

THE LA COSTA RESORT AND SPA MASTER PLAN

Associated Entitlement List

- –SDP 2017-0011/ S U P
2017-0008 (for PA 5)
- Master Plan Amendment

Application:

AMEND 2017-0026

Final Approval by
Carlsbad Planning
Commission on:
16 January 2019

A Resort Development By:

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Prepared For:

**THE CITY OF CARLSBAD,
CALIFORNIA**

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THE LA COSTA RESORT AND SPA MASTER PLAN

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THE LA COSTA RESORT AND SPA MASTER PLAN

History of Actions

August 15th, 1972

Ordinance 9322 – An ordinance of the City of Carlsbad adopting the La Costa Master Plan subject to annexation of

2900 acres of property to the City of Carlsbad. This development by the La Costa Land Development Company is located east of El Camino Real, and northerly of Olivenhain Road.

December 16th, 1980

Case No. MP 149

Ordinance 9570 – An ordinance of the City of Carlsbad adopting the La Costa Master Plan / MP-149 isolating the La Costa Spa and Golf Course areas from the larger La Costa Master Plan area.

Subsequent revisions to MP-149(A-E) revising the boundaries of the La Costa Spa Master Plan area and delineating changes to the circulation, drainage, and public facilities within the redefined plan area.

August 18th, 2004

Case No. 149(S)

Planning Commission Resolution 5701 - A resolution of the Planning Commission recommending approval of a Master Plan amendment to remove property generally located at the La Costa Resort and Spa from the original La Costa Master Plan MP149 in Local Facilities Management Zone 6.

August 18th, 2004

Case No. GPA 03-08, ZC 03-04, CT 03-01, PUD 03-06, SUP

03-06, SUP 03-03.

Planning Commission Resolution 5697 - A resolution of the Planning Commission recommending approval of a Mitigated Negative Declaration, Addendum, and Mitigation Monitoring and Reporting Program to approve a Master Plan and related entitlements including General Plan Amendment 03-08, Zone Change 03-04, Carlsbad Tract Map 03-01, Planned Unit Development 03-06, Special Use Permit 03-06/Floodplain, Special Use Permit 03-03/Scenic Corridor.

June 16th, 2005

Case No. GPA05-09 / ZC05-06 / MP03-02(A)

La Costa Resort and Spa

Amendment 1, - Lot Line Adjustments

An application to address the transfer of certain land owned by the Developer/Owner of the La Costa Resort and Spa to adjacent residential land owners by way of lot line adjustments and appropriate engineering for transfer of title. July 11th, 2006

La Costa Lot Line Adjustments

Case No. MP 03-02(A); ZC 05-06; GPA 05-09

Resolution 2006-193 - A resolution of the City Council adopting a negative declaration and approving a General Plan Amendment to residential Low Medium Density and Travel Recreation / Commercial on multiple properties located East of El Camino Real between Alga Road and La Costa Avenue in local facilities management Zone 6.

Ordinance No. NS809 - An ordinance of the City Council to allowing the zoning designation on multiple properties to Residential single-Family, 7,500 square foot lot size minimum on multiple properties located East of El Camino Real between Alga Road and La Costa Avenue in local facilities management Zone 6.

Ordinance No. NS810 - An ordinance of the City Council approving the La Costa Resort and Spa Master Plan Amendment to modify the boundaries of the Master Plan and Approve the land use and zoning map changes.

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October 1st 2008

La Costa Resort, Planning Area 1

Case No. MP 03-02(B), CT 07-08, PUD 03-06(B)

Planning Commission Resolution 6487, 6472, 6473 - A resolution of the Planning Commission recommending approval of the La Costa Resort and Spa Master Plan Amendment and approving a Tentative Tract Map and Non- Residential Planned Development Permit Amendment to subdivide 4.58 acres into 12 lots for the development of a 32-unit Commercial Dwelling Unit project and parking lot.

November 18th, 2008

Ordinance No. CS-017 - An ordinance of the City Council approving the La Costa Resort and Spa Master Plan Amendment to eliminate references to project phasing, and transfer Commercial Dwelling Units from one planning area to another.

October, 2011

Minor Master Plan Amendment – MP 03-02C

A minor amendment to address Section 4 Sign Program updates including deletion of obsolete sign elements and the addition of one sign Campus Facilities Sign at the entrance to La Costa on El Camino Real.

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Companion Drawings, Documentation and Technical Information

- Planning & Landscape Architecture - 24" x 36" Exhibits
- Site Engineering - 24" x 36" Exhibits
- Architecture - 24" x 36" Exhibits
- Tentative Tract Map - 24" x 36" Exhibits
- Zoning Ordinance Tables
- Storm Water Pollution Prevention Plan
- Traffic Study
- Parking Needs Assessment
- Paleontology Report
- Fiscal Benefit Analysis

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SECTION 1: INTRODUCTION

THE LA COSTA RESORT AND SPA MASTER PLAN

1 INTRODUCTION

1.1 LA COSTA RESORT AND SPA - A COLORFUL PAST

The spectacular site in Southern California where La Costa Resort and Spa now stands enjoys a colorful history. The land has roots in the earliest days of California colonialism and the time of rancheros. Centuries of Native American settlement gave way to Spanish and Mexican occupation before California became a part of the United States in 1850.

Spain laid early claim to the California coast. In 1769, a trail was forged as El Camino Real (“The Royal Road”) to link the missions that were established to make Catholics and farmers of the local Indians. To this day Spain’s legacy still resonates in local architecture and flavor. It is apparent in the names of the mountains, streams, cities (such as San Diego) and other area landmarks, including La Costa (“The Coast”).

Today, La Costa Resort and Spa stands on the border of two old Mexican land grants from the mid-19th Century, Agua Hedionda to the north and Rancho Las Encinitas to the south. The seed for La Costa Resort and Spa was first planted in 1960 when real estate entrepreneur Allard Roen discovered the awe-some albeit empty landscape on horseback. Inspired by the site’s remarkable history, Roen was determined to find a use for the land that would honor all those who came before.

Already involved in the Desert Inn in Las Vegas, Roen joined with a partner to purchase some of this land and start a development project called Rancho La Costa. Roen’s original vision for Rancho La Costa called for a residential community with recreational facilities including golf, tennis and horseback riding. Roen’s personal interest in the game provided the impetus for two golf courses – the earthworks and construction providing a creative solution to site drainage and open space preservation.

A clubhouse was erected to give prospective residents a preview of the property. Roen soon became hooked on the idea of a spa at Rancho La Costa. On a stretch of sand not far from La Costa, Victorian pioneer John Frazier founded the town of Carlsbad after discovering mineral water there in the 1880s. He initiated the Carlsbad Mineral Spa, which became the namesake community’s main attraction, creating a precedent for spas in the area and inviting visitors from that time onward.

In 1965, La Costa became the first U.S. resort to introduce a full-service spa, and what started off as a 90-room inn to accommodate prospective Rancho La Costa home buyers turned into a luxurious country club. The inn became the main draw, putting Rancho La Costa on the map.

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Through the years La Costa, set among the beautiful coastal foothills north of San Diego in Carlsbad, has evolved from its humble beginnings as the 90-room Rancho La Costa into the 474 room, world-class La Costa Resort and Spa. Some things though have not changed. The entrance to the grounds lies along the old El Camino Real, California's road to its rich and colorful history.

1.2 THE MASTER PLAN EXECUTIVE SUMMARY

The La Costa Resort and Spa Master Plan is organized in four sections and presents applications to the City of Carlsbad including Comprehensive Master Plan, a General Plan Amendment and Zone Change Special Use Permits for areas within the Floodplain and within a Scenic Corridor, Tentative Tract Map, and a Planned Unit Development.

Section 1, Introduction: This section provides an overview of the Master Plan document, project description and history, site location, the legislative authority for the La Costa Resort and Spa Master Plan, and the method of plan compliance with the California Environmental Quality Act (CEQA).

Section 2, Plans, Programs and Guidelines: This section provides the organization and framework of the Land Uses existing within the La Costa Resort and Spa plan area. It also provides design guidelines which set design and development criteria and direction for individual project sites within the Master Plan boundary. Mandatory program elements of the Planned Community (PC) zoning for the plan area are addressed in detail within this section of the master plan.

Section 3, Zoning and Development Regulations: This section establishes the zoning applicable to land within the Master Plan area boundary on a "Planning Area" basis. Development Regulations are presented for each Planning Area within the Master Plan area boundary.

Section 4, La Costa Master Sign Program: This section of the document presents a comprehensive site sign and monument program to guide the existing and future directional and information signage for the Master Plan area.

1.3 PURPOSE OF THE MASTER PLAN

This Master Plan is presented as a comprehensive planning and development document intended to guide future development of land within the La Costa Resort and Spa Master Plan area. This document guides the character, design, and standards of development for the land within the La Costa Resort and Spa Master Plan area. It is meant to provide a degree of flexibility to allow future development to respond to the changes in the hospitality market of the Southern California region, which inevitably will occur over the build out period of the project area. The La Costa Resort Master Plan establishes and updates the design development policies applicable to development within the Master Plan area establishing the regulations and standards which serve as the zoning and development regulation for the property.

The Master Plan delineates specific Planning Areas within the project specifying the land uses and zoning for each Planning Area. Associated text describes the allowable uses and densities of development in each Planning Area providing detailed development standards for each Planning Area within the Master Plan area. Adoption of the Master Plan by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code, will establish the zoning and development standards applicable to the project, thereby removing the La Costa project area from the “Greater La Costa Area Master Plan” MP 149 (149S- the amendment).

1.4 PROJECT DESCRIPTION

As of 2018, the La Costa Resort and Spa concluded the majority of site redevelopment with the exception of the build-out of the Commercial Dwelling Units (CDUs) and Golf Learning Academy as described within this Master Plan document.

Completed improvements include:

- A complete renovation of all existing hotel rooms;
- A new 42,500 sq. ft. ballroom facility containing a main ballroom, kitchen, additional meeting rooms and support spaces;
- A 26,500 sq. ft. health and beauty spa to replace the original La Costa spa facility;
- Redevelopment of the existing hotel clubhouse.
- 32 CDU’s constructed in Planning Area 1

Additional permitted improvements that have not been constructed as of 2018, include:

- 165 Additional privately-owned one, two, and three bedroom Commercial Dwelling Units and up to an equal number of non-habitable commercial service units situated throughout the campus.
- A ballroom expansion of 14,165 square feet within a 32,240 square foot structure
- A Golf Learning Academy
- Additional parking facilities

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1.4.1 THE COMMERCIAL DWELLING UNITS

The Commercial Dwelling Units (CDUs) proposed for the La Costa Resort consist of one, two and three bedroom condominium units ranging in size from 530 sq. ft. to 3,955 sq. ft. The CDUs will be constructed in two and three story buildings with an average of approximately 20 units in each building. The majority of the units will orient inward to form intimate courtyards. The units are sold completely furnished with very high-end merchandise including furniture, fixtures, art, accessories, appliances, linens, dishes, and silverware. The units are first designed as hotel rooms and secondly as residential units. Essentially, the units are a combination of one, two or three hotel rooms (bedroom/bath/keys) with a parlor living, dining and kitchen area together. Each room is designed to lock off independently as a standard hotel room or with a parlor to create a suite situation. A three or four bedroom unit may be rented as three or four standard hotel rooms, a one- bedroom suite and two standard hotel rooms, a two-bedroom suite and one standard hotel room or as a three-bedroom suite (entire unit), which allows for maximization of rental opportunities and income for the owner, the La Costa Resort (as rental manager) and the City of Carlsbad (TOT).

The Commercial Dwelling Units will allow their owners to invest in the expansion of the La Costa Resort and enjoy the existing and recently renovated campus amenities. Each CDU purchaser will receive ownership of a particular unit, with restrictions on the amount of use, and receive potential room revenue associated with the rental of the units when not in residence.

1.4.2 THE GOLF LEARNING CENTER

The Golf Learning Center component of the Master Plan will be located in the vicinity of the current driving range of the Resort and will serve both the La Costa Resort and Spa visitor and the community in general. It provides the guests with an opportunity for lessons and self-improvement with professional training encounters. The complex is comprised of putting greens, driving ranges, a sales and instructional building and supporting parking lot area. The Golf Learning Center is an expansion of the existing Resort driving range facilities, and retains a direct pedestrian and golf cart access to the existing Resort clubhouse, pro shop and main campus of the Resort.

1.4.3 ADDITIONAL PARKING FACILITIES

Additional parking facilities will be constructed for the new development, as described in detail in Section 2.7.

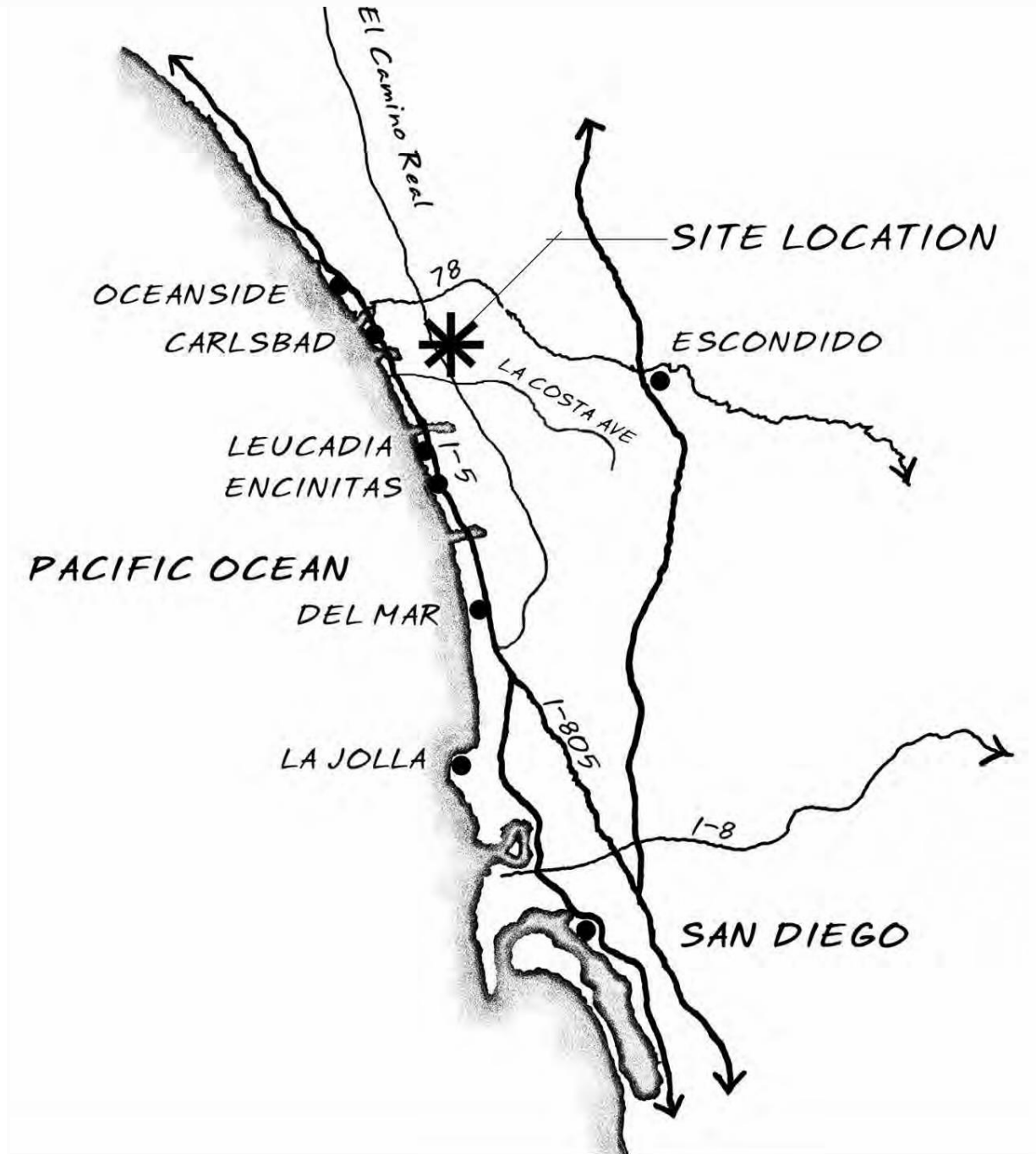
1.5 MASTER PLAN GOALS

The La Costa Resort and Spa Master Plan establishes goals and objectives that will guide development pursuant to the Master Plan over the implementation period. All land within the Master Plan area for La Costa is envisioned to be developed consistent with these goals and objectives:

- To enhance the world class recognition of the “La Costa Spa” brand and name recognition by upgrading and promoting the newly constructed Health Spa facility within the Master Plan area.
- To ensure a harmonious balance between the existing and future environment by preserving and enhancing the open space elements of the golf course while creating additional on-site trail elements for the benefit of the “Resort Campus” area.
- To enhance the environmental resources of planting and open space buffers by creating and augmenting existing landscape plant material in the Master Plan area.
- To provide a functional and economically viable balance between land use and services required to provide recreation, hotel/living units, retail and commercial opportunities within the plan area.

1.6 PROJECT REGIONAL SETTING

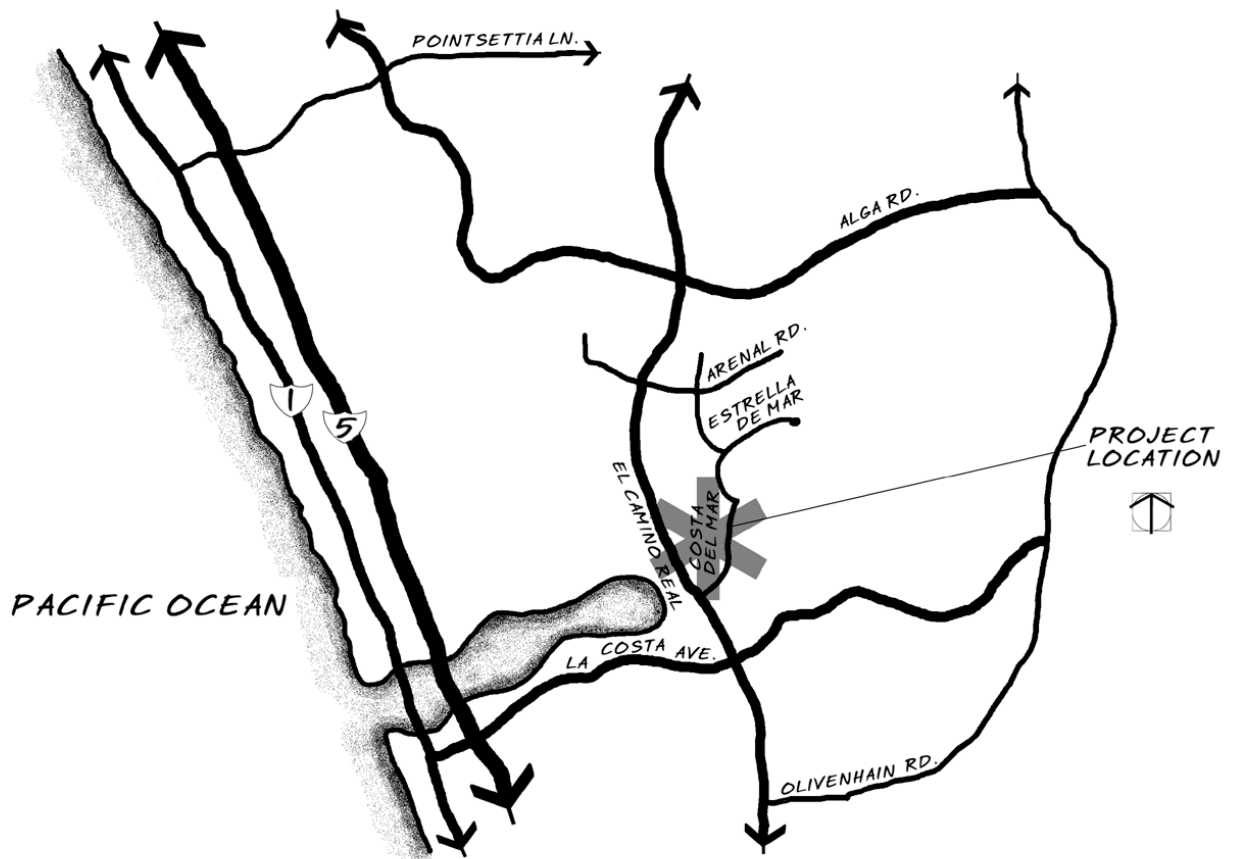
The La Costa Resort and Spa Master Plan site is approximately 85 miles south of the City of Los Angeles and approximately 35 miles north of the San Diego metropolitan region.



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1.7 PROJECT LOCAL SETTING

The La Costa Resort and Spa is located on the east side of the El Camino Real Transportation Corridor north of the intersection of El Camino Real Boulevard and La Costa Avenue. It is accessible via Interstate 5, which is just west of the site.



1.8 ENABLING LEGISLATION

The authority to prepare, adopt, and implement the La Costa Resort and Spa Master Plan is granted to the City of Carlsbad by the California Government Code (Title 7, Division I, Chapter Article 8, Sections 65450 through 65457) and the City Municipal Code (Title 21, Chapter 21.38).

The Planning Commission will conduct a hearing and make recommendations and findings for final review and approval of the Master Plan by the City Council.

The La Costa Resort and Spa Master Plan, as amended, is a regulatory document that, when adopted, will serve as the zoning and development regulations for the La Costa Resort and Spa plan area. Upon approval of the La Costa Resort and Spa Master Plan, future development must be consistent with the Master Plan and any amendments thereto.

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SECTION 2: PLANS, PROGRAMS, & GUIDELINES

THE LA COSTA RESORT AND SPA MASTER PLAN

2 PLANS, PROGRAMS, & GUIDELINES

2.1 LAND USE PLAN MAP

The General Plan Land Use Map for the La Costa Master Plan area is shown on the exhibit on page 14.

2.2 ZONING MAPS

The Zoning Map for the La Costa Master Plan area is shown on the exhibit on page 15 and the Zoning District Map is shown on page 16.

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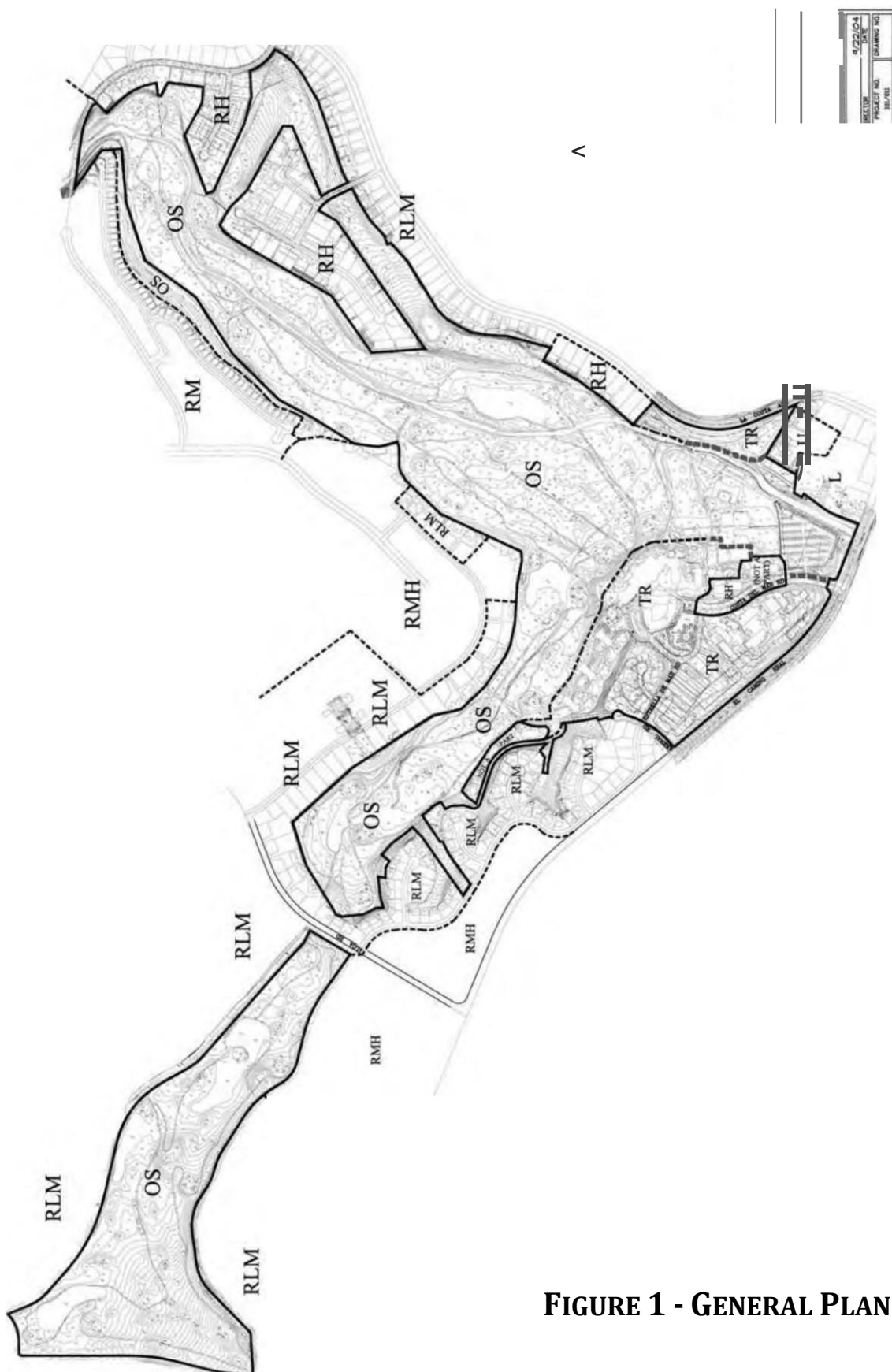


FIGURE 1 - GENERAL PLAN LAND USE

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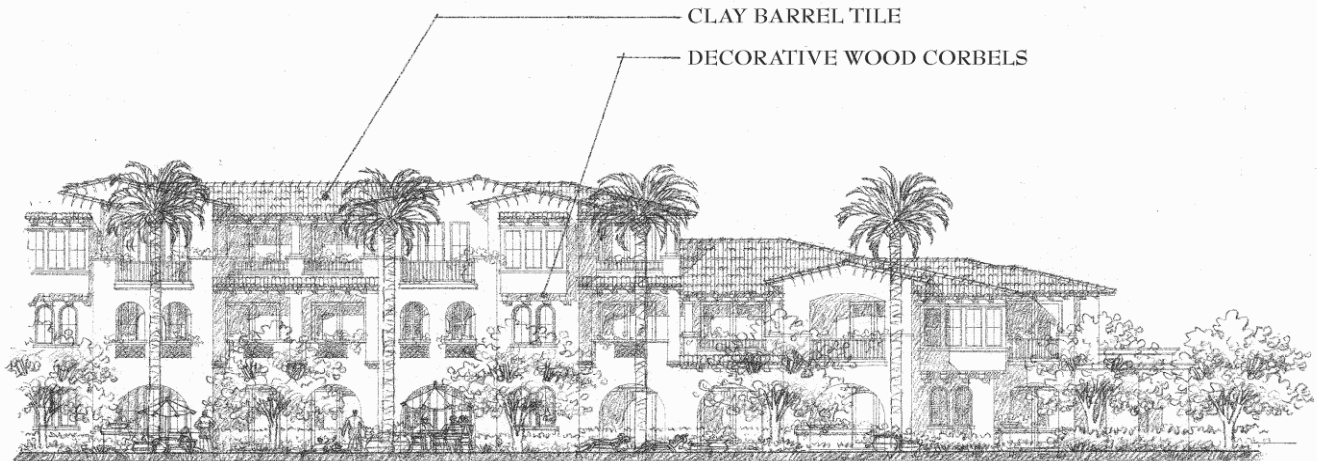


FIGURE 2 - ZONING MAP

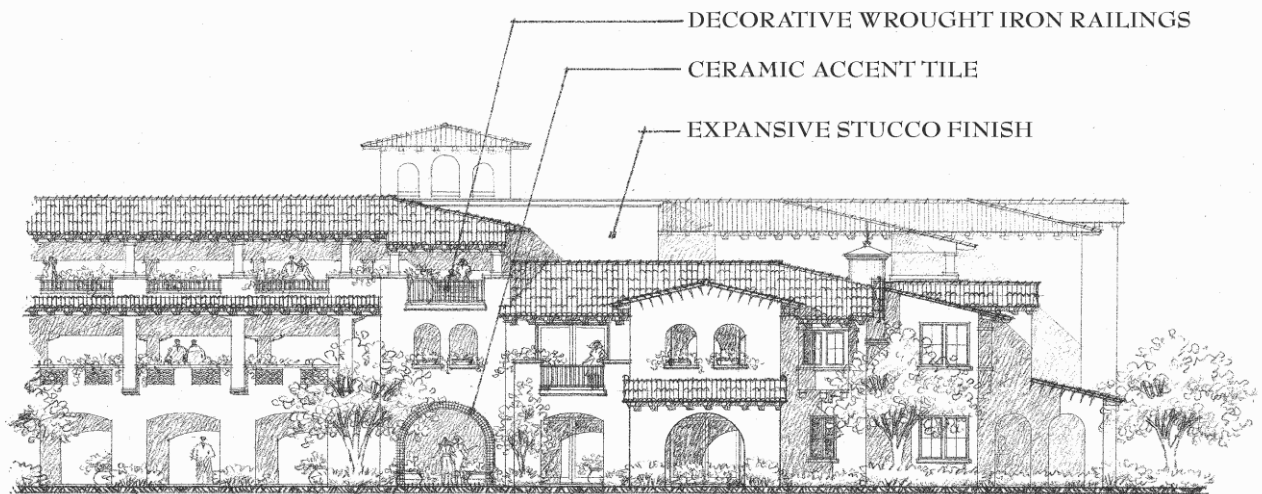


2.3 THE MASTER PLAN OF LAND USE

The “Vision for the Master Plan” for the La Costa Resort and Spa reflects the development goal of providing resort recreational amenities, Resort Hotel and Spa amenities, Commercial Dwelling Units, and supporting sports, travel, and leisure amenities set in a campus-refined landscape architecture and associated building architecture..



