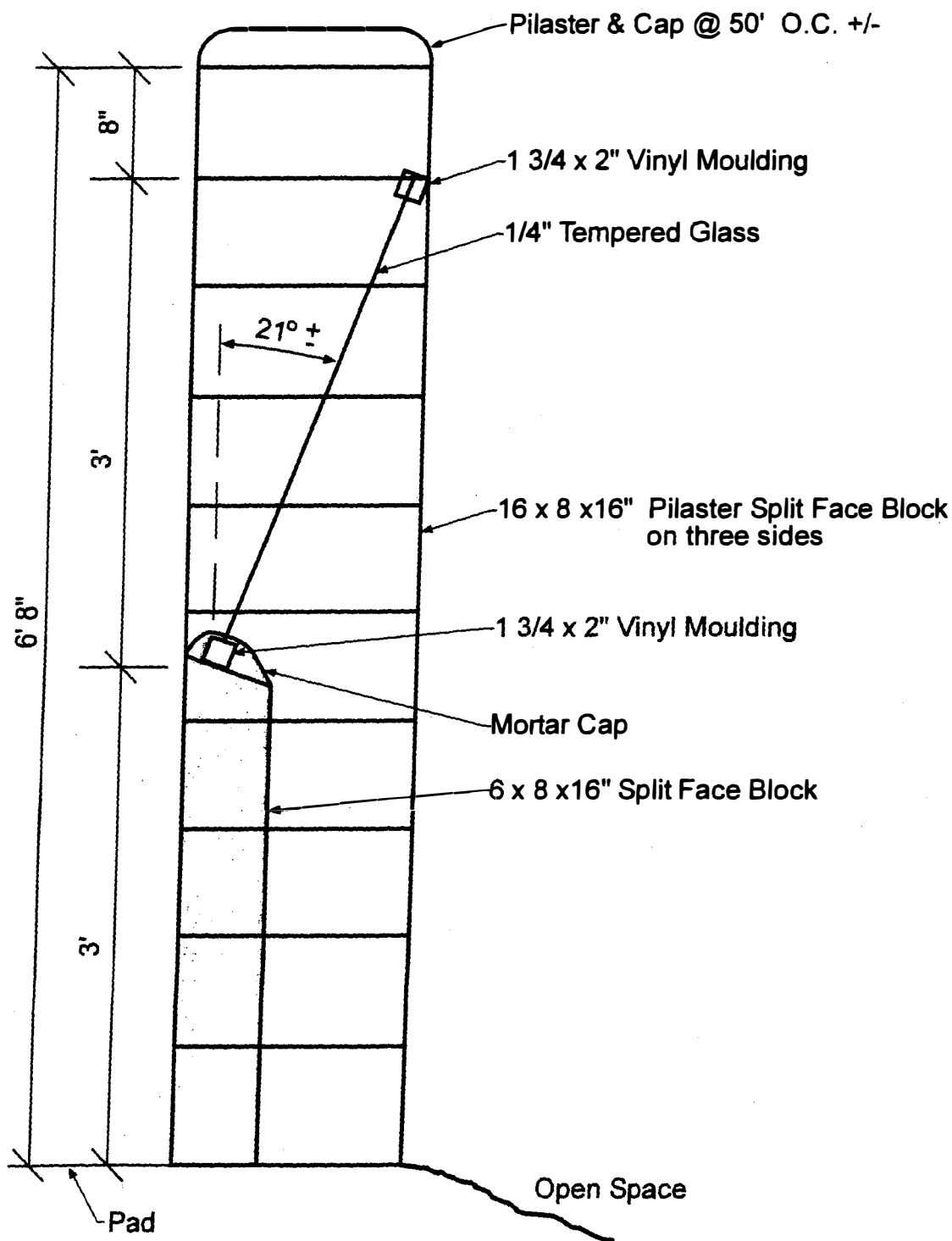
All glass and other transparent, translucent or opaque glazing materials, including skylights, shall be constructed of tempered glass or multi-layered glazed panels. No skylights or vents will be allowed on the roof assembly facing hazardous vegetation.

7. Chimneys – Any chimney that is used to exhaust hot gases from any appliance that is capable of burning products capable of producing sparks or burning embers shall be equipped with a spark arrester at the top of the chimney. The spark arrester shall conform to the requirements of Section 3102.3.8 of the California Building Code, 2001 Edition.
8. Accessory Structures – All lots in Villages K and X referenced in this section shall not construct any combustible structures, additions, attachments, storage sheds, or fencing. Only non-combustible materials can be used or placed within the fire protection areas. Landscaping is limited to fire resistant plants and no shrubs or trees will be allowed in this zone.

Vinyl is only allowed if it complies with condition #3 above, including door frames.

9. Other requirements that may be adopted by the City as approved by the Fire Marshal in conjunction with the individual subdivision and planned development permit for Villages K and X.
10. Interior sprinklers shall be installed in all designated special fire protection homes as per National Fire Protection Association (NFPA) Standard 13D.

CALAVERA HILLS MASTER PLAN  
AMENDMENT MP-150(H) and (I)



1" = 1'

67



VILLAGE K & X WALL DETAIL  
ADJACENT TO CSS HABITAT  
EXHIBIT 16



# CALAVERA HILLS MASTER PLAN AMENDMENT MP-150(H) and (I)

SECTION	C-1	C-2	C-3	NATIVE
	<p>12 to 25 ft. Depending on individual lot backyard length to the 6 ft. tall non-combustible (n/c) wall.</p>	<p>Additional 15 to 28 ft. beyond the (n/c) wall and within the native vegetation.</p>	<p>This Zone is the final distance beyond Zone B-2 to meet the required 60 ft. of defensible space from any residential structure or other backyard improvement built of combustible building materials.</p>	<p>Beyond 60 ft. from a combustible structure.</p>
Irrigation	Yes	Temporary, only for new native plantings	No	N/A
Planting & Fuel Modification Criteria	<p>Backyard landscaping with only Fire resistant plants listed in Appendix B.</p> <ul style="list-style-type: none"> <li>No trees in this Zone</li> <li>No shrubs</li> <li>Mostly lawns &amp; ground cover plants</li> <li>No combustible structures, additions, attachments, storage or fencing.</li> </ul>	<p>100% removal of all high fuel volume species, with the exception of Buckwheat and Salvia species (sage), which only 50% of these two plant species and 60% of the moderate fuel volume species will be retained.</p> <ul style="list-style-type: none"> <li>No native shrubs taller than 36 inches in height are allowed in this zone.</li> <li>Annual hand pruning out of all dead material from the retained moderate or high fuel volume species.</li> <li>Only grasses allowed are approved native grasses and they will be maintained to a 4 inch stubble height.</li> <li>Installation of a non-combustible wall.</li> </ul>	<p>100% removal of all high fuel volume species, with the exception of Buckwheat and Salvia species (sage), which only 60% of these two plant species and 70% of the moderate fuel volume species will be retained.</p> <ul style="list-style-type: none"> <li>All moderate fuel volume shrub species are to be maintained to 36 inches in height, except for a few scattered native fire resistant (low and moderate) listed tree and shrub species.</li> <li>Each tree/shrub will be pruned of all dead material.</li> <li>Each retained fire resistant native tree must be limbed up from the ground height of 3x the height of the understory fuel bed.</li> <li>Only grasses allowed are approved native grasses and they will be maintained to a 4 inch stubble height.</li> </ul>	<p>Left in an undisturbed condition.</p>

WILDLIFE BARRIER

6 foot tall non-combustible wall (3 feet of block and 3 feet of tempered glass panels angled at approximately 21 degrees)

\* Clearance 3 x Height Of Under Story

Village K Lots 1-22 (CT 01-02)

Village X Lots 27-43 (CT 01-06)

PLANNING  
SYSTEMS



VILLAGE K & X  
NATIVE SLOPES  
EXHIBIT 17



## **E. WALLS AND FENCING**

Fences and walls can serve many functions including noise reduction, security, identity, enclosure, privacy, etc. It is intended that the available fencing types be combined for appearances, interest and provide variety. Using a combination of open and solid styles is encouraged.

Since approximately half the Master Plan has already been developed it is impossible to provide a common community wall for the entire Master Plan at this time. Two types of fencing will be provided within the undeveloped portion: Master Plan village walls and production fencing. Additional wall and fencing styles may be allowed subject to a determination of compatibility with the existing styles, by the Planning Director as long as the proposed style is aesthetically pleasing and provides continuity in design to unify the various architectural styles in the neighborhoods.

### **1. NOISE ATTENUATION**

Sound attenuation walls, (see Exhibit 18 for locations and Exhibit 19 for characteristics) will be similar in the level of detail, materials and character to the Community Entry Walls. Sound walls will be used to buffer homes from the roadway noise along Carlsbad Village Drive, College Boulevard, and Tamarack Avenue if required by the noise study prepared for the individual tentative maps. For walls exceeding six (6) feet in height, glass, landscape berming or other means acceptable to the Planning Director, shall be provided in conjunction with the walls.

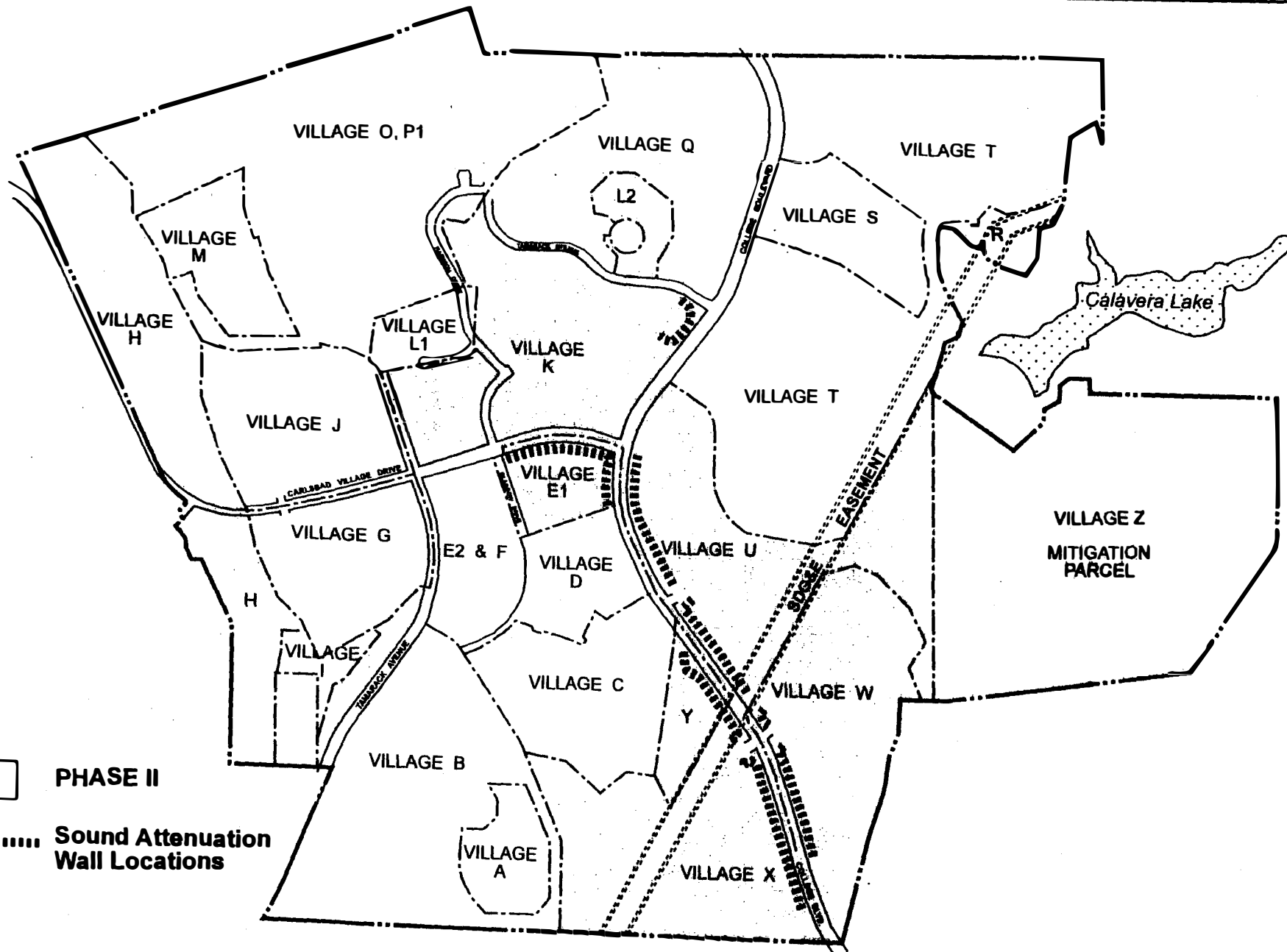
These walls shall be constructed in conformance with the requirements of the City of Carlsbad Noise Policy and shall conform to City traffic standards for sight distances.

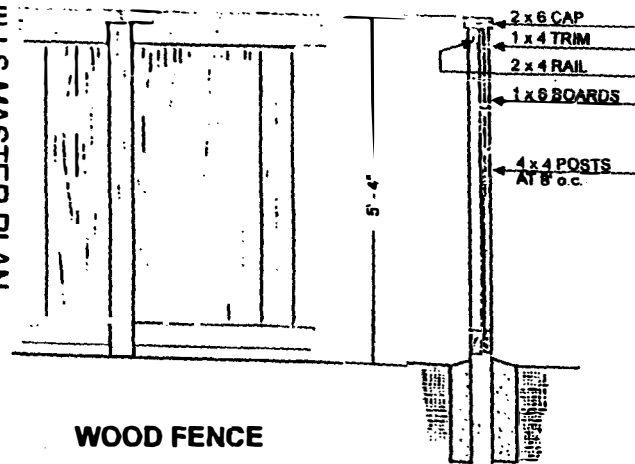
### **2. VILLAGE WALLS**

All village walls shall be landscaped in accordance with Carlsbad's Landscape Guidelines Manual. Whenever possible, berming and landscaping shall be utilized to soften the visual impacts of walls and fences. Where necessary, this wall type will be modified to accommodate view and noise attenuation. The village wall details are shown on Exhibit 16.

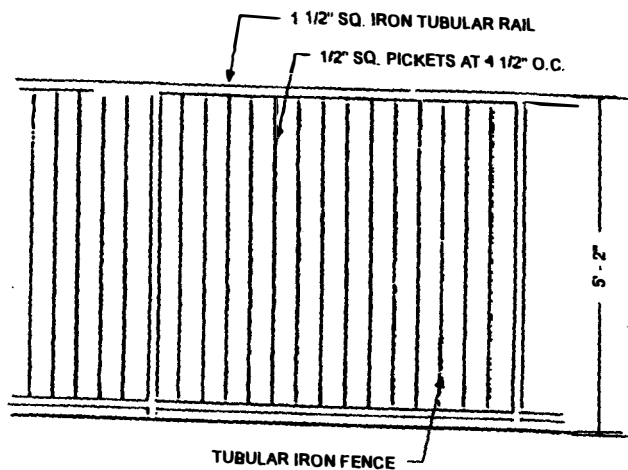
### **3. PRODUCTION FENCING**

The production fences are of wood construction, and used to separate private residence boundaries. This fencing is also used to fence off private yards within multiple family projects.

