

RANCHO CARRILLO

MASTER PLAN

Prepared for:

**City of Carlsbad
Planning Department
2075 Las Palmas Drive
Carlsbad, California 92009**

October 27, 1998

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HISTORY

This Master Plan constitutes a revision to the Rancho Carrillo Master Plan first adopted by City Council in October, 1972. The initial Master Plan and subsequent amendments are as follows:

1. Carrillo Ranch Master Plan, adopted October, 1972 (#9332).
2. Carrillo Ranch Master Plan Amendment, October, 1973 (#9365).
3. Carrillo Ranch Master Plan Amendment, March 16, 1982 (#9611), MP139(A).
4. Carrillo Ranch Master Plan Amendment, February, 1984 (#9706), MP139(B).
5. Carrillo Ranch Master Plan Amendment, July 27, 1993 (#NS-247), MP139(E).
6. Rancho Carrillo Master Plan Amendment, October 21, 1997 (#NS-425), MP139(F).
7. Rancho Carrillo Master Plan Minor Amendment, October 27, 1998, (PC RESO NO. 4384), MP139(G).

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INTRODUCTION

This introduction outlines the legal basis and scope of the Rancho Carrillo Master Plan. A project description and statement of goals is also provided. By consensus of the City Council on July 27, 1993, the road identified as Carrillo Way within this Master Plan Amendment shall be renamed Poinsettia Lane. The proposed access street to the park site from Melrose shall be known as Carrillo Way.

A. PURPOSE

The purpose of the Rancho Carrillo Master Plan is to provide for the orderly development of property within the Master Plan while preserving the environmental resources of the area. For planning purposes, Rancho Carrillo Master Plan is divided into residential villages and open space areas. The Master Plan defines the allowable type and intensity of land uses in each village and provides detailed development and design standards, requirements, and the method by which the Rancho Carrillo Master Plan will be implemented.

Adoption of the Rancho Carrillo Master Plan Amendment by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code, will establish the zoning and development standards applicable to the project as a whole with consideration to individual villages as well as the permissible type and intensity of development. Approval of the Rancho Carrillo Master Plan, however, does not vest development rights for the Master Plan Area. Construction of a portion of the Master Plan Area pursuant to this Master Plan shall not vest any right to construct the balance of the plan. Amendments to the Master Plan are permitted pursuant to the procedure established in Chapter 21.38 of the Carlsbad Municipal Code (P-C Zone) and Chapter III of the Master Plan.

Development within the Rancho Carrillo Master Plan Area shall fulfill all requirements established by the Citywide Facilities and Improvement Plan and the applicable Local Facilities Management Plan for Zone 18, pursuant to Carlsbad Municipal Code Chapter 21.90.

Development within the Master Plan shall be subject to all present and future Growth Management plans, policies or ordinances adopted by the City Council or by citizen vote including but not limited to Chapter 21.90 of the Carlsbad Municipal Code (Growth Management). The residential development potential for the Master Plan area has been established by applying the density ranges and the "control points" of the General Plan Land Use designations which are applicable to the property. Except where noted, the Master Plan complies with the Growth Control Point of the underlying General Plan density of 3.2 du/net acre for RLM areas, 6 du/net acre for RM areas, 11.5 du/net acres for RMH areas and 19 du/net for the RH areas.

The Master Plan implements the City of Carlsbad's General Plan and Municipal Code by providing guidelines and standards for the full development of all areas of the project; by requiring facilities and services consistent with the regulations and ordinances of the City's Local Facilities Management Plan for Zone 18; and by ensuring that all City standards and requirements will be met in a consistent and uniform manner. Unless specifically discussed in this Master Plan, all City policies and ordinances apply to the Rancho Carrillo Master Plan Area as they would apply to any property in the City of Carlsbad. The Master Plan requires conformance with all applicable City development standards and requirements.

The Zone 18 LFMP provides a detailed description and analysis of how Zone 18 will develop from its current status to build out. The zone plan also demonstrates how and when each facility and improvement will be constructed in order to accommodate development within the zone. The zone plan also provides a complete description of how each facility and improvement will be financed when mitigation is necessary.

No person shall use or develop any property covered by this Master Plan in a manner which is contrary to the Master Plan as established by the City Council. All developers within the Master Plan shall be subject to all terms and conditions of the Rancho Carrillo Master Plan.