The new development within the Master Plan includes programmatic details linking it with the services and amenities of the La Costa Resort. Within the Master Plan, complementary architecture and landscaping, as well as connecting circulation systems for pedestrians, carts, and motor vehicles will tie development to the La Costa Resort and Spa.



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The Master Plan delineates uses and locations within seven Planning Areas. An exhibit is presented on Figure 5 of the document illustrating the Master Plan's development. Development regulations applicable to each Planning Area are described in Section 3 - Zoning and Development Regulations. The Ballroom was completed and operational in early November, 2003 pursuant to separate approvals, but is integrated into the context of the overall Master Plan herein. The Master Plan proposes 197 Commercial Dwelling Units and an equal number of non-habitable commercial service units within an approximate land area of approximately 15 net acres and 392.4 gross acres including the golf area. An exhibit of a portion of the Master Plan development at buildout is shown on Figure 4.

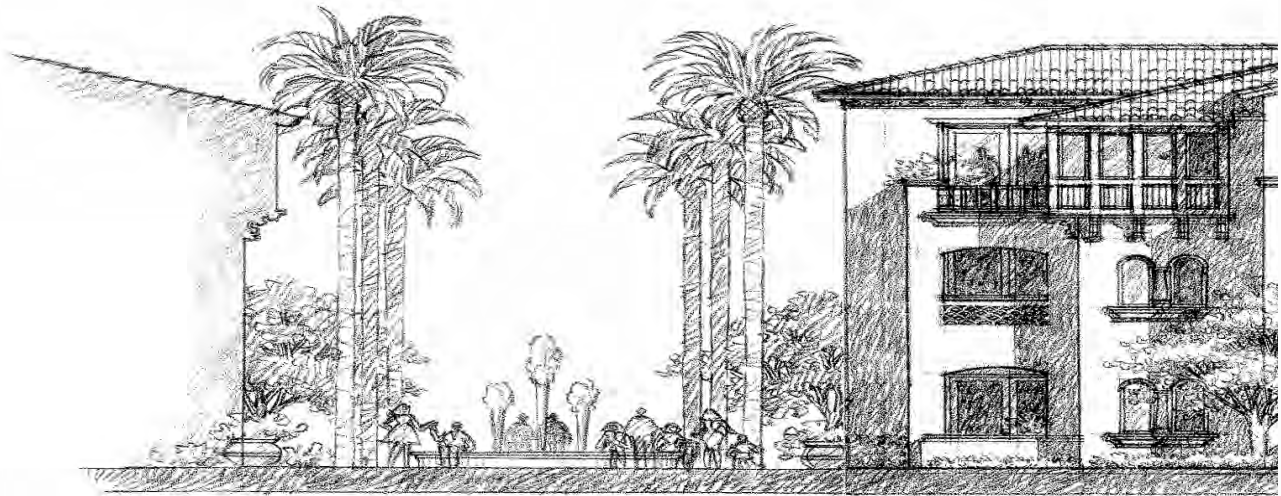


FIGURE 4 - OVERALL CONCEPTUAL SITE PLAN



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The development overview of the Commercial Dwelling Units and their supporting infrastructure is discussed in Section 2.4 of the Master Plan document. A discussion of the development overview pursuant to this Master Plan is presented in this section. A detailed discussion of the zoning and development regulations for each of the seven Planning Areas is provided in Section 3 of this document.

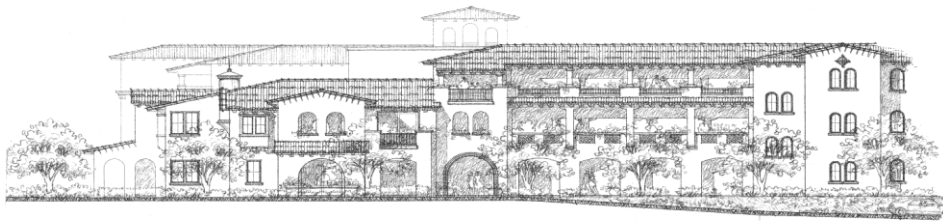
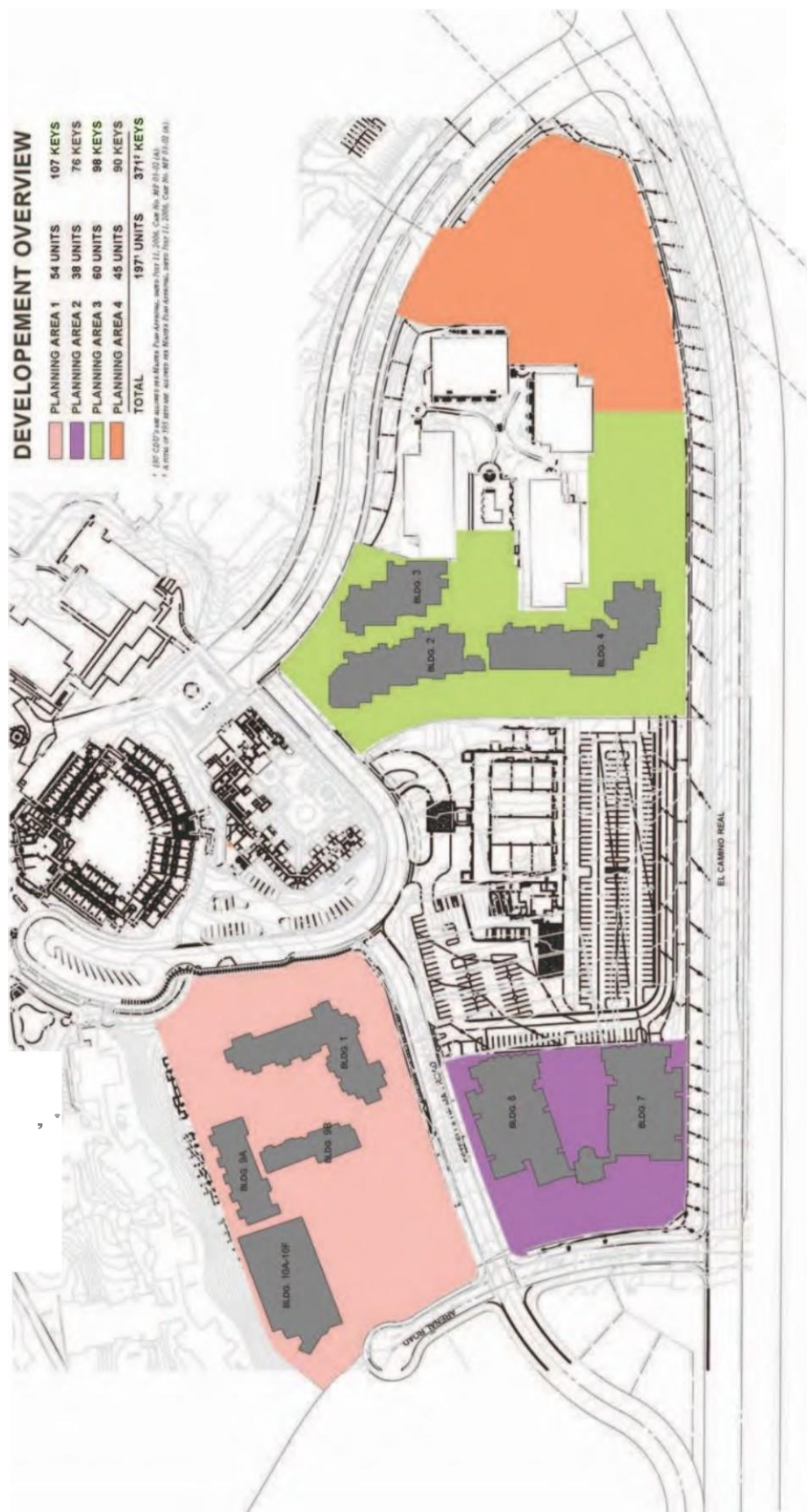


FIGURE 5 - DEVELOPMENT OVERVIEW



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2.3.1 CONCEPTUAL LAND USE TABLE

The Conceptual Land Use Table below represents a tabulation of land uses, zoning, acreage, densities and numbers of La Costa Commercial Dwelling Units (CDUs) within each Planning Area.

2.3.2 DESCRIPTION OF COMMERCIAL DWELLING UNITS

Planning Area	General Plan Designation	Zoning	Planning Area Zoning District	Use	Approximate Acreage
1	T-R	P-C	C-2	54 CDUs	5.0
2	T-R	P-C	C-2	38 CDUs	3.0
3	T-R	P-C	C-2	60 CDUs	4.0
4	T-R	P-C	C-2	45 CDUs	3.0
5	T-R	P-C	C-2	Ballroom	6.0
Subtotal:				197	21.00
6	O-S	P-C	O-S	Golf Course	11.0
7	OS/ T-R	P-C	OS/C-2	¹	360.4
TOTAL:				197²	392.4

The Commercial Dwelling Units (CDUs) element of the La Costa Resort consist of one, two and three bedroom condominium units ranging in size from approximately 530 sq. ft. to over 3,955 sq. ft. The units will be constructed in an attached form in one, two and three story buildings with an average of

¹ Planning Area 7 addresses the existing golf courses and supporting club facilities and amenities.

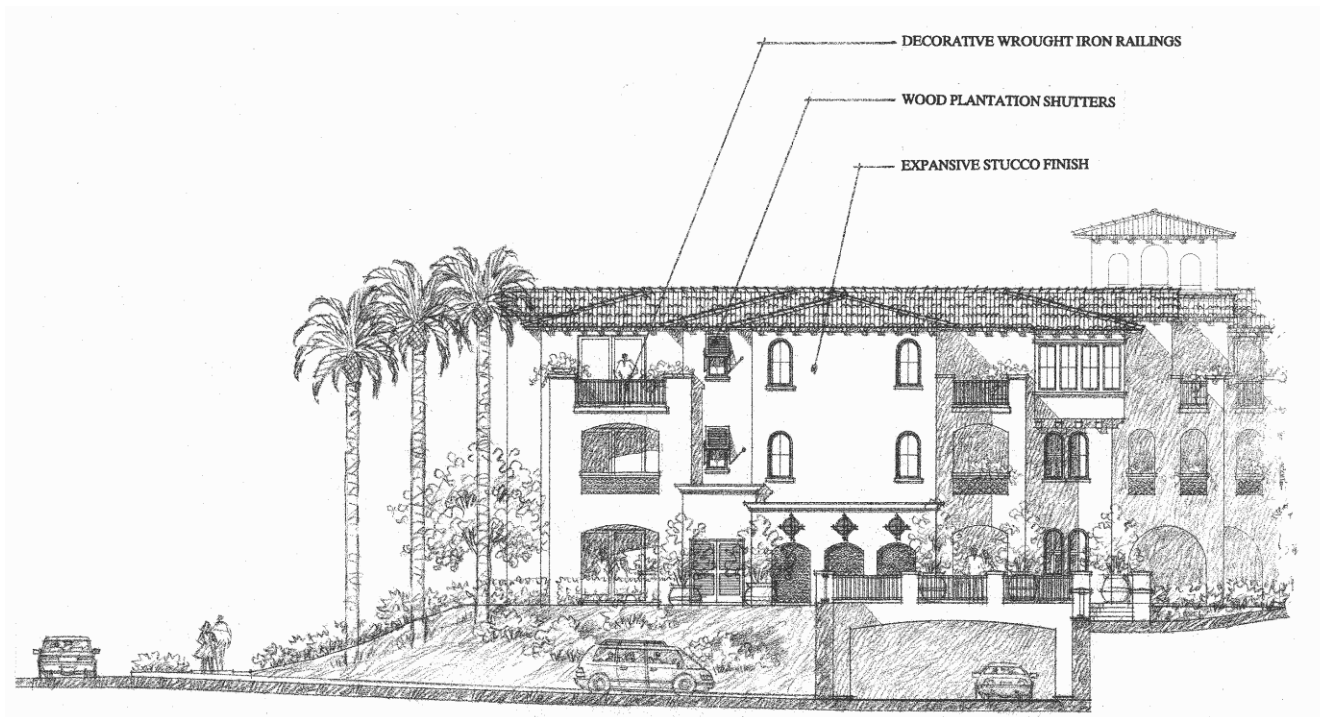
² A total of 197 CDU's are allowed within the entire La Costa Resort and Spa per Master Plan Approval, dated July 11, 2006, Case No. MP 03-02 (A).

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approximately 20 units in each building. The majority of the units will be oriented inward to form intimate courtyards. The units are sold completely furnished with very high-end merchandise including furniture, fixtures, art, accessories, large and small appliances, linens, dishes, and silverware.

The La Costa Resort and Spa Commercial Dwelling Units component of the Master Plan is to be developed in multi-story buildings surrounding open space amenities consisting of pool, spas, gardens and patios. These Commercial Dwelling Units will be accessed from plan area internal streets and parking areas.

The Commercial Dwelling Units will allow their owners to invest in the expansion of the Resort. They will receive ownership of a particular unit with restrictions on the amount of use and revenues associated with the rental of the units when not in residence.



THE LA COSTA RESORT AND SPA MASTER PLAN

The units are first designed as hotel rooms and secondly as residences. Essentially, the units are a combination of one, two or three bedrooms (bedroom/bath) with a parlor (living, dining and kitchen area together). Each room is designed to lock off independently as a standard bedroom or with a parlor to create a suite situation.

For example, a three or four bedroom unit may be rented as three or four standard hotel rooms, a one-bedroom suite and two standard hotel rooms, a two-bedroom suite and one standard hotel room or as a three-bedroom suite (entire unit). This allows for maximization of rental opportunities and income for the owner, La Costa Resort & Spa (as rental manager) and the City (Transit Occupancy Tax).

Commercial Dwelling Unit generation for the development is based on a maximum total of 197 units on a net land area of 15 acres of land which equates to a net density of 13.13 DU/AC.

In addition to the CDUs, each of the Commercial Dwelling Unit buildings may contain up to an equal number of non-habitable Commercial Service Units (CSUs), the maximum number of such CSUs to be provided on the face of any final map and/or condominium plan for such building or phase of development. The CSUs shall be used for non-habitation support uses only, such as for housekeeping supplies and storage, disposal of garbage, general storage, and services or vending equipment.

2.4 DEVELOPMENT OVERVIEW OF THE MASTER PLAN

2.4.1 DESCRIPTION OF THE COMMERCIAL DWELLING UNITS

The implementation of the Master Plan improvements contemplated herein includes four planning areas of Commercial Dwelling Units (CDUs) with associated parking and amenities development. The location of each improvement of the Resort is based on considerations such as access to operations, amenities, and infrastructure availability for tie-ins.

Prior to the issuance of grading permits or building permits for the development of the Commercial Dwelling Units, a Traffic Control Plan (TCP) will be filed with the City Engineer, Fire Chief, and Planning Director to reduce to the greatest extent possible disruptions or adverse impacts to adjacent residential properties. In addition to typical requirements, the TCP will address service delivery, trash collection, and construction traffic routing in addition to providing required parking services to Resort visitors. The TCP will also provide all feasible alternative construction access routes to reduce the impact of heavy traffic in close proximity to residential properties, especially alternatives for primary construction access via Arenal Road. The development overview table below represents a summary of the uses, number of the buildings and zoning within each Planning Area.

Planning Area	General Plan Designation	Zoning	Bldg. Ref. No.(s)	Number of CDUs	Number of Keys
1	T-R	P-C	1, 9A, 9B, 10A-10E	54	107
2	T-R	P-C	7, 8	38	76
3	T-R	P-C	2,3, 4,	60	98
4	T-R	P-C	5, 6	45	90
TOTAL				197	371

393 keys are allowed per Master Plan Approval, dated July 11, 2006, Case No. MP 03-02 (A).

2.5 PLANNING AREAS BREAKDOWN

2.5.1 PLANNING AREA 1 – LAND USE DESCRIPTION



FIGURE 6 - PLANNING AREAS

Location: South east corner of Arenal Road and Estrella de Mar Rd.

Approximate Acreage: 5.0

General Plan Designation: T-R

Zoning: P-C

Planning Area Zoning District: C-2

Building Numbers: 1, 9, 9A-9B 10A-10E

Site Use: Planning Area 1 is the site for eight Commercial Dwelling Unit buildings sited to provide commanding views of the La Costa golf course and beyond. Buildings will provide a total of 54 CDUs and up to an equal amount of CSUs within this Planning Area. Detailed architectural graphics, plans and elevations are appended to this Master Plan Document.

Processing Requirements: Improvements for Planning Area 1 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit.

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Parking Facilities: As construction of each CDU building is completed, permanent surface or subgrade parking will replace the interim facilities in compliance with the Parking Needs Assessment for the Master Plan.

The concept landscape plan for Planning Area 1 is illustrated in Figure 7 and is appended at a larger scale to show the intended theme of the landscape architecture of Planning Area 1. These plans will be processed within the building permit process to establish approval of final design for landscape elements in Planning Area 1. Currently Planning Area 1 is an existing parking lot. See the discussion within Planning Area 5 for the timing and provisions to construct permanent surface and landscape improvements in PA 1 within 5 years of this master plan amendment for the Ballroom Expansion in PA 5; or the construction of a parking structure within PA 5 when CDU's are developed within PA 1. PA 1 also has 32 CDU's constructed onsite.



FIGURE 7 - PA 1 LANDSCAPE PLAN

THE LA COSTA RESORT AND SPA MASTER PLAN

2.5.2 PLANNING AREA 2 – LAND USE DESCRIPTION

Location: Within the La Costa Resort grounds at the south west corner of Arenal Road and Estrella De Mar Rd.



Approximate Acreage:	3.0
General Plan Designation:	T-R
Zoning:	P-C
Planning Area Zoning District:	C-2
Building Number:	7 and 8

Site Use: Planning Area 2 is the site for two Commercial Dwelling Unit buildings. These buildings will contain a total of 38 CDUs and up to an equal amount of CSUs within this Planning Area. Detailed graphic plans and elevations are appended to this Master Plan document.

Processing Requirements: Improvements proposed for Planning Area 2 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit.

THE LA COSTA RESORT AND SPA MASTER PLAN

The concept landscape plan is illustrated in Figure 8 and appended to this Master Plan at a larger scale to show the intended theme of the landscape architecture of Planning Area 2. These plans will be refined and processed within the building permit process to establish approval of final design for landscape elements in Planning Area 2. Currently Planning Area 2 is a gravel surface lot used informally for parking although not technically required to provide required parking per the revised Parking Study by Walker Consultants dated April 25, 2018. See the discussion within Planning Area 5 for the timing and provisions to construct permanent surface and landscape improvements in PA 2 within 5 years of this master plan amendment for the Ballroom Expansion in PA 5; or the construction of a parking structure within PA 5 when CDU's are developed within PA 2. All parking spaces shall comply with the size dimensions consistent with Carlsbad Municipal Code Chapter 21.44.



FIGURE 8 - PA 2 LANDSCAPE PLAN

2.5.3 PLANNING AREA 3 – LAND USE DESCRIPTION

Location: Located at the end of Costa Del Mar Road.



Approximate Acreage:	4.0
General Plan Designation:	T-R
Zoning:	P-C
Planning Area Zoning District:	C-2
Building Number:	2,3

Site Use: Planning Area 3 is the site for three Commercial Dwelling Unit (CDU) buildings. The buildings will contain a total of 60 CDUs and up to an equal amount of CSUs within this Planning Area. The area envisioned for these units is currently vacant as a result of the demolition of the “old Spa Building” that was replaced by the newly constructed La Costa Resort Health Spa. The CDUs are presented in detailed graphic plans herein.

Processing Requirements: Improvements proposed for Planning Area 3 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit.

THE LA COSTA RESORT AND SPA MASTER PLAN



FIGURE 9 - PA 3 LANDSCAPE PLAN

The concept landscape plan is illustrated in Figure 9 and appended at a larger scale to show the intended theme of the landscape architecture of Planning Area 3. These plans will be refined and processed with- in the building permit process to establish approval of final design for landscape elements in Planning Area 3.

2.5.4 PLANNING AREA 4 – LAND USE DESCRIPTION



Location: Located north east of the intersection of El Camino Real and Costa Del Mar Rd.

Approximate Acreage: 3.0

General Plan Designation: T-R

Zoning: P-C

Planning Area Zoning District: C-2

Building Number: 5 and 6

Site Use: Planning Area 4 will provide the site for two multi-level CDU buildings containing a total of 45 Commercial Dwelling Units CDUs and up to an equal amount of CSUs. The units are clustered around amenities including pools, spas, and patio gardens and are integrated into the grades of the knoll.

Processing Requirements: Improvements proposed for Planning Area 4 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit.

THE LA COSTA RESORT AND SPA MASTER PLAN

Figure 10 - PA 4 Landscape Plan



The concept landscape plan is illustrated above and appended at a larger scale to show the intended theme of the landscape architecture of Planning Area 4. These plans will be refined and processed within the building permit process to establish approval of final design for landscape elements in Planning Area 4.

THE LA COSTA RESORT AND SPA MASTER PLAN

2.5.5 PLANNING AREA 5 – LAND USE DESCRIPTION

Location: West of Estrella de Mar Rd. and east of El Camino Real Road within the campus of La Costa Resort and Spa



Approximate Acreage: 6.0
General Plan Designation: T-R Zoning:
P-C Planning Area Zoning District:
C-2

Processing Requirements: Improvements proposed for Planning Area 5 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit. The ballroom expansion is also subject to the approved Special Use Permit SUP 03-03 and the standards listed in Section 2.12 of the master plan.

THE LA COSTA RESORT AND SPA MASTER PLAN

Site Use in Planning Area 5: Planning Area 5 is the site for La Costa Resort Ballroom and associated landscaped parking facilities. This master plan allows for a Ballroom Expansion of up to 14,165 square feet within a 32,240 square foot structure and an outdoor event area of up to 8,960 square feet. Parking analysis for the resort was completed by an updated Parking Study by Walker Consultants dated August 1, 2018. Site use within PA 5 will consist of the existing Ballroom (42,510 square feet), a future Ballroom expansion, a future outdoor event area, and corresponding parking lot areas, and a potential future parking structure.

Timing for Improvements for PA 1, PA 2 and PA 5

- If CDU's are not developed within Planning Areas 1 and 2, and five years have elapsed from the date of approval of this master plan amendment, then the existing parking lot in Planning Area 1 and the gravel surface lot in Planning Area 2 shall be fully improved in compliance with all applicable city codes and standards. This master plan involves financial security provisions, monitoring, and enforcement regarding the improvements to Planning Areas 1 and 2 in advance of CDU development and parking structure construction.
- Per the Parking Study, adequate parking supply for the ballroom expansion is provided in existing nearby and adjacent lots. When and if Planning Areas 1 or 2 are developed with CDU's as allowed by the master plan, a parking structure shall be constructed within Planning Area 5. See concept footprint location on Figure 12; the structure will have up to 450 spaces although a parking assessment at that future time will specify the parking requirement.
- Within five years from date of final city approval of the ballroom expansion, the La Costa Resort and Spa owner shall either (1) secure all necessary permits for the improvement of the surface parking lot on PA 1 and 2, or; (2) submit, process and attain a Complete application for the allowed Commercial Dwelling Units (CDU) while concurrently processing plans and permits for a parking structure on PA 5 to address parking proximity and adequacy for the ballroom expansion.
- No extension of the above noted five-year period is allowed unless a major master plan amendment is processed and approved by the City Council after a recommendation by Planning Commission.
- Periodic reports and parking surveys will be generated by the applicant for review by staff at a minimum on an annual basis during the time period that the ballroom expansion is in operation and use. In this manner, a database will be developed to assess parking adequacy prior to the expiration of the five-year period. If a CDU development is proposed for PA 1 or 2, then the data will serve to assess the necessary size and capacity of the future parking structure. In addition, the city may require parking improvements and/or operational changes to address any parking/traffic impacts to adjacent neighborhoods or properties.
- A financial guarantee shall be provided to ensure the parking lot improvements required for PA 1 and 2 after the five-year period in the form of a bond, letter of credit, or other financial instrument to the satisfaction of the city. The financial guarantee may be released back to the applicant at the time of completion of the PA 1 and/or 2 lot improvements or until the start of construction for the CDU's on PA 1 and/or 2 as well as the start of construction for the parking structure on PA 5. This financial guarantee shall be provided and satisfied prior to the issuance of building permits for the ballroom expansion in PA 5.

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As illustrated on Figure 11, on the west side of the Ballroom façade, a surface parking lot is provided at grade with the option of converting that lot to a two or three level parking structure. This optional parking structure may be provided as discussed in Section 2.7.

FIGURE 11 - BALLROOM SECTIONS



A Parking Structure within this Planning Area is designed as an option to provide additional on-site parking that exceeds the analysis of the Master Plan's Parking Needs Assessment. Figure 12 shows a potential location of this structure. At project buildout, if conditions and operations of the Resort so warrant, the Developer and the Planning Director may determine an enforceable construction schedule of the parking structure by mutual agreement.

FIGURE 12 - POTENTIAL BALLROOM PARKING STRUCTURE



THE LA COSTA RESORT AND SPA MASTER PLAN

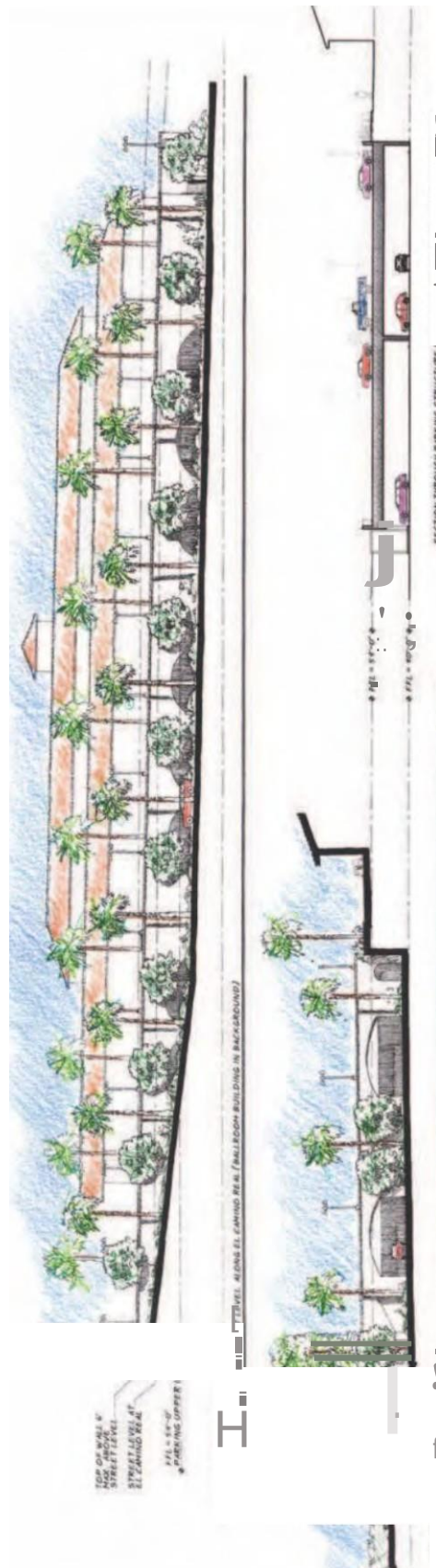
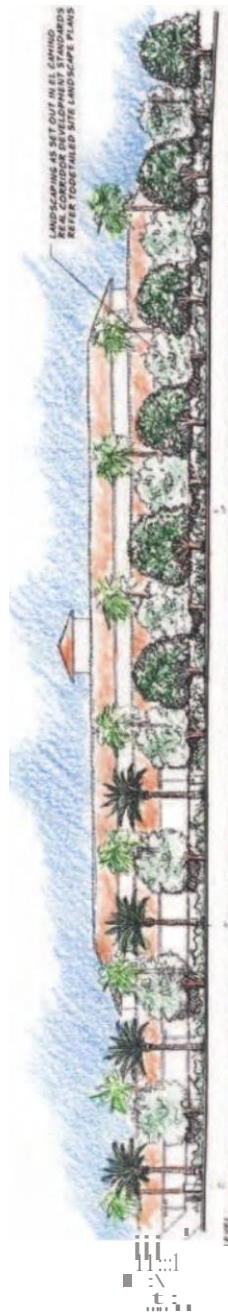
Current Landscape Improvements in Planning Area 5: The portion of the El Camino Real Corridor landscape improvement currently in place adjacent to the interface between the west face of the Grand Ballroom and El Camino Real is the first of two phases of landscape improvements in this area. A two phased implementation of the corridor landscape improvements in this area has been undertaken in order to address the completion of the Ballroom improvements and landscape screening prior to the approval of the La Costa Master Plan. This phased approach allowed for installation of major screen trees in concert with the ballroom opening in November of 2003 with anticipation of the second phase of screening trees and shrubs to be installed when approved within this Master Plan application as shown on page 39.