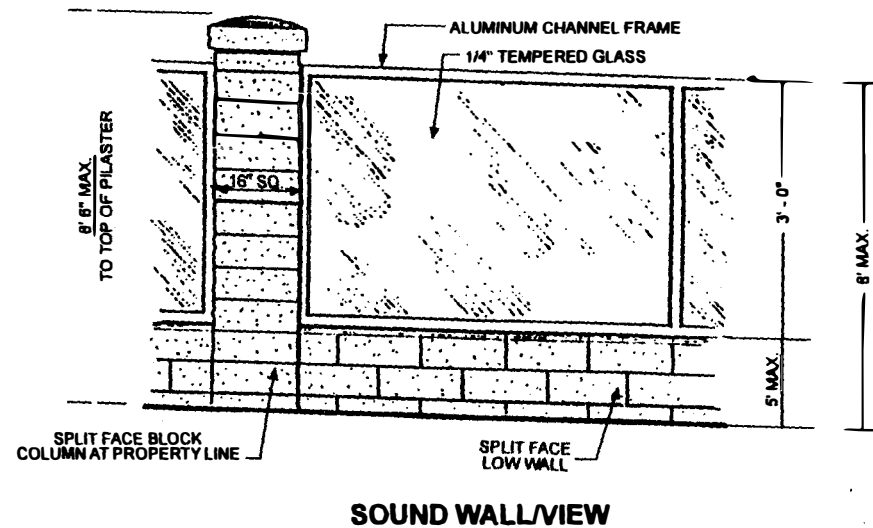
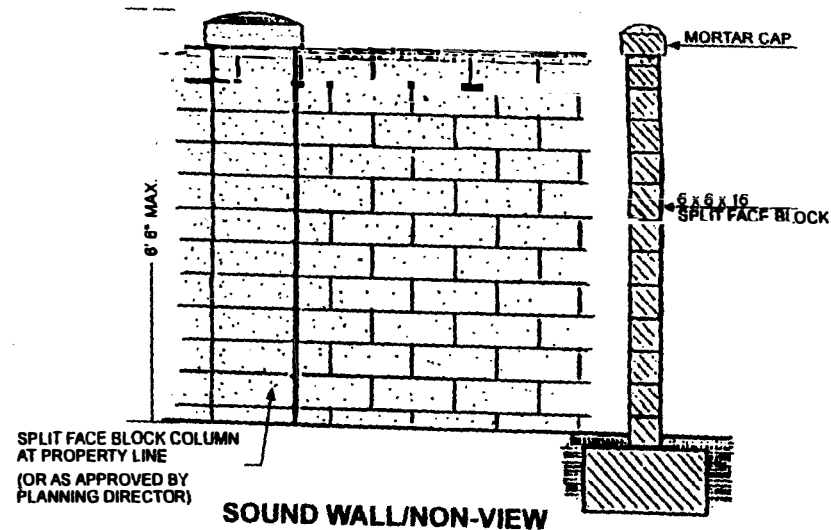




WOOD FENCE



VIEW FENCE



#### **4. VIEW FENCING**

View fencing is allowed in circumstances where residential lots have view potential over adjacent lots. The view fencing may be constructed of a combination block and glass, or steel rod fencing.

#### **5. RETAINING WALLS**

The use of retaining walls on residential lots is allowed subject to compliance with the following:

- a. The maximum height of the retaining wall is six feet, unless otherwise approved by the Planning Director in locations where additional natural open space is protected as a result of a higher wall.
- b. A 3-foot minimum landscape area must be provided between the property lines and the retaining wall.

#### **F. VIEWS**

The hilly terrain of the Calavera Hills Master Plan area provides for a wide variety of external and internal views. Development of the site plans for the individual villages should capitalize on view potential for the living units. Interior view potential should be maximized by careful siting of buildings and tall trees.

The treatment of edges between differing land uses is an important consideration in maintaining continuity in community design. Site planning and landscape design should make a smooth and logical transition from one area to the other without leaving hard edges or abrupt changes.

#### **G. SIGNAGE**

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development and giving directional information to residents and visitors. Signs utilized in Calavera Hills include both permanent and temporary signs.

##### **1. PERMANENT SIGNS**

###### **a. Project Entries**

At the option of the developer, project entry monumentation may be provided. Project entries are those which provide a sense of arrival to the community. They should consist of special monumentation and landscape planting. This will inform the motorist that this is the Calavera Hills Community. This may include design features that are consistent with community fencing materials. Project community identification monumentation will be provided primarily at the

intersection of Tamarack Avenue and College Boulevard and at the southern College Boulevard entry to the community. An entry sign already exists on Tamarack Ave. where it enters the Master Plan area.

b. Village Entries

At the option of the developer entry signs into the individual villages in Calavera Hills may be provided. They are to be designed as an enhancement extension of the community fencing detail. These should be limited to the major entry points into a village and will provide visitors with the project name identification. Village entry signs will have the same basic designs as shown on Exhibit 20 and Exhibit 21. Village entry signs may be constructed at the entries to all Phase II villages. Exhibit 22 shows the approximate location of possible future village entry signs.

2. TEMPORARY SIGNS

Temporary signs which will be present until the completion of project construction shall be consistent with the City of Carlsbad's Sign Ordinance and will include:

- a. Community entry signs.
- b. Future village signs.
- c. Future facility signs.

The design, lighting, number, size, color and location of these signs shall be subject to Planning Director approval.

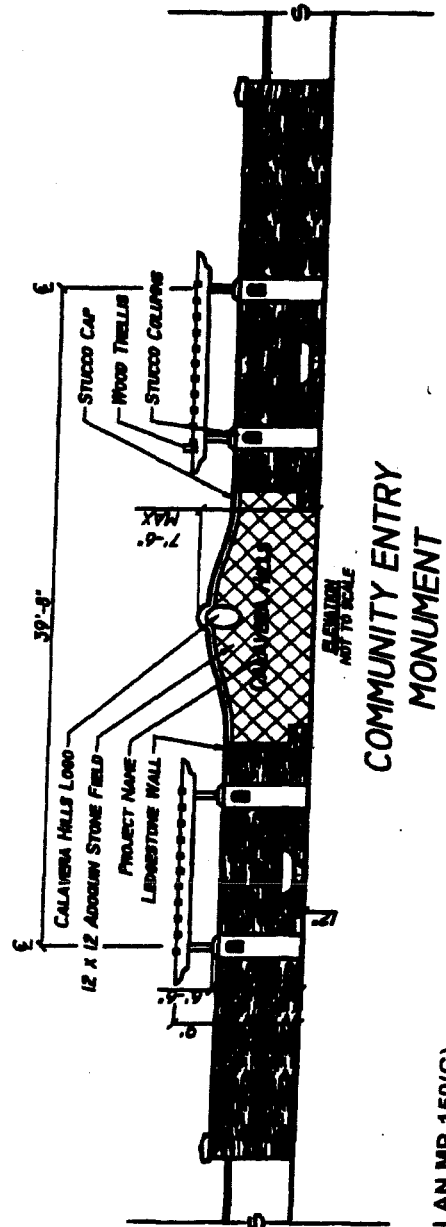
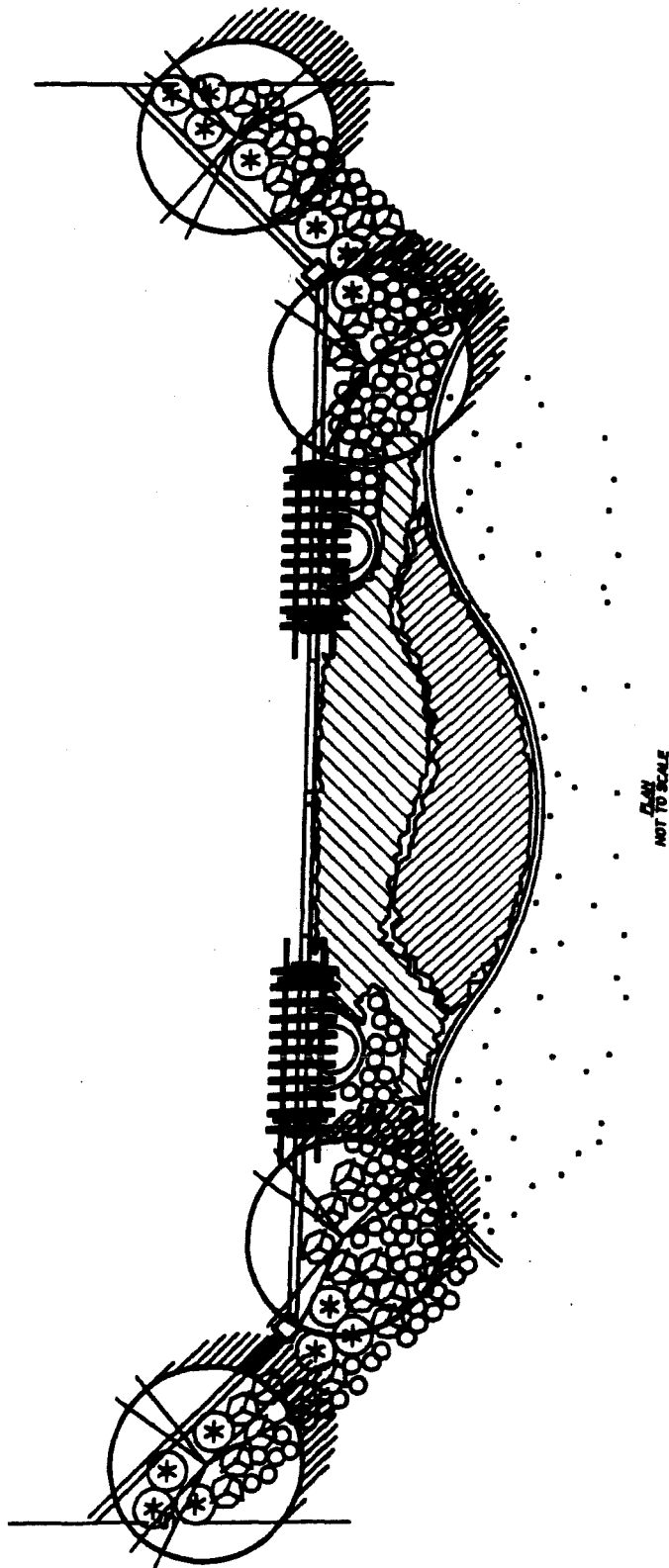
H. LIGHTING

The design issue of "lighting" includes street lighting, as well as building and landscape accent lighting, and sign illumination. Three basic principles should be considered in the provision of lighting:

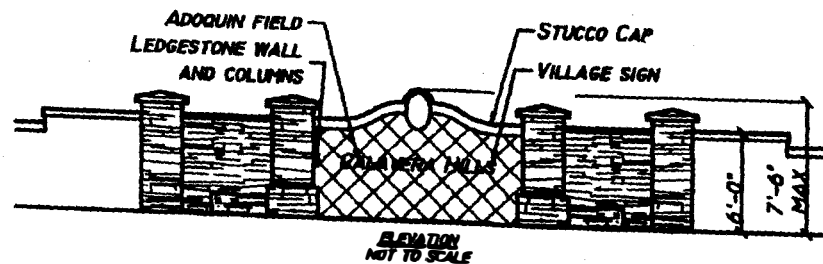
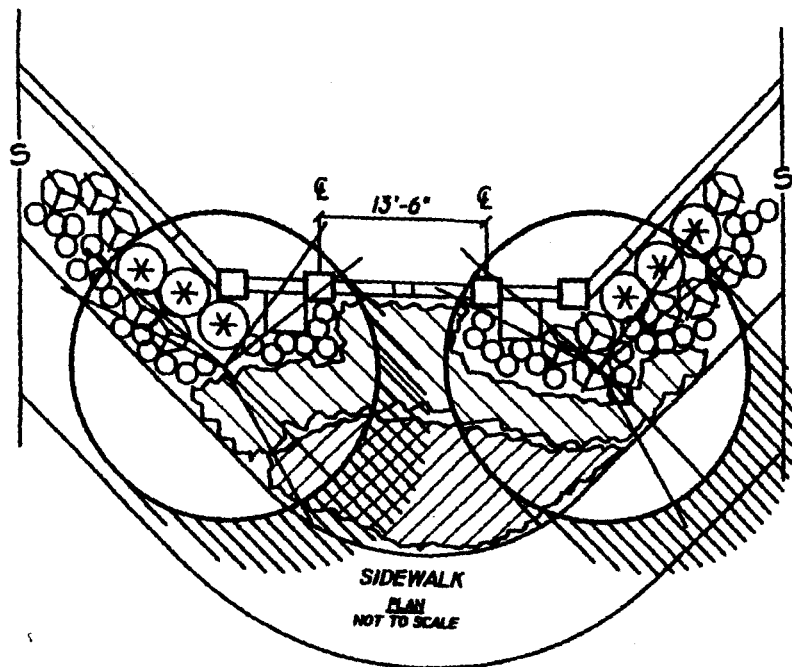
1. Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures shall relate to the human scale, especially in pedestrian areas.
3. Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.

All street lighting shall conform to the City standards or an approved theme lighting program, and shall be approved by the City Engineer. Illuminated entries should direct low to the ground and be limited to only the immediate vicinity of the entry. Lighted entries should not be distracting, create visual hot spots, or glare, etc. If entry signs are illuminated the lighting shall be directed low to the ground and be limited to only the immediate vicinity of the entry.





SOURCE:  
CALAVERA HILLS MASTER PLAN MP-150(G)



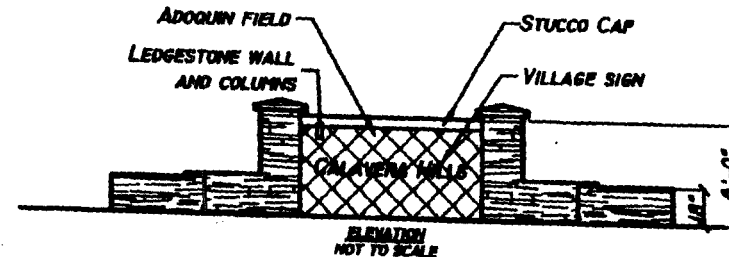
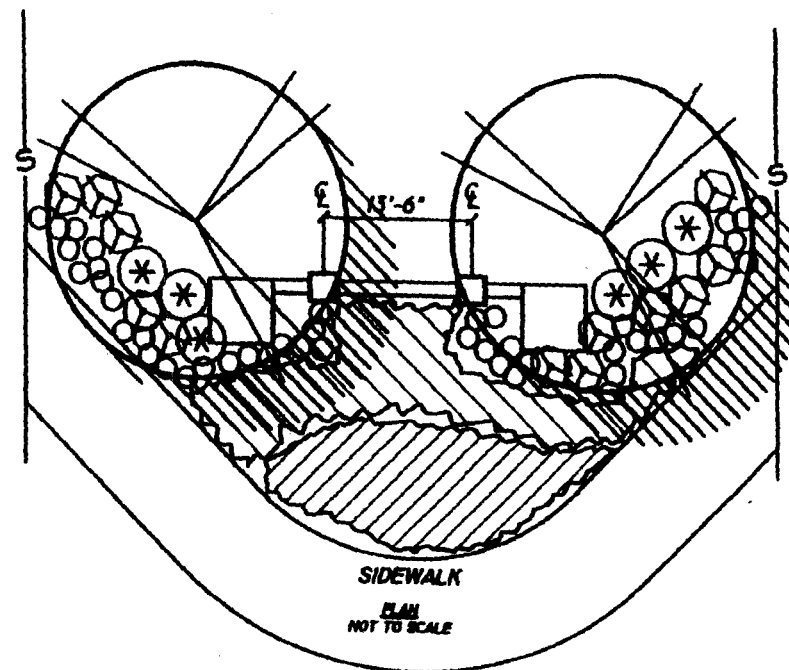
VILLAGE ENTRY MONUMENT  
REAR YARD OR SLOPE CONDITION

SOURCE:

CALAVERA HILLS MASTER PLAN MP-150(G)