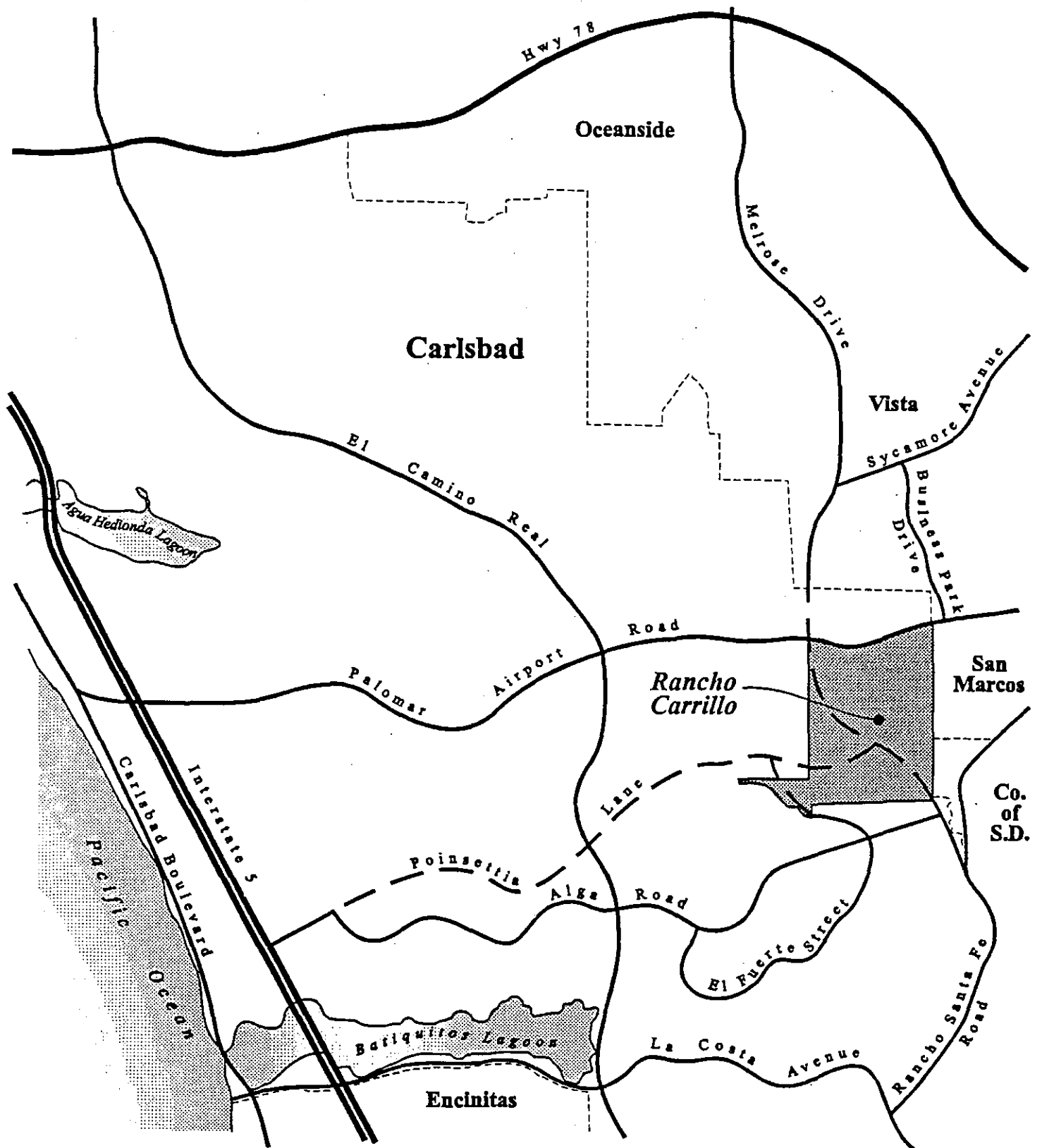
B. PROJECT DESCRIPTION

The Rancho Carrillo Master Plan includes 680 gross acres located in the southeast area of Carlsbad. As shown on Exhibit 1, the project is bounded by Palomar Airport Road to the north, the City of San Marcos to the east, Bressi Ranch to the west and existing residential development to the south.