The ultimate condition of the perimeter improvements is described below:

- Plantings of Date Palms, California Sycamore, New Zealand Christmas Tree, and Brisbane Box Trees establish the look and character of the La Costa Resort along the El Camino Real project edge.
- Understory plantings of large screening shrubs such as Olive, Bougainvillea and Eucalyptus species will supplement view blocking to the west face of the ballroom structure.
- Accent elements including flowering shrubs, perennials, seasonal color will be used to add seasonal interest and variety.
- Future landscaping in the western portion of the ballroom parking lot in conjunction with the future ballroom expansion will be implemented as part of the landscape concept plan processed with the expansion's discretionary permit approval and installed prior to ballroom expansion occupancy with the grading permit process.

The Master Plan for La Costa supersedes CUP 258C and is the standard and guideline for development in Planning Area 5. No new or revised uses, parking, and structures are allowed without approval of a Master Plan Amendment.

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THE LA COSTA RESORT AND SPA MASTER PLAN

2.5.6 PLANNING AREA 6 – LAND USE DESCRIPTION

Location: South of the golf clubhouse in the vicinity of the driving range. A Special Use Permit/Floodplain (#03-06 herein) is required as approximately 1,100 sq. ft. of site grading is contemplated in the floodplain.



Approximate Acreage:	11.0
General Plan Designation:	O-S
Zoning:	P-C
Planning Area Zoning District:	O-S

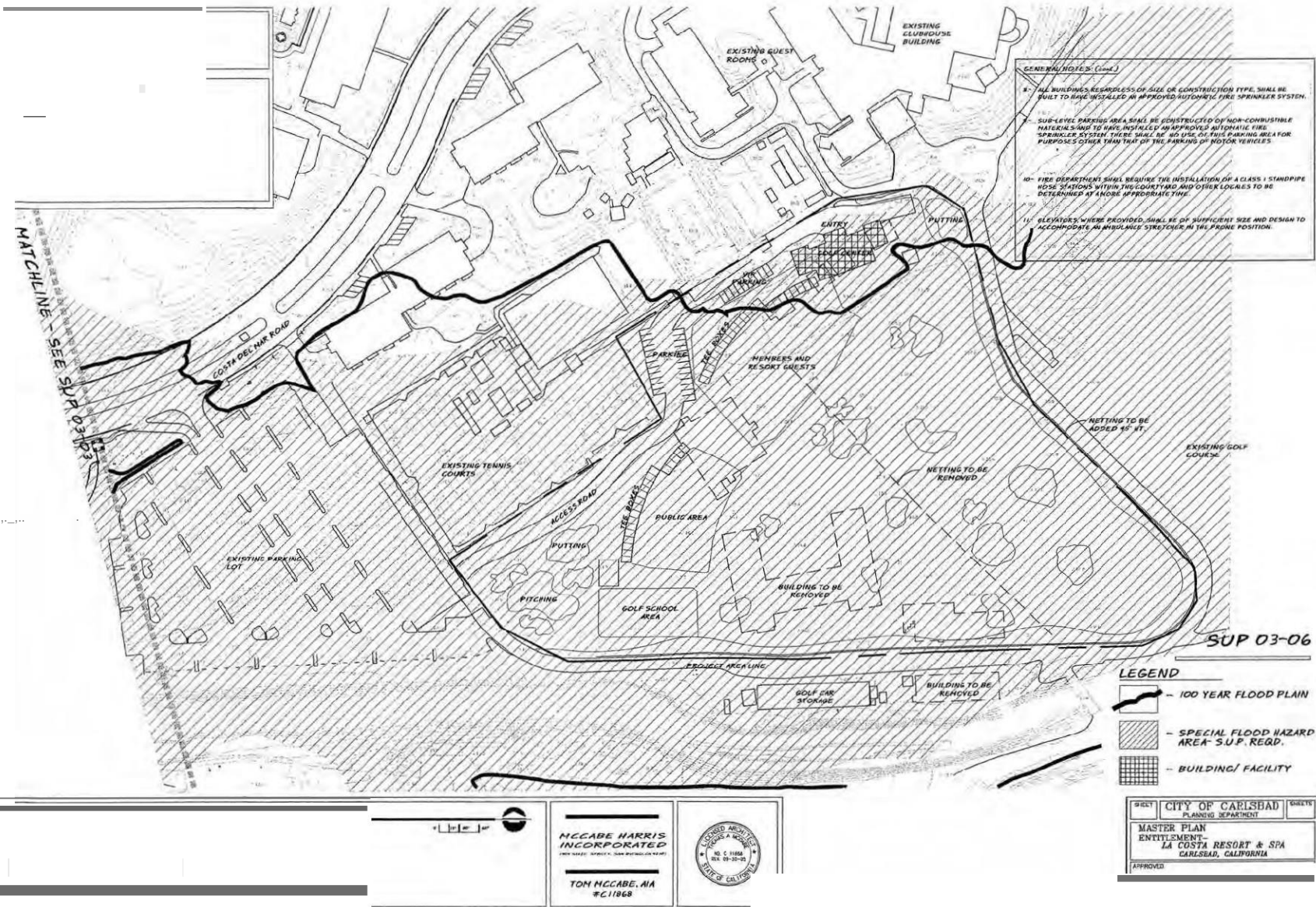
Site Use: Planning Area 6 is the site for La Costa Resort Golf Performance Center and Academy, as described in Section 2.5. An elevation of the architecture for the Golf Performance Center is illustrated on page 43.

Processing Requirements: Improvements proposed for Planning Area 6 of the approved Master Plan shall be processed in accordance with Title 21 ZONING Section 21.38.130 and Section 21.38.140. Development of property within a master plan pursuant to a special process such as a site development permit, planned unit development permit, or conditional use permit shall meet all requirements of the permit, the approved master plan, and the provisions of the Zoning Ordinance applicable to such permit.

THE LA COSTA RESORT AND SPA MASTER PLAN

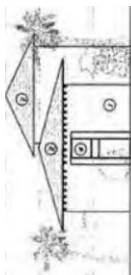
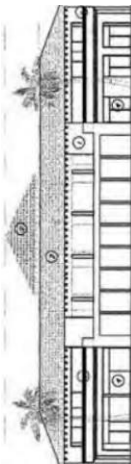
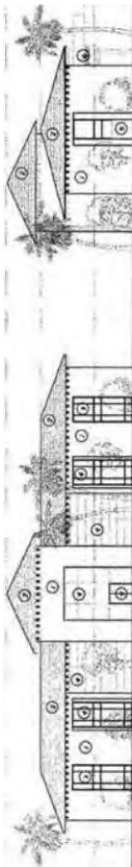
The concept landscape plan is illustrated on page 44 and appended to this Master Plan a larger scale to show the intended theme of the landscape improvements of Planning Area 6. Pages 42 and 43 delineate the Special Use Permit #03-06 for construction within the floodplain and indicate gentle mounding, bunker installations and peripheral tree and shrub placement to provide a visual backdrop to the Performance Center driving range and to screen site buildings and ball screen netting to the south and east of the facility.

THE LA COSTA RESORT AND SPA MASTER PLAN



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SUP 03-06
GOLF PERFORMANCE
CENTER BUILDING

t

WATER CONSERVATION LEGEND

TURF AREA	438,130 S.F.	WT. OF TOTAL LANDSCAPE AREA
ZONE 1	0 S.F.	WT. OF TOTAL LANDSCAPE AREA
ZONE 2	3,940 S.F.	WT. OF TOTAL LANDSCAPE AREA

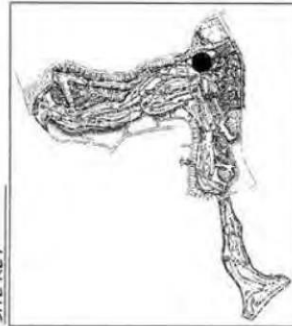
NOTES:

1. PLANTING AREAS ARE IN: TURF AREAS - (THIS ZONE 1 - (SEE LANDSCAPING (10) ZONE 2 - (SEE LANDSCAPING (11) ZONE 3 - (SEE LANDSCAPING (12) (AS DEFINED IN THE CITY'S LANDSCAPE SURVEILLANCE MANUAL.)
2. PLANT PALETTE FROM: PALETTE ON THIS SHEET
3. TREE QUANTITIES AS SHOWN GRAPHICALLY ON PLAN
4. USE OF TREES TO BE 3" BOX OR LARGER WITH THE REMAINDER TO BE 1 1/2" GAL. SIZE MIN.
5. ORNAMENTAL SHRUBS IN PLANTING AREA TO BE AN AVERAGE OF 1 GAL. SIZE AT 1 1/4 S.F.
6. FOR GROUND COVER SPACING TO BE AN AVERAGE OF 1 GAL. @ 25 S.F.
7. ALL PLANTING AREAS TO BE AUTOMATICALLY IRRIGATED
8. ANNUAL IRRIGATION REQUIREMENTS: ZONE 1 - OVER 30" ZONE 2 - 20" - 30" ZONE 3 - 10" - 20"
9. A SOIL TEST BY A QUALIFIED AGRICULTURIST SHALL FURTHER INFLUENCE PLANT MATERIALS & INSTALLATION TECHNIQUES.
10. PLACEMENT OF PLANT MATERIAL SHALL KEEP MINIMUM DISTANCES REQUIRED FROM EXISTING STRUCTURES, UTILITIES, VERGEE LOCATIONS & DISTANCES REQUIRED WITH APPROPRIATE FREQUENT.
11. APPROXIMATELY 10% (11 ACRES) OF THE SITE IS USED FOR LANDSCAPING: ZONE 1 - 0 S.F. ZONE 2 - 3,940 S.F. ZONE 3 - 3,940 S.F.
12. LANDSCAPE WILL BE MAINTAINED PRIVATELY FOR ALL COMMON AREAS.

ZONE 1 SHRUBS AND GROUNDCOVERS

BOTANICAL NAME	COMMON NAME	SIZE
SAUBA		1" GAL
GLORIA MINISTIA	GLORIA	1" GAL
EUROPE LIGATEA	LEAFY TREE	1 GAL
ANNUAL COLOR	BY SEASON	4" POT
TALL FESCUE TURF		300

SITE KEY



ZONE 3
GOLF PERFORMANCE CENTER
LANDSCAPING TO BE MAINTAINED WITH
EVERGREENS & FLOWERING SHRUBS UNDER
STREET PLANTING
• LANDSCAPING TO BE MAINTAINED WITH
• LANDSCAPING TO BE MAINTAINED WITH
• LANDSCAPING TO BE MAINTAINED WITH
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ZONE 2
EVERGREENS & FLOWERING SHRUBS UNDER
STREET PLANTING
• LANDSCAPING TO BE MAINTAINED WITH
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2.5.7 Planning Area 7 – Land Use Description

Location: The golf courses of the La Costa resort

Approximate Acreage: 360.4

General Plan Designation: O-S/T-R/RLM

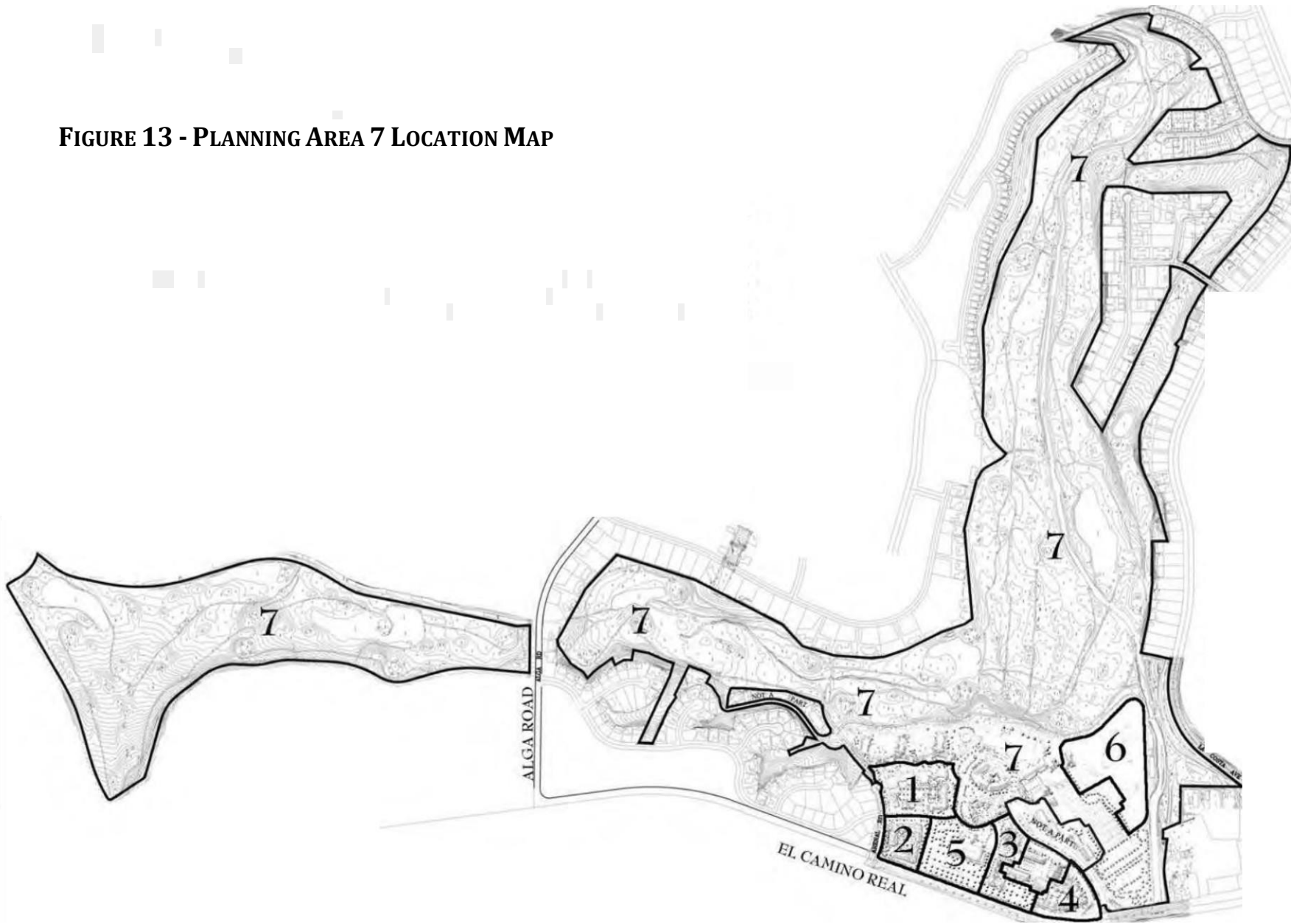
Zoning: P-C

Planning Area Zoning District: O-S/C-2

Phase of Development: Not Applicable

Site Use: Planning Area 7 is the remaining land and buildings of the Resort and golf course areas. Figure 13 shows the location of Planning Area 7.

FIGURE 13 - PLANNING AREA 7 LOCATION MAP



2.6 THE CIRCULATION PLAN

The circulation system for the La Costa Resort and Spa Master Plan conforms to the requirements of the City of Carlsbad General Plan Circulation Element by providing a hierarchy of vehicular traffic-ways with pedestrian-ways segregated within the plan area. This provides a safe and pleasing interface with vehicular and pedestrian circulation. Figure 14 illustrates the components of the circulation plan including public and private streets, shared private streets, fire access lanes and streets, and access lanes to the subgrade parking structure within the plan.

A detailed discussion of the technical issues of traffic impact analysis is presented in a companion document appended to this Master Plan. Additional focused technical analysis related to circulation patterns, traffic control and parking management are presented in the La Costa Parking Needs Assessment Study appended to this Master Plan and incorporated by reference.

2.6.1 THE PLAN AREA CIRCULATION HIERARCHY

Entry into the campus has been located to provide adequate line of sight and optimum traffic ingress and egress to and from the Commercial Dwelling Unit components of the Master Plan area.

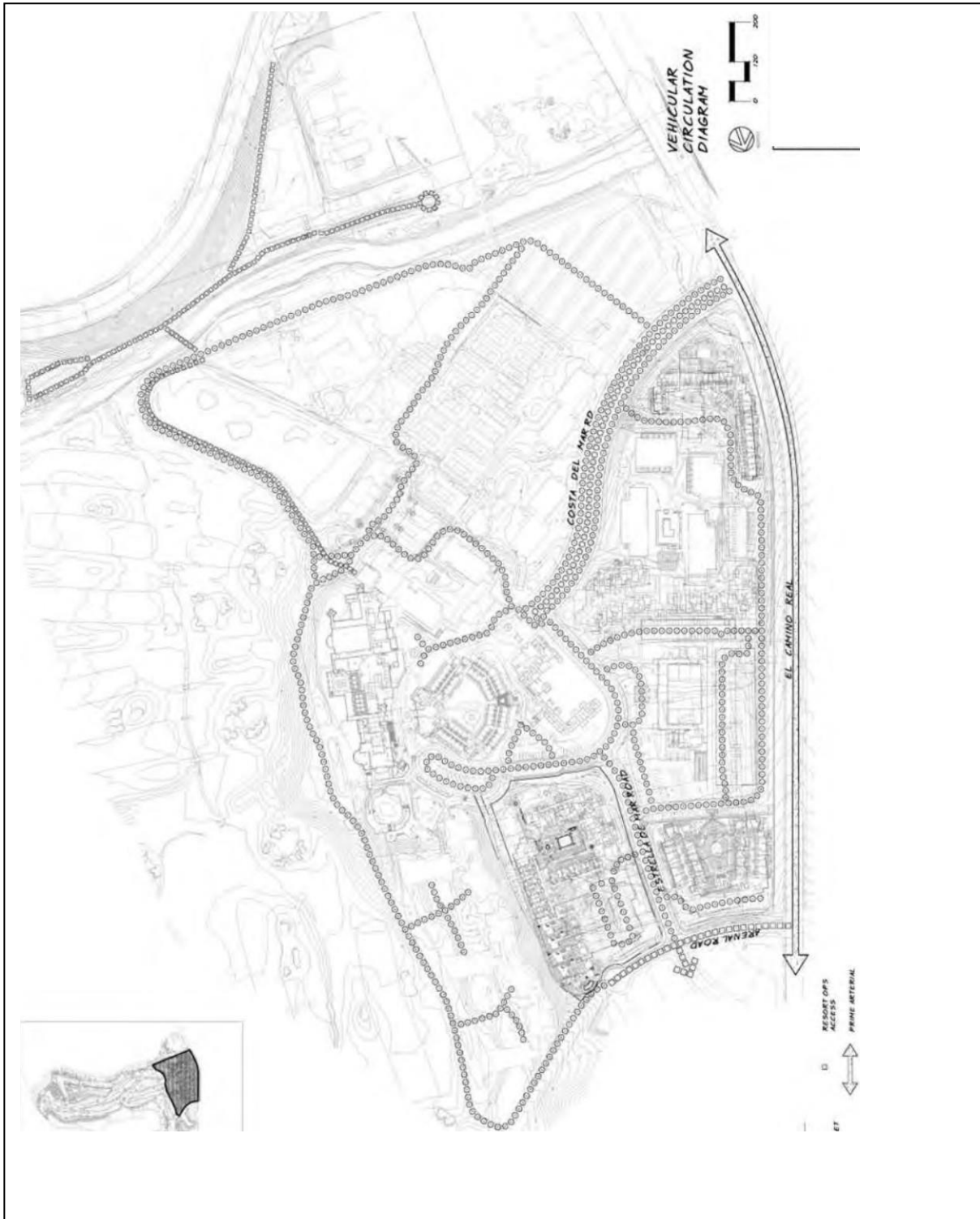
As shown on Figure 14, the La Costa Resort and Spa Master Plan circulation system has been designed to accomplish the following:

- Provide for internal private roadways that provide a safe route for project ingress and egress to all Commercial Dwelling Units, commercial and resort amenity areas.
- Provide for easy access to El Camino Real primarily by way of Costa Del Mar to minimize impact to Arenal Lane for Resort guest use and visitor serving traffic, minimizing conflict with existing traffic patterns.
- Provide a hierarchy of street configurations which accommodate the anticipated user load envisioned within the Master Plan build out.
- Provide for easy access to El Camino Real and Arenal Road for properties that are not a part of the La Costa c
- Provide for a vehicular circulation plan for service vehicles and tour bus routes that will minimize impact to Arenal Lane. The La Costa Resort shall coordinate with service vendors and service providers to follow the approved circulation plan.

Where walkways or "trails" intersect interior streets within the Master Plan area, landscaping and hard-scape improvements are intended to soften and make more safe, the interface between pedestrian and vehicular traffic.

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FIGURE 14 - VEHICULAR CIRCULATION DIAGRAM



2.7 PARKING FOR THE LA COSTA MASTER PLAN AREA

2.7.1 LA COSTA RESORT AND SPA- SHARED USE PARKING

In order to address the dynamic nature of the Master Plan's parking needs, parking for the Resort is considered for the "shared use approval" for the campus as a whole based on the findings of the report appended herein prepared by Walker Consultants.

For La Costa Resort and Spa, the land uses were divided into daytime and nighttime categories, depending on when they are expected to generate the peak number of vehicles. Many of the land uses at La Costa benefit from shared use of the on-site parking supply, reducing the total number of spaces needed to support guests and employees. In addition to hourly adjustment, reduction may be suggested in the number of spaces required because much of the patron demand for ancillary land uses (such as the spa, golf course, tennis courts, clubhouse and ballrooms) will already be parked on site for the primary land use; the hotel and villas. In parking, this adjustment is referred to as the captive ratio. More detailed discussion of these assumptions is presented in the Parking Needs Assessment prepared by Walker Consultants, dated August 1, 2018.

Key considerations for the shared use parking analysis include:

- Data collection on two weekends when the experienced high hotel/villa occupancy and multiple simultaneous events to help determine the actual parking demand ratio experienced by the hotel and other uses at the Resort.
- Research to determine the applicability and detail of the general parking requirements outlined under the City of Carlsbad Municipal Code.
- The satisfaction of these requirements where applicable to the intent of the Master Plan of development for La Costa.
- Satisfaction of the shared use requirements delineated in a shared use approval for the Resort as a whole in order to qualify for a reduction in the number of parking spaces required.
- Proposed an alternative requirement based on research collected and actual parking demand data collected at the Resort over two busy weekends.
- Additional parking supply will be constructed within the Master Plan area for development incrementally. Adequate parking, based on the findings of the Parking Needs Assessment and subsequent annual monitoring, will be provided either at grade or in structured facilities depending on the intensity of site development at the time of building permit issuance.

The Walker Study presents the case that though the City's minimum parking requirements may be useful in projecting parking demand at peak conditions for stand-alone land uses; they overstate parking demand for mixed use developments. This is because stand-alone ratios do not adjust for the fact that different land uses generate parking demand at different times of the time. For example, a complex containing a movie theater and an office building can benefit from a shared-use agreement where office employees use parking spaces during the day, while theater patrons use the parking spaces during the evening. This concept can also be applied to multiple uses that are generally considered "daytime" or "nighttime" uses. For example, a restaurant and nightclub can share parking, even though they are both "nighttime" generators, because the nightclub will generate peak parking demand much later in the evening than the restaurant. In this case, the ratio of cars present at a certain hour determines how much of the parking supply can be shared between

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various land uses. This observation is the basis for the La Costa Resort and Spa Master Plan shared parking plan.

The overall parking exhibit, with construction of the ballroom expansion, is provided to illustrate the locations of the various parking facilities at the Resort upon completion of the ballroom expansion. In addition to the Shared Use Parking provisions summarized herein, and described in detail in the appended Walker Consultants Parking Needs Assessment, the Developer is committed to providing surplus parking on an interim basis as each subsequent phase of development is undertaken. Additional, a parking structure with up to 450± parking spaces (150 spaces per level, up to 3 levels) in Planning Area 5 has been included as an option to provide additional on-site parking when and if Planning Areas 1 and 2 are developed with CDUs as allowed by the existing Master Plan. The timing and delivery of the parking structure are contingent on the timing and delivery of development on PA1 and PA2 per the section titled *Timing for Improvements for PA 1, PA 2, and PA 5* in the PA 5 section of the Master Plan.

When and if PA1 and PA2 are developed, if the conditions and operations at the Resort so warrant, the Developer and the Planning Director may determine an enforceable construction schedule for the parking structure by mutual agreement. The need for a parking structure shall be informed in part by periodic reports and parking surveys that will be generated by the Developer for review by City staff on an annual basis (at a minimum) during the time period that the Ballroom expansion is in operation in order to develop a data set to assess parking adequacy at the Resort.

If there is not a mutual agreement then the Planning Director will initiate a Master Plan amendment as allowed by the City ordinance to bring the matter before the City Council for resolution.

The following table and exhibits delineate parking areas that demonstrate:

- The quantity of parking spaces provided shall be based on the Shared Use allocation delineated in the updated Parking Needs Assessment prepared by Walker Consultants.
- The location of permanent parking spaces to be provided shall be reasonably accessible to the facilities that they serve,
- Parking stalls shall not be assigned to one particular use; rather they will be “shared” to address the dynamics of each use’s parking needs.

The following table and Figure 15 identify the available parking as well as the required number of spaces based on the Parking Needs Assessment. Prior to the issuance of a certificate of occupancy for any development, compliance with the requirements of the Master Plan’s updated Parking Needs Assessment shall be demonstrated to the satisfaction of the Planning Director. The project shall not be required to exceed the amount of parking identified in the assessment.

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2.7.2 – LA COSTA PARKING PLAN

Parking Area Plan Key	Parking Area Description	Proposed Number of Spaces
1	Main Valet	12
2	Valet Lot	44
3	Valet Pick-Up/Drop-Off	10
4	Main Gate Lot	514
5	Ballroom North Lot	0
6	Ballroom West Lot	155
7	Planning Area 2	Gravel (~200)
8	Building 9 Lot	264
9	Building 4 North lot	67
10	Garden Rooms West Lot	34
11	Garden Rooms North Lot	11
12	South San Marco Lot	220
13	Loading Dock	4
14	ADA Spaces by Signature Rooms	2
Total		1337 (excluding PA2 Gravel)
Parking Needs Assessment Project Peak Demand		1263

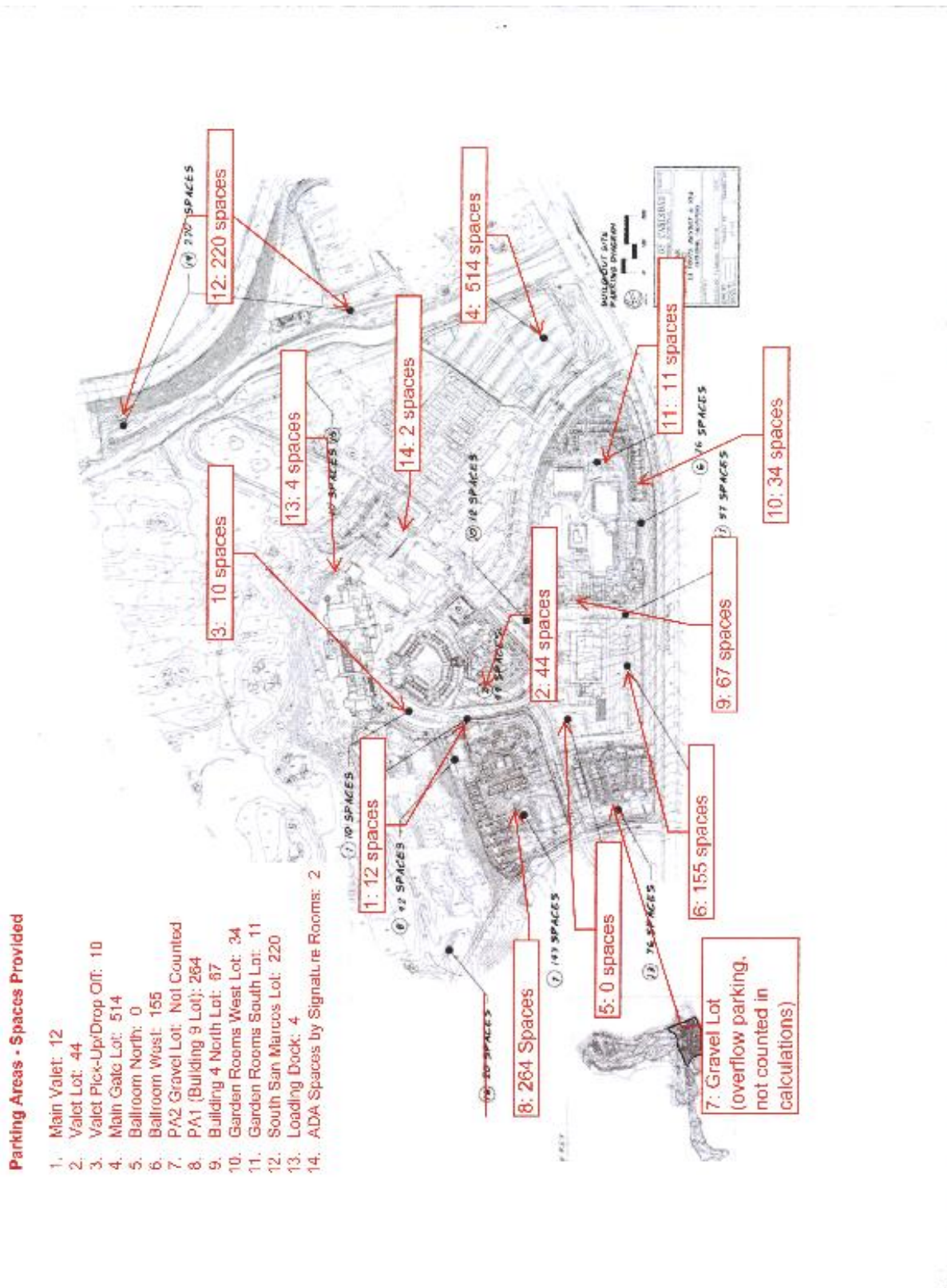


FIGURE 15 - BUILT OUT SITE PARKING DIAGRAM

2.8 OPEN SPACE AND RECREATION PLAN

2.8.1 OPEN SPACE WITHIN THE MASTER PLAN AREA

Within the Master Plan area, approximately 75% of the project area is dedicated to open space on site. Preservation of the open space feel of the Resort Golf Course element is an important facet of the Master Land Use Plan. Open space constitutes the largest single land use within the Master Plan area and is therefore a primary image of the La Costa Resort campus.