75

PLANNING  
SYSTEMS

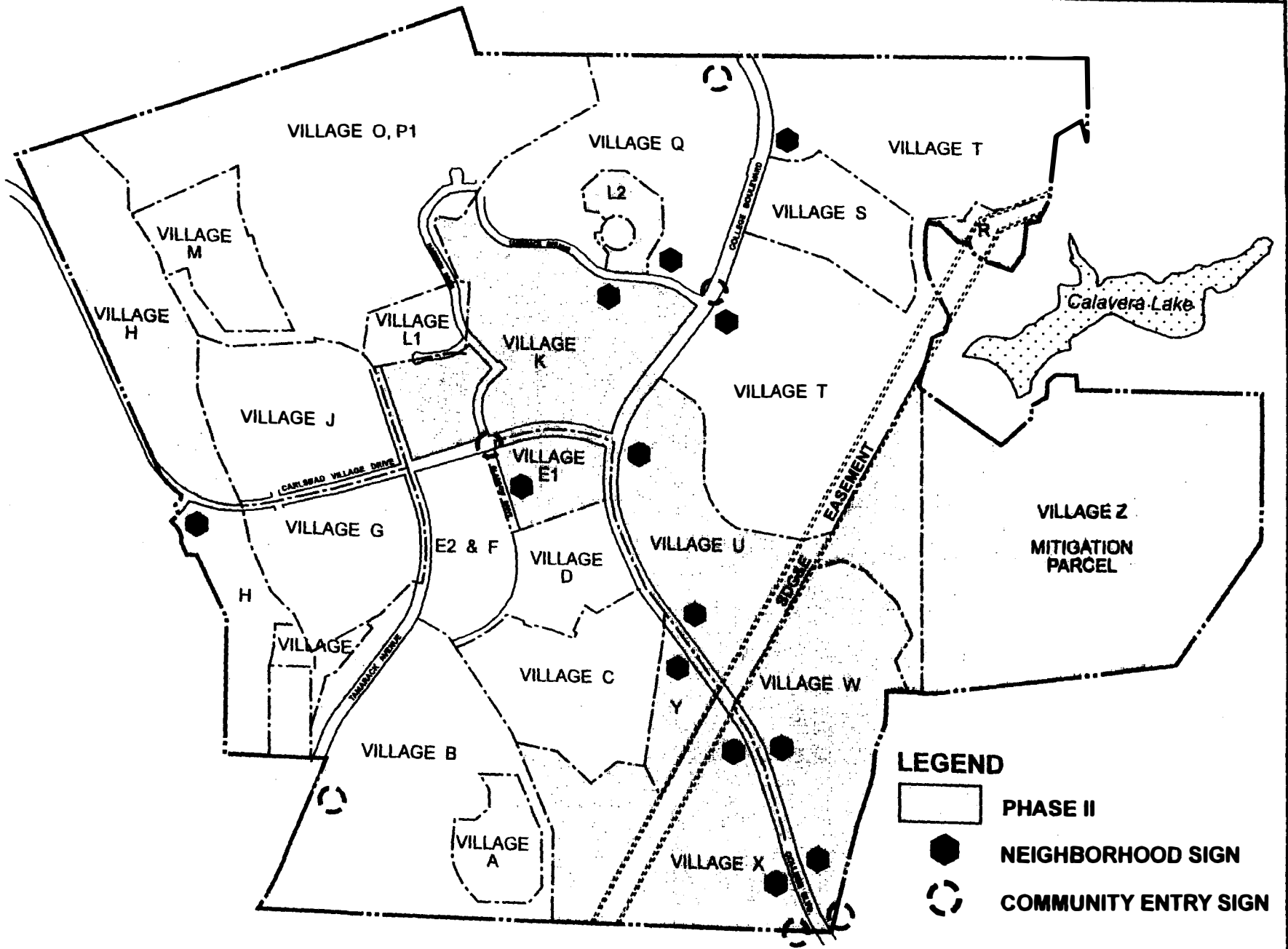


VILLAGE ENTRY MONUMENT  
FRONT YARD CONDITION

ENTRY DETAILS

EXHIBIT 21





## **IX. PHASE II VILLAGE DEVELOPMENT STANDARDS**

Nine (9) villages remain to be developed within the Calavera Hills Master Plan at the time of this Master Plan Amendment (MP 150(H)). In addition, the Calavera Nature Preserve (CNP) has been added to the Master Plan as Village Z. These are the villages that make up Phase II. Zoning districts, specific development standards and conditions for each Phase II village are articulated in this chapter.

Processing for City of Carlsbad entitlements for Phase II residential projects shall be through the Planned Development Ordinance, Chapter 21.45, unless otherwise specified herein. Projects with single lot ownership will process a planned unit development (PUD) permit. Projects without private lot ownership, in which airspace ownership and common ownership of lots are involved, will process a condominium permit (CP).

### **A. VILLAGE E-1**

#### **1. DESCRIPTION:**

Village E-1 is located on the south side of Carlsbad Village Drive, between Glasgow Drive and future College Boulevard, as shown on Exhibit 21. Village E-1 is a presently graded site, measuring 11.7 gross acres, and 9.9 net acres in size, pursuant to the Zone 7 LFMP constraints analysis. The property will be developed with multi-family residential units.

<b>2. USE ALLOCATION:</b>	Multi-family Residential - PD (Planned Development)
General Plan Land Use:	RMH (8-15 du/ac)
Zoning District:	RD-M
Growth Control Point:	11.5 du/ac
Calavera Hills Master Plan:	Allows a maximum of 117 attached residential units on this site.

- 3. LOT SIZE / OWNERSHIP TYPE:** One common lot. Airspace ownership (Condominiums)

#### **4. SPECIAL DEVELOPMENT STANDARDS:**

Setbacks: A minimum structural setback from College Boulevard (major arterial) of 40 feet shall be maintained. The minimum setback from Carlsbad

**Setbacks (Cont):** Village Drive (secondary arterial) shall be 30 feet, and the minimum setback from Glasgow Drive shall be 20 feet. A balcony encroachment into the arterial setback from Carlsbad Village Drive and College Boulevard shall be allowed. A maximum of two encroachments per building shall be allowed, and each such encroachment shall not exceed dimensions of up to 6-feet in depth and 10-feet in length.

All setbacks shall be in accordance with Chapter 21.45 of the Zoning Ordinance, except as may be provided in Chapter VIII(C) of this Master Plan. The minimum setback from the southerly property line (adjacent to the northern property line of existing Village D) shall be no less than 10 feet (with a 30-foot average) for purposes of buffering the adjacent existing homes to the south.

As indicated in Chapter VIII(C)(2) of this Master Plan, the front yard setback shall be measured from the right-of-way line in the case of a public street and from the back of sidewalk in the case of a private street or private driveway. In specific locations where the City requires that the sidewalk be discontinuous to the curb (meanders away from the curb), the setback shall be measured from a point 5 feet back from the curb.

Motor court style developments may have a building separation of 10 feet if the front facade massing is separated by a minimum of 22 feet wide and at least 10 feet deep.

**Building Height:** Maximum building height shall not exceed 35 feet to the peak of the roofline. Architectural projections are allowed. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** Recreation areas shall be provided at a minimum of 100 square feet per unit in common active facilities. In addition, each separate building shall provide an average 100 square feet per unit in private rear yards or balconies. Private balconies utilized for private recreation credit shall maintain a minimum 60 square feet in size.

Recreation Area  
(Cont.):

Common active recreation facilities are limited to swimming pool with cabana, children's playground facilities, spa facility, tennis court, putting green, volleyball court, horseshoe pits, bocce ball and/or recreation rooms and buildings. Each multi family neighborhood shall include as common active facilities, at least one List A recreation facility and two List B recreation facility (reference Chap. VIII(B)(2)(J) of this Master Plan. The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

## 5. DESIGN CRITERIA

Access:

The project will be served by private streets and driveways. No vehicular access to the site shall be taken off of College Boulevard. The main access point shall be off of Glasgow Drive. A second access, and gated entries may be allowed, subject to approval of the City Engineer.

A single loaded street, with sidewalk on only one (north) side shall be allowed adjacent to the Cape neighborhood.

Architecture:

Strong architectural relief shall be incorporated into the design of the residential structures in accordance with the requirements of Chapter VIII of this Master Plan.

A fence/trellis plan shall be approved in conjunction with the condominium permit for this village.

Trails:

No community trails are required of this village.

## 6. REQUIRED CITY PERMITS:

Tentative tract map and Condominium Permit

## 7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):

Noise:

Prior to the recordation of the Individual final map for this village the developer shall prepare and record a Notice that this property may be subject to noise impacts from the proposed or existing transportation corridors fronting this village, in a form approved by the Planning Director (Noise Form #1).

Noise: A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.

Noise: If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of the City's Municipal Code.

Noise: Exterior Noise Levels For Residential Uses - The project applicant shall construct noise barriers approximately 11 feet in height along College Boulevard, and 8 feet in height along Carlsbad Village Drive, to ensure that ground floor exterior noise levels are reduced to a level at or below 60 CNEL.

Noise: Interior and Balcony (Deck) Noise Levels For Residential Uses - Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations. Therefore, the following mitigation is required: a) At the time building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required to demonstrate that interior noise levels due to exterior sources will be below the 45 CNEL residential interior standard, and; b) The project developer shall provide forced-air circulation or air conditioning for residential use areas where exterior noise levels are projected to exceed 60 CNEL and it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's

residential interior standard of 45 CNEL.

Recommendations for mitigation of noise impacts both interior and at proposed balconies may result from the acoustical analysis and shall be integrated into the structural design. If mitigation to acceptable noise levels at the balconies cannot be achieved, the decks shall be moved back from the arterial roadways, out of the arterial setback area, or these decks will not be utilized as credited recreational area.

Paleontology:

During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.

Hydrology:

This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.

The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:

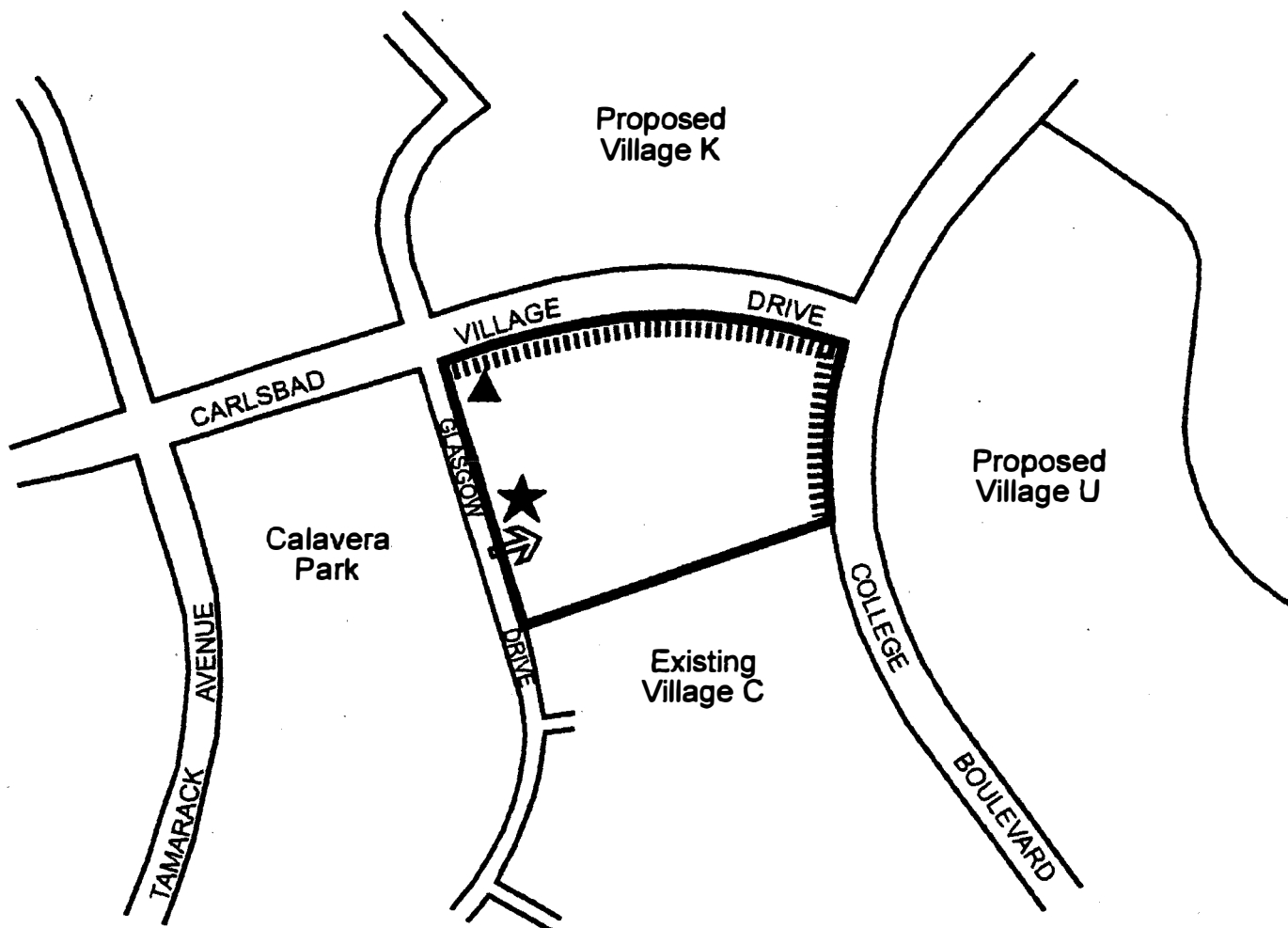
- Comply with current drainage design policies set forth in the City of Carlsbad procedures.



- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- Landscape all exposed manufactured slopes per City of Carlsbad erosion control standards.
- Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.
- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.

**8. PROJECT LEVEL CONDITIONS:**

- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. Development of the residences in this project shall be required to design and construct full-width improvements to College Boulevard along the frontage of this project.
- c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.

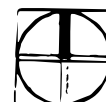
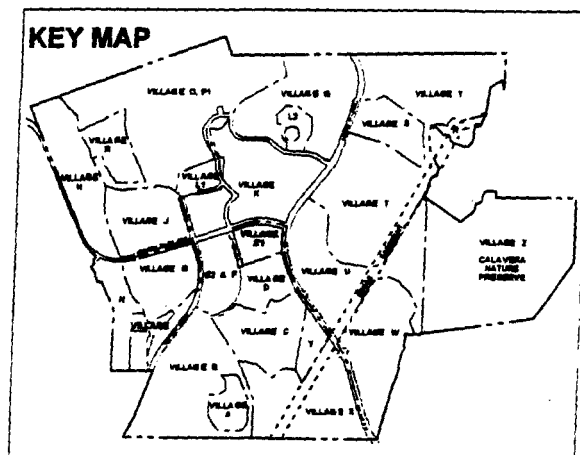


LEGEND

- Main Entry
- Secondary Entry
- Neighborhood Identity Sign
- Community Identity Sign
- Noise Wall
- Views
- Public Trail



KEY MAP



## **B. VILLAGE H**

### **1. DESCRIPTION:**

Village H is located along the western edge of LFMP Zone 7, and is bisected by Carlsbad Village Drive, as shown on Exhibit 22. Village H has a gross area of 66.0 acres and a net developable area of 9.9 acres per the Zone 7 LFMP constraints analysis. As required by this Master Plan, the northern portion of Village H will remain undeveloped open space, and a net development pad of 2.04 acres on a 3.2 acre graded area adjacent to the south side of Carlsbad Village Drive will be developed with a community facility land use such as a day care. The remaining portion of Village H South of Carlsbad Village Drive will remain open space.

### **2. USE ALLOCATION:**

Open Space (OS) and Community Facilities (CF)

General Plan Land Use:

OS (Open Space with a 3.2 acre Community Facility site)

Zoning District:

OS and CF

Growth Control Point:

N/A

Calavera Hills Master Plan:

Allows community facilities such as daycare use within the CF portion of the village. Community trails allowed within open space.

Permitted Uses on CF Parcel:

- (1) Child daycare
- (2) Churches, synagogues, temples and other places of worship;
- (3) religious reading room;
- (4) welfare and charitable services with no permanent residential uses;
- (5) social clubs (non-commercial);
- (6) fraternal associations and lodges (except college fraternities/sororities);
- (7) youth organizations;
- (8) civic associations;
- (9) veterans' organizations;
- (10) adult and/or senior daycare;
- (11) other similar uses.

### **3. LOT SIZE/OWNERSHIP TYPE:**

Private ownership of the CF site.  
Common HOA ownership of open space.

**4. SPECIAL DEVELOPMENT STANDARDS:**

- Setbacks:** Structures shall be set back a minimum of 30 feet from Carlsbad Village Drive (secondary arterial), and 20 feet from Victoria Drive. Minimum setback from the nearest adjacent residential building to the west shall be 30 feet.
- Building Height:** Maximum building height shall not exceed 24 feet to the peak of the roofline if a roof pitch of less than 3/12 is provided. Architectural projections are allowed. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.
- Lot Coverage:** N/A
- Parking:** Parking requirements for the future community facilities shall be per Section 21.44 of the Carlsbad Zoning Code or as required in the CF Zone Section 21.25.

**5. DESIGN CRITERIA:**

- Screening:** Open parking for the community facility shall be screened from the existing residences to the west through the use of a combination of evergreen landscaping and/or screen walls to the satisfaction of the Planning Director.
- Access:** Primary vehicular access to the site shall be taken from Victoria Drive, although a secondary access may be provided on Carlsbad Village Drive if approved by the City Engineer. No other vehicular access to the village shall be allowed.
- Architecture:** Strong architectural relief shall be incorporated into the design of the community facility structure.
- Trails:** The existing trail in the southern portion of the site shall be maintained by the Master HOA, however may be offered for dedication to the City for permanent public use. Some modification of its existing alignment at the community facility development is allowed.

**6. REQUIRED CITY PERMITS:**

Tentative Parcel Map; Hillside Development Permit; Conditional Use Permit if CF use other than daycare. If stand alone daycare use, a site development plan is required.

The City Council will be the final decision-making authority for all proposed uses within Village H.

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

- Visual Quality:** The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.
- Visual Quality:** The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.
- Visual Quality:** The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.
- Noise:** The project applicant shall construct noise barriers varying from three to four feet in height along the top of the pad slopes as shown in Figure 3D-5 of the EIR to ensure that exterior ground floor noise levels are reduced to 65 CNEL or less.
- Noise:** For those areas where ground- and/or second-floor exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's 45 dB(A) Leq(h) standard for schools. Forced-air circulation or air conditioning shall be provided for all buildings where it is necessary to keep windows closed in order to meet the City's interior noise standard.
- Paleontology:** During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.

**Hydrology:**

This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.

The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:

- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- Landscape all exposed, manufactured slopes per City of Carlsbad erosion control standards.
- Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.
- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.

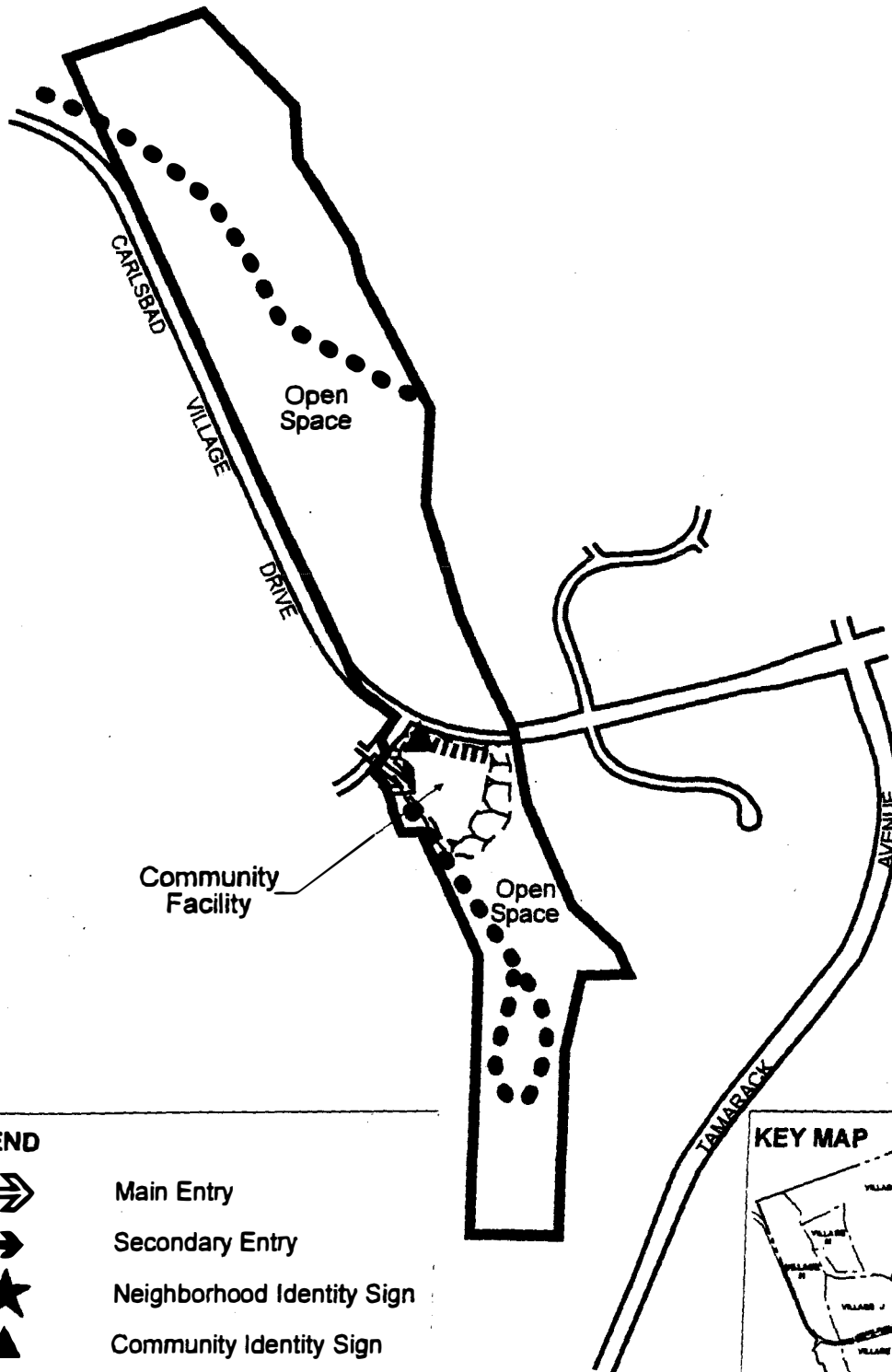
**8. PROJECT LEVEL CONDITIONS:**

- a. Development of the community facility project shall be required to design and construct the necessary improvements to Carlsbad Village Drive to provide for a smooth transition from four-lane design to two-lane design within the vicinity of Village H.

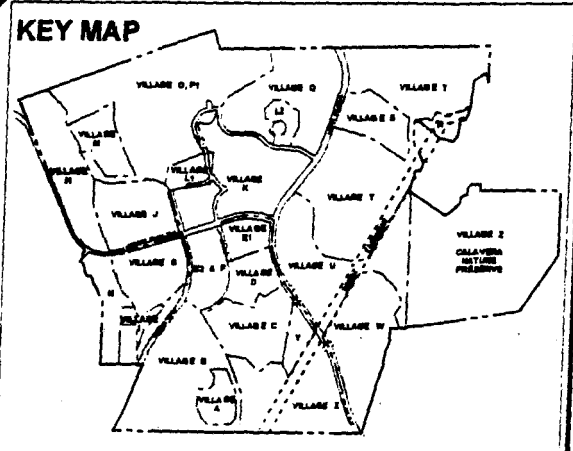
b. The community trail in this village shall be shown on the site development plan approved for the community facility use, and shall be installed and landscaped if determined appropriate prior to issuance of a certificate of occupancy of any structure on the site. Maintenance of the trail shall be the responsibility of the homeowner's association until the City agrees to accept maintenance as part of a citywide trail maintenance program.

c. Contour grading shall be utilized for embankment of the site for a natural terrain appearance. Revegetation of slopes adjacent to the open space with native plant materials, as permitted by the Fire Marshal shall be incorporated into the design.

d. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a certificate of occupancy for this village.



- LEGEND**
- Main Entry
  - Secondary Entry
  - Neighborhood Identity Sign
  - Community Identity Sign
  - Noise Wall
  - Views
  - Public Trail





## **C. VILLAGE I**

### **1. DESCRIPTION:**

Although technically not a Phase II village, the Village I RV Storage lot layout will be modified as a result of Phase II development.

Village I is located along the west side of Tamarack Avenue, immediately north of the existing Calavera Hills Sewer Plant. Village I has a gross acreage of 2.5 acres in size. It is presently developed as a Recreational Vehicle (RV) Storage Lot for use and benefit of the residents of the Calavera Hills Master Plan. The current capacity of the lot contains 40,234 sq. ft. (0.92 ac.) of RV storage spaces, exclusive of driveways and approaches.

At buildout, Calavera Hills will contain approximately 2093 planned development units (Villages A and Y excluded as non-planned developments), which results in an overall requirement of approximately .96 acres of RV Storage parking spaces, exclusive of driveways and approaches. With a program of re-striping to increase the area of parking spaces by a minimum of .04 ac., the RV Storage site will be adequate to serve the planned development requirements of both Phases I and II of Calavera Hills. This restriping program shall be completed prior to occupancy of the first residential unit within Phase II.

### **2. USE ALLOCATION:**

Open Space (OS)

General Plan Land Use:

OS

Zoning District:

OS

Growth Control Point:

N/A

Calavera Hills Master Plan:

Allows one RV Storage Lot

### **3. LOT SIZE/OWNERSHIP TYPE:**

Private ownership. Operated and maintained by the Calavera Hills Recreational Vehicle Park Corp.

### **4. SPECIAL DEVELOPMENT STANDARDS:**

Setbacks:

Structure set back a minimum of 30 feet from Carlsbad Village Drive (secondary arterial), and 20 feet from Victoria Drive. Minimum setback from the nearest residential building to the west shall be 30 feet.

Accessory Bldg.:

A single accessory office building is allowed for use in lot management.

**5. DESIGN CRITERIA:**

Screening:	The RV Storage Lot shall be screened by landscaping along Tamarack Avenue to the degree possible.
Access:	Vehicular access to the site shall be via an existing shared driveway (shared with the Calavera Hills Sewer Plant) off Tamarack Ave.
Size:	RV Storage Lot to accommodate required RV spaces for up to 2400 planned development units as required by the City of Carlsbad.
Trails:	No community trails are required of this village.

**6. REQUIRED CITY PERMITS:**

An amendment to the Conditional Use Permit approved by the Planning Commission is required for expansion or modification of the RV Storage Lot.

**7. RV STORAGE ALLOCATION:**

Calavera Hills Phase I:	1,452 units (Village A standard subdivision not subject to RV Storage requirement)	9,040 sq. ft.	0.66 ac.
Calavera Hills Phase II:	641 units (Village Y apartments not subject to RV Storage requirement)	12,820 sq. ft.	0.28 ac.
Total:	2,093 units	41,860 sq. ft.	0.94 ac.

**8. PROJECT LEVEL CONDITIONS:**

- a. Expansion of the RV Storage Lot to provide sufficient parking for 2400 dwelling units is required. The Conditional Use Permit for the expansion shall be approved prior to approval of the first final map for any individual Phase II village. The expansion improvements shall be completed prior to the issuance of building permits for any of the Phase II village residential units.

**CALAVERA HILLS MASTER PLAN  
AMENDMENT MP-150(H) and (I)**

**VILLAGE I**

Proposed  
Village H  
(Open Space)

Existing  
Village G

Existing  
Sewer Plant

Existing  
Village B

AVENUE

TAMARACK

**LEGEND**



Main Entry



Secondary Entry



Neighborhood Identity Sign



Community Identity Sign



Noise Wall



Views



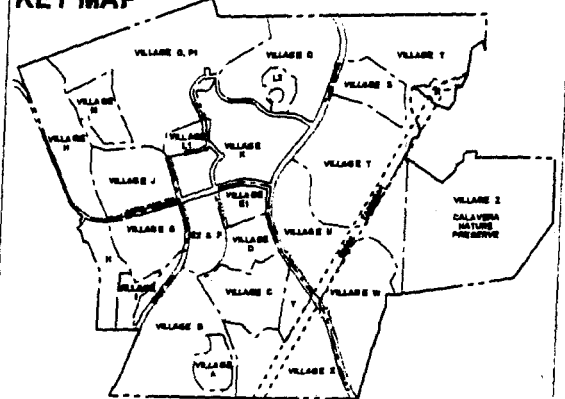
Public Trail

NO SCALE

PLANNING  
SYSTEMS



**KEY MAP**



**VILLAGE I  
EXHIBIT 25**



**D. VILLAGE K**

**1. DESCRIPTION:**

Village K is located along the north side of Carlsbad Village Drive between College Boulevard and Tamarack Avenue as shown on Exhibit 23. Village K has a gross planning area of 51.5 acres and a net developable area of 16.95 acres. The southern portion of Village K will remain undeveloped open space as a biological habitat corridor, while the northern portion will be developed with detached single family homes.

- 2. USE ALLOCATION:** Detached Single Family Residential
- General Plan Land Use: OS on the southern portion of the site;
- Zoning District: R-1  
OS (Open space corridor)
- Growth Control Point: 6.0 du/ac
- Calavera Hills Master Plan: Allows a maximum of 88 detached

- 3. LOT SIZE / OWNERSHIP TYPE:** Minimum 4,000 sq. ft. lots; Single lot ownership

**4. SPECIAL DEVELOPMENT STANDARDS:**

- Setbacks: All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in Chapter VIII(B)(2) of this Master Plan.
- Building Height: Maximum building height for Two-story and Reduced second story homes shall not exceed 30 feet in height. Dormer two story homes shall not exceed 22 feet. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** Each village shall provide a minimum of 200 square feet of recreation space per unit. Single family villages shall provide a minimum of 100 square feet of recreation space per unit in active centralized common facilities. The remaining 100 square feet may be provided in rear yards of single family lots provided that a minimum flat area of 18-feet X 18-feet exists for all 2 story home lots, a minimum flat area of 18-feet by 15-feet exists for all partial-second story home lots, and a minimum flat area of 15-feet X 15-feet exists for all single story and dormer two story homes lots. No architectural encroachments shall be allowed within this private rear yard area.

This neighborhood shall include as common active facilities; at least one List A recreation facility and two List B recreation facilities, or as an alternative, three List B recreation facilities (reference Chap. VIII(B)(2)(J) of this Master Plan). The facilities shall be dispursed throughout the villages, or located in a single large common area.

## **5. DESIGN CRITERIA:**

**Access:** Vehicular access to the site shall be taken from Tamarack Avenue. No access through the designated open space shall be allowed.

**Architecture:** Architecture will be reviewed for compliance with Chapter VIII of this Master Plan. Building facades should be varied and articulated to provide visual interest in the streetscape.

Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120 of the Carlsbad Zoning Code. Compliance with this requirement shall be assessed and determined at the time of entitlement approval for this village.

A fence/trellis plan shall be approved in conjunction with the PUD permit for this village.

**Fire Suppression:** Along the southern perimeter of this village in locations where residences immediately abut native or restored natural vegetation, a fire suppression program shall be implemented as identified in Chapter VIII(D)(7) and as shown on Exhibits 16 and 17 of this Master Plan.

Trails: No community trails are required of this village.

**6. REQUIRED CITY PERMITS:**

Tentative tract map and PUD Permit; Hillside Development Permit in conjunction with Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

Visual Quality: The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

Visual Quality: The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.

Visual Quality: The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.

Noise: A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.

Noise: If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of the CMC.

- Noise: Exterior Noise Levels -The project applicant shall construct noise barriers varying from three to five feet in height along the top of the pad slopes as shown in Figure 3D-7 of the EIR to reduce significant, noise levels at all ground-floor usable areas within the village to 60 CNEL or below.
- Noise: Interior Noise Levels -Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations.
- Noise: At the time building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required demonstrating that interior noise levels due to exterior sources will be below the 45 CNEL interior standard.
- Noise: For those areas where exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's interior standard of 45 CNEL and forced-air circulation or air conditioning is required.
- Paleontology: During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.
- Hydrology: This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.

Hydrology  
(Cont.):

The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:

- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- Landscape all exposed, manufactured slopes per City of Carlsbad erosion control standards.
- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.