Planning Areas 1 through 7 provide the setting for various open space amenities complimenting other primary Resort uses in place or planned to occur.

The La Costa Resort and Spa open space preservation concept involves natural canyons adjacent to golf corridors, hillsides similarly sited, utility corridors limiting certain use, trails, landscaped parkways and vegetation areas which are located throughout the Master Plan area dedicated to either golf course area and/or to other open space interspersed within the overall site area.

Two (2) categories of open space use serving the Resort campus include the following:

1. OPEN SPACE FOR OUTDOOR RECREATION

Two 18-hole Championship Golf Courses and supporting use areas are located in Planning Area 7 providing a significant visual amenity that serves as a buffer between Commercial Dwelling Units areas and the other Master Plan land uses. The private golf courses are available to members and guests of the hotel and limited outside play. This area includes areas within the golf course and associated waterways, creeks, and drains including natural slopes adjacent to the golf corridors, tree groves within the golf course and lake features.

Planning Area 6 proposes a 7,000 square foot Golf Instruction Academy to provide additional recreation opportunities as described in Section 2 herein.

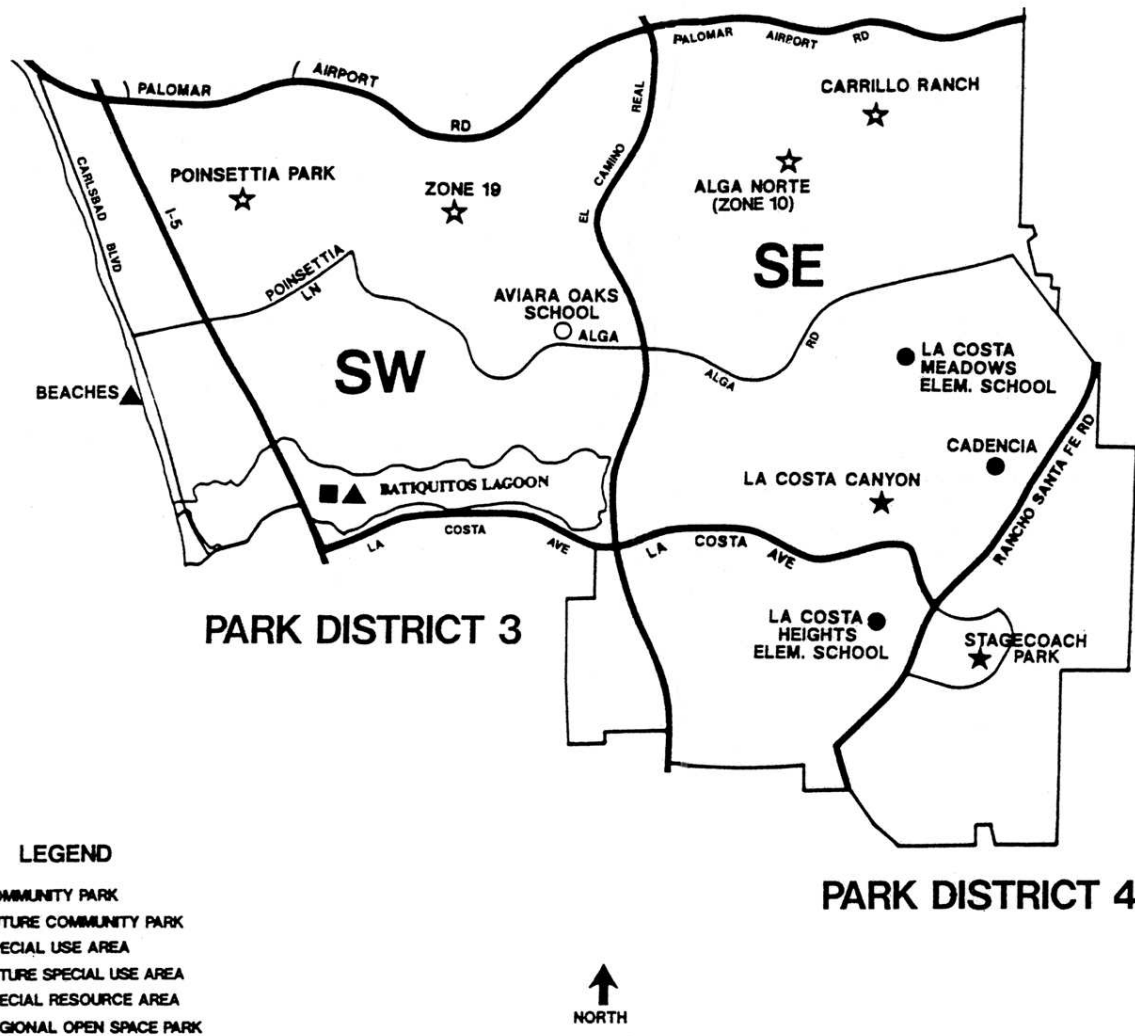
Also included in the Open Space element of the plan are jogging and walking trails which are located throughout the context of the La Costa campus.

To a lesser extent, limited open space on site is necessitated within utility corridors and easements already in place within the La Costa campus. These utility corridors are located in detail in the Tentative Tract map Exhibits as companion documents to this Master Plan. In addition to carrying public utility lines, the corridors serve as “visual” open space buffers between Planning Areas of differing land use.

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2. OFFSITE OPEN SPACE OPPORTUNITY

The City of Carlsbad's provision of Special Resource Areas in the form Public Open Space Parks provide another facet to the recreation opportunities in the vicinity of the La Costa Resort and Spa. The Master Plan area falls within Park District 4 and interfaces with Park District 3. This district has a number of Community Parks, Planned Community Parks, and Special Use and Special Resource areas. The major regional facility linking the La Costa Resort area with the Pacific Coastline is the Batiquitos Lagoon located adjacent to the El Camino Real Transportation Corridor immediately west of the Resort. This regional facility provides natural attributes for the Carlsbad public and the Resort guest to enjoy such as unique topographic features, unusual landform and/or historic scenery. Access to the Lagoon from the Resort is via peripheral sidewalks. These offsite recreation opportunities are available primarily for the residents and visitors of Carlsbad - the typical Resort user interface to those community facilities is limited. Typically, the Destination Resort of La Costa is the resort-recreation destination for the guests thereby creating minimal demand on offsite recreation amenities.



2.9 MASTER PLAN AREA INFRASTRUCTURE

The essential components of the infrastructure system which serves the La Costa Resort Master Plan area are currently addressed by City and County system providers in a coordinated system of quasi-public and private services to adequately serve the plan area presently and at full build out. Service providers for the plan area include:

Water – Leucadia County Water District
Sewer – Carlsbad Municipal Water District
Gas – San Diego Gas and Electric
Electricity – San Diego Gas and Electric
Telephone – SBC

On site and offsite infrastructure serving the improvements within the Master Plan boundary are delineated in the engineered technical drawings appended to this document and are incorporated by reference. These documents include:

Lots
Topography
Easements
Grading
Utilities

2.9.1 FISCAL BENEFIT ANALYSIS

The primary purpose of this analysis is to project the fiscal benefit impact that the La Costa Resort and Spa will have on the City of Carlsbad. For the purposes of this analysis, projections go through the Year 2009. The study includes two comparative components: Master Plan vs. development. The variable difference in fiscal impact between the two plans will enable City officials to view and anticipate both current and future financial benefits. The full report is included in the La Costa Resort and Spa Fiscal Benefits Analysis dated June 16, 2004 in the Appendix to this document.

2.9.2 SUMMARY OF CONCLUSIONS

At project build-out in Year 2009, La Costa Resort and Spa as described in the Master Plan, is anticipated to generate estimated gross revenues in excess of several million dollars annually to the City of Carlsbad. As a result of the Master Plan components, there will be a direct fiscal impact to three tax revenue generators; Transient Occupancy Tax (TOT), Property Tax, and Sales Tax. This study has not included other tax generating programs, such as Franchise Tax and Vehicle License Fees. They have been omitted because these programs were not considered significant. Of the two plus million dollars, approximately 90% will be generated from TOT revenue attributable to the construction of 197 Commercial Dwelling Units. The remaining revenue balances are Property Taxes and Sales Taxes.

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On a Master Plan project of this magnitude, there are intangible items or events that cannot be measured or assigned value. As the project progresses and each CDU building is completed, there will be new job opportunities created. It is anticipated that the payroll expenditures for the implementation of the Master Plan will continue to increase at project build-out. At the current time, La Costa Resort and Spa is the host for nationally renowned sporting events. Attendance at these events attracts fans and visitors from throughout the United States. These events create an economic benefit for the City of Carlsbad, ranging from room accommodations, dining experiences, tourist attractions and retail sales.

In summary, it is expected that the Master Plan will have a substantial positive impact on the City. At buildout, the Resort will have a campus-like atmosphere with pedestrian plazas, recreational golf and tennis facilities, state-of-the-art health spa, and expanded ballroom and banquet facilities. These amenities will allow visitors and guests, as well as major corporations, to select La Costa Resort and Spa as their destination for weekend getaways, vacations, and corporate sponsored events and conferences. Through this fiscal benefit analysis, it is our intention to show that KSL Recreation Corporation is committed to returning the La Costa Resort and Spa to being an internationally recognized destination resort.

2.9.3 STORM WATER POLLUTION PREVENTION PLAN

OVERVIEW

This storm water pollution prevention plan (SWPPP), or storm water management plan (SWMP), covers the operations at the La Costa Resort and Spa. It has been developed as required by the City of Carlsbad, Public Works Department for storm water discharges and in accordance with best management practices. This SWPPP/SWMP describes this facility and its operations, identifies potential sources of storm water pollution at the facility, recommends appropriate best management practices (BMPs) or pollution control measures to reduce the discharge of pollutants in storm water runoff, and provides for periodic review of this SWPPP/SWMP.

It should be noted that the La Costa Resort's Golf course is the recipient of drainage and run-off from several hundred acres of neighboring property including public streets, residential lots and common area open space and other land not controlled by the developer.

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The golf course and majority of the Resort site drains into the San Marcos Creek which flows to the Batiquitos Lagoon and eventually drains to the Pacific Ocean. This critical drainage path requires focused attention to the maintenance of water quality on site in order to reduce the potential impact on these waters and their habitat where these on-site drainages can be monitored and maintained.

OBJECTIVES

The primary goal of the SWPPP/SWMP is to improve the quality of surface waters exiting the La Costa property by reducing the amount of pollutants potentially contained in the storm water runoff which reaches the San Marcos Creek. Commercial facilities are required by the City of Carlsbad to prepare and implement a SWPPP/SWMP for their facility in order to manage runoff and potential pollutants entering these critical habitats.

The SWPPP/SWMP for La Costa Resort and Spa will:

1. Identify sources of storm water and non-storm water contamination to the storm water drainage system;
2. Identify and prescribe appropriate "source area control" type best management practices designed to prevent storm water contamination from occurring;
3. Identify and prescribe "storm water treatment" type best management practices to reduce pollutants in contaminated storm water prior to discharge;
4. Prescribe actions needed either to control non-storm water discharges or to remove these discharges from the storm drainage system;
5. Prescribe an implementation schedule to ensure that the storm water management actions described in this plan are carried out and evaluated on a regular basis.

STORM WATER POLLUTION PREVENTION TEAM

The assignment of a storm water pollution prevention team is created herein and is responsible for developing, implementing, maintaining, and revising this SWPPP/SWMP. The members of the La Costa Resort and Spa team are familiar with the management and operations of the site in its entirety.

Members of the La Costa Resort and Spa team and their responsibilities are as follows:

Title: Director of Engineering

Responsibility: La Costa Team Leader

Title: Chief of Engineering

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Responsibility: La Costa Clean-up Team, Observation Specialist, and Chief Engineering Staff Trainer - This position insures that all Facility Engineering Operations are maintained with the BMP's listed herein.

Title: Chief Golf Course Superintendent

Responsibility: La Costa Golf Course Clean-up Team, Golf Observation Specialist, and Golf Operations and Maintenance Staff Trainer - This position insures that all Golf Operations are maintained with the BMP's listed herein.

Title: Chief Landscape Maintenance Director

Responsibility: La Costa site landscape installation and maintenance team, and Maintenance Staff Trainer. This position insures that all site landscape installations are maintained with the BMP's listed herein.

Detailed contact information is provided in the SWPPP in the Technical Appendices to the Master Plan.

POTENTIAL SOURCES OF STORM WATER POLLUTION

DETAILED SITE MAP

Graphics included herein present a site map of the facility showing the following features as required by the SWPPP:

- The facility property boundaries;
- A depiction of the storm drainage collection and disposal system, including all known surface and subsurface conveyances, with the conveyances named;
- Any secondary or other containment structures;
- The location of all outfalls, including outfalls recognized as impaired water bodies, numbered for reference, that discharge directed flows to surface water, groundwater, or wetlands;
- The drainage area boundary for each storm water outfall;
- The surface area in acres draining to each outfall, including the percentage that is impervious such as paved, roofed, or highly compacted soil and the percentage that is pervious such as grassy areas and woods; structural storm water controls;
- The name and location of receiving waters; and
- The location of activities and materials that have the potential to contaminate storm water shall also be depicted on the drainage base map.

INVENTORY OF POTENTIAL SOURCES OF POLLUTION

The following have been identified as potential sources of storm water contamination.

- Areas of significant soil erosion;
- On site storage of plant material;
- Storage and maintenance areas for material handling or cleaning or golf maintenance equipment;
- Golf Maintenance yard access road;
- Material handling sites (storage loading, unloading, transportation, or, conveyance of any raw material, finished product, intermediate product, by-product or waste;
- Shipping and receiving areas at loading dock;
- On-site repair and manufacturing buildings;
- Residual treatment, storage, and disposal sites;
- Storage areas in the Golf maintenance area for raw products, chemicals, and materials,
- Trash, grease, and waste disposal areas onsite in areas of loading dock and dumpster sites;
- Areas containing residual pollutants from past activity, spills and leaks;
- Vehicle or equipment maintenance and cleaning areas; spills and leaks;
- Pool Water Discharge areas;
- Pressure Washing areas.

NON-STORM WATER DISCHARGES

Non-storm water discharges are prohibited. Any unauthorized non-storm water discharges must be eliminated.

A list of non-storm water discharges or flows that are not considered illicit (unless identified as a significant source of contamination) if properly monitored for compliance with the guidelines herein is provided in full in the appendices.

OTHER PLANS INCORPORATED BY REFERENCE

The following plans are incorporated into the SWPPP/SWMP by reference, unless superseded by approval of this Master Plan:

- Conditional Use Permits on file with the City of Carlsbad, (prior to and subsequent to approval to the Master Plan)
- Applicable Occupational Safety and Health Administration (OSHA) Emergency Action Plans and Preventative Maintenance Plans as applicable to Commercial operations.
- Manufacturer supplied manuals for safe and responsible operation and maintenance of equipment used in the daily site activity addresses herein.

BEST MANAGEMENT PRACTICES

The potential sources of storm water contamination identified will indicate BMPs to eliminate or reduce pollutants and to prevent storm water from becoming contaminated. These include processes, procedures, and structural controls selected to prevent contamination by stressing the importance of storm water management and employee awareness of potential pollutant sources at the Resort. BMPs can be structural and non-structural and will form a decisive link to determining the effectiveness of improving storm water quality. The successful implementation of this SWPPP/SWMP includes reviewing, generating, and incorporating BMPs completely and accurately to receive the maximum benefit for the area of potential impact. The use of BMPs can be an ever-changing process for a site of La Costa's magnitude. New technologies and creative uses of simple applications will result in a "check and balance" for the Resort with regulatory requirements of the City of Carlsbad.

NON-STRUCTURAL AND STRUCTURAL BEST MANAGEMENT PRACTICES

Non-structural BMPs generally consist of prohibitions and/or procedures of activities that prevent pollutants associated with a La Costa Resort and Spa activities from having contact with storm water runoff or authorized non-storm water discharges. They are mostly considered low technology, cost effective measures implemented by the Resort Staff.

Structural BMPs are physical structures that remove pollutants from storm water and usually include specially constructed devices/systems. Traditionally, structural BMPs included storm water ponds that directed runoff to oil-sand or oil-water separators. Many new structures manage to reduce pollution in storm water are designed and constructed to use innovative techniques. For example, BMPs often rely on the natural filtering capacity of the ground and the absorption capabilities of plants to help with the removal of pollutants. Some filter pollutants from storm water by using natural and man-made materials such as straw bales, semi-porous plastic filter fabric, and silt fences. Storm water management controls, or best management practices (BMPs), will be implemented to reduce the amount of pollutants in storm water discharged from the La Costa Resort and Spa as follows:

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- **Good Housekeeping:** Good housekeeping practices are designed to maintain a clean and orderly work environment. This will reduce the potential for significant materials or equipment to encounter storm water and should reduce safety hazards to facility personnel. The good house- keeping BMPs which will be implemented in an effort to prevent pollutants from entering storm water discharges are included in the Technical Appendices in full.
- **Preventative Maintenance:** Preventive maintenance involves the regular inspection and maintenance of the materials storage area. These inspections will help to uncover conditions that might lead to a release of materials. Preventive maintenance BMPs to be implemented for the Resort and are included in the Technical Appendices in full.
- **Spill Response:** Spills and leaks can become the largest site source of storm water pollution if not properly managed. Equipment and procedures necessary for cleaning up spills and preventing pollutants from being discharged are identified herein. Spill response for the site BMPs and are included in the Technical Appendices in full.
- **Materials Storage:** Raw materials, by-products, finished products, containers, and other materials exposed to rain and/or runoff can pollute storm water. Storm water can become contaminated by a wide range of pollutants when materials wash off or dissolve or when spills or leaks occur. To the maximum extent practicable, and to the extent it is cost effective, the use of source area control BMPs should prevent storm water from becoming contaminated. Materials storage BMPs are included in the Technical Appendices in full.
- **Employee Training and Awareness:** Pollution prevention eliminates or reduces the management of polluted storm water runoff. To achieve successful implementation of the SWPPP/SWMP cooperation among La Costa Resort and Spa employees, staff training, public communication, and outreach programs will be implemented. Training will target staff that will be conducting activities at the materials storage area. Training to implement BMPs and are included in the Technical Appendices in full.
- **Waste Handling and Recycling:** Trash and debris from the La Costa site proper that is not intercepted may enter the storm drain system and eventually end up polluting beaches and water ways by way of San Marcos Creek. Waste handling and recycling BMPs are included in the Technical Appendices in full.
- **Record Keeping:** Forms for the documentation, record keeping, and reporting associated with the SWPPP/SWMP are found in the Technical Appendices Book, Appendix 2. All reports and records pertaining to implementation of this management plan shall be retained for a minimum of five years. The forms are to be managed by the Team Leader and kept on site and shall be made available to the City and/or Regional Water Quality Control Board upon request.
- **Erosion Control:** Erosion control, also referred to as “soil stabilization” is the most effective way to retain soil and sediment, preserve vegetation where feasible, and to stabilize and vegetate disturbed areas. At a minimum, an effective combination of erosion and sediment control must be implemented at the Resort, especially during the rainy season. BMPs for soil erosion include the following:

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- **Inspections:** Facility inspections will be conducted annually to determine if the storm water pollution prevention controls are being effectively and properly implemented. Specific BMPs that are not working as intended or properly implemented will be noted and brought to the attention of La Costa staff. If problems are found during the inspection, the inspector and site staff will determine whether operation and maintenance activities require modifications in order to comply with the SWPPP/SWMP or if the BMPs need to be revised. When improvements are needed another inspection will be scheduled within the same year to check if modifications have been implemented. These operational and maintenance changes will be prioritized and implemented and the SWPPP/SWMP revised by The La Costa Resort and Spa Team Leader.
- **Quality Assurance:** The implementation of this management plan requires routine visual inspections of the storm water runoff during and after rainfall events. Records of the inspections generated after significant events must be kept on file with the SWPPP/SWMP. Quality assurance BMPs are included in the Technical Appendices in full.

EVALUATION OF BEST MANAGEMENT PRACTICES

Once the SWPPP/SWMP is in place and BMPs implemented, further actions must be taken to ensure that it remains current. An evaluation of BMPs during each reporting period should be completed to determine the success, revision, or failure of specific BMPs. If the SWPPP/SWMP needs to be revised based on an evaluation of the BMPs, the revisions should be implemented within 90 days of the evaluation. Successful implementation of BMPs requires proper employee training and awareness to be effective. The evaluation criteria of BMPs are included in the Technical Appendices in full.

STORM WATER TREATMENT BEST MANAGEMENT PRACTICES

Structural control measures may be necessary to control pollutants that are still present in the storm water after the non-structural controls have been implemented. These types of controls are physical features that control and prevent storm water pollution. They can range from preventive measures to collection structures to treatment systems. Structural controls will require construction of a physical feature or barrier.

PREVENTIVE MEASURES

Preventive measures in the form of Rock Filters have been installed at points along the San Marcos Creek where runoff may enter the stream flow. These features are intended to prevent the exposure of storm water pollution to the creek and lagoon.

The following preventive measures have been chosen for this facility.

- Signs and labels to direct traffic away from high erosion areas
- Safety posts to direct vehicular traffic to paved areas vs. unpaved erosion-prone area
- Fences along embankments and slopes otherwise prone to erosion from uncontrolled traffic
- The Site security system which minimizes vandalism to grounds and slopes
- In the Maintenance sites and yards, coverings over areas of concern.

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AREA MATERIAL CONTROL MEASURE - DIVERSIONS

Diversion practices are structures including paving that are used to divert storm water away from high-risk areas and prevent contaminants from mixing with the runoff, or to channel contaminated storm water to a treatment facility or containment area. The following areas are to be protected using diversion structures.

- Loading Docks at Back of House
- Loading Docks at the Ballroom
- Material storage areas in all facilities
- Streets and paths used for cart and vehicular traffic
- Other areas that exhibit the potential for requiring diversion of runoff

AREA MATERIAL CONTROL MEASURE - CONTAINMENT

Containment areas are structures designed to hold pollutants or contaminated storm water to prevent it from being discharged to surface waters. These structures can range from drip pans to large containment areas. Containment structures will be/have been installed in the following areas. Containment shall be implemented:

- Around waste fluid storage areas
- Areas requiring drip pans under valves and pipe connections
- Areas requiring curbing around dismantling areas or parts storage areas in the maintenance yards for Golf Operations and Landscape Maintenance Yards

OTHER MATERIAL CONTROL MEASURES

The following additional controls will be used at the La Costa Resort and Spa facility:

- Sumps for retention of spills prior to clean up
- Oil/water separators to allow proper disposal
- Sand filters
- Vegetative filters
- Basins for collection, retention, detention of storm water and pollutants
- Reduce, reuse, and recycle materials wherever possible to avoid the necessity of waste

ANNUAL FACILITY SITE COMPLIANCE INSPECTION

The Team Leader shall make an annual inspection to evaluate the effectiveness of the SWPPP/SWMP. The inspection shall be adequate to verify that the site drainage conditions and potential pollution sources identified in the SWPPP/SWMP remain accurate, and that the best management practices prescribed in the SWPPP/SWMP are being implemented, properly operated and adequately maintained. Information reported shall include the inspection date, inspection personnel, scope of the inspection, major observations, and revisions needed in the SWPPP/SWMP. This form is contained in the Technical Appendices Book, Appendix 2.

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QUARTERLY VISUAL MONITORING

The Team Leader or his Chief Engineer shall perform and document quarterly visual inspections of storm water discharge quality at each storm water discharge outfall. Inspections shall be conducted within the first 30 minutes of discharge or as soon thereafter as practical, but not exceeding 60 minutes. The inspections shall include any observations of color, odor, turbidity, floating solids, foam, oil sheen, or other obvious indicators of storm water pollution. Information reported shall include the inspection date, inspection personnel, visual quality of the storm water discharge, and probable sources of any observed storm water contamination.

IMPLEMENTATION SCHEDULE

This SWPPP/SWMP becomes effective as of the date of approval of the Master Plan for La Costa Resort and Spa. The non-structural controls will be implemented as of the date of approval of the Master Plan for La Costa Resort and Spa. Structural controls will be in place by no later than six months following approval of the Master Plan for La Costa Resort and Spa.

RECORD KEEPING AND REPORTING

Forms for record keeping and reporting associated with the La Costa Resort and Spa SWPPP/SWMP are found in the Technical Appendices Book, Appendix 2.. All reports and records pertaining to the permit coverage under requirements by the City shall be retained for the later of 5 years beyond the date of the violation or incident. The forms are to be kept on site and shall be made available to the City of Carlsbad and/or Regional Water Quality Control Board upon request.

These forms include (at a minimum):

- Training Records for La Costa Resort and Spa Staff responsible for the implementation and ongoing maintenance of this management practice document
- Storm Water Pollution Prevention Plan Annual Facility Site Compliance Inspection Report

In the case of facilities which discharge storm water to a La Costa Resort and Spa separate storm sewer system, the records must also be made available to the operator of the La Costa Resort and Spa system. A current copy of the SWPPP/SWMP will be sent to the City's Planning Department for record and internal distribution to the Engineering Department and other responsible City and State Agencies. In the event of a change in position within the staff for the Resort, a revised General Facility Information Form and Team Member Roster shall be provided to the City's Planning Department and shall be reflected in an updated BMP document for re-issuance to the City's responsible agencies.

A complete Storm Water Pollution Prevention Plan (SWPPP) is included in its entirety in the Technical Appendices. All applicable Best Management Practices (BMP's) are included in detail in the SWPPP in the appendices.

2.10 THE LA COSTA RESORT COMMUNITY DESIGN STANDARDS

Purpose – This Section of the La Costa Master Plan document presents Architectural and Landscape Architectural guidelines and standards for the use of builders and developers within the planning areas.

After years of previous implementation of random architectural themes and poorly thought out site planning, the present developer of the La Costa plan area has undertaken a commitment to renovate, revitalize, and homogenize, to the greatest extent feasible, the architecture and landscape architecture of the Resort campus. This is being accomplished by utilizing a conforming set of Architectural and Site Design Guidelines set within the “Spanish Colonial” vernacular.

2.10.1 ARCHITECTURAL AND SITE DESIGN GUIDELINES

THE SPANISH COLONIAL ARCHITECTURAL THEME FOR THE LA COSTA RESORT AND SPA:

The Spanish Colonial style refers to the Mediterranean and Spanish Revival styles built in the 1920's and 1930's. Two main factors influenced the creation of the Spanish Colonial style. First, Southern California established itself as a prestigious winter resort. Its mild climate and impressive seaside setting attracted many wealthy residents from the East and Midwest. Architects added historic fragments gathered from their clients travels to Spain, North Africa and Mexico. This had the overall effect of expressing an exotic and romantic architecture and (more importantly due to the mild climate) the landscape architecture. These exotic themes dictated that houses be placed comfortably in lush garden settings using Spanish tower elements expanded in height to capture ocean views.

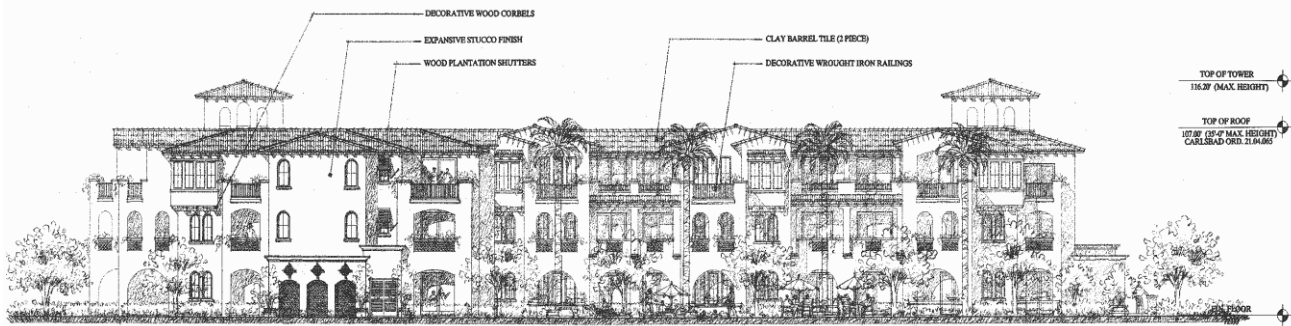


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The Spanish Colonial style is an eclectic mixture of Mediterranean architecture unified by the use of clay tile roofs, expansive stucco walls, ornate pre-cast stone details, canvas awnings to support the Resort character, decorative hand-painted ceramic tile, decorative wood in conjunction with wrought iron rails, timber beams and columns and second floor decks, deeply recessed wall fenestration and asymmetrical volumes. Rear and private yards are more open and exotically decorated. Interior spaces are organized as self-contained separate rooms rather than "open" floor plans.

2.10.2 COLOR IN THE LA COSTA ARCHITECTURAL VERNACULAR

The earth tone color palette that predominates within the architectural context of La Costa Commercial Dwelling Units construction and ancillary structures is based on a history of whitewashed stucco over adobe bricks. This motif is complemented with a simplistic color scheme and a variety of roof tones and textures offset by the contrast of the window moldings and associated architectural detail.