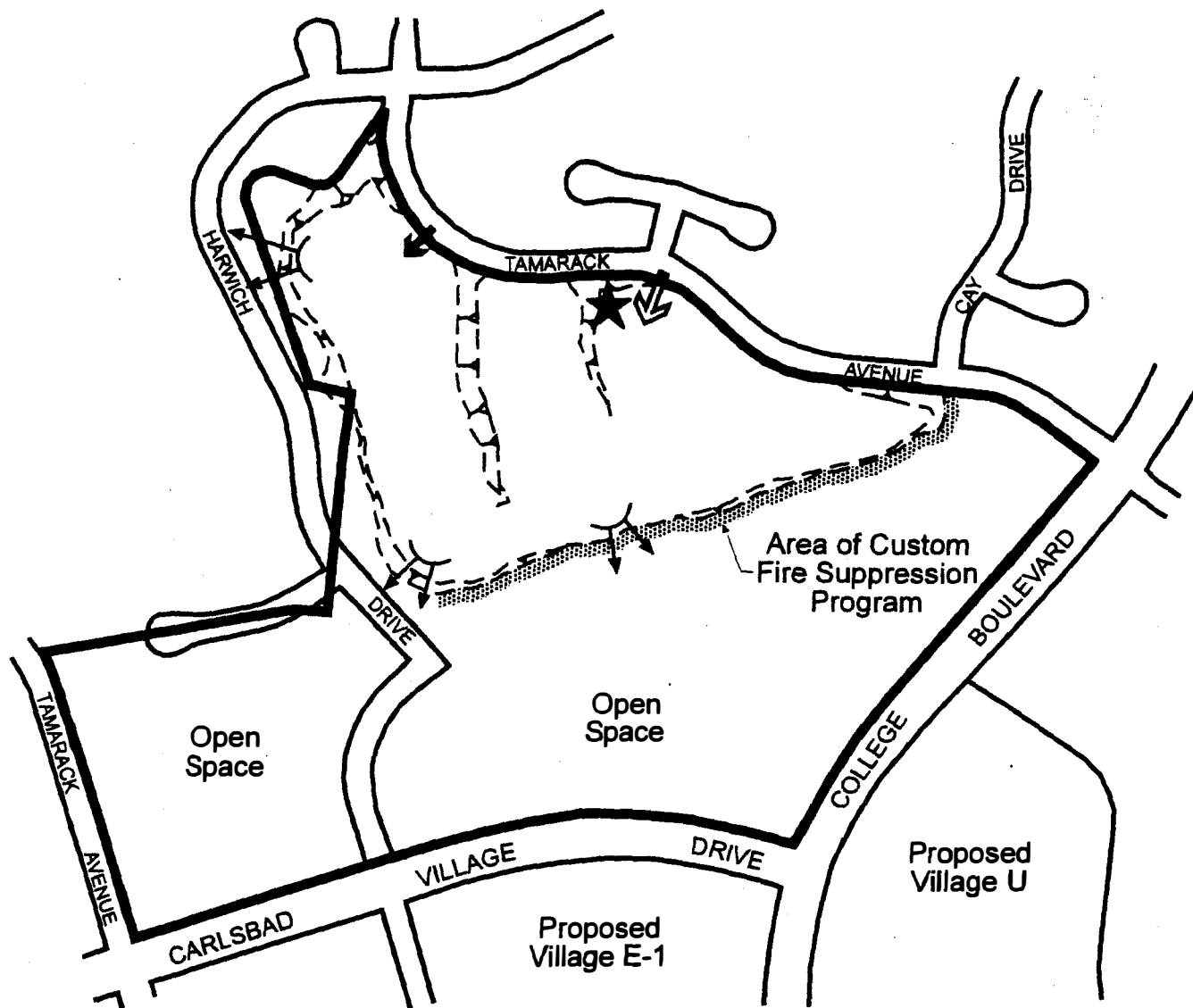
**8. PROJECT LEVEL CONDITIONS:**

a. A perimeter wall shall be provided along the southern top of slope adjacent to the open space preserve. This wall shall be designed in accordance with the Village K and X Environmental Fence design demonstrated in Chapter VIII. A village fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.

b. Contour grading where required by the Hillside Ordinance shall be utilized for excavation of the site for a natural terrain appearance on the southern exposure of the site. Revegetation of slopes adjacent to the open space with native plant materials, as permitted by the Fire Marshal shall be incorporated into the design.

c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a C of O for this village.



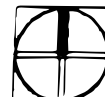
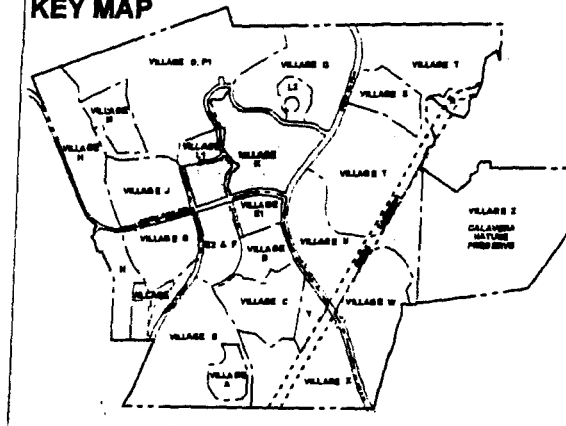


LEGEND

- Main Entry
- Secondary Entry
- Neighborhood Identity Sign
- Community Identity Sign
- Noise Wall
- Views
- Public Trail



KEY MAP



**E. VILLAGE L-2**

**1. DESCRIPTION:**

Village L-2 is located along Cay Drive, and wraps partially around the north and east sides of the Calavera Hills Water Storage tank as shown on Exhibit 24. Village L-2 has a gross area of 6.2 acres and a net developable area pursuant to the Zone 7 constraints calculation of 5.2 acres. Village L-2 will be developed with single family detached residences.

**2. USE ALLOCATION:** Detached Single Family Residential

General Plan Land Use: RLM (0-4 du/ac)

Zoning District: R-1

Growth Control Point: 3.2 du/ac

Calavera Hills Master Plan: Allows a maximum of 15 detached residential units on this site.

**3. LOT SIZE / OWNERSHIP TYPE:** Minimum 4,000 sq. ft. lots; Single lot ownership

**4. SPECIAL DEVELOPMENT STANDARDS:**

**Setbacks:** All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in Chapter VIII(B)(2) of this Master Plan.

**Building Height:** Maximum building height for Two-story and Reduced second story homes shall not exceed 30 feet in height. Dormer single story homes shall not exceed 22 feet. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** Each village shall provide a minimum of 200 square feet of recreation space per unit. Single family villages shall provide a minimum of 100 square feet of recreation space per unit in active centralized common facilities. The remaining 100 square feet may be provided in rear yards of single family lots provided that a minimum flat area of 18-feet X 18-feet exists for all 2 story home lots, a minimum flat area of 18-feet by 15-feet exists for all partial-second story home lots, and

Recreation Area (Cont.): a minimum flat area of 15-feet X 15-feet exists for all single story and dormer two story homes lots. No architectural encroachments shall be allowed within this private rear yard recreation area.

Common active recreation facilities are limited to; swimming pool with cabana, children's playground facilities, spa facility, tennis court, putting green, volleyball court, horseshoe pits, bocce ball and/or recreation rooms and buildings. The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

**5. DESIGN CRITERIA:**

Access: Vehicular access to the site shall be taken off of Cay Drive.

Architecture: Architecture will be reviewed for compliance with Chapter VIII(A) and VIII(B) of this Master Plan. Building facades should be varied and articulated to provide visual interest in the streetscape.

Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120 of the Carlsbad Zoning Code.

A fence/trellis plan shall be approved in conjunction with the PUD permit for this village.

Fire Suppression: Along the perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.

Trails: No community trails are required of this village.

**6. REQUIRED CITY PERMITS:**

Tentative tract map and PUD Permit; Hillside Development Permit in conjunction with Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

- Visual Quality:** The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.
- Visual Quality:** The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.
- Visual Quality:** The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.
- Noise:** A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.
- Noise:** If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of CMC.
- Paleontology:** During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of a fossil to facilitate evaluation and, if necessary, salvage.

**Hydrology:**

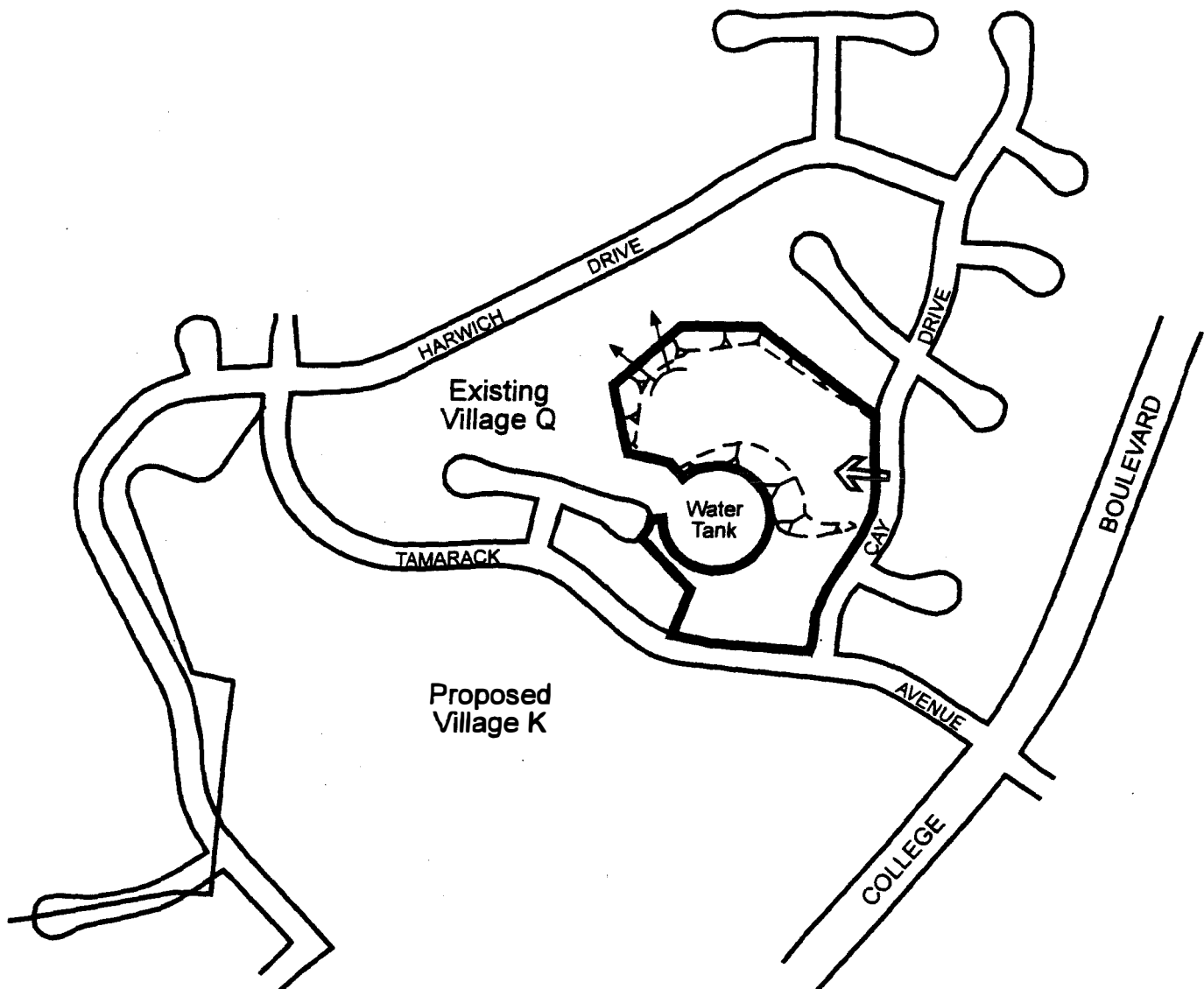
This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP. The project shall adhere to the regulations of the NPDES permit including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:

- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until storm drains are in place and streets paved.
- Landscape all exposed manufactured slopes per City of Carlsbad erosion control standards.
- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.








**8. PROJECT LEVEL CONDITIONS:**

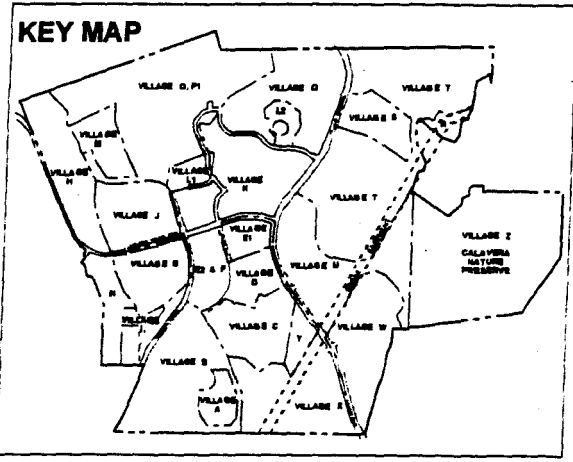
- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. Contour grading shall be utilized for excavation of the site for a natural terrain appearance where required by the Hillside Ordinance. Revegetation of slopes adjacent to the open space to the north with native plant materials, as permitted by the Fire Marshal shall be incorporated into the design.
- c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.

# VILLAGE L-2



## LEGEND

-  Main Entry
-  Secondary Entry
-  Neighborhood Identity Sign
-  Community Identity Sign
-  Noise Wall
-  Views
-  Public Trail



**F. VILLAGE R**

**1. DESCRIPTION:**

Village R is a small planning area located at the terminus of Gorge Place as shown on Exhibit 25. Village R has a gross area of 5.1 acres and a net developable area pursuant to the Zone 7 constraints calculation of 2.7 acres. Village R will be developed with detached single family homes.

- 2. USE ALLOCATION:** Detached Single Family Residential
- General Plan Land Use: RM (4-8 du/ac)
- Zoning District: R-1  
OS (Open space area east of easement)
- Growth Control Point: 6.0 du/ac
- Calavera Hills Master Plan: Allows a maximum of 4 detached residential units on this site.
- 3. LOT SIZE / OWNERSHIP TYPE:** Minimum 5,000 sq. ft. lots; Single lot ownership

**4. SPECIAL DEVELOPMENT STANDARDS:**

**Setbacks:** All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in Chapter VIII(B)(2) of this Master Plan.

**Building Height:** Maximum building height for Two-story and Reduced second story homes shall not exceed 30 feet in height. Dormer single story homes shall not exceed 22 feet. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** Pursuant to Chapter 21.45.090(g). Minimum ratio of 200 square feet per unit, combination of common active and private passive rear yards. Qualifying private yards shall have a minimum dimension of 15 feet with a slope not greater than 15%. May utilize adjacent Village T common facilities for active credit if compliance with 21.45.090(g) maintained.

**5. DESIGN CRITERIA:**

**Access:** Vehicular access to the site shall be taken off Gorge Place.

**Architecture:** Architecture will be designed to be compatible with the present Village T architecture of the area. The design will be reviewed for compliance with Chapter VIII(A) and VIII(B) of this Master Plan.

A fence/trellis plan shall be approved in conjunction with the PUD permit for this village.

**Fire Suppression:** Along the perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.

**Trails:** No community trails are required of this village.

**6. REQUIRED CITY PERMITS:**

Tentative parcel map, Hillside development permit and PUD Permit

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

**Noise:** A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.

**Visual Quality:** The development shall Implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

**Visual Quality:** The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.

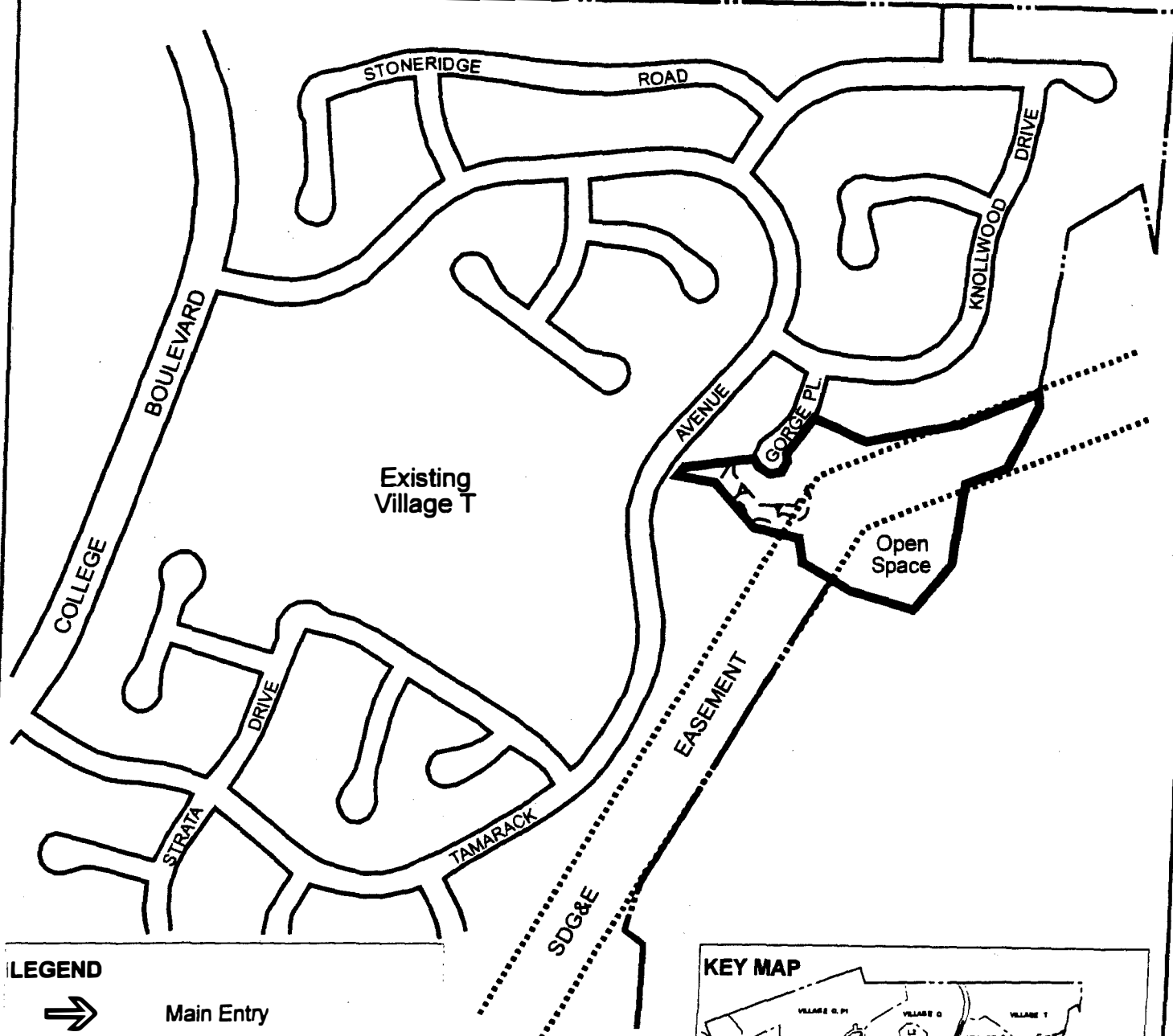


- Visual Quality:** The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.
- Paleontology:** During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.
- Hydrology:** This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.
- The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:
- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
  - Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
  - Landscape all exposed manufactured slopes per City of Carlsbad erosion control standards.
  - Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.








- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.

**8. PROJECT LEVEL CONDITIONS:**

- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. Contour grading shall be utilized for excavation of the site for a natural terrain appearance where required by the Hillside Ordinance. Revegetation of slopes adjacent to the open space to the north with native plant materials, as permitted by the Fire Marshal shall be incorporated into the design.
- c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.

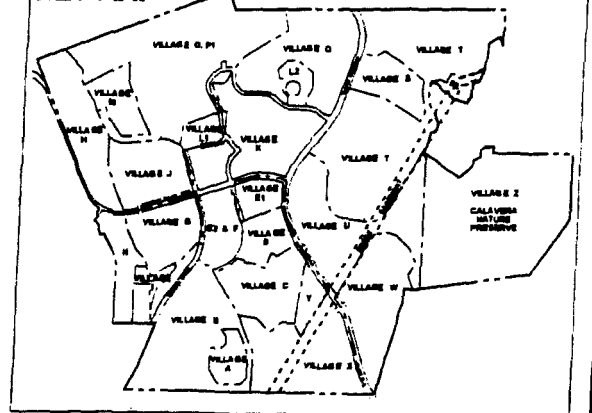


LEGEND

-  Main Entry
-  Secondary Entry
-  Neighborhood Identity Sign
-  Community Identity Sign
-  Noise Wall
-  Views
-  Public Trail



KEY MAP



## **G. VILLAGE U**

### **1. DESCRIPTION:**

Village U is located along the east side of the future College Boulevard at the terminus of Carlsbad Village Drive. Village U is bordered on the north by the biological conservation corridor, with Village T on the opposite side of this corridor, and on the south by the San Diego Gas & Electric powerline easement, with future Village W beyond, as shown on Exhibit 26. Village U has a gross area of 61.8 acres and a net developable area pursuant to the Zone 7 constraints analysis of 13.5 acres. Village U will be developed with multi family housing.

- 2. USE ALLOCATION:** Multi-family residential - (PD  
(Planned Development)
- General Plan Land Use: RMH (8-15 du/ac)
- Zoning District: RD-M  
OS (Open space corridor)
- Growth Control Point: 11.5.0 du/ac
- Calavera Hills Master Plan: Allows a maximum of 179 attached  
residential units on this site
- 3. LOT SIZE / OWNERSHIP TYPE:** N/A. Airspace ownership  
(Condominiums) Lots owned in  
common.

### **4. SPECIAL DEVELOPMENT STANDARDS:**

**Setbacks:** A minimum structural setback from College Boulevard of 40 feet shall be maintained. All setbacks shall be in accordance with Chapter 21.45 of the Zoning Ordinance except as may be provided in Chapter VIII(C)(2) of this Master Plan. Structural setbacks from the top of the easterly manufactured slope shall be a minimum 15 feet.

As indicated in Chapter VIII(C)(2) of this Master Plan, the front yard setback for units in this village shall be measured from the right-of-way line in the case of a public street and from the back of sidewalk in the case of a private street or private driveway. In specific locations where the City requires that the sidewalk be

**Setbacks (Cont.):**      discontiguous to the curb (meanders away from the curb), the setback shall be measured from a point 5 feet back from the curb. Motor court style developments may have a building separation of 10 feet if the front facade massing is separated by a minimum of 22 feet wide and at least 10 feet deep.

**Building Height:**      Maximum building height shall not exceed 35 feet to the peak of the roofline. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:**      Recreation areas shall be provided at a minimum of 100 square feet per unit in common active facilities. In addition, each separate building shall provide an average 100 square feet per unit in private rear yards or balconies. Private balconies utilized for private recreation credit shall maintain a minimum 60 square feet in size.

Common active recreation facilities are limited to; swimming pool with cabana, children's playground facilities, spa facility, tennis court, putting green, volleyball court, horseshoe pits, bocce ball and/or recreation rooms and buildings. This multi family neighborhood shall include as common active facilities, at least one List A recreation facility and two List B recreation facilities (reference Chap. VIII(2)(J) of this Master Plan). The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

## **5. DESIGN CRITERIA:**

**Access:**      Vehicular access to the site shall be taken off of College Boulevard. The northerly access should align directly with Carlsbad Village Drive. Gates are allowed, subject to approval of the City Engineer.

**Architecture:**      Compliance with Chapter VIII(A) and VIII(C) of this Master Plan is required. Strong architectural relief shall be incorporated into the design of the residential structures.

Architecture  
(Cont.)

Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120 of the Carlsbad Zoning Code. Compliance with this requirement shall be assessed and determined at the time of approval for this village.

A fence/trellis plan shall be approved in conjunction with the condominium permit for this village.

Fire Suppression:

Along the perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.

Trails:

A community trail shall be installed through the length of the northerly open space corridor as permitted by the US Fish & Wildlife Service, in conjunction with development of this village.

Mass Transit:

Bus stop facilities shall be provided near the southerly entrance to Village U.

**6. REQUIRED CITY PERMITS:**

Tentative tract map and Condominium Permit; Hillside Development Permit in conjunction with Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

Visual Quality:

The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

Visual Quality:

The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.

- Visual Quality:** The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.
- Noise:** A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.
- Noise:** If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of the City's Municipal Code.
- Noise:** Exterior Noise Levels - The project applicant shall construct noise barriers varying from five to twelve feet in height along the edge of College Boulevard as shown in Figure 3D-9 of the EIR to reduce noise levels at all ground-floor usable areas within Village U to 60 CNEL or below. Moreover, if additional points of access from College Boulevard and, as a consequence, additional breaks are required, no usable exterior areas shall be placed adjacent to those breaks.
- Noise:** Interior Noise Levels – Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations. The following mitigation is required:
- a) At the time that building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required demonstrating that interior noise levels due to exterior sources will be below the 45 CNEL interior standard.

Noise (Cont.)	b) For those areas where exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's interior standard of 45 CNEL and forced-air circulation or air conditioning is required.
Paleontology:	During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.
Hydrology:	This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.
Hydrology:	<p>The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction to reduce runoff and minimize erosion:</p> <ul style="list-style-type: none"> <li>• Comply with current drainage design policies set forth in the City of Carlsbad procedures.</li> <li>• Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.</li> <li>• Landscape all exposed, manufactured slopes per City of Carlsbad erosion control standards.</li> <li>• Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.</li> </ul>



**8. PROJECT LEVEL CONDITIONS:**

- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other appropriate means.
- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. The community trail in this village shall be shown on the site development plan approved for the community facility use, and shall be installed and landscaped if determined appropriate prior to issuance of a certificate of occupancy of any structure on the site.
- c. Development of the residences in this project shall be required to design and construct full-width improvements to College Boulevard along the frontage of this project.
- d. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.

## VILLAGE U



## **H. VILLAGE W**

### **1. DESCRIPTION:**

Village W is located in the southeast corner of the Calavera Hills Master Plan, east of future College Boulevard and south of the San Diego Gas & Electric easement as shown on Exhibit 27. Village W has a gross area of 36.2 acres and a net developable area pursuant to the Zone 7 LFMP constraints analysis of 23.9 acres. Village W will be developed with single family detached residential housing.

### **2. USE ALLOCATION:** Detached Single Family Residential

General Plan Land Use: OS on the northeastern portion of the site;  
RM (4-8 du/ac) on the remainder.

Zoning District: R-1  
OS (Open space corridor)

Growth Control Point: 6.0 du/ac

Calavera Hills Master Plan: Allows a maximum of 121 detached residential units on the residential portion of this site.

### **3. LOT SIZE / OWNERSHIP TYPE:** Minimum 4,000 sq. ft. lots; Single lot ownership

### **4. SPECIAL DEVELOPMENT STANDARDS:**

Setbacks: All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in Chapter VIII(B)(2) of this Master Plan.

Building Height: Maximum building height for Two-story and Reduced second story homes shall not exceed 30 feet in height. Dormer two story homes shall not exceed 22 feet. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** Each village shall provide a minimum of 200 square feet of recreation space per unit. Single family villages shall provide a minimum of 100 square feet of recreation space per unit in active centralized common facilities. The remaining 100 square feet may be provided in rear yards of single family lots provided that a minimum flat area of 18-feet X 18-feet exists for all 2 story home lots, a minimum flat area of 18-feet by 15-feet exists for all partial-second story home lots, and a minimum flat area of 15-feet X 15-feet exists for all single story and dormer two story homes lots. No architectural encroachments shall be allowed within this private rear yard recreation area.

This neighborhood shall include as common active facilities; at least one List A recreation facility and two List B recreation facilities, or as an alternative, three List B recreation facilities (reference Chap. VIII(B)(2)(J) of this Master Plan). The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

## **5. DESIGN CRITERIA:**

**Access:** Vehicular access to the site shall be taken off of College Boulevard.

**Architecture:** Architecture will be reviewed for consistency with the Small Lot Architectural Guidelines, with the exception of specific regulation flexibility as indicated in Chapter VIII(B)(2) of this Master Plan. Building facades should be varied and articulated to provide visual interest in the streetscape. Front porches are encouraged. Garages should be positioned to reduce their dominance as much as feasible.

Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120 of the Carlsbad Zoning Code. Compliance with this requirement shall be assessed and determined at the time of entitlement approval for this village.

A fence/trellis plan shall be approved in conjunction with the PUD permit for this village.

**Landscaping:** A planted retaining wall up to 12 feet in height may be allowed on rear yards of certain lots in which a finding is made that provision of the wall decreases the amount of grading involved to create the lot, and additional natural open space is protected.

**Fire Suppression:** Along the perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.

**Trails:** A community trail shall be installed in a north-south direction through the open space along the eastern portion of the village, along the sewer line easement, as permitted by the USF&WS. Maintenance of the trail shall be the responsibility of the homeowner's association until the City agrees to accept maintenance as part of a citywide trail maintenance program.

**6. REQUIRED CITY PERMITS:**

Tentative tract map and PUD Permit; Hillside Development Permit in conjunction with Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

**Visual Quality:** The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

**Visual Quality:** The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.

**Visual Quality:** The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.

- Noise: A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.
- Noise: If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the City's Municipal Code limiting allowable hours of activities. The allowable hours of activities associated with blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of the City's Municipal Code.
- Noise: Exterior Noise Levels – To reduce significant exterior noise to residential uses, the project applicant shall construct noise barriers varying from five to eleven feet in height along the edge of College Boulevard as shown in Figure 3D-11 of the EIR to ensure that noise levels at all ground-floor usable areas within the village would be at or below 60 CNEL. Moreover, if additional points of access from College Boulevard and, as a consequence, additional breaks are required, no usable exterior areas shall be placed adjacent to those breaks.
- Noise: Interior Noise Levels – Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations. Therefore, the following mitigation is required:

Noise (Cont.)

a) At the time building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required demonstrating that interior noise levels due to exterior sources will be at or below the 45 CNEL interior standard.

b) For those areas where exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's interior standard of 45 CNEL and forced-air circulation or air conditioning is required.

Paleontology:

During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.

Hydrology:

This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.

Hydrology:

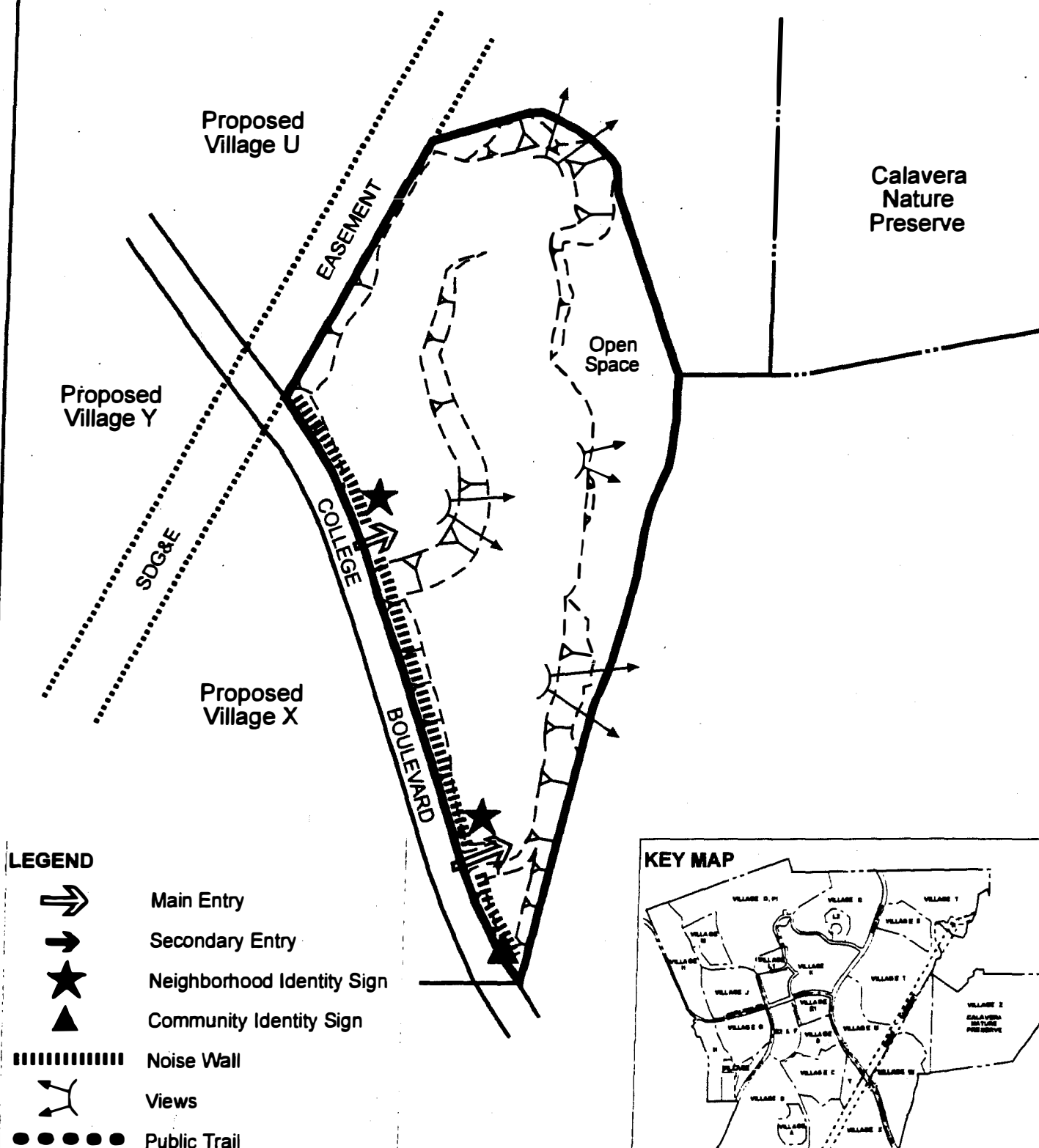
The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be implemented during construction to reduce runoff and minimize erosion:

- Comply with current drainage design policies set forth in the City of Carlsbad procedures.