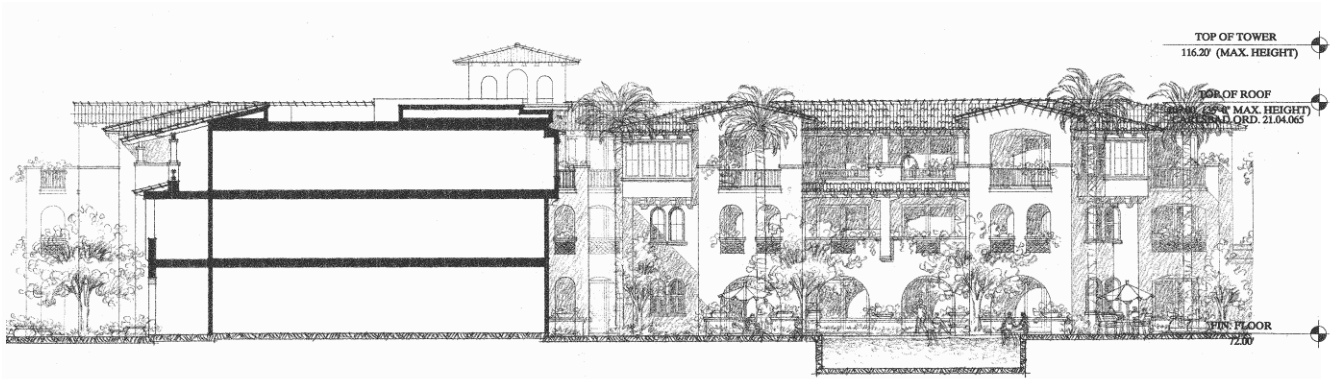
The predominant color of all structures shall be limited to the spectrum of white, cream, tan, sand, light brown, mauve and other muted earth tones. Colors outside of this spectrum shall be used for accents only in a limited way to compliment these earth tones. In order to achieve the variety of architectural expression envisioned for the Commercial Dwelling Units components of the project, a limited variety of materials and colors shall be used to create a rich tapestry of design elements. The simpler the expression, the more authentic the representation of the Spanish Colonial style.

2.10.3 BUILDING MASSING AND SCALE

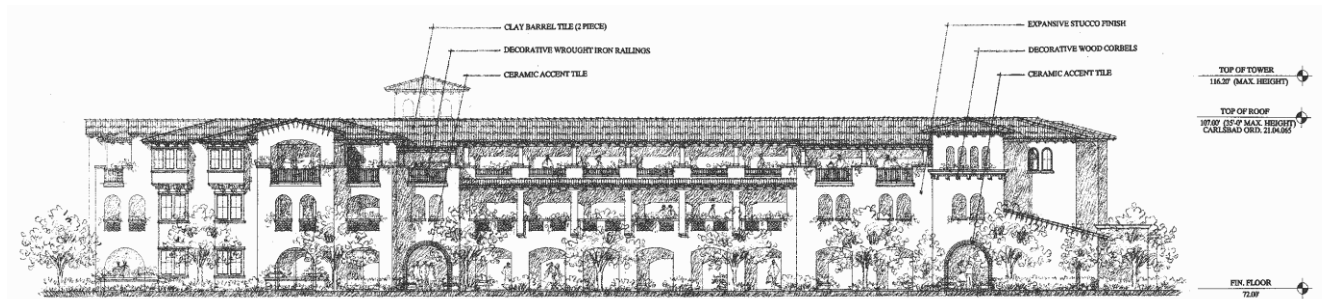
The general character of Commercial Dwelling Units development areas shall reflect a scale in which the building massing does not overwhelm the street scene. Typically, a building shall create a pleasant pedestrian environment and enhance the street scene.

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Where site planning criteria allows, building wall planes, particularly on the front elevation, shall be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony. Multi-story Commercial Dwelling Unit plate lines are encouraged on the front elevation by stepping back the second-story wall plane to effectively break up the building mass and provide a reduced scale along the street scene. Multi-story plate lines with second-story wall setbacks are encouraged on side and rear elevations.



- Articulated roof structures shall be created through the use of a variety of articulated roof forms.



- Repetitious gable ends along front and rear elevations shall be minimized.

2.10.4 BUILDING DETAILS

WALL PLANES, WINDOWS, AND DOORS



- The use of multi-pane windows is encouraged for front elevations which are visible from other private or quasi-public spaces. Trim may, wherever possible, be painted to be compatible with the building architecture.
- The style of windows shall be compatible with the architectural style of the building. The use of many different styles of windows on one building plane shall be avoided. The size and proportion of panes shall correspond to the overall proportioning of the elevation. Accent windows having different or articulated shapes or with a finer texture (e.g., many small panes) shall be used as an accent element to create interest on building elevations if consistent with the Spanish eclectic style.

ENTRIES

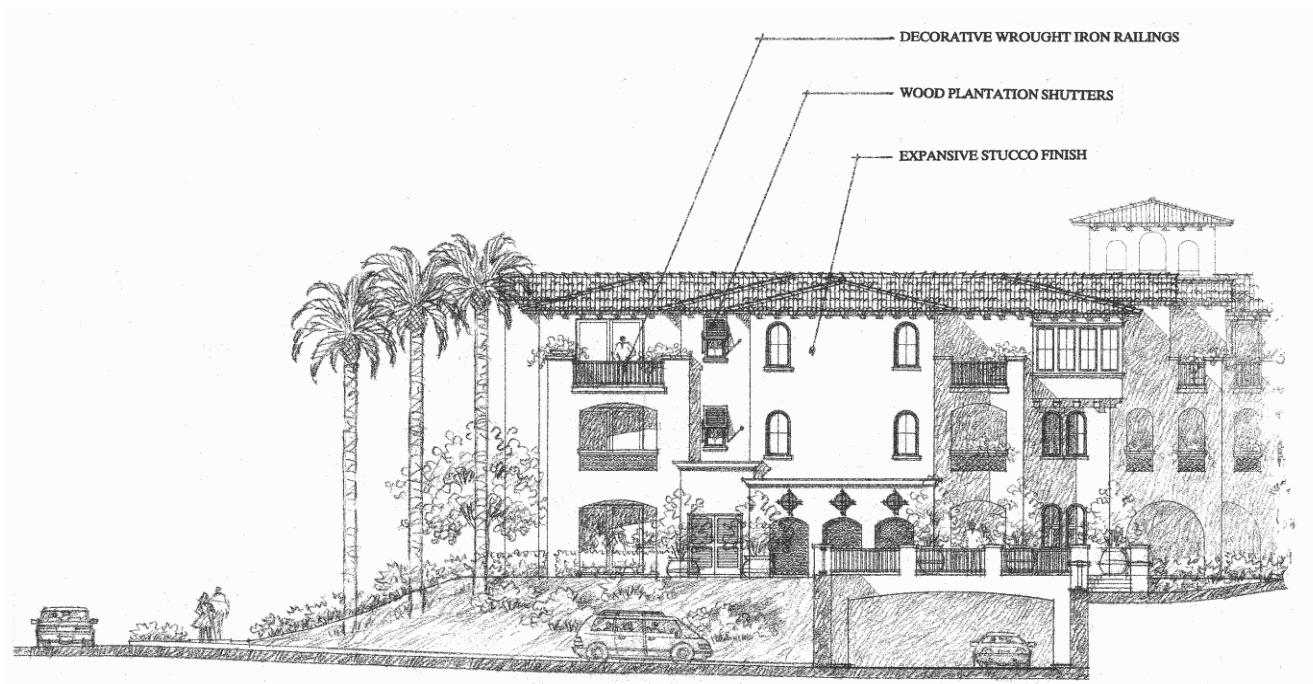
- The entry of Commercial Dwelling Units shall be articulated as a focal point of the building's front elevation through the appropriate use of roof elements, columns, porticos, recesses or projections, windows or other architectural features.



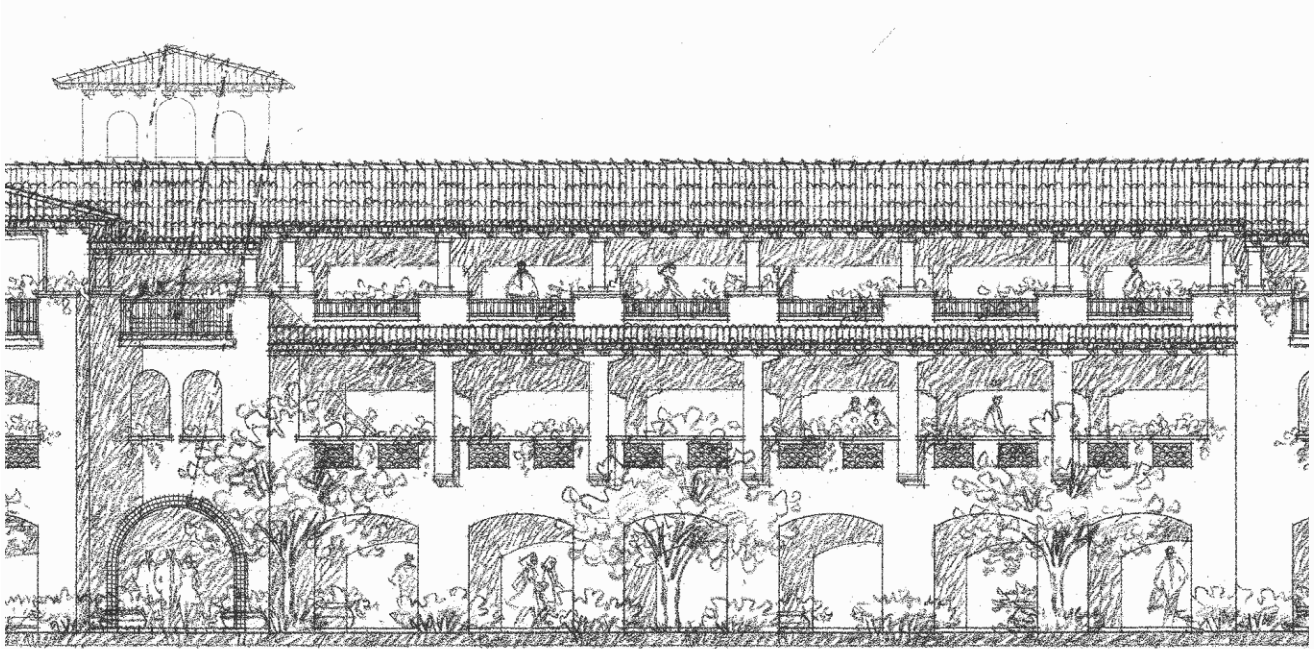
THE LA COSTA RESORT AND SPA MASTER PLAN

PORCHES, BALCONIES, AND RAILINGS

- Front porches shall be designed, where feasible, as an integral part of the front elevation to provide visual interest and activity along the street scene, as well as to promote social interaction among community residents by providing outdoor living spaces oriented to the front of the unit.
- Porches and balconies function as an extension of interior spaces, providing shaded outdoor living space.
- Second story balconies are encouraged providing visual interest to the street scene increasing the perceived front setback of the second story.
- Porches and balconies shall be designed as an integral component of the building's architecture and style.



THE LA COSTA RESORT AND SPA MASTER PLAN



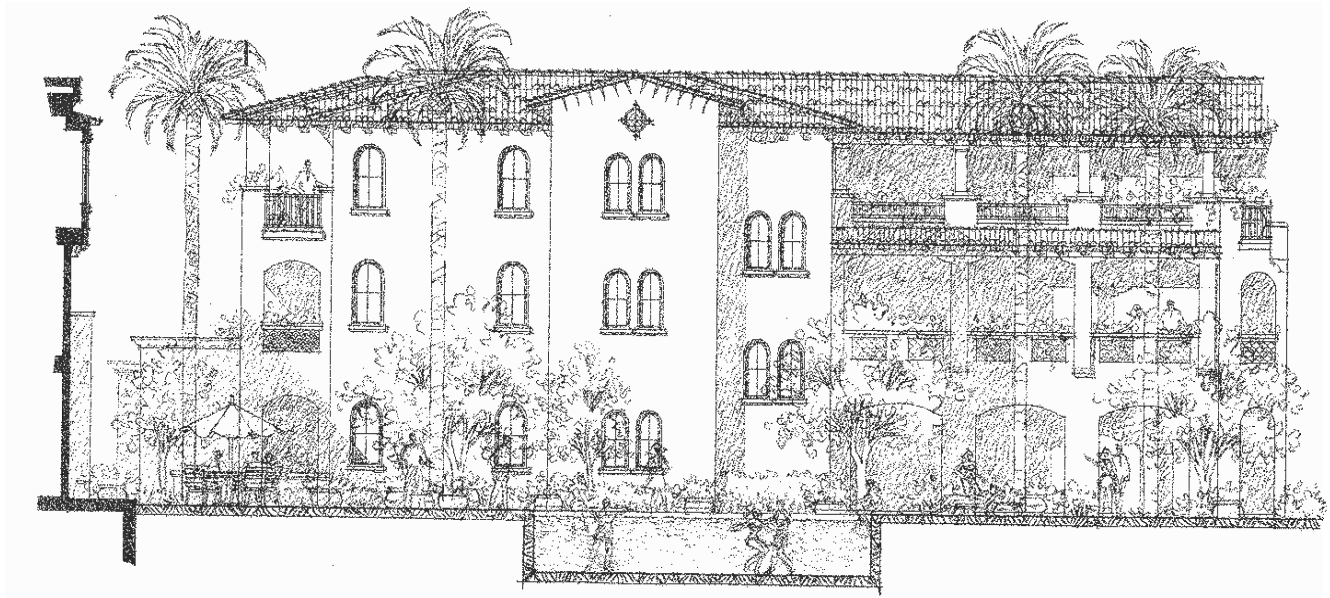
COLUMNS

- Columns used as a structural or aesthetic design element shall convey a solid and durable image, and shall be consistent with the architectural style of the building.
- Columns may be used as a freestanding form, or as support for roofs and balconies.

EXTERIOR STAIRS

- Exterior stairways shall be simple bold elements which complement the architectural massing and form of the La Costa building environment.

THE LA COSTA RESORT AND SPA MASTER PLAN



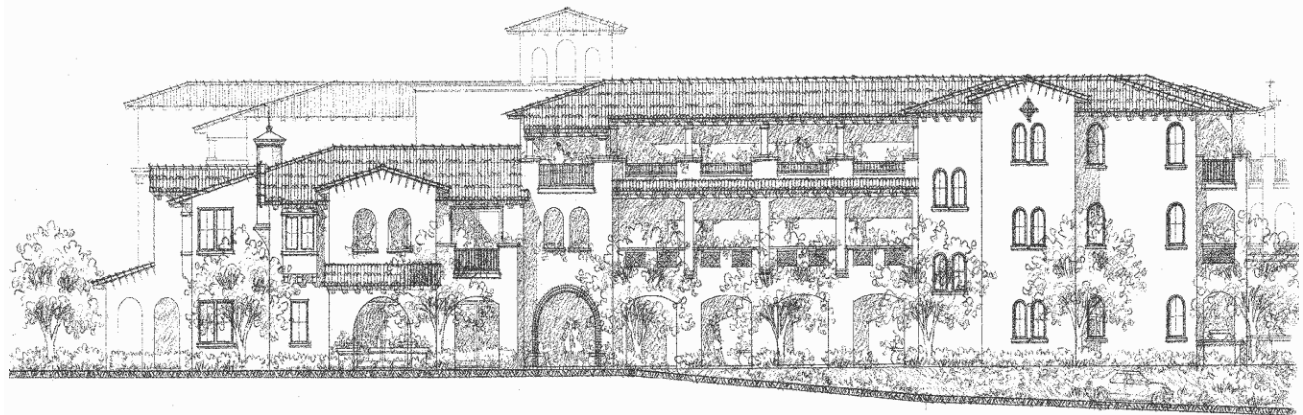
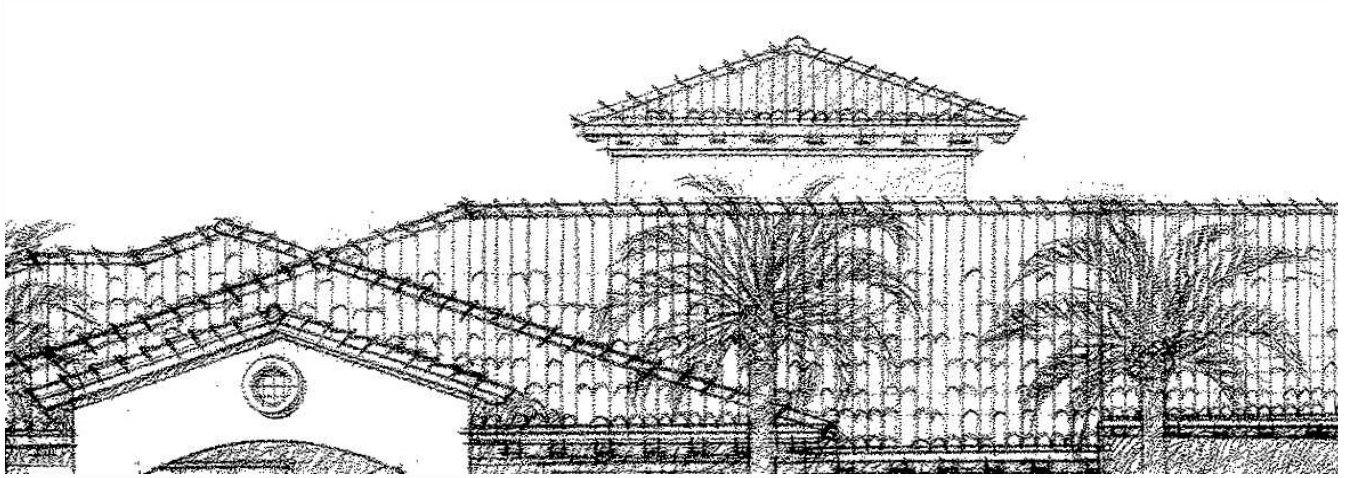
ARCHWAYS

- The use of archways must be compatible with the architectural style of the building, and shall be designed as a complimentary part of the building or adjacent courtyard.
- When used, archways shall define or frame the entry space, such as Commercial Dwelling Units entries, porticos, garden walled patios, and pool courtyards.



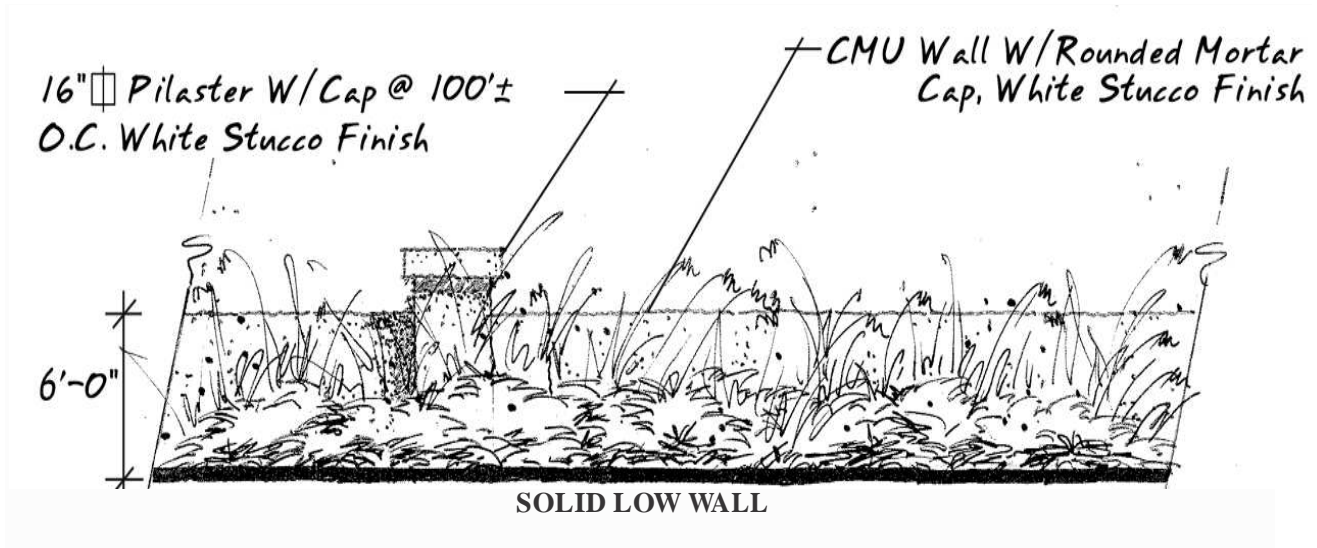
2.10.5 ROOF MATERIALS IN THE LA COSTA ARCHITECTURAL VERNACULAR

A limited variety of roof materials shall be, wherever possible, primarily terra cotta barrel and “s” tile. Structures and other operational buildings may use a limited variety of asphalt and built-up roof materials in cases where the visual impact is not an issue. The color of roofs shall provide a range of deep tones complementing the building mass and color and, where possible, shall be varied to reflect the surrounding architectural theme. All roofing material shall be fire retardant.

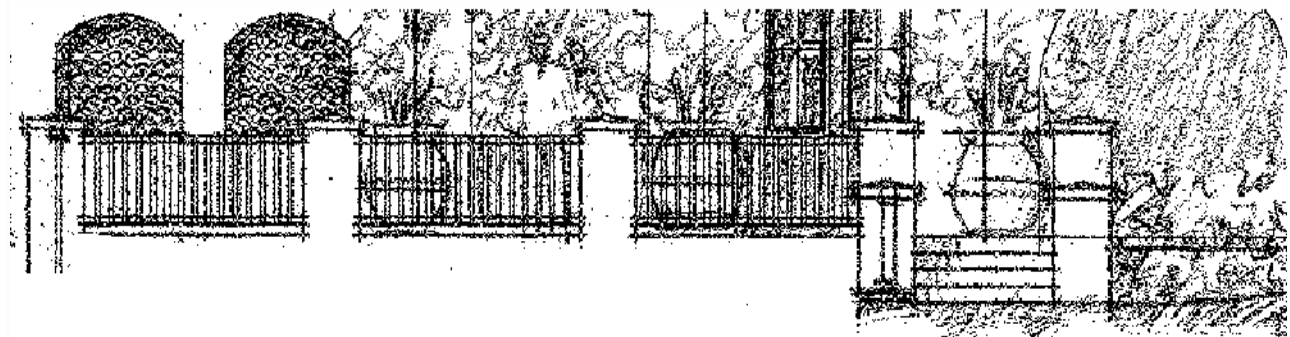


2.10.6 PROJECT WALLS

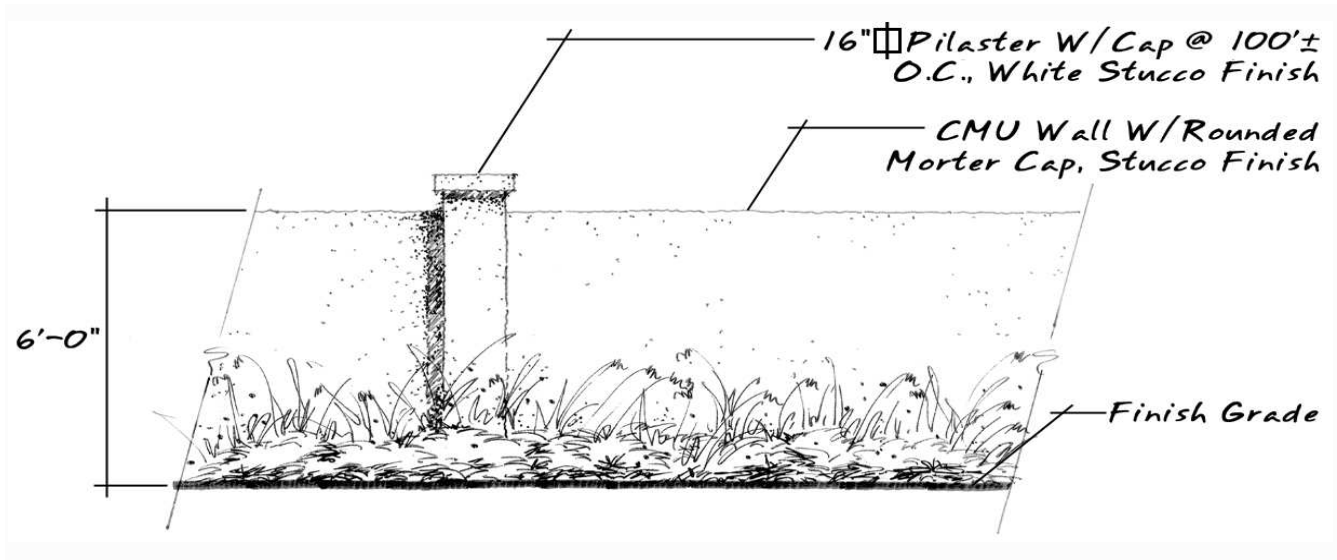
The La Costa development projects a subtle sense of security and privacy without the necessity of a highly visible security guard presence or monumental walls or fence elements surrounding the project. This is accomplished, in part, by a series of landscaped areas, setbacks from the adjacent materials and other land use, and low wall elements at the property boundaries and entry points which reinforce this element of perceived security.



Project Wall standards described and detailed herein are intended to apply to all situations where such walls are visible from public streets, public use areas, common areas within the project and other semi-public areas. A matrix of wall standards relating to the Carlsbad Zoning Ordinance is provided at the end of Section 2.10.6 that addresses wall standards and descriptions in each of the seven Planning Areas of the Master Plan.



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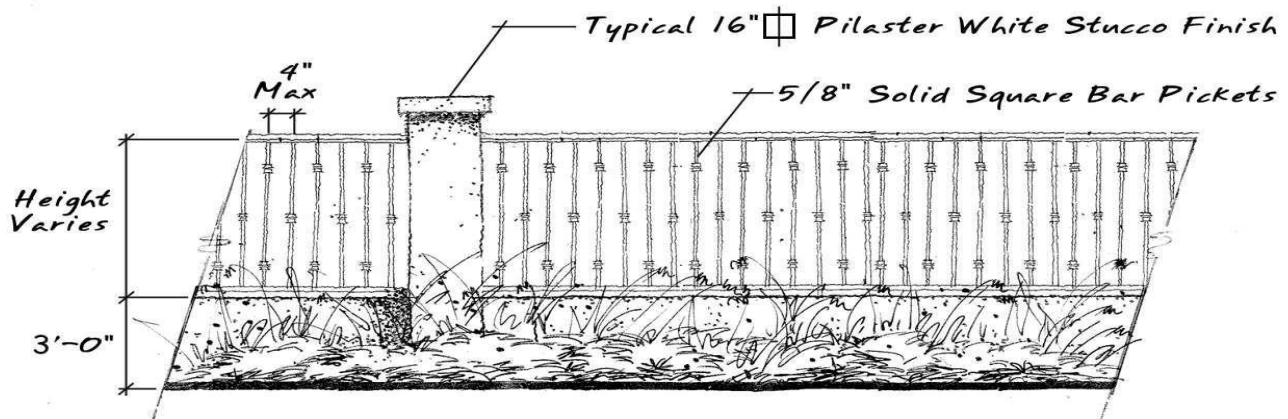


SOLID WALL

WROUGHT IRON THEME ELEMENTS

The use of wall forms described herein are not mandatory yet are envisioned to provide an opportunity to mitigate noise, visual, and security concerns and impacts as necessary. Allowable wall heights are delineated for each Planning Area in Section 3 - Zoning and Development Regulations of this document.

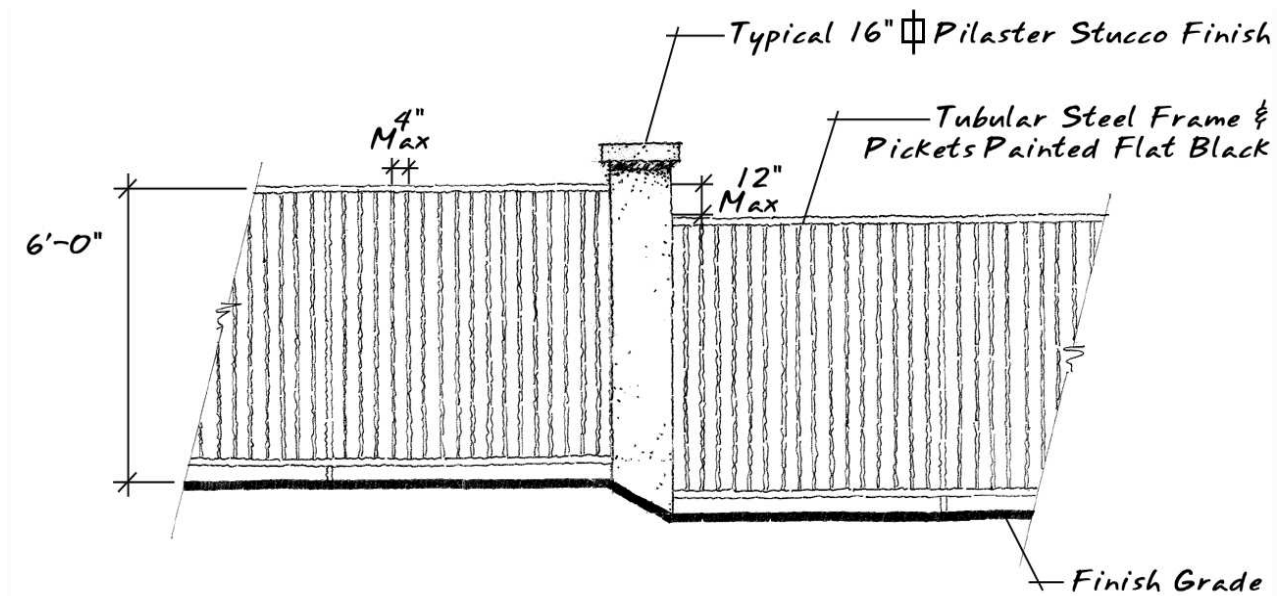
Wall forms under 6' in height are illustrated herein with additional wall types allowed on a case by case review by the Community Development Department to determine consistency with the intent of the project theme and design character of the La Costa Master Plan area.