## 8. PROJECT LEVEL CONDITIONS:

- Hydrology (Cont.)
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
  - Landscape all exposed, manufactured slopes per City of Carlsbad erosion control standards.
  - Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.
  - Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other means.
- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. The community trail in this village shall be shown on the site development plan approved for the community facility use, and shall be installed and landscaped if determined appropriate prior to issuance of a certificate of occupancy of any structure on the site. Maintenance of the trail shall be the responsibility of the homeowner's association until the City agrees to accept maintenance as part of a citywide trail program.
- c. Development of the residences in this project shall be required to design and construct full-width improvements to College Boulevard along the frontage of this project.
- d. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.





**LEGEND**

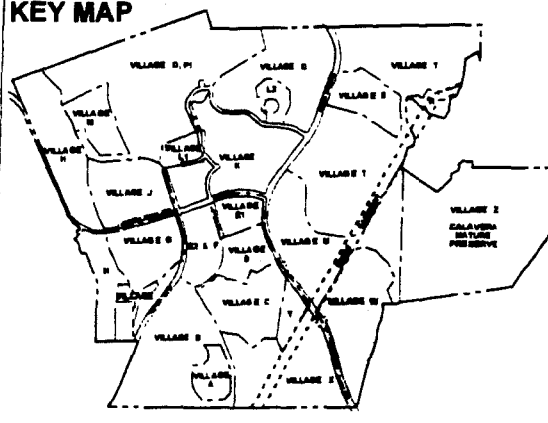
- Main Entry
- Secondary Entry
- Neighborhood Identity Sign
- Community Identity Sign
- Noise Wall
- Views
- Public Trail



PLANNING  
SYSTEMS



**KEY MAP**



## **I. VILLAGE X**

### **1. DESCRIPTION:**

Village X is located in the southern portion of the Master Plan area, west of the future College Boulevard. Village X is bisected by the San Diego Gas & Electric easement as shown on Exhibit 28. It has a gross area of 52.7 acres and a net developable area pursuant to the Zone 7 LFMP constraints analysis of 25.1 acres. The portion of Village X west of the SDG&E easement will remain undeveloped open space, while the portion east of the easement will be developed with single family detached housing.

- 2. USE ALLOCATION:** Detached Single Family Residential
- General Plan Land Use: OS on the western portion of the site;  
RM (4-8 du/ac) on the remainder.
- Zoning District: R-1  
OS (Open space corridor)
- Growth Control Point: 6.0 du/ac
- Calavera Hills Master Plan: Allows a maximum of 117 detached residential units on this site.
- 3. LOT SIZE / OWNERSHIP TYPE:** Minimum 4,000 sq. ft. lots; Single lot ownership
- 4. SPECIAL DEVELOPMENT STANDARDS:**
- Setbacks: All single family detached residential development within Phase II shall comply with the requirements of Chapter 21.45 (Planned Development) unless specifically modified by the standards indicated in Chapter VIII(B)(2) of this Master Plan.
- Building Height: Maximum building height for Two-story and Reduced second story homes shall not exceed 30 feet in height. Dormer two story homes shall not exceed 22 feet. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.
- Recreation Area: Each village shall provide a minimum of 200 square feet of recreation space per unit. Single family villages shall provide a minimum of 100 square feet of recreation space per unit in active centralized common facilities. The remaining 100 square feet may be provided in rear yards of single family lots provided

Recreation Area  
(Cont.):

that a minimum flat area of 18 - feet X 18 - feet exists for all 2 story home lots, a minimum flat area of 18-feet by 15-feet exists for all partial-second story home lots, and a minimum flat area of 15-feet X 15-feet exists for all single story and dormer two story homes lots. No architectural encroachments shall be allowed within this private rear yard recreation area.

This neighborhood shall include as common active facilities; at least one List A recreation facility and two List B recreation facilities, or as an alternative, three List B recreation facilities (reference Chap. VIII(B)(2)(J) of this Master Plan). The facilities shall be dispersed throughout the villages, or located in a single large common area, with convenient parking.

## 5. DESIGN CRITERIA:

Access: Access to the site shall be taken off of College Blvd.

Architecture: Architecture shall be reviewed for compliance with Chapter VIII of this Master Plan.

A fence/trellis plan shall be approved in conjunction with the PUD permit for this village.

Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120. Compliance with this requirement shall be determined at the time of approval for this village.

Fire Suppression: Along the eastern perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.

Along the southern perimeter of this village, a fire suppression program shall be implemented as identified in Chapter VIII(2)(D)(7) and as shown on Exhibits 16 and 17 of this Master Plan. This fire suppression program involves thinning of vegetation on an offsite property owned by the same owner as Village X.

Trails: No community trails are required of this village.

**6. REQUIRED CITY PERMITS:**

Tentative tract map and PUD Permit; Hillside Development Permit in conjunction with Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

Visual Quality: The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

Visual Quality: The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.

Visual Quality: The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.

Noise: A Noise Impact Notification form #2 shall be executed by the developer prior to approval of the Individual Final Map for this project. All future owners of real property in this village shall be notified of the proximity of Palomar Airport.

Noise: If earthwork blasting is proposed, the project shall conform to San Diego County Blasting Ordinance Title 3, Division 5, Chapter III County Code of Regulatory Ordinances Sections 35.377.101-104, 35.377.301(a), 35.377.306 and 35.377.307) to reduce the temporary noise impacts due to blasting and Section 8.48.010 of the CMC limiting allowable hours of activities. The allowable hours of activities associated with blasting will be from 9:00 A.M. to 4:30 P.M. or one-half hour before sunset, whichever comes first, Monday through Friday. No blasting will be allowed on weekends or on the holidays specified in section 8.48.010 of the Code.

Noise:

Exterior Noise Levels –To reduce significant ground-floor exterior noise levels for residential use areas, the project applicant shall construct noise barriers varying from five to nine feet in height along the top of the slope as shown in Figure 3D-11 in the EIR. This measure reduces noise levels at all ground-floor usable areas within the village to a level at or below 60 CNEL. Moreover, if additional points of access from College Boulevard and, as a consequence, additional breaks are required, no usable exterior areas shall be placed adjacent to those breaks. Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations. Therefore, the following mitigation is required:

Noise:

Interior Noise Levels – a) At the time building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required demonstrating that interior noise levels due to exterior sources will be at or below the 45 CNEL interior standard.

b) For those areas where exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's interior standard of 45 CNEL and forced-air circulation or air conditioning is required.

Paleontology:

During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of an exposed fossil to facilitate evaluation and, if necessary, salvage.

Hydrology:

This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance

Hydrology  
(Cont.):

system, development and implementation of a monitoring and reporting program to assess the SWPPP. The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be implemented during construction to reduce runoff and minimize erosion:

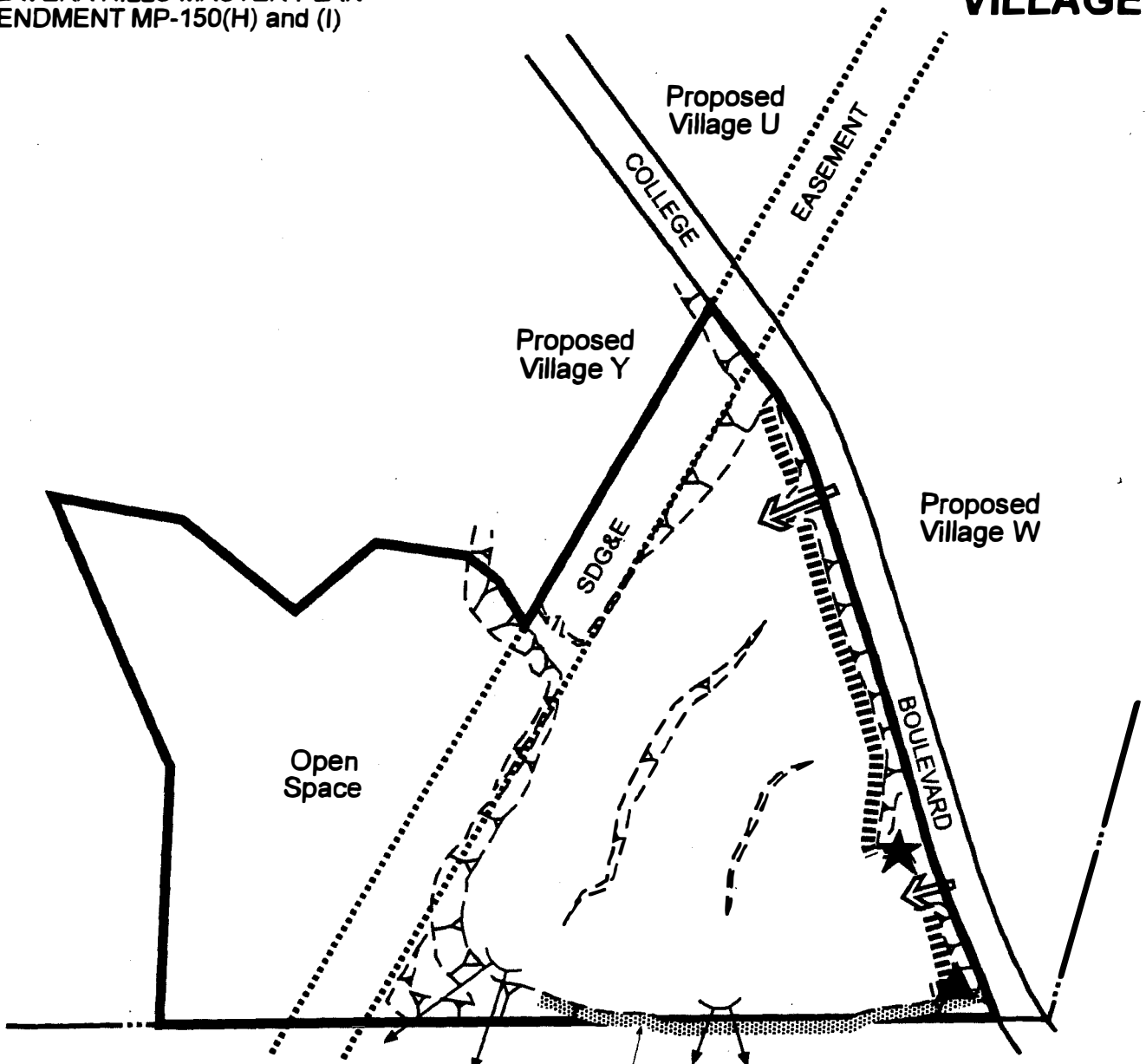
- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- Landscape all exposed manufactured slopes per City of Carlsbad erosion control standards.
- Phase grading operations and slope landscaping to reduce the susceptibility of slopes to erosion.
- Control sediment production from graded building pads with low perimeter berms, basins, jute matting, sandbags, bladed ditches, or other means.

**8. PROJECT LEVEL CONDITIONS:**








a. A perimeter wall shall be provided along the southern top of slope adjacent to the open space preserve. This wall shall be designed in accordance with the Village K and X Environmental Fence design demonstrated in Chapter VIII. A village fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.

b. Development of this project shall be required to design and construct full-width improvements to College Blvd. along frontage of this project.

c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.

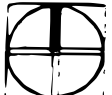
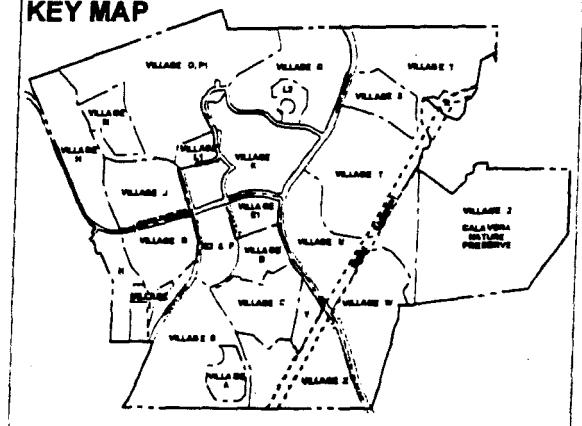


LEGEND

-  Main Entry
-  Secondary Entry
-  Neighborhood Identity Sign
-  Community Identity Sign
-  Noise Wall
-  Views
-  Public Trail

Area of Custom  
Fire Suppression  
Program

KEY MAP



**J. VILLAGE Y**

**1. DESCRIPTION:**

Village Y is located between the existing Cape community to the north and the future College Boulevard and San Diego Gas and Electric easement to the east as shown on Exhibit 29. Village Y has a gross area of 9.1 acres and a net developable area pursuant to the Zone 7 LFMP constraints analysis of 7.6 acres. Village Y will be developed to satisfy affordable housing requirements with multi-family housing.

**2. USE ALLOCATION:**

**Multi-family Residential and  
Community Facilities**

**General Plan Land Use:**

**RH (15-21 du/ac)  
CF (Community Facilities)**

**Zoning District:**

**R-3 - Affordable Housing site  
CF - Community Facilities site**

**Growth Control Point:**

**19.0 du/ac**

**Calavera Hills Master Plan:**

**Allows a maximum of 140 attached residential units on this site. This site is intended to accommodate housing which qualifies as affordable pursuant to Section 21.85 of the Carlsbad Municipal Code. Also allows a 1.0 acre Community Facilities use.**

**Permitted Uses on CF Parcel:**

- (1) Child daycare**
- (2) Churches, synagogues, temples and other places of worship;**
- (3) religious reading room;**
- (4) welfare and charitable services with no permanent residential uses;**
- (5) social clubs (non-commercial);**
- (6) fraternal associations and lodges (except college fraternities/sororities);**
- (7) youth organizations;**
- (8) civic associations;**
- (9) veterans' organizations;**
- (10) adult and/or senior daycare;**
- (11) other similar uses.**



3. **LOT SIZE / OWNERSHIP TYPE:** This is a single-lot apartment project, under single ownership.

The Community Facilities site is also a single lot, under single ownership.

4. **SPECIAL DEVELOPMENT STANDARDS:**

**Setbacks:** A minimum structural setback for residential and community facilities uses from College Boulevard of 40 feet shall be maintained. Internal setbacks shall be in accordance with Section 21.16 (R-3) of the Carlsbad Municipal Code or as modified by Chapter VIII, of this Master Plan.

All apartment structures shall maintain a minimum 10-foot habitable area and garage door setback from private streets and a 20-foot garage door setback when fronting on public streets, excluding porches and typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code. A side-loaded garage shall maintain a minimum 10 foot setback. Setbacks off of a motor court or driveway shall be 5 feet for habitable space and garages. Non-habitable "pop-outs", with footings are included within the allowable setback encroachments as allowed in Section 21.46.120(I).

Garage doors shall be setback a minimum of 5 feet from motor courts or driveways. Garage doors shall be setback a minimum of 5 feet from private streets if located at the rear of a lot. However if any habitable space is located above the garage the livable portion of the structure must maintain a minimum 10' setback from the front or rear property lines. Garage doors that front on public or private streets shall be setback a minimum of 20'.

**Building Height:** Maximum building height shall not exceed 35 feet to the peak of the roofline with a minimum roof pitch of 3/12. Building heights shall be measured per Section 21.04.065 of the Carlsbad Municipal Code.

**Recreation Area:** A minimum ratio of 100 sq. ft. per unit common active recreation area is required. Convenient pedestrian access to common facilities shall be provided.