PONY WALL W/DECORATIVE WROUGHT IRON FENCING

THE LA COSTA RESORT AND SPA MASTER PLAN

- Fences and walls may be used in conjunction with plant materials and other landscape techniques to reinforce the character of the La Costa Master Plan area.
- Fences and walls are to be used in a consistent manner throughout the community with a variety of characters for individual site driven situations. The material, style, and height of walls are envisioned to provide an element of continuity throughout the La Costa Master Plan to ensure visual consistency.
- As a significant thematic element the details and materials used in walls and fences will be of a high quality suited to the particular function and purpose.



OPEN FENCE

- Long linear walls may be staggered horizontally or broken with pilasters to provide interest and to break or create sight lines.
- Fences adjacent to open space areas may be of an open construction to allow continuation of views or to allow for planted screening to be enjoyed by both sides of the fence.
- Fences are envisioned to be constructed primarily of ornamental metal or masonry or a combination of these. Where necessary for sound attenuation, masonry walls and earthen berms may be used to mitigate these design constraints. All wall material and design treatment is envisioned to result in a consistent visual appearance in the La Costa Master Plan.

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WALL CONDITIONS

Walls or fences are not necessarily required between open spaces and Commercial Dwelling Units sites and yet are allowed if necessary for protection of privacy and aesthetics.

- Because cluster Commercial Dwelling Unit developments are envisioned along streets with higher traffic volumes, special wall or fence requirements for these developments are envisioned to be determined as part of the internal design review process with resulting solutions conforming to the standards for height delineated in Section 3 of this document.

WALL CONDITIONS BY PLANNING AREA

Planning Area	Existing Wall Heights	Proposed Wall Heights	Proposed Wall Locations Exceeding 6'	Description of Walls By Planning Area
1	3-6'	3-10'	slopes & grade-breaks at planning area perimeters and parking areas	Garden Walls and Retaining Walls
2	3-6'	3-10'	slopes & grade-breaks at planning area perimeters and parking areas	Garden Walls and Retaining Walls
3	3-6'	3-10'	slopes & grade-breaks at planning area perimeters and parking areas	Garden Walls and Retaining Walls
4	3-6'	3-10'	slopes & grade-breaks at planning area perimeters and parking areas	Garden Walls and Retaining Walls
5	6-10'	3-10'	Parking Structure grade retention, loading dock and screen walls	Existing walls at the loading dock of the Ballroom
6	3-6'	No change	No change	Garden Walls and Retaining Walls
7	6-8'	No change	No change	Various Retaining conditions within Golf Course area and maintenance yard

2.1 LANDSCAPE ARCHITECTURAL GUIDELINES/STANDARDS

La Costa Resort and Spa Master Landscape Concept draws upon the mild Mediterranean climate of the region, the spirit of the settlers who brought various plant materials which are still in use today, and the historic aspect of the first resort and spa on the west coast.

The La Costa Resort is nestled on gentle rolling hills overlooking the San Marcos Creek. It touches the easterly edges of the Batiquitos Lagoon and is adjacent to the historical El Camino Real – an area rich in plant diversity and interest. Due to the mild climate of the region, there are wide varieties of plant material that can be integrated into the landscape concept Drawing on these materials and others. Date Palms, Olives, California Peppers, Eucalyptus species and Citrus are some of the plant material introduced to the region by the Spanish and American settlers and are included in the plant matrix provided herein as a guideline for plant selection.

The Master Landscape Concept for the Resort Master Plan is organized into distinct areas where guests can fully appreciated the experience of the Resort Campus landscape architecture.

2.11.1 KEY GUEST IMPACT AREAS

Individual Hotel Entries are high impact areas for the Resort guests. Guests are escorted from the Resort registration area to the Hotel Entry and then on to their suites. Flowering shrubs, perennials, seasonal color and mature trees will provide a bright, organized and upscale “sense of place” garden experience at these locations.

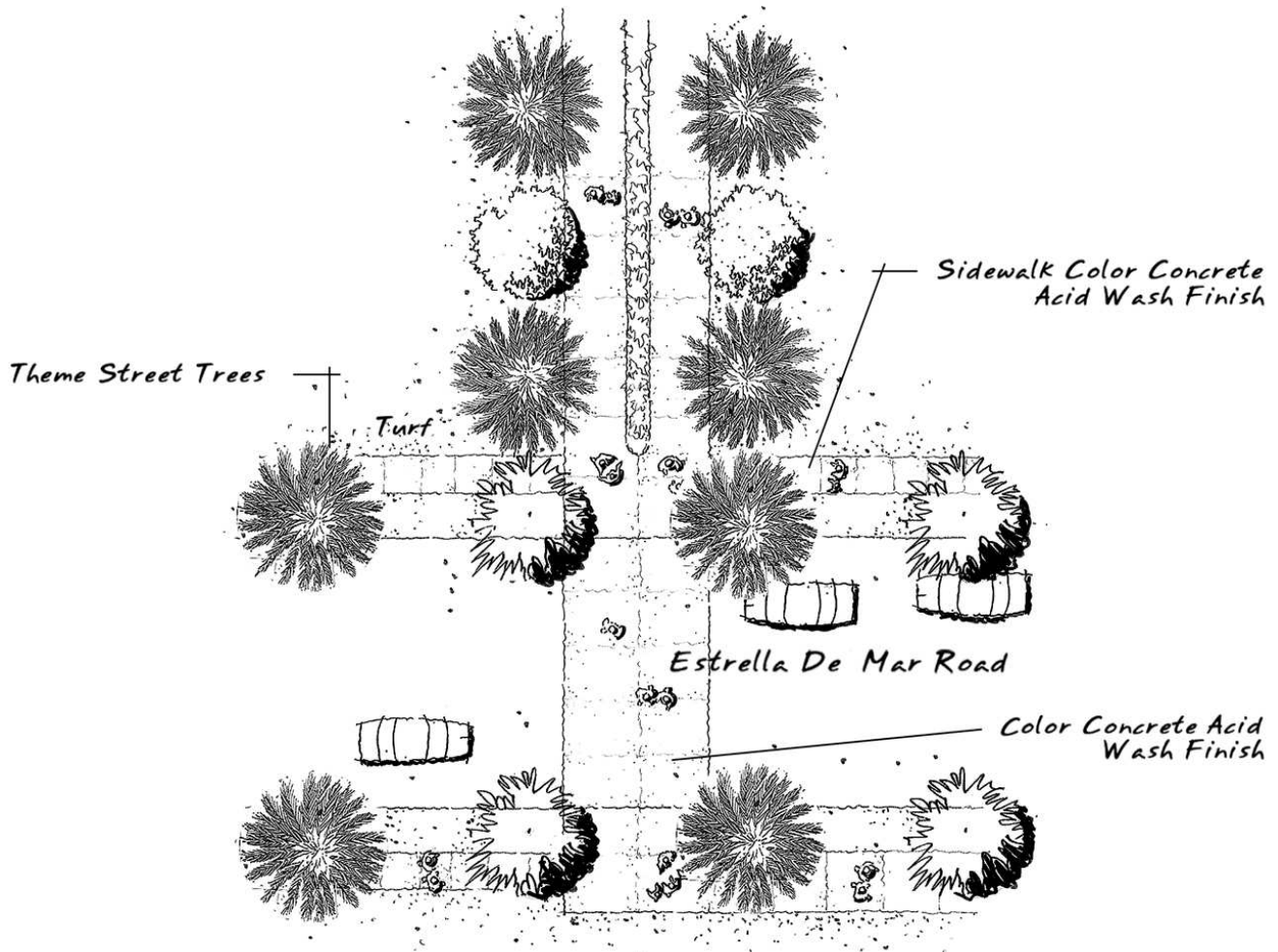
2.11.2 EDGES

Edges define the boundaries of the Resort, which provide the guests and the public the initial impression of the site. Formal plantings of Date Palms, California Sycamore, New Zealand Christmas Tree, and Brisbane Box Trees will establish the look and character of the El Camino Real project edge and will provide dense screening to the internal resort features such as the Grand Ballroom and Commercial Dwelling Units.

The landscape improvement plan utilize shrub massing, ground cover, and turf on the lower reaches of the landscaped area of the plan in order to create an effective barrier for the La Costa grounds against a backdrop of traffic noise and turbulence created by the Corridor traffic.

2.11.3 TRAILS

Trails are treated with consistent plant material to define and reinforce the high quality Resort character. Tall vertical formal Date Palm arrangements coupled with lower, secondary Citrus Tree planting between the palms will provide a well-organized and stately character.



TRAIL INTERSECTION AT STREET

Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to sidewalks and paths currently in place.

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2.11.4 NODES

Nodes are special places such as the entry, junctions and local spots. Enhanced hardscape, enclosure walls coupled with a variety of palms, and flowering canopy trees will reinforce the importance of the “sense of place.”



INTERNAL STREET ENTRY CONCEPT

THE LA COSTA RESORT AND SPA MASTER PLAN

2.11.5 ENCLAVES

Enclaves are a specific individual area within the Resort campus, such as the Commercial Dwelling Units, the Golf Rooms, the Garden Rooms and the Clubhouse. These enclaves will have their own unique hardscape and landscape features, but with a strong connection to the entire Resort setting. Wide varieties of plant material are integrated into a strong, simple and cohesive landscape treatment. Pools and Jacuzzi features are a predominant feature of each individual enclave.

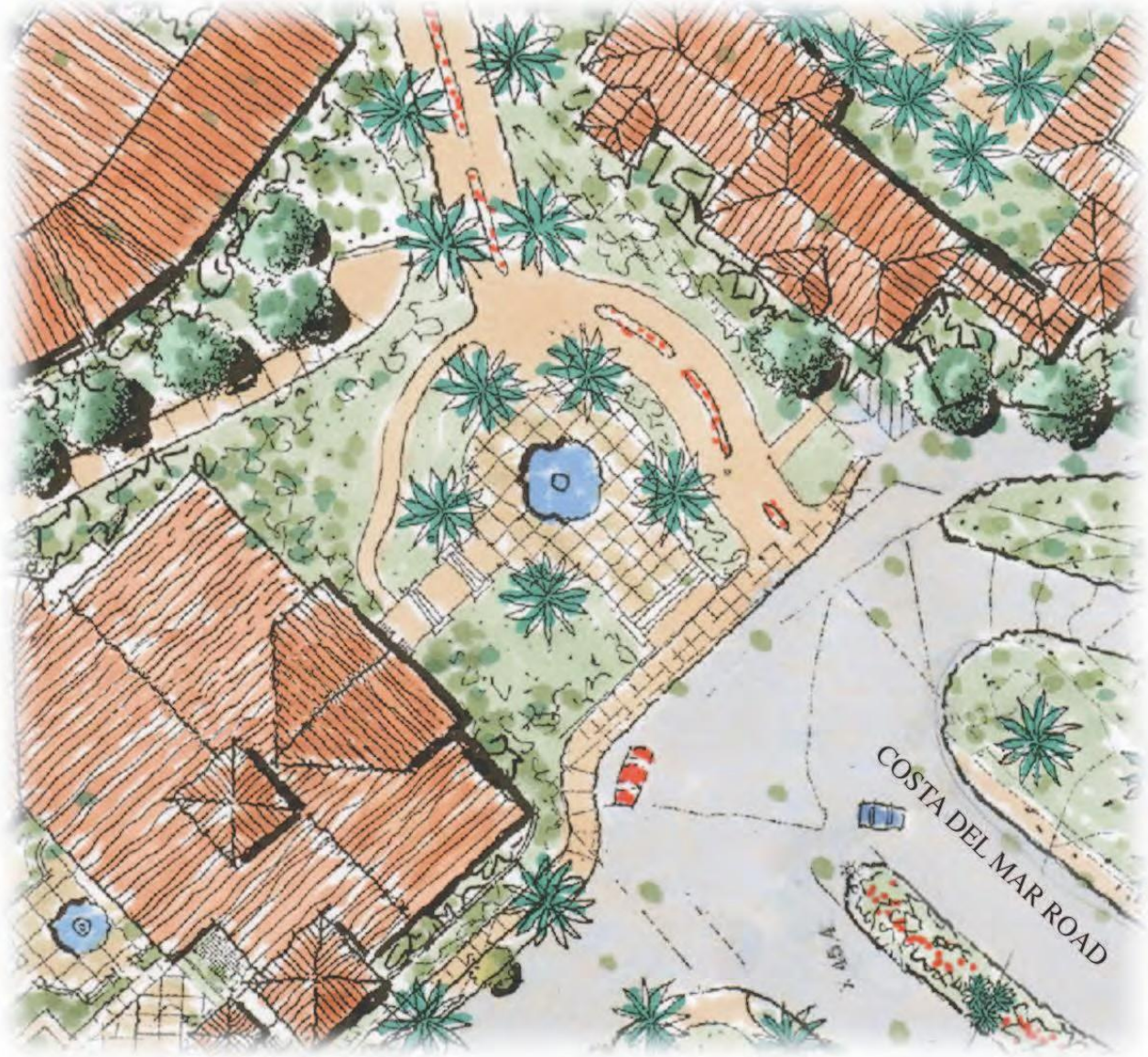


AN ENCLAVE WITHIN THE RESORT CAMPUS

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2.11.6 LANDMARKS

Landmarks are key elements of the landscape, which the Resort guests use as the reference points when strolling within the Resort Campus. A landmark can be a plaza, tower on a building, building sign, specimen tree, etc. Unique and significant trees such as the Date Palm, California Pepper Tree, Coral Tree and Canary Island Date Palm will be incorporated into the design and further reinforce the landmark.



THE LA COSTA SPA - ENTRY COURTYARD

THE LA COSTA RESORT AND SPA MASTER PLAN

It is important for each participant in the development of the plan area to understand the overall landscape development concept of the project. Proper selection and use of the plant materials while emphasizing individual project theme will reinforce overall connection to the City of Carlsbad which will become known for its use of color and scale in the landscape.

The selection of plant materials for each Planning Area shall generally reinforce the overall Spanish Colonial thematic image of the architecture as well focus on reinforcing the individual architectural style of each building within the project area when slight variations are created. An emphasis shall be placed on the use of indigenous, naturalized and drought resistant species of plant materials in keeping with the City's desire to promote water efficient landscape architecture and in light of our environmental obligation to conserve.



2.11.7 LANDSCAPE PLANT MATERIAL PALETTE / LANDSCAPE CONCEPTS PLANS

Every Site Development Plan or other discretionary entitlement that implements allowed master plan land uses shall process a Landscape Concept Plan that is consistent with the City's Landscape Manual.

2.12 THE EL CAMINO REAL CORRIDOR SPECIAL USE PERMIT 03-03

The intent and purpose for the City of Carlsbad in developing the El Camino Real Corridor Development Standards is to maintain and enhance the appearance of the El Camino Real roadway area. These standards reflect the existence of certain identified characteristics which the City considers worthy of preservation. The La Costa Resort and Spa Master Plan relationship to this corridor furthers the goals of the Land Use and Scenic Highways Elements of the General Plan in their objective of preserving unique City resources as they relate to highways.

The La Costa Resort and Spa frontage on the Corridor is defined within “Area 5” of the Corridor and is further delineated herein. Standards presented in the El Camino Real Corridor Development document for the area within the corridor reflect an intention to provide an easily identifiable homogenous corridor with a single design concept that motorists will recognize from any point along the route.

Section 2.12.3 presented within Special Use Permit #03-03 herein compares the Corridor Standards with the Master Plan compliance or deviation from each of the 11 listed standards. Discussion is provided where applicable. Planning Areas 2, 3, 4, 5 and 7 are subject to these development standards in the area adjacent to El Camino Real as shown on the SUP Drawing. Planning Areas 1 and 6 are not subject to these development standards given their distance from the El Camino Real Corridor.

Where practical application of a standard is not feasible, deviation from strict adherence to the standard is allowed by the City of Carlsbad Planning Department given the following findings:

- Compliance with a particular standard is infeasible for a particular project,
- That the scenic qualities of the Corridor will continue to be maintained if the standard is not fulfilled,
- That the project will not have an adverse impact on traffic safety, and
- That the project is designed so as to meet the intent of the scenic preservation overlay zone.

The Master Plan for La Costa provides for minor modification to the strict adherence of the Corridor standards to address unique site driven constraints and opportunities along the La Costa frontage on the Corridor discussed in detail below.

2.12.1 SUP #03-03 AREA WITHIN EL CAMINO CORRIDOR

The La Costa Resort property presents varied topography, diverse views, and several different land use functions adjacent to the El Camino Corridor. The La Costa site topography offers views of the surrounding hills and valleys and includes adjacency to the Batiquitos Lagoon across the travel lanes of the El Camino Real.

2.12.2 PLANNING AREA 1 - Not Applicable due to distance from Corridor

2.12.3 PLANNING AREAS 2, 3, 4, 5, AND 7 are subject to the El Camino Real Corridor standards.

DESIGN STANDARDS WITHIN THE EL CAMINO REAL CORRIDOR

The following standards are presented in the City's document referred to as "El Camino Real Development Standards - Exhibit A." Within the Master Plan for La Costa, deviation from the standards are noted in BOLD text adjacent to applicable standards.

This criteria is applicable to Planning Areas 2,3,4,5, and 7 where the Planning Areas is within the 45' setback to El Camino Real Blvd.

1. Design ThemeOld California. No change to the standard
2. Median Breaks..... No breaks south of Alga and north of La Costa Avenue.
3. Sidewalks.....Along Costa Del Mar / El Camino Real.
4. Signs.....Free-standing monument not to exceed 7' above grade or as modified with-
in this master plan document Section 4. Changes to Sign standards are noted in Section 4 with
relevant discussion to the Corridor Standards herein.
5. Building Height.....Maximum of 35' from pad grade using City adopted formula. No change
6. Grading..... No cut or fill exceeding 10' from original grade. Grading: The City's
Planning Manager and City Engineer together may grant a variance to Cut or fill exceeding 10'
from grade with findings to support a variance based on the merits of individual grading plan
review.
7. Setback from ROW....The setback along ECR is 45' along the entire edge of the project. Views from
the upper story CDUs to the Batiquitos Lagoon are preserved wherever possible.
8. Street furniture..... Wrought iron, wood or plaster. No change
9. Street lights..... City standards. No change
10. Roof equipment..... No roof equipment shall be visible. No change
11. Landscaping.....Theme Tree - London Plane - The Resort's Theme Tree in the Corridor is
the London Plane with supporting species of Date Palm, and Brisbane Box.

LANDSCAPE ARCHITECTURE IN THE RESORT'S CORRIDOR

Date Palms are utilized to make a statement of scale and signature along the frontage of the La Costa property adjacent to El Camino Real. This landscape element is the only change to the landscape standards suggested for the Corridor. The vegetation is envisioned to be "cleaned up" to allow for a maintainable and safe landscape buffer to the Resort grounds. Understory trees, shrub and groundcover will be used to further enhance the Resort's landscape theme exemplifying the Corridor Standard of "Old California".

2.12.4 ARCHITECTURAL THEME WITHIN THE CORRIDOR

Design Theme: The predominate development theme reflects an "Old California Hispanic" architectural theme. The architecture is composed of white plaster, clay barrel tile roofs with wood accents. The basis of design for the new La Costa Resort is a blend of Spanish Colonial images. Courtyard furniture is wrought iron, wood and stucco which the following standards are intended to preserve:

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Sidewalks: The side walk adjacent to the curb parallel to El Camino Real may remain in place or be moved away from the curb in area where pedestrian safety is best served.

Monument: Per graphic delineation in Section 4, monument shall not exceed 15' in height within SDG & E overhead easement.

Signs: Per graphic delineation in Section 4. Predominant materials: wood, metal and stucco.

Building Height: Maximum of 35 feet from pad grade. Planning Area specific height criteria is delineated within Section 3 of this document. Architectural and roof projections not providing habitable or otherwise unusable space, such as chimneys, spires, finials, and similar features shall be permitted to extend up to ten feet above the maximum structure height.

GRADING CONCEPTS FOR THE LA COSTA RESORT

The Resort will maintain the concept of the Corridor standard's emphasis of retaining the character of the topography while allowing for individual pads within the campus adjacent to the roadway to be re-graded to reduce visual impacts of development to users of the transportation corridor. The grading concept will rely on careful integration of subgrade parking structures concealed beneath the Commercial Dwelling Unit buildings. Grades will be modified as delineated in the appended grading plan documents submitted with this Master Plan. The slopes along the roadways conceal the structured parking, while the CDUs are located at elevations which give views from within to the amenities of the interior courtyards and gardens. Entry access to these units is from the first floor grades relating to the CDU rooms level and via vehicular access from the sub-grade parking facilities serving

The La Costa Master Plan will use careful grade manipulation using the following Corridor guidelines that include:

- Site sensitive grading to minimize "visible" development along the roadway while providing for development pads in areas suitable for Commercial Dwelling Units development.
- Contour grading will be employed along the Corridor to help retain the effect of the natural rolling hillside qualities while allowing reshaping of development pads adjacent to El Camino Real Boulevard.
- Intersections and access points are minimized along the corridor to the two access points. The primary entry point remains Costa Del Mar Road and the secondary access point to the property is via Estrella de Mar Road by way of Arenal Lane.

Setback From Roadway (ROW): Methods of screening are incorporated into the Corridor setback per the exhibits shown in this Section. Planning Area specific setback criteria is delineated within Section 3 of the document based on the site development plan conditions and the project characteristics unique to individual buildings and uses.

- a. Setbacks along side and rear property lines are not required; however, any setback provided must be made wide or deep enough to be usable space, such as for pedestrian access to side-load- ing

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commercial space, stairwells, or through-access between front and rear of the building(s).

- b. Arcades, trellises, awnings and similar architectural treatments are exempt from setback requirements, but must be designed to accentuate pedestrian atmosphere, the use(s), and the project architecture where utilized.
- c. Upper floors of buildings shall be designed to be articulated from the immediately lower floor, to achieve a terraced effect where consistent with the design theme of the Resort. This reduces the appearance of mass to the structure, allows for upper floor outdoor areas and walkways, and enhances pedestrian scale.

Landscaping: Project landscaping guidelines are provided herein to implement the La Costa design guidelines and city policies.

2.12.5 PLANNING AREA 6 – Not Applicable due to distance from Corridor

2.12.6 PLANNING AREA 7 – With the exception of the entry monument sign delineated in Section 4 of this document, this area is currently fully improved as a landscape buffer to the San Marcos Creek Parking Lot in the area within the Corridor.

2.13 SPECIAL EVENT PARKING PLAN AND PROGRAM

The La Costa Resort and Spa is currently the location of two nationally recognized, annual sporting events. The PGA of America sponsorship of the Accenture Match Play Championship takes place at the Resort. The Resort also is the host to the Acura Tennis Classic. These on-site special events are unique from other special events in the City given their size and notoriety. As such, there are various issues that need to be addressed with respect to these events.

In order to assure that any special event does not result in any significant traffic or parking problems, in connection with the special use permit required for such event, the following will be required:

- Prior to the issuance of any Special Event Permit by the Carlsbad Police Department, the City's Fire Chief, Planning Director and City Engineer shall provide written support for the Permit. Such support shall be based on the adequate inclusion of a Traffic and Parking Management Plan, which shall contain the following elements:
 - a. Closing of adjacent public streets: Adjacent public streets within 1000 feet of the resort property of Planning Areas 1-6 shall be sign-posted "No Parking" by the Special Event Permit holder at least 72 hours in advance of the event with wording approved by the Police Department. Sign removal is the responsibility of the Permit holder within 24 hours after the event, and fines may be assessed if not removed. The Police Department shall be responsible for the enforcement of the no parking restrictions on the posted public streets during the course of the special event.
 - b. Residential Access Passes: The Special Event Permit holder shall provide documentation that certified mailings to residences within 1000 feet of the resort property of Planning Areas 1-6

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were provided two (2) Residential Access Passes to allow access through the public streets to their residence.

- c. Special Event Parking Passes: The Special Event Permit holder shall provide numbered parking passes to special event participants and attendees that correspond to the number of available parking spaces within the Resort property, per a corresponding Special Event Site Plan that designates potential parking areas in a quantity equal to parking passes. Only vehicles with a Special Event Parking Pass may enter the Resort during a Special Event; all others except emergency service vehicles shall be restricted access.
- d. Special Event Site Plan: The available parking areas are identified to generate parking passes per vehicle. Fire access lanes, restricted safety or buffer zones and any public service or safety staging areas shall also be depicted on the Special Event Site Plan. Areas not designated for parking may be required to be so posted, and vehicles in violation will be towed and/or cited.
- e. Special Event Offsite Parking Location Map: Emphasis for major special events will be on shuttling the general public from offsite parking locations per a Special Event Offsite Parking Location Map. All offsite locations need documentation of property owner approval. Onsite access will be limited to vehicles with a Parking Pass.

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SECTION 3: ZONING & DEVELOPMENT REGULATIONS

THE LA COSTA RESORT AND SPA MASTER PLAN

3 ZONING AND DEVELOPMENT REGULATIONS

3.1 LA COSTA RESORT AND SPA

THE INTENT AND PURPOSE OF THE PLANNED COMMUNITY (P-C) OVERLAY ZONE

Zoning exhibits follow which depict the zoning for the La Costa Master Plan area. The purpose of a P-C zone is to provide a method to encourage orderly implementation of the City's General Plan and any applicable Specific Plans and/or Master Plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted master plan to provide an environment of stable and desirable character. The Planned Community overlay will apply to the area that comprises the La Costa Resort and Spa Master Plan. Within the La Costa Resort Planned Community, specific zone designations will be assigned to each of the Planning Areas set forth in the Master Plan which designations are modified as explained below when necessary to accomplish the goals of this Master Plan. The Planned Community (P-C) Overlay Zoning for La Costa will:

- Provide a flexible regulatory procedure to encourage and foster creative and imaginative master planning of hotel units, open space, community facilities and commercial mixed uses.
- Allow for the coordination of planning efforts between the developer of the La Costa Resort and the City of Carlsbad to provide for the orderly development of infrastructure to insure availability concurrent with need.
- Provide a framework for the phased development of the Master Plan for La Costa while assuring the developers of the property that later phases of development will be acceptable over the length of the build out period.
- Allow for the continuing operation and use of resort facilities while addressing the opportunity for augmentation and improvement to the resort facilities and guest experience.

PERMITTED USES

This Master Plan specifies the permitted uses within the planned community boundary as defined herein. Permitted uses in the Master Plan area will combine resort recreation based services, tourism and site visitor-based retail facilities necessary for the operational demands of such uses. The P-C Zone may include any use found to be necessary and desirable for a community planned in accordance with the purposes of Chapter 21.38 of the Carlsbad Zoning Ordinance, provided that such permitted uses and structures are consistent with the General Plan and this Master Plan. Zoning Exhibits follow which depict zoning for the La Costa Master Plan area. Supplementing these exhibits is a text description of the Planned Area Zoning District that is assigned to each Planning Area (i.e. C-2 or O-S); this section discusses the development regulations applicable to that Planning Area, including modifications provided in this Master Plan.

3.2 ZONING AND DEVELOPMENT REGULATION STANDARDS

PLANNED AREA ZONING DISTRICT

The P-C Zoning and the Planning Area Zoning District designations as defined by this Master Plan, will provide the development regulations and standards for each the Planning Area. Once adopted, this document becomes the official zoning policy for the Master Plan area within the City of Carlsbad.

The Zoning District designation for Planning Areas 1, 2, 3, 4, 5 and part of Area 7 is C-2. Planning Area 6 and the larger portion of Planning Area 7 is O-S. As such, except as modified by this Master Plan (which modifications are discussed below), the development regulations set forth in the City's Code for these zoning designations apply.

Each Planning Area is discussed in more detail below. In addition, the Technical Appendix Book identifies in detail by Planning Area the City's development regulations for the applicable zoning district designation (i.e. C-2 or O-S) and then highlights in bold text the changes to those regulations that have been approved pursuant to this Master Plan.

3.2.1 PLANNING AREA 1

Site Location: This 5 acre Planning Area is located at the intersection of Estrella De Mar Road and Arenal Road. Detached structures currently within the Planning Area boundary will be replaced by the Commercial Dwelling Unit development.

Zoning P-C

Planning Area Zoning District C-2

Development Standards: All development in Planning Area 1 shall conform to the development standards of the C-2 Zone as modified by this Master Plan.

Master Plan Uses: Planning Area 1 provides for the development of a maximum of 54 CDUs and up to an equal amount of CSUs. The 54 CDUs will generate a maximum total of 107 Keys.

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Permitted Uses: Commercial Dwelling Unit and non-habitable Commercial Service Unit use as described in Section 2 and 3 of this Master Plan. Prior to development of the site as CDUs, all Resort hotel uses within the Planning Area boundary are allowed.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 1

The following identifies the modifications to the C-2 zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the C-2 zone, which are set forth in City code Chapter 21.28, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. At a minimum, 1.5 spaces shall be provided for each CDU. The minimum parking stall shall be 8.5' x 20' or 9' x 19' consistent with Carlsbad Municipal Code Chapter 21.44 and additional width of 1.5' will be required against solid walls. Compact spaces may be provided consistent with 21.44.110 of the Carlsbad Zoning Ordinance. The minimum drive isle width shall be 24' wide unless a fire access aisle which may be a minimum of 20'-0" wide.
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for pedestrian direction within the Resort campus and for identification of the Resort from El Camino Real Boulevard. Signage currently in place serving the hotel rooms of this Planning Area are to remain in place and may be upgraded to conform to the Signage Plan included in this Master Plan document.
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be as delineated on grading and site improvement Drawings within this Master Plan documentation package. All on-site retaining walls in Planning Area 1 shall be 6' or less with the exception of structural walls necessary to provide access to the sub-grade parking garages beneath the Villa units. The visual impact of all walls in excess of 6' in height will be mitigated as described below where structurally feasible. The maximum wall height in this Planning Area shall be per the Wall Conditions table on page 2.69.
- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. The visual impacts of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines and other plant material that will help conceal the plane of the wall. The maximum allowable wall height shall be per engineered design plans appended to this Master Plan submittal.

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- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements, shall be incorporated into the development phased within this Planning Area. All setbacks shall be landscaped. Manufactured slopes in this Planning Area shall be landscaped to be consistent with the intent of the landscape theme of the Resort and will be maintained by the Resort operator.
- **Open Space:** Views to and from the golf course and surrounding open space should be maximized for the CDUs in this Planning Area.
- **Trails:** Trails are delineated on page 2.72 and in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities.
- **In-room mini bars:** Mini bars shall be allowed in the CDUs without a Conditional Use Permit.
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.

3.2.2 PLANNING AREA 2

Site Location: As more specifically shown in page 2.20, this 3 acre Planning Area is flanked by Arenal Road, Estrella de Mar Road, and El Camino Real. Site use is vacant with unimproved surface parking.

Zoning P-C

Planning Area Zoning District C-2

Development Standards: All development in Planning Area 2 shall conform to the development standards of the C-2 Zone as modified by this Master Plan.

Past Uses: Planning Area 2 is a primarily vacant area resulting from the removal of the surface parking pavement.

Master Plan Uses: Planning Area 2 provides for the development of a maximum of 38 CDUs and up to an equal amount of CSUs. The total Planning Area CDU key count is 76.

Permit Uses: Commercial Dwelling Unit and non-habitable Commercial Service Unit use as described in sections 2 and 3 of this Master Plan.

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Temporary and Interim Uses Allowed: On-site construction staging and temporary site guard and/or construction office trailers and temporary parking for on-site users of the Resort. Temporary outdoor staging elements to facilitate Resort operations provided however that any tents shall require review by City fire department and approval if required.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 2

The following identifies the modifications to the C-2 zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the C-2 zone, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. At a minimum, 1.5 spaces shall be provided for each CDU. The minimum parking stall shall be 8.5' x 20' or 9' x 19' consistent with Carlsbad Municipal Code Chapter 21.44 and additional width of 1.5' will be required against solid walls. Compact spaces may be provided consistent with 21.44.110 of the Carlsbad Zoning Ordinance. The minimum drive isle width shall be 24' wide unless a fire access isle which may be a minimum of 20'-0" wide.
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for pedestrian direction within the Resort campus and for identification of the Resort from El Camino Real Boulevard. Signage currently in place serving the hotel rooms of this Planning Area are to remain in place and may be upgraded to conform to the Signage Plan included in this Master Plan document.
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be as delineated on grading and site improvement Drawings within this Master Plan documentation package. All on-site retaining walls in Planning Area 2 shall be 6' or less with the exception of structural walls necessary to provide access to the sub-grade parking garages beneath the Villa units. Minor retaining walls will be required to maintain the grade differential between the landscape edge on the perimeter of the Planning Area and the Villa units. The visual impact of all walls in excess of 6' in height will be mitigated as described below where structurally feasible. The maximum wall height in this Planning Area shall be per the Wall Conditions table described earlier.
- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. The visual impacts of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines and other plant material that will help conceal the plane of the wall. The maximum allowable wall height shall be per engineered design plans appended to

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this Master Plan submittal.

- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into the development phased within this Planning Area. All setbacks shall be landscaped. Manufactured slopes of this Planning Area shall be landscaped to be consistent with the intent of the landscape them of the Resort and will be maintained by the Resort operator.
- **Open Space:** Views to and from the golf course and surrounding open space should be maximized for the CDUs in this Planning Area.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.
- **In-room mini bars:** Mini bars shall be allowed in the CDUs without a Conditional Use Permit.
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.

3.2.3 PLANNING AREA 3

Site Location: This 4 acre Planning Area is located at the terminus of Costa Del Mar Road at the new Spa at La Costa.

Zoning P-C

Planning Area Zoning District C-2

Development Standards: All development in Planning Area 3 shall conform to the development standards of the C-2 Zone as modified by this Master Plan.

Past Uses: Planning Area 3 is a primarily vacant landscaped area resulting in the removal of the “old” spa facilities of La Costa which have been replaced with the newly constructed Spa La Costa.

Master Plan Uses: Planning Area 3 provides for the development of a maximum of 60 CDUs and up to an equal amount of CSUs with the CDUs generating a maximum total of 98 keys.

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Permitted Uses: Commercial Dwelling Unit, and non-habitable Commercial Service Unit as described in Section 2 and 3 of this Master Plan.

Temporary and Interim Uses Allowed: On-site construction staging and temporary site guard and/or construction office trailers and temporary parking for on-site users of the Resort. Temporary outdoor staging elements to facilitate resort operations provided however that any tents shall require review by the City fire department and approval if required.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 3 -

The following identifies the modifications to the C-2 zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the C-2 zone, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment document prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. At a minimum, 1.5 spaces shall be provided for each CDU. The minimum parking stall shall be 8.5' x 20' or 9' x 19' consistent with Carlsbad Municipal Code Chapter 21.44 and additional width of 1.5' will be required against solid walls. Compact spaces may be provided consistent with 21.44.110 of the Carlsbad Zoning Ordinance. The minimum drive isle width shall be 24' wide unless a fire access isle which may be a minimum of 20'-0" wide.
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for pedestrian direction within the Resort campus and for identification of the Resort from El Camino Real Boulevard. Signage currently in place serving the hotel rooms of this Planning Area are to remain in place and may be upgraded to conform to the Signage Plan within this Master Plan document.
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be as delineated on grading and site improvement drawings within this Master Plan documentation package. All on-site retaining walls in Planning Area 3 shall be 6' or less with the exception of structural walls necessary to provide access to the sub-grade parking garages beneath and/or adjacent to the Villa units. Minor retaining walls will be required to maintain the grade differential between the landscape edges adjacent to the Villa units and surrounding grade. Walls in excess of 6' in height will be visually mitigated as described below where structurally feasible. The maximum wall height in this Planning Area shall be the Wall Conditions table as previously discussed.

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- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. The visual impact of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines and other plant material that will help to conceal the plane of the wall. The maximum allowable wall height shall be per engineered design plans appended to this Master Plan submittal.
- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into the development phased within this Planning Area. All setbacks shall be landscaped. Manufactured slopes of this Planning Area shall be landscaped to be consistent with the intent of the landscape theme of the Resort and will be maintained by the Resort operator.
- **Open Space:** Views to and from the golf course and surrounding open space should be maximized for the Commercial Dwelling Units in this Planning Area.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.
- **In-room mini bars:** Mini bars shall be allowed in the CDUs without a Conditional Use Permit.
- **Development:** Pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.

3.2.4 PLANNING AREA 4

Site Location: This 3 acre Planning Area is located at the inter-section of Costa Del Mar Road and El Camino Real. Hotel uses currently in the Planning Area will be phased out as Commercial Dwelling Unit development occurs within the Planning Area.

Zoning P-C

Planning Area Zoning

District C-2

Development Standards: All development in Planning Area 4 shall conform to the development standards of the C-2 Zone as modified by this Master Plan.

Master Plan Uses: Planning Area 4 provides for the development of a maximum of 45 CDUs and

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up to an equal amount of CSUs with the CDUs generating a total of 90 keys.

Permitted Uses: Commercial Dwelling Unit and non-habitable Commercial Service Unit use as described in Section 2 and 3 of this Master Plan. All Resort Hotel uses are allowed without requiring further modification.

Temporary and Interim Uses Allowed: On-site construction staging and temporary site guard and construction office trailers and office modular units. Temporary outdoor staging elements to facilitate resort operations for sporting events, i.e. Golf Tournament spectator staging and seating, provided however, that any tents shall require review by the City fire department and approval if required.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 4 -

The following identifies the modifications to the C-2 zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the C-2 zone, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment document prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. Parking for the development in this Planning Area is envisioned to be located in a subterranean parking structure as illustrated in Section 2. This structure will provide for a minimum total of 100 spaces or 50 parking spaces per building phase. The minimum parking stall shall be 8.5' x 20' or 9'x 19' consistent with Carlsbad Municipal Code Chapter 21.44 and additional width of 1.5' will be required against solid walls. Compact spaces may be provided consistent with 21.44.110 of the Carlsbad Zoning Ordinance. The minimum drive isle width shall be 24' wide unless a fire access isle which may be a minimum of 20'-0" wide.
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for pedestrian direction within the Resort campus and for identification of the Resort from El Camino Real Boulevard. Signage currently in place serving the hotel rooms of this Planning Area are to remain in place and may be upgraded to conform to the Signage Plan included in this Master Plan document.
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be as delineated on grading and site improvement drawings within this Master Plan documentation package. All on-site retaining walls in Planning Area 4 shall be 6' or less with the exception of structural walls necessary to provide access to the sub-grade parking garages beneath and/or adjacent to the Villa units. This wall condition will be at the access point to the CDUs along the west bound lane of Costa Del Mar Road. Minor retaining walls will be required to maintain the grade differential between the landscape edges adjacent to the Villa units and surrounding grade. All walls in Planning Area 4

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which are in excess of 6' in height will be visually mitigated as described below where structurally feasible. The maximum wall height in this Planning Area shall be per the Wall Conditions table previously discussed.

- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. The visual impact of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines and other plant material that will help conceal the plane of the wall. The maximum allowable wall height shall be per engineered design plans appended to this Master Plan submittal.
- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into the development phased within this planning Area. All setbacks shall be landscaped. Manufactured slopes of this Planning Area shall be landscaped to be consistent with the intent of the landscape theme of the Resort and will be maintained by the Resort operator.
- **Open Space:** Views to and from the golf course and surrounding open space should be maximized for the CDUs in this Planning Area.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.
- **In-room mini bars:** Mini bars shall be allowed in the CDUs without a Conditional Use Permit.
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.

3.2.5 PLANNING AREA 5

Site Location: This 6 acre Planning Area is located at the intersection of Costa Del Mar Road and Estrella de Mar Road within the campus of La Costa Resort and Spa.

Zoning P-C

Planning Area Zoning District C-2

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Development Standards: All development in Planning Area 5 shall conform to the development standards of the C-2 Zone as modified by this Master Plan.

Past Uses: The ballroom and surface parking was approved pursuant to CUP/SUP 258C and superceded by the master plan. An optional parking structure as illustrated in detail within Section 2 Planning Area 5 may be located in this area.

Master Plan Uses: The ballroom and surface parking will remain in this Planning Area.

Permitted Uses: The only allowable uses in Planning Area 5 are Ballroom, outdoor event area and related resort uses, parking and related improvements.

Temporary and Interim Uses Allowed: On-site construction staging and temporary site guard and construction office trailers and office modular units. Temporary outdoor staging elements to facilitate resort operations for sporting events, i.e. Golf Tournament Spectator staging and seating, provided however that any tents shall require review by City fire department and approval if required.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 5

The following identifies the modifications to the C-2 zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the C-2 zone, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. Parking aisles and spaces sizes shall comply with Carlsbad Municipal Code Chapter 21.44
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for pedestrian direction within the Resort campus and for identification of the Resort from El Camino Real Boulevard. Signage currently in place serving the hotel rooms of this Planning Area are to remain in place and may be upgraded to conform to the Signage Plan within this Master Plan document.
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be delineated on grading and site improvement drawings within this Master Plan documentation package. All on-site retaining walls in Planning Area 5 shall be 6' or less with the exception of structural walls necessary to provide access to the subgrade parking garages beneath and/or adjacent to the Villa units. The plan scenario exhibiting construction of the optional parking garage will require retaining wall conditions in excess of 6' in height at the access point to the garage. Minor

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retaining walls less than 6' in height will be required to maintain the grade differential between the landscape edges adjacent to the Ballroom and surrounding grade. All walls in Planning Area 5 which are in excess of 6' in height will be visually mitigated as described below where structurally feasible. The maximum wall height in this Planning Area shall be per the Wall Conditions table previously discussed.

- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. The visual impacts of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines and other plant material that will help conceal the plane of the wall. The maximum allowable wall height shall be per engineered design plans appended to this Master Plan submittal.
- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into the development phased within this Planning Area. In addition, the following specific landscape concepts shall be included in the development of this Planning Area. All setbacks shall be landscaped. Manufactured slopes of this Planning Area shall be landscaped to be consistent with the intent of the landscape theme of the Resort and will be maintained by the Resort operator maximized for the Commercial Dwelling Units in this Planning Area.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.
- **Open Space:** Views to and from the golf course should be maximized for the CDUs in this Planning Area.
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** 35' per current Zoning Ordinance.

3.2.6 PLANNING AREA 6

Site Location: This 11 acre Planning Area is located near the driving range of the La Costa Golf Course.

Zoning P-C

Planning Area Zoning District O-S

Development Standards: All development in Planning Area 6 shall conform to the development standards of the P-C Zone as modified by this Master Plan.

Past Uses: This area is currently developed in golf course amenities.

Master Plan Uses: Planning Area 6 provides for a maximum of 8,270 SF of Building Area planned for construction within the La Costa Resort golf course area.

Permitted Uses: Resort golf operations, driving ranges, teaching facilities and supporting use as described in Section 2 of this Master Plan. All Resort Hotel and related uses are allowed without requiring further modification.

Temporary and Interim Uses Allowed: On-site construction staging and temporary site guard and construction office trailers and office modular units. Temporary outdoor staging elements to facilitate resort operations for sporting events, i.e., golf and tennis tournament spectator staging and seating provided however that any tents shall require review by City fire department and approval if required.

SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 6

The following identifies the modifications to the O-S zoning regulations that apply to this Planning Area. To the extent anything provided herein is inconsistent with the regulations of the O-S zone, the provisions set forth herein shall control.

- **Parking Regulation for the Master Plan:** Pursuant to Chapter 21.44 of the City's zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment document prepared by Walker Parking Consultants dated August 1, 2018 for this Master Plan. Parking for the development in this Planning Area is as illustrated in detail within the engineering documentation for the Master Plan. Parking aisles and spaces sizes shall comply with Carlsbad Municipal Code Chapter 21.44
- **Signage:** Sign standards for this Planning Area shall conform to the standards set forth in Section 4 of this Master Plan document and shall be consistent with the architectural theme of the Resort and shall not otherwise be required to comply with Chapter 21.41. The primary emphasis of signage in this Planning Area will be for

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pedestrian direction to and from resort golf facilities.

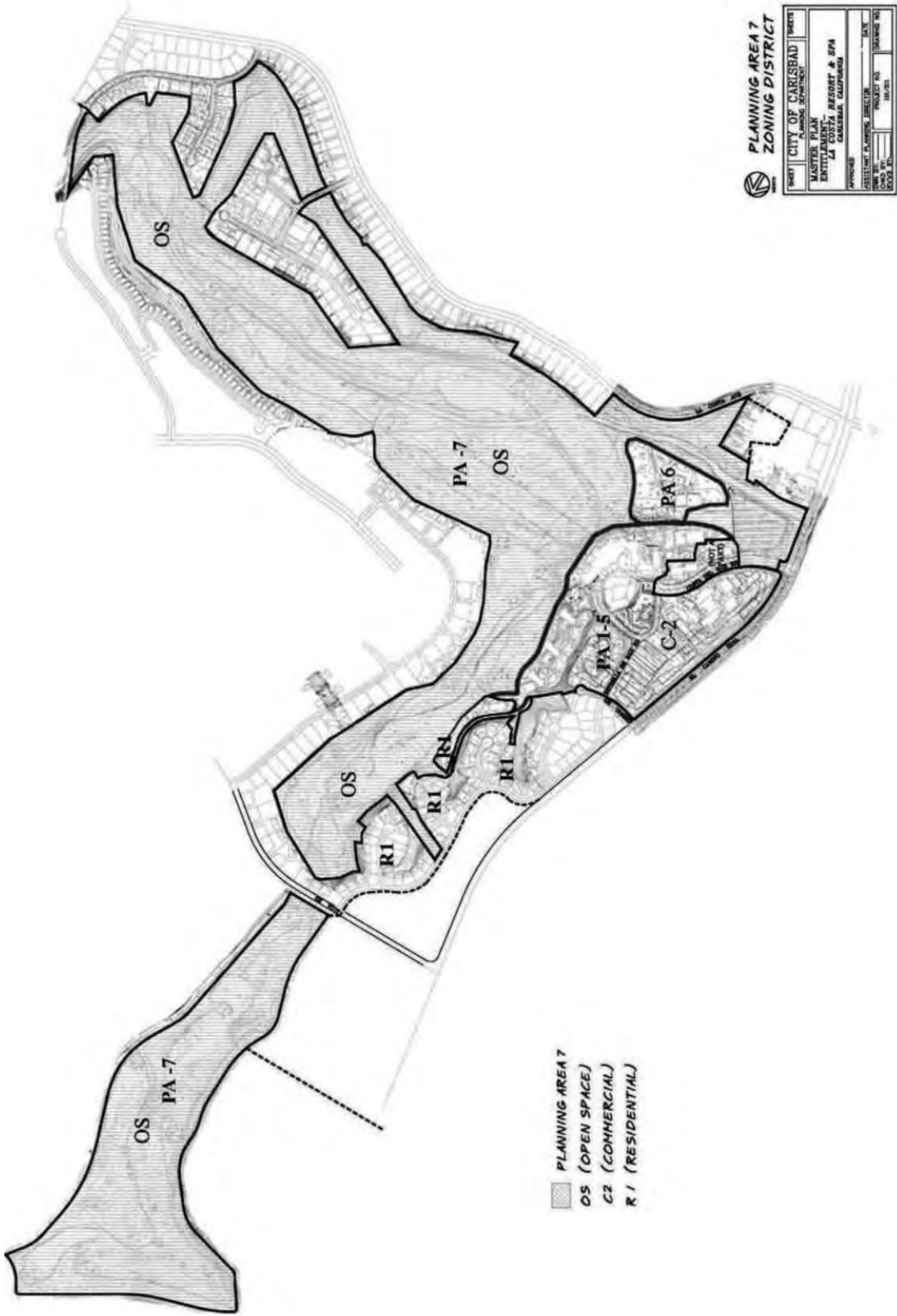
- **Maximum Allowable Wall Height:** The maximum wall height in this Planning Area shall be delineated on grading and site improvement drawings within this Master Plan documentation package and per the Wall Conditions table as previously discussed.
- **Fencing and Walls:** All fencing and walls shall conform to the design guidelines set forth in Section 2.10.6 of this document. The visual impacts of any retaining walls, if over 6' in height and exposed to an exterior view, will be mitigated with the installation of climbing vines other plant material that will help conceal the plane of the wall. The maximum wall height in this Planning Area shall be per the Wall Conditions table on page 2.69.
- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into the development phased within this Planning Area. In addition, the following specific landscape concepts shall be included in the development of this Planning Area. All setbacks shall be landscaped. Manufactured landscape theme of the Resort and will be maintained by the Resort operator.
- **Open Space:** Views to and from the golf course and surrounding open space should be maximized for the CDUs in this Planning Area.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.
- **Special Building Criteria:** To the extent that ancillary or temporary buildings or structures may be required as described in Temporary and Interim Uses, the building will be constructed to conform with Standards of construction delineated in section 21.110.160 of the Carlsbad Zoning Code to include:
 - Construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.
 - Construction and substantial improvements shall be constructed using methods and

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practices that minimize flood damage.

- Construction and substantial improvements shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- Provide for adequate drainage paths around structures on slopes to guide floodwaters around and away from structures.
- All design for meeting the requirements for construction in the floodplain will be certified by a registered professional engineer or architect to meet or exceed the minimum City of Carlsbad Building Code criteria.
- Upon completion of the structure the elevation of the lowest floor including basement shall be certified by a registered professional engineer or surveyor, or verified by the city building inspector to be properly elevated. Such certification or verification shall be provided to the floodplain administrator.

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3.2.7 PLANNING AREA 7

Site Location: This Planning Area represents the remainder parcels of the La Costa Resort and Spa Golf Courses Open Space - the O-S portion of Planning area 7. Associated ancillary golf maintenance buildings and related golf supporting use is included in the Open space area of Planning Area 7. Resort Hotel facilities, uses, and support facilities are not envisioned to substantially change in use with the approval of the Master Plan as defined the C-2 area of Planning Area 7. This area is shown on the graphic in the proceeding page.

Zoning P-C

Planning Area Zoning District O-S/C-2

Development Standards for the O-S portion of Planning Area 7: All golf course use and supporting facilities shall conform to the City of Carlsbad Zoning Section 21.33 - O-S and as modified in this Master Plan.

Development Standards for the C-2 portion of Planning Area 7: The Resort Hotel facilities and uses which are not envisioned to substantially change with the approval of the Master Plan define are C-2 area of Planning Area 7.

- **In-room Mini-Bar Use:** Mini bars shall be allowed in the C-2 zone of Planning Area 7 without a Conditional Use Permit
- **Development:** Development pursuant to this Master Plan shall not require a CUP, even though it includes hotel use, as would otherwise be required pursuant to Section 21.28.015(5).
- **Maximum Building Height:** No building shall have more than three floors above ground level.

Permitted Uses / Planning Area 7, C-2 and O-S: All hotel uses are allowed without requiring further modification, as well as interim and permanent parking.

Temporary and Interim Uses Allowed / Planning Area 7, C-2 and O-S: On-site construction staging and temporary site guard and construction office trailers and office modular units. Temporary outdoor staging elements to facilitate resort operations for sporting events, i.e., golf and tennis tournament spectator staging and seating, provided however that any tents shall require review by City fire department and approval if required.

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SPECIAL DESIGN CRITERIA AND REGULATIONS FOR PLANNING AREA 7 C-2 AND O-S

The following identifies the modifications to the O-S zoning regulations that apply to Planning Area 7. To the extent that anything provided herein is inconsistent with the regulations of the O-S zoning designation, the provisions set forth herein shall control.

- **Design:** All community-wide design standards for architecture as described in Section 2 of this Master Plan shall be embodied in the implementation of development in this planning area and shall be consistent with the “Spanish Colonial” theme of the Resort renovations to date.
- **Landscaping:** All community-wide landscape standards described in Section 2, Community Design Elements shall be incorporated into renovations within this Planning Area. In addition, the following specific landscape concepts shall be included in the development of this Planning Area. All setbacks shall be landscaped. Manufactured slopes of this Planning Area shall be landscaped to be consistent with the intent of the landscape theme of the Resort and will be maintained by the resort operator.
- **Maximum Allowable Wall Height:** All fencing and walls shall conform to the design guidelines set forth in Section 2 of this document. Retaining wall conditions, if over 6' in height and exposed to an exterior view, will be mitigated with plant pockets or structural systems that allow for “planting” the wall. The maximum wall height in this Planning Area shall be per the Wall Conditions table as previously discussed.
- **Open Space:** Views to and from the golf course and lagoon should be maximized for continued renovations within.
- **Parking:** Pursuant to the City’s zoning code, parking shall conform to the standards set forth in the Parking Needs Assessment document prepared in conjunction with this Master Plan.
- **Trails:** Trails are delineated in Section 2.11.3. Trails are treated with consistent plant material to define and reinforce the high quality resort character by using vertical palm arrangements coupled with lower, secondary Canopy Tree planting between the palms to provide a well-organized and recognizable path between resort facilities. Trails throughout the Resort campus will be constructed of DG on native soil, asphalt, concrete and other materials; and will provide extensions to existing sidewalks and paths currently in place.

THE REALIGNMENT OF ARENAL LANE IN PLANNING AREA 7

Arenal Lane is realigned to address revisions in grades and to maximize efficiency of land use for both residential open space and the adjacent Resort use.

3.3 DEVELOPMENT REVIEW PROCESS FOR THE MASTER PLAN

The Master Plan establishes the development standards for the La Costa Resort and Spa project area. The La Costa Resort and Spa Master Plan consists of this Master Plan text, the Master Land Use Plan and related Master Plan exhibits and technical appendices. The Master Plan area is divided into 7 individual Planning Areas. Each of the Planning Areas has been established based on a number of factors including natural and man made features, circulation system, product type and compatibility with adjacent land uses.

The specific uses, square footage, and number of Commercial Dwelling Units within each Planning Area shall be established by approval of this Master Plan.

3.3.1 DEVELOPMENT AND PUBLIC FACILITY PHASING

The Zone 6 Local Facilities Management Plan contains a detailed development phasing program. The objective of the program is to coordinate the provision of public facilities and services with a projected sequence and pattern of development. The project has been divided into 5 development phases. Each phase has specific onsite and offsite improvements that are required prior to or concurrent with development. Thresholds (Performance Standards) are established in the Zone 6 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Zone 6 Local Facilities Management Plan must be complied with as the Master Plan develops.

3.3.2 TENTATIVE SUBDIVISION MAPS

A tentative subdivision map has been submitted concurrently with the submittal of the Master Plan. The Planning Commission and City Council shall review the tentative subdivision map for approval pursuant to this Master Plan. In their review of the map the Planning Commission and City Council shall not approve the map unless they are able to make the findings that the map is consistent with the Master Plan, Applicable Local Facilities Management Plans, the City's Hillside Development Ordinance, if applicable, and the provisions of Title 20 of the Carlsbad Municipal Code, provided however, that where this is a conflict in regulations, this Master Plan shall control.

Subdivision maps will be processed pursuant to the City of Carlsbad Municipal Code.

3.3.3 MASTER PLAN AMENDMENTS

This Master Plan sets forth a general framework and specific development standards for the future development of La Costa Resort and Spa. It is anticipated that various additional modifications to the Master Plan text and exhibits will be necessary during the life of the project.

Future modifications to the Master Plan shall occur in accordance with the specific amendment process described in this section. These amendments are divided into three categories described below and may be initiated by the City Staff and/or property owner. Amendments must be consistent with the goals, objectives and requirements of the General Plan and Zoning Ordinance, as modified by this Master Plan and associated entitlements.

Upon determination by the Planning Director, modifications to the Master Plan uses, text and/or graphics may be approved by an administrative amendment without public notice and/or hearing upon a finding that the modification is in substantial conformance with the approved Master Plan. All Master Plan modifications found by the Planning Director not to be of a minor nature or not in substantial conformance with the approved Master Plan shall require an amendment that shall be processed in accordance with Section 21.38.120 of the Carlsbad Municipal Code.

NON-ADMINISTRATIVE AMENDMENTS

Minor modifications to the Master Plan as approved shall not require administrative or formal amendments (i.e. through Staff review or public hearing). The Developer has authority to make minor modifications to the Master Plan as follows:

- a. Modifications to facilities to insure safety of the Resort guests and visitors of the Resort.
- b. Realignment or modifications of internal pedestrian pathways servicing the project consistent with the circulation concepts of the Master Plan.
- c. Minor amendments to site sign locations to address operational and safety issues and operational functions of the Resort.
- d. Minor modification of design features such as paving treatments, fencing, lighting, trails, entry treatments and landscape treatments if consistent with the intent of the Design Guidelines of the Master Plan.

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ADMINISTRATIVE AMENDMENTS

Upon determination by the Planning Director, certain minor modifications to the Master Plan text and/or graphics as approved may be approved by an administrative amendment without public notice and/or hearing. The Planning Director (or his staff) has the authority to approve the following changes or administrative amendments to the Master Plan:

- a. Expansions or reductions to the geographic Planning Areas up to 25% in area may be allowed by the Planning Director if the overall unit yield or use allocation specified for the Planning Area in Section 3 of this Master Plan does not increase.
- b. Realignment or modifications of internal streets servicing the project if approved by the City Engineer.
- c. Minor changes to subsequently approved Site Development Plans provided such amendments do not increase the approved densities or inordinately modify boundaries of the Site Development Plan, nor permit a new use or group of uses not shown on the approved Site Development Plan.
- d. Design modifications to features such as paving treatments, fencing, lighting, trails, entry treatments and landscape treatments.

FORMAL AMENDMENTS

All Master Plan modifications which do not meet the criteria of a Non-Administrative or Administrative Amendment as provided in this chapter shall require a formal amendment to the Master Plan. A formal amendment shall be processed pursuant to Section 21.38.120 (P-C Zone) of the Carlsbad Municipal Code.

Any request for a formal amendment to the Master Plan shall require serious consideration as it relates to the intent of the original Master Plan. As a condition of consideration of any formal amendment to the Master Plan, it shall be the applicant's responsibility to:

- a. Ensure the amendment meets the goals and objectives of the original Master Plan for development.
- b. Ensure that any impacts to the Master Plan resulting from the amendment can be satisfactorily mitigated within the guidelines of the California Environmental Quality Act.
- c. Update any Master Plan studies and/or provide additional studies when determined necessary to comply with the California Environmental Quality Act.
- d. Provide a ~~strikeout~~/underline copy of the Master Plan Text when changes are necessary and update any Master Plan exhibits affected by the amendment.