**5. DESIGN CRITERIA:**

- Access:** Vehicular access to the site shall be taken off of College Boulevard. Main access to the residential and community facility use shall be off a single driveway.
- Architecture:** Strong architectural relief shall be incorporated into the design of the residential structures. Perimeter slopetops and slopetops adjacent to open space shall maintain structural slope top setbacks consistent with the minimum requirements of Chapter 21.95.120 of the Carlsbad Zoning Code.
- Fire Suppression:** Along the southern perimeter of this village in locations where residences immediately abut native or restored natural vegetation, the vegetation shall be selectively thinned and/or cleared for fire suppression purposes as required in the Carlsbad Landscape Manual, and as shown on Exhibits 14 and 15 of this Master Plan.
- Trails:** No formal community trails are required of this village, however convenient internal pedestrian linkage with the bus stop facilities shall be provided.
- Mass Transit:** Bus stop facilities shall be provided along the College Boulevard frontage of Village Y. Convenient internal pedestrian linkage of the residential units to this bus stop shall be accommodated.

**6. REQUIRED CITY PERMITS:**

Site Development Plan, Tentative Parcel Map, Conditional Use Permit for Community Facilities Use, unless not required by Section 21.25 of Zoning Code. Hillside Development Permit in conjunction with a Master Tentative Map

**7. ENVIRONMENTAL MITIGATION CONDITIONS (Per EIR 98-02):**

- Visual Quality:** The development shall implement the detailed landscaping requirements identified in this Master Plan for manufactured slopes adjacent to the proposed draft MHP open space to reduce the contrast and blend the visual appearance of the graded and developed site from natural off-site areas.

- Visual Quality: The development shall implement the Master Plan's transitional landscaping plantings between development and native vegetation on visible manufactured slopes and internal project landscaping to reduce the off-site aesthetic impact from the grading proposed for residential development pads and roads.
- Visual Quality: The development shall implement this Master Plan's landscaping requirements for perimeter slopes as a condition of the master tentative map's final map or grading plan, whichever occurs first.
- Noise: Exterior Noise Levels -To reduce significant ground-floor exterior noise levels that exceed the City's 60 CNEL residential standard, the project applicant shall construct noise barriers varying from six to ten feet in height along the top of the slope as shown in Figure 3D-11 of the EIR. The noise barrier will reduce noise levels at all ground-floor usable areas within the village to a level at or below 60 CNEL. Moreover, if additional points of access from College Boulevard and, as a consequence, additional breaks are required, no usable exterior areas shall be placed adjacent to those breaks.
- Noise: Interior Noise Levels - Even with the construction of noise barriers, noise levels at the second floors of the units adjacent to the roadways could exceed 65 CNEL. Standard construction is not assumed to adequately reduce interior noise levels to below 45 CNEL at these locations. Therefore, the following mitigation is required:
- a) At the time building plans are available for the units in this village, and prior to the issuance of building permits, a detailed acoustical analysis for units exposed to 65 CNEL or greater will be required demonstrating that interior noise levels due to exterior sources will be at or below the 45 CNEL interior standard.
  - b) For those areas where exterior noise levels are projected to exceed 60 CNEL, it will be necessary for the windows to remain closed to ensure that interior noise levels meet the City's interior standard of 45 CNEL and forced-air circulation or air conditioning is required.
- Paleontology: During the grading operation, a qualified paleontologist shall be retained to perform periodic inspections of excavations and, if necessary, salvage exposed fossils. The frequency of inspections will depend on the rate of

Paleontology  
(Cont.)

excavations, the materials being excavated, and the abundance of fossils. The paleontologist shall be allowed to divert or direct grading in the area of a fossil.

Hydrology:

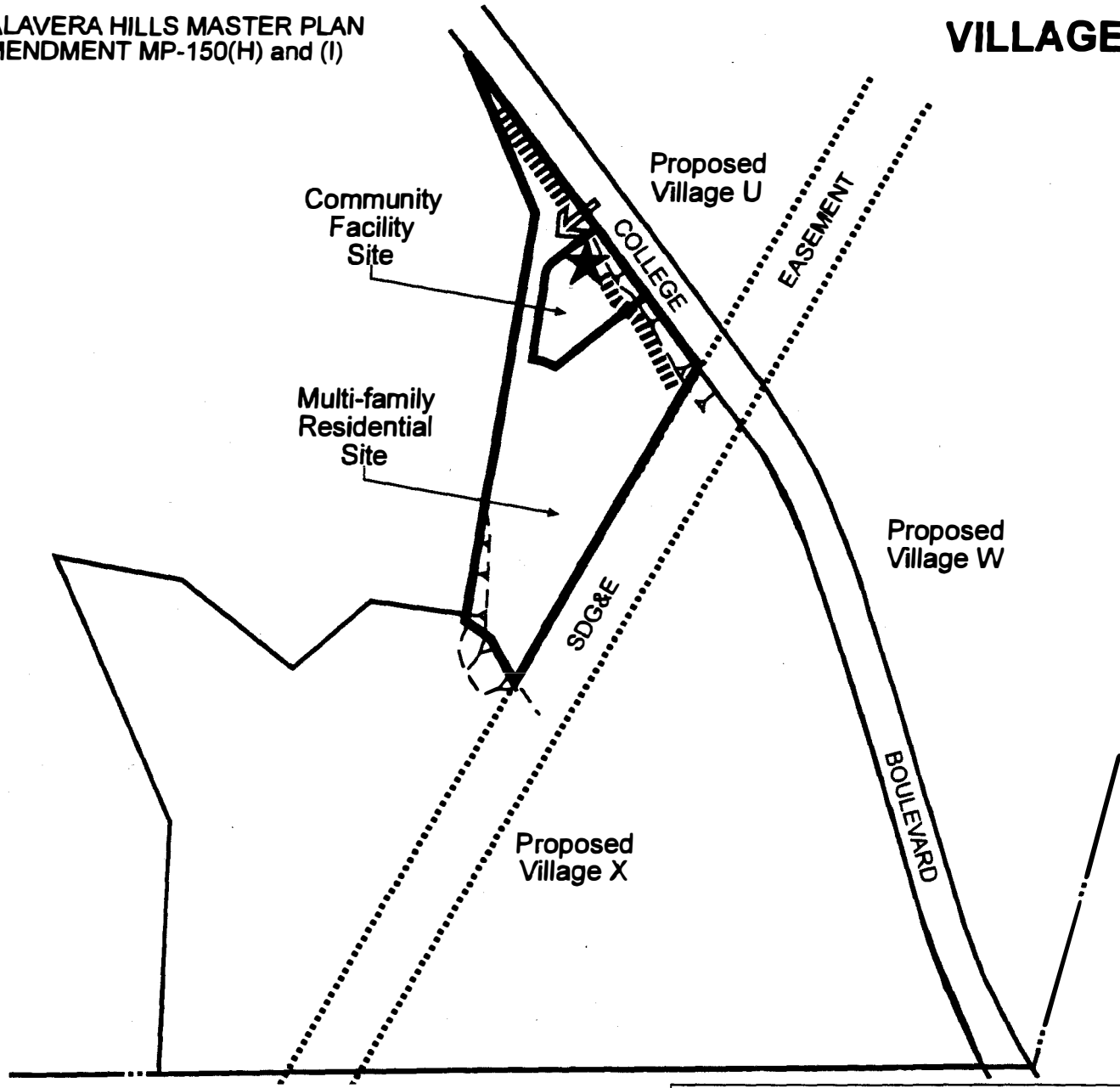
This project shall comply with the NPDES permit regulations as promulgated by the California Regional Water Quality Control Board for the San Diego region. Current regulations require the control of non-storm water discharges to the storm water conveyance system, development and implementation of a monitoring and reporting program to assess the SWPPP.

The project shall adhere to the regulations of the NPDES permit and to control sedimentation and erosion, including installation of temporary detention basins or other means of stabilization or impoundment required by the State Water Resources Control Board. The following guidelines shall be used during design and implemented during construction minimize erosion:








- Comply with current drainage design policies set forth in the City of Carlsbad procedures.
- Create desiltation basins where necessary to minimize erosion and prevent sediment transport, until the storm drain system is in place and streets are paved.
- Control sediment production from graded building pads with low perimeter berms, desiltation basins, jute matting, sandbags, bladed ditches, or other means.

#### 8. PROJECT LEVEL CONDITIONS:

- a. A fence plan, sign program, and a trellis/patio cover exhibit shall be approved by the final approving body, in conjunction with the discretionary permits for this project.
- b. Development of the residences in this project shall be required to design and construct full-width improvements to College Boulevard along the frontage of this project.
- c. Construction of the southerly link of College Boulevard and Cannon Road shall have commenced prior to issuance of a building permit for this village.



LEGEND

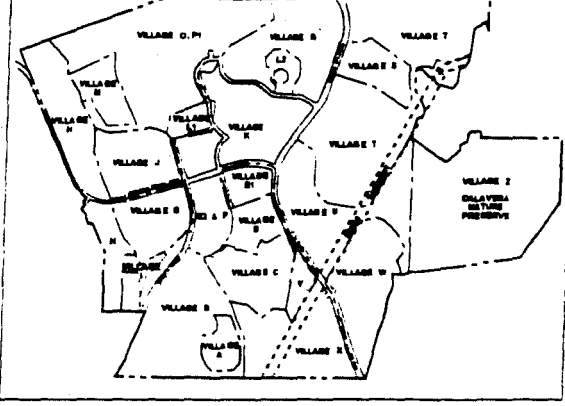
-  Main Entry
-  Secondary Entry
-  Neighborhood Identity Sign
-  Community Identity Sign
-  Noise Wall
-  Views
-  Public Trail



SCALE IN FEET



KEY MAP



**K. VILLAGE Z**

**1. DESCRIPTION:**

Village Z is the 110-acre open space nature conservation area named the Calavera Nature Preserve (CNP). This village is located on the extreme east edge of the Calavera Hills Master Plan area, just south of off-site Lake Calavera. Village Z constitutes the habitat mitigation lands for biological impacts to coastal sage scrub vegetation caused by the development of Villages Q, S and T, a percentage of Phase II, and College Boulevard. The site is the subject of a Mitigation Agreement between the City of Carlsbad and the Calavera Hills master developer which stipulates a program of maintenance and management of the property. The property is managed by The Environmental Trust.

**2. USE ALLOCATION: Open Space**

General Plan Land Use: OS

Zoning Designation (Applied): OS

Growth Control Point: N/A

Calavera Hills Master Plan: Allows only natural vegetation conservation, unimproved access roads community trails, fencing and pedestrian overlook sites.

**3. LOT SIZE: N/A**

**4. SPECIAL DEVELOPMENT STANDARDS:**

Setbacks: No structures allowed in this village.

Building Height: No structures allowed in this village

**5. DESIGN CRITERIA:**

Access: Vehicular access to the site shall be located only on authorized unimproved roads and easements.

**6. REQUIRED CITY PERMITS:**

N/A

**7. ENVIRONMENTAL MITIGATION CONDITIONS:**

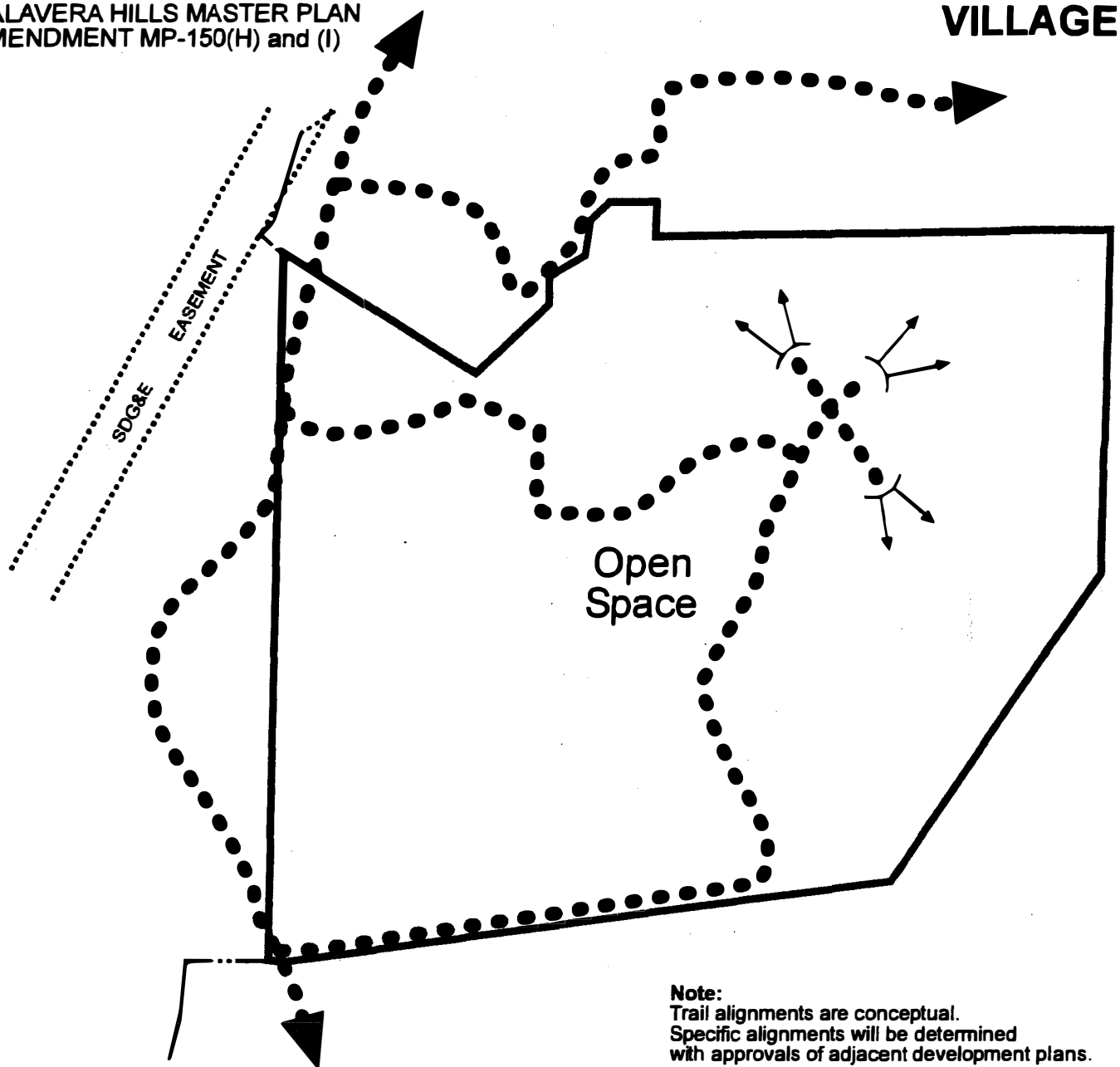
N/A

**8. PROJECT LEVEL CONDITIONS:**

a. In order to provide for the cost of the long-term maintenance and biological monitoring program for the preserve, following the end of the five year management period, a long-term management program shall be defined and funded. The long-term management program shall be defined through a line item scope of work description and associated costs, to be prepared no earlier than the end of year two and no later than the end of year four, of the initial five-year management period. The biological monitor will initially propose this scope of work for the five-year management program. The scope of work shall then be subject to peer review by the City. Based upon the scope of work and associated costs, agreed to by the developer or their successors and the City, a funding mechanism shall be provided by the developer or their successors. The funding can be an annuity or other mechanism agreed to by the developer and the City. This long-term maintenance program shall be a separate agreement between the City and The Environmental Trust agreed to at that time.

b. Access control, revegetation of unauthorized roads, temporary and permanent fencing, invasive and exotic weed species removal, trash removal, erosion control, and trail installation and maintenance shall be conducted in accordance with the Calavera Heights California Gnatcatcher Mitigation preserve Management Plan.

c. A biological monitor hired by The Environmental Trust shall visit the site regularly to determine the success of the revegetation effort, the status of the exotic species and trash removal programs, as well as the effectiveness of the access control program. If the monitor finds that additional remedial work is needed in any of these areas, the monitor shall recommend to the Planning Director that these efforts be conducted by the owner.



Note:  
Trail alignments are conceptual.  
Specific alignments will be determined  
with approvals of adjacent development plans.

LEGEND

- Main Entry
- Secondary Entry
- Neighborhood Identity Sign
- Community Identity Sign
- Noise Wall
- Views
- Public Trail

NO SCALE



KEY MAP