3.3.4 ENFORCEMENT

All land uses and operations within the Master Plan shall be subject to on going monitoring to ensure compliance with the terms and conditions of the Master Plan. The City may initiate a master plan amendment at any time to initiate public hearings to address any compliance

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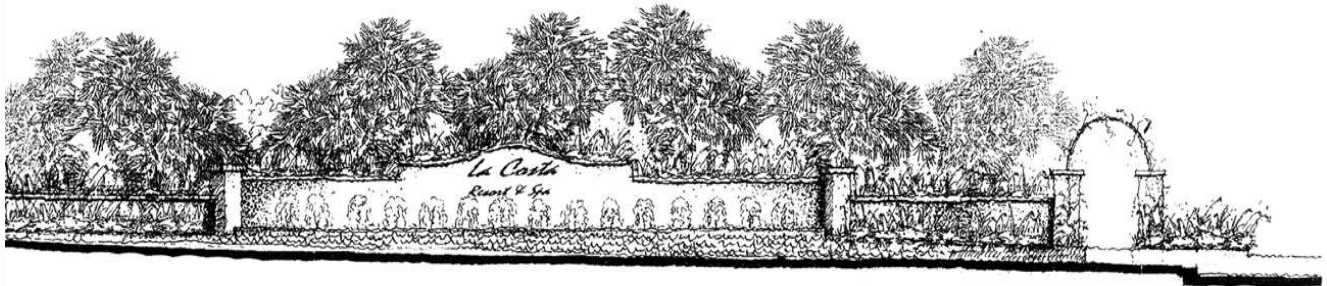
SECTION 4: SIGN PROGRAM

4 THE LA COSTA MASTER PLAN SIGN PROGRAM

The City's Sign Ordinance is set forth in Section 21.41 of the City Code. Section 21.41.060 of the Carlsbad Zoning Code allows for a Master Plan to delineate a site specific "Sign Program." This element of the Master Plan complies with the intent of Section 21.41.060 and applicable subsections by presenting a cohesive program of signs for the La Costa campus with this program.

Upon approval of the Master Plan Sign Program, the standards set forth herein shall become the guidelines for regulating allowable sign elements in connection with future development pursuant to the Master Plan, notwithstanding any subsequent amendments or revisions to the City's Sign Ordinance. Per Section 21.41.060D, if required by the Planning Director, additional detailed structural, mechanical, architectural, and landscape details and drawings may be required in order to comply with building code compliance and construction permitting requirements of the City of Carlsbad.

The La Costa Master Plan Sign Program is presented as related sign types which include to following elements depicted graphically below:

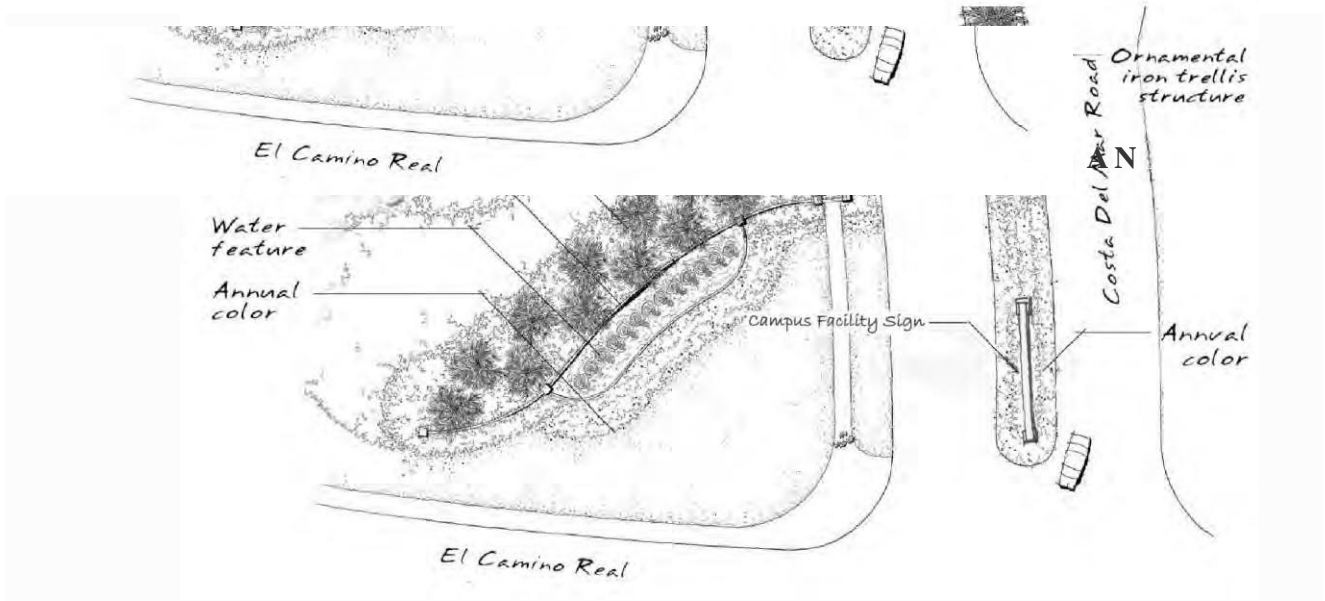


COSTA DEL MAR ROAD ENTRY ELEVATION

THE MASTER PLAN SIGN PROGRAM HIERARCHY

- Primary Entry Monument Signs
- Secondary Monument Signs
- Tertiary Monument Signs
- CDU Enclave Identification Signs
- La Costa Campus Facility and Minor Directional Sign
- La Costa Campus Street Name Signs

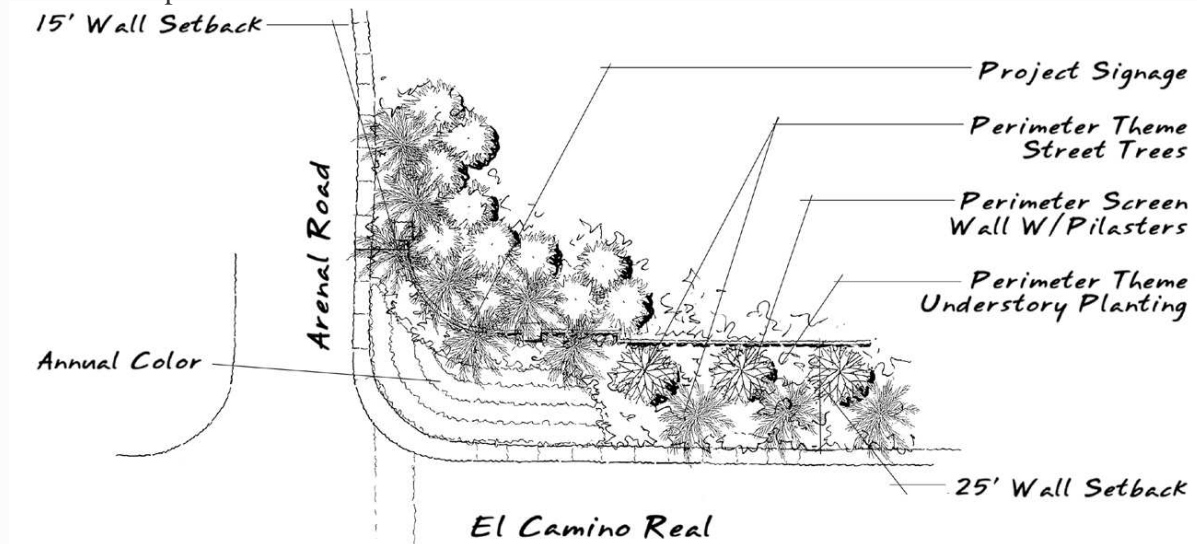
THE LA COSTA RESORT AND SPA MASTER PLAN



COSTA DEL MAR ROAD ENTRY CONCEPT

4.1 PRIMARY ENTRY MONUMENT SIGNS

Description of Sign Element: Permanent Primary Community Entry Monument signs will identify the La Costa Resort and Spa at the intersection of El Camino Real Blvd. and Costa Del Mar Road.

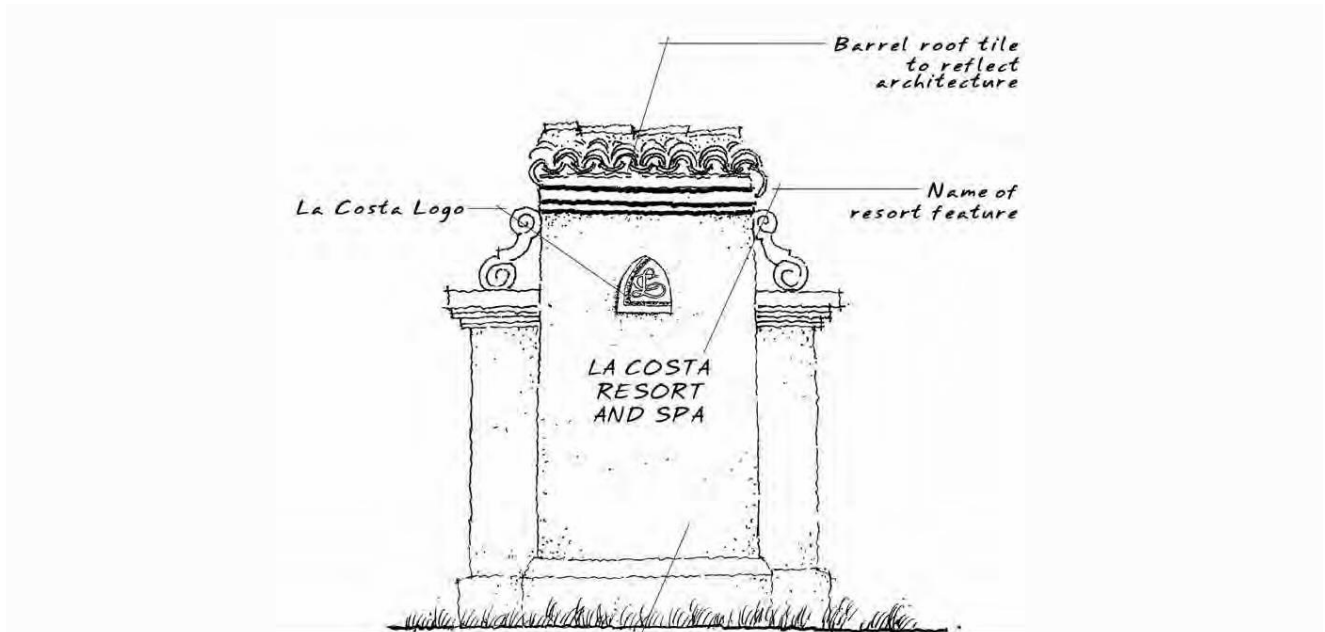


ARENAL ROAD ENTRY CONCEPT

THE LA COSTA RESORT AND SPA MASTER PLAN

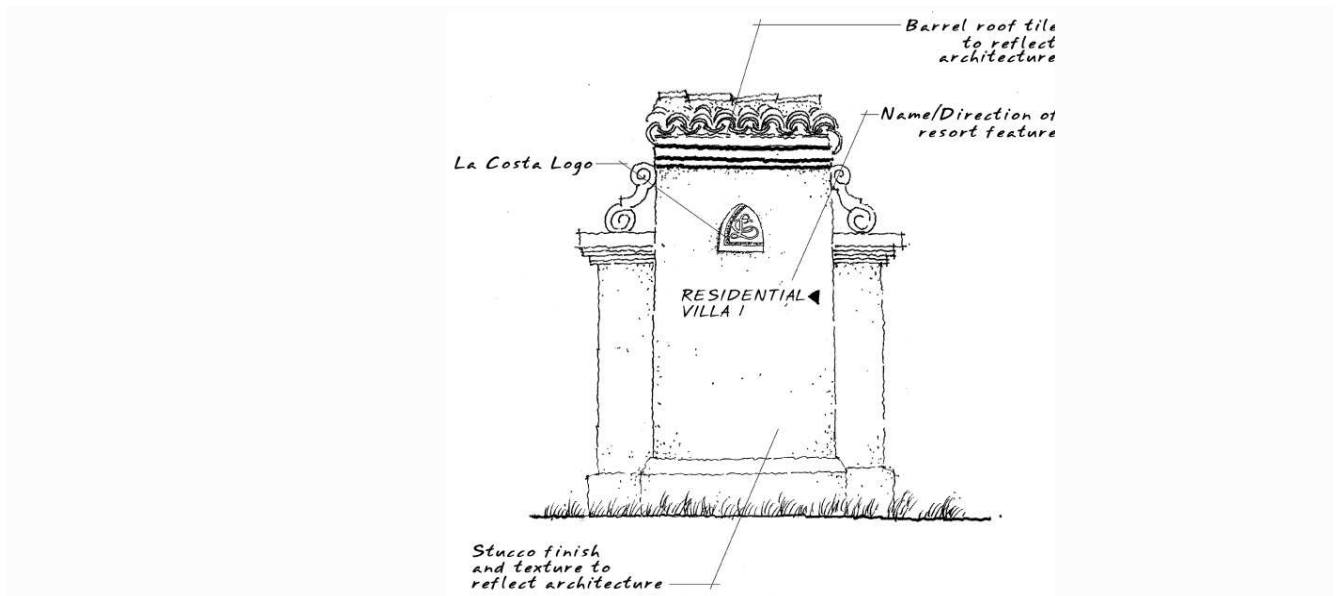
4.2 SECONDARY MONUMENT SIGNS

Description of Sign Element: One permanent Secondary Community sign which identifies the northwest campus boundary of the La Costa Resort and Spa.



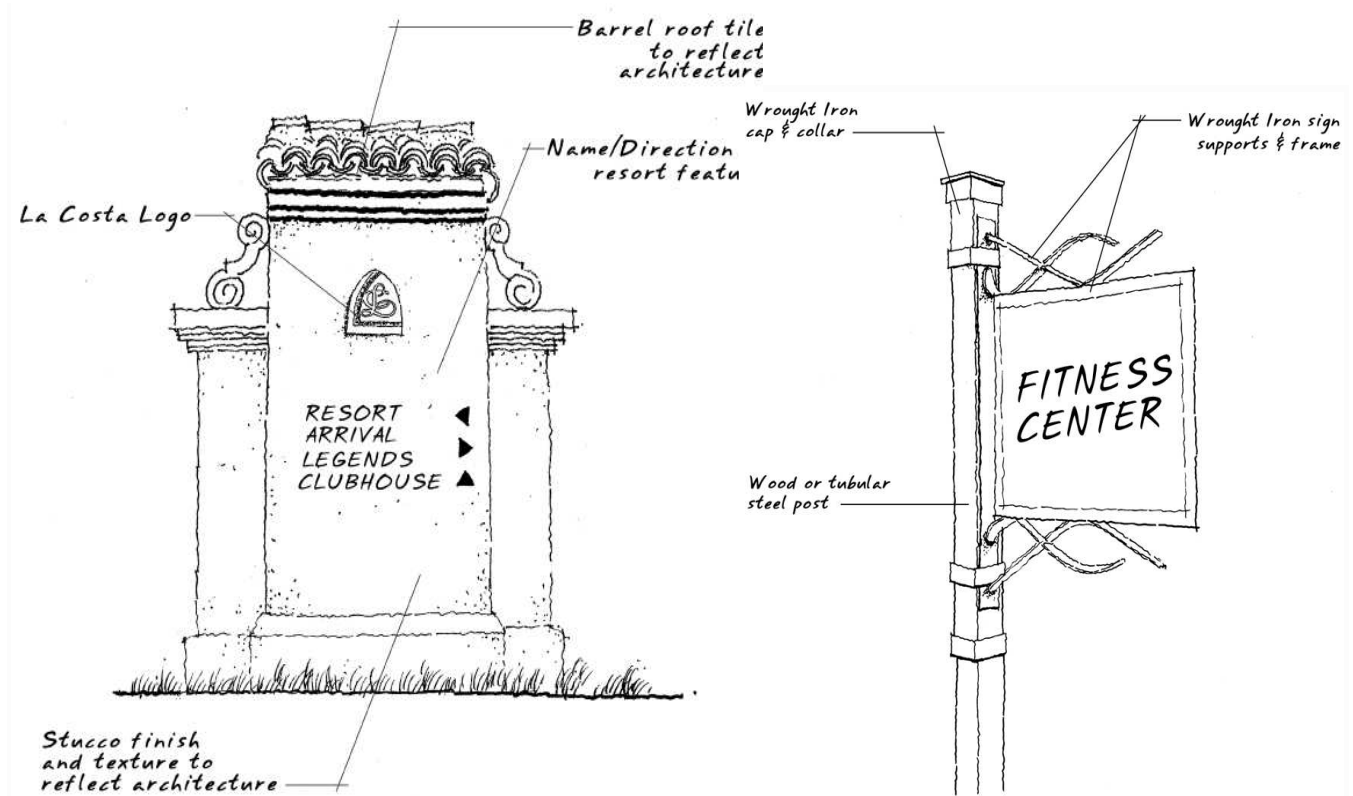
4.3 TERTIARY MONUMENT SIGNS

Description of Sign Element: Permanent tertiary community entry signs serve to identify the Resort at the intersection of Arenal Road and Estrella De Mar Road.



4.4 CDU ENCLAVE IDENTIFICATION SIGNS

Description of Sign Element: Permanent CDU Villa Enclave Entry Signs serve to identify individual enclaves within the overall Resort Campus.

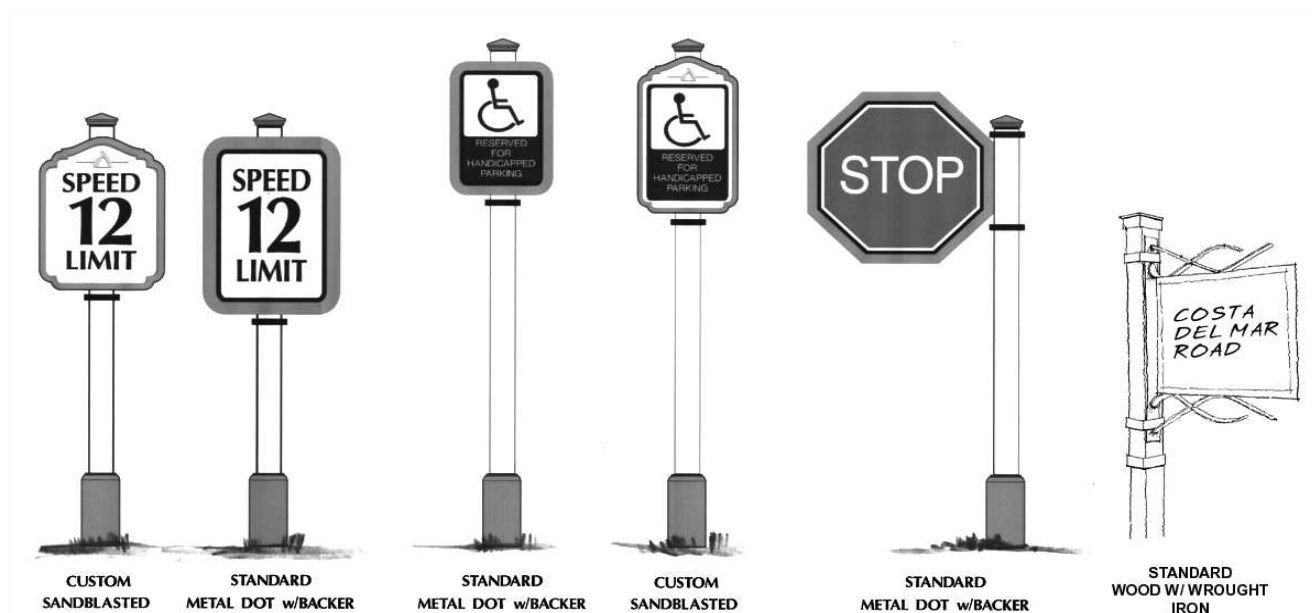


4.5 LA COSTA CAMPUS FACILITY AND MINOR DIRECTIONAL SIGNS

Description of Sign Element: Permanent facility entry signs mark entrances and give the resort visitor direction to resort hotel buildings, restaurants and retail facilities, resort golf and tennis facilities. Permanent minor campus directional signs direct traffic to major facilities within the campus e.g. Fitness Center, Kid's Club, Patio Dining Restaurant, etc., shall be located discretely at each building or site facility throughout the La Costa Campus.

One Permanent Campus Facility Sign shall be allowed at the intersection of El Camino Real and Costa Del Mar Road and is illustrated in elevation below.





4.6 LA COSTA CAMPUS STREET NAME SIGNS

Description of Sign Element: Street control signs will be utilized to direct pedestrian and vehicular traffic throughout the master plan area.

4.7 LA COSTA RESORT VILLA SIGNS



Description of Sign Element: To identify future development and direct traffic to Villa development areas, sign "Coming Soon" type of sign as shown above. The quantity, locations, and sizes shall conform to this sign program and shall be consistent with the purpose of this section of the Master Plan, and may be reviewed and approved by the Planning Director and/or his staff.

4.8 SIGN PROGRAM COMPLIANCE WITH CARLSBAD SIGN ORDINANCE

Applicable City Sign Ordinance sections and text is **highlighted in bold** text below. Each key criteria from the Sign Ordinance is summarized below, along with a comparison of how the Sign Program complies with those criteria. As shown below, the Sign Program does not vary from the Sign Ordinance criteria. The key sign criteria elements presented for comparison include:

- **Quantity** of Sign Elements
- **Location** of Sign Elements
- **Sight Distance** to and from Sign Elements
- **Size of Sign** Elements
- **Copy** on Sign Elements
- **Materials and Colors** of Sign Elements
- **Illumination** of Sign Elements

- a. **Quantity:** Per Section 21.41.095 Permitted permanent signs, (2) sign monument are allowed for Resort Hotels - Per 21.41.095 Permitted permanent signs - Signs on entry walls or retaining walls (e.g., curved, angled or similar walls integrated into a project entry or perimeter) are encouraged. In cases where such walls are on both sides of an entry drive, two signs (each at less than the maximum allowable square footage) are permitted. Wall mounted signs - one per street frontage is allowed. Directional signs - five per driveway opening are allowed.

- **Primary Entry Monument Signs**

Two (2) are allowed in the Ordinance. One monument at each side of Costa Del Mar Road approximately 175' apart from one-another along El Camino Real Blvd.

- **Secondary Monument Signs**

One is at the southeast corner of Arenal Road and El Camino Real Blvd.

- **Tertiary Monument Signs**

Two (2) are allowed in the Ordinance. One split-monument at each side of Estrella De Mar approximately 135' apart from each-other along Arenal Road and one on El Camino Real north of Costa Del Mar Road.

- **CDU Enclave Identification Signs**

As shown on page 4.11, a maximum of two per Enclave driveway opening for a total of ten site wide.

- **La Costa Campus Facility and Minor Directional Signs**

As shown on page 4.11, a maximum of 5 per project driveway opening for a total of fifteen site- wide.

- **La Costa Campus Street Name Signs**

As shown on page 4.11, a maximum of one per project and Enclave driveway opening for a total of ten signs site wide.

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- b. Location:** Per Section 21.41.080(E), signs must be located as to not interfere with the unobstructed clear view of the public right-of-way and nearby traffic regulatory signs of any pedestrian, bicyclist or motor vehicle driver. All locations of signs are delineated as shown on page 4.11 with the exception of temporary and "Special Event" signs that will be reviewed and approved in connection with a Special Use Permit or other approval.
- **Primary Entry Monument Signs**
This sign is located at the intersection of El Camino Real and Costa Del Mar Road and is set-back an adequate distance so as not to interfere with the unobstructed clear view of the public right-of- way and nearby traffic regulatory signs and signals.
 - **Secondary Monument Signs**
This sign is located at the intersection of El Camino Real and Arenal Road and is set back an adequate distance so as not to interfere with the unobstructed clear view of the public right-of-way and near by traffic regulatory signs and signals.
 - **Tertiary Monument Signs**
This sign is located at the intersection of Arenal Road and Estrella De Mar Road and is set back an adequate distance so as not to interfere with the unobstructed clear view of the public right-of-way and nearby traffic regulatory signs.
 - **CDU Enclave Identification Signs**
All locations are delineated as shown on page 4.11.
 - **La Costa Campus Facility and Minor Directional Signs**
All locations are delineated as shown on Page 4.11. Signs shall be placed so as to aid in directing or to prohibit guests, service vendors and service providers.
 - **La Costa Campus Street Name Signs**
All locations are delineated as shown on page 4.11 with the exception of temporary and "Special Event" signs that will be reviewed and approved in connection with a Special Use Permit or other approval.
- c. Sight Distance:** No sign or sign structure shall be placed or constructed so that it impairs the sight distance requirements at any public or private street intersection or driveway. Per Section 21.41.080 - Sign Design Standards. All sign elements presented herein will comply will all applicable Carlsbad Building and Safety, and Engineering Department design and site placement regulations to assure adequate sight distance is maintained.
- **Primary Entry Monument Signs**
These monuments are sited so as to insure adequate sight distance between the street frontages and the improvements for the sign element.
 - **Secondary Monument Signs**
These monuments are sited so as to insure adequate sight distance between the street frontages and the improvements for the sign element.

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- **Tertiary Monument Signs**

These monuments are sited so as to insure adequate sight distance between the street frontages and the improvements for the sign element.

- **CDU Enclave Identification Signs**

These monuments are sited so as to insure adequate sight distance between the street frontages and the improvements for the sign element.

- **La Costa Campus Facility and Minor Directional Signs**

These minor sign elements are placed so as to insure adequate sight distance between the street frontages, walkways and the sign element.

- **La Costa Campus Street Name Signs**

These minor sign elements are placed so as to insure adequate sight distance between the street frontages, walkways and the sign element.

d. Size: The size of all signs listed below comply with the Sign Ordinance.

- **Primary Entry Monument Signs**

Copy of area of sign element on each wall not to exceed 50 square feet per current Ordinance. Maximum height of lettering, 18". Signage complies.

- **Secondary Monument Signs**

Copy of area of sign element on each wall not to exceed 50 square feet per Current Ordinance. Maximum height of lettering, 18". Signage complies.

- **Tertiary Monument Signs**

Copy of area of sign element on each wall not to exceed 50 square feet per Current Ordinance. Maximum height of lettering, 18". Signage complies.

- **CDU Enclave Identification Signs**

Copy of area of sign element on each wall not to exceed 50 square feet per Current Ordinance. Maximum height of lettering, 18". Signage complies.

- **La Costa Campus Facility and Minor Directional Signs**

Copy of area shall not exceed 10 square feet per Current Ordinance. Maximum height of lettering, 18". The Campus Facility Sign located at the intersection of El Camino Real and Costa Del Mar Road includes six sign placards approximately 24 inches by 24 inches.

- **La Costa Campus Street Name Signs**

Copy of area of sign element on each wall not to exceed 10 square feet per Current Ordinance. Maximum height of lettering, 18". Signage complies.

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e. Copy:

- **Primary Entry Monument Signs**
Copy restricted to community identification only (e.g. La Costa Resort and Spa) 21.41.095
Permitted permanent signs - Resort Hotels
- **Secondary Monument Signs**
Copy restricted to community identification only (e.g. La Costa Resort and Spa) 21.41.095
Permitted permanent signs - Resort Hotels
- **Tertiary Monument Signs**
Copy restricted to community identification only (e.g. La Costa Resort and Spa) 21.41.095
Permitted permanent signs - Resort Hotels
- **CDU Enclave Identification Signs**
Permanent copy restricted to neighborhood identification only e.g. "La Costa Resort and Spa Commercial Dwelling Unit #5" or similar text.
- **La Costa Campus Facility and Minor Directional Signs**
Permanent copy restricted to facility or directional identification only e.g. "La Costa Resort and Spa Fitness Club", "Service Vehicle Entrance", "No deliveries - Service entry at Main entrance", "Tour bus entry" or similar text.
- **La Costa Campus Street Name Signs**
The "Copy Area" of all signs listed above comply with the Sign Ordinance.

f. Materials and Colors: The Material and Color palette for all sign types listed above are derived from prominent architectural finishes within the project such as stucco and masonry walls, and wood trellises on stucco columns; sign element - individual dimensional wrought iron letters. The principal color of the signage background element is white with contrasting wrought iron. The materials and colors of all signs listed below comply with the Sign Ordinance.

- Primary Entry Monument Signs
- Secondary Monument Signs
- Tertiary Monument Signs
- CDU Enclave Identification Signs
- La Costa Campus Facility and Minor Directional Signs
- La Costa Campus Street Name Signs

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g. Illumination: Per Section 21.41.080 Illumination from or upon any sign shall be shaded, shield- ed, directed or reduced so as to minimize light spillage onto the public right-of-way or adjacent properties. Externally illuminated signs shall be lighted by screened or hidden light sources. Free- standing and building-mounted signs shall either be non-illuminated or externally illuminated, except for signs with opaque backgrounds which give the appearance of individual channel letters and changeable copy signs.

- Primary Entry Monument Signs
- Secondary Monument Signs
- Tertiary Monument Signs
- CDU Enclave Identification Signs
- La Costa Campus Facility and Minor Directional Signs
- La Costa Campus Street Name Signs

All sign lighting elements listed above within this Master Plan comply with the Sign Ordinance. Landscape lighting for all sign elements listed above shall be located to subtly highlight sign elements, plant material and wall without featuring the light source.

4.9 THE LA COSTA SIGN LOCATION DIAGRAM

Figure 16 depicts the six sign types within in the La Costa Master Sign Program and their general location on and off of the site. Locations are diagrammatic and may be changed to address sight distance, safety consideration, and placements based on existing site features such a trees, shrubs, mounding, and other location criteria.

4.10 EXISTING LA COSTA CAMPUS SIGN REGULATION

Figure 16 depicts existing and proposed signs on the La Costa Campus. Any changes to existing signs shall comply with the regulations set forth in Section 21.41.130 if applicable.

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FIGURE 16 - MASTER SITE SIGN PROGRAM