A General Plan amendment (GPA) is being processed concurrently with this master plan amendment. The GPA will allow for the following:

1. More efficient distribution of a wide variety of product types because land uses and product types within the Master Plan will be determined by a single ownership rather than multiple ownerships.
2. Increase in the amount of natural open space based on input from the US Fish and Wildlife Service and California Department of Fish and Game.
3. Increase the width of the open space corridor along the eastern edge of the Master Plan.
4. Allow for higher density affordable multi family development near the intersection of Melrose Drive and Palomar Airport Road in close proximity to jobs and public transportation.

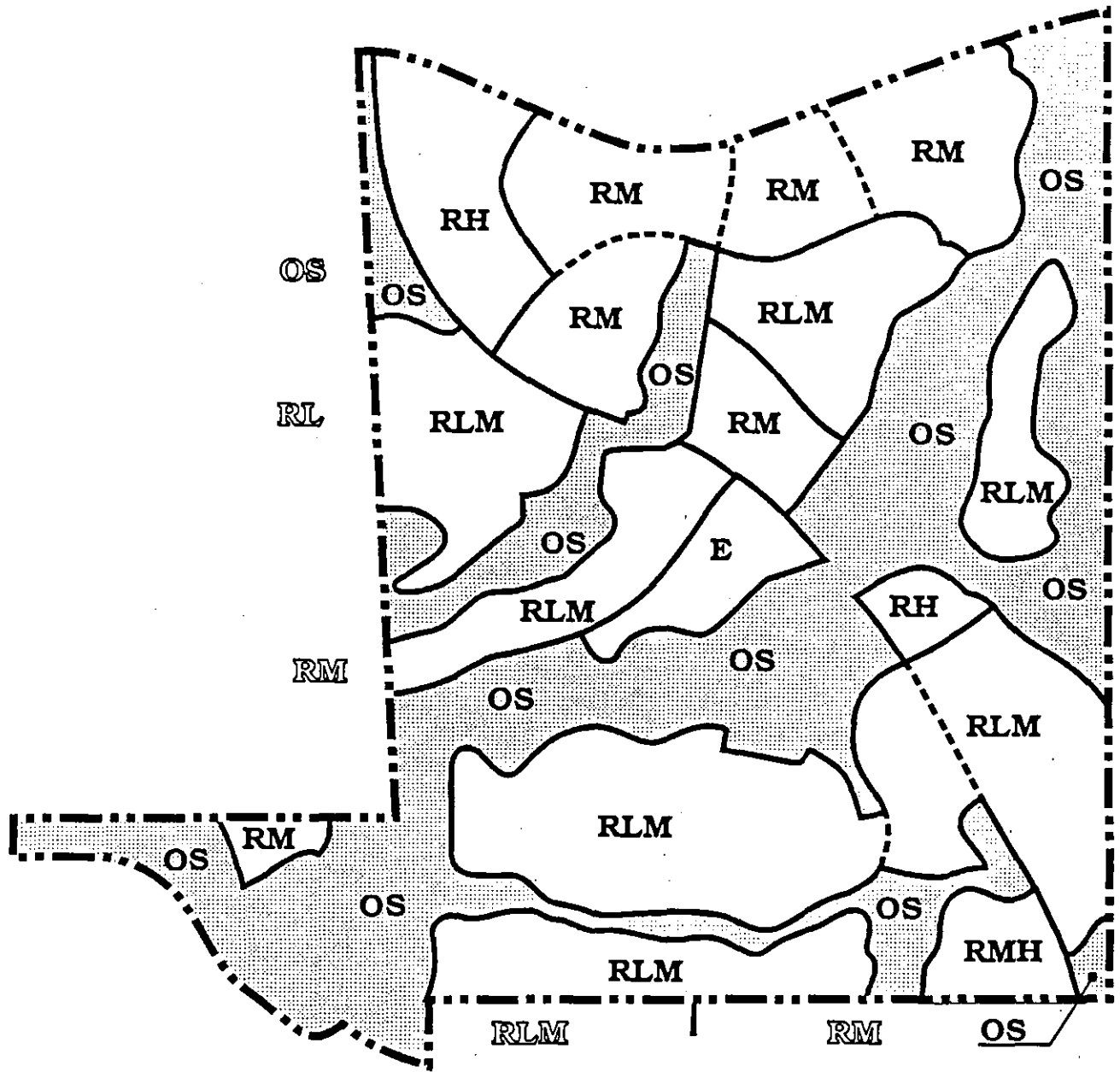
The proposed General Plan Uses are shown on Exhibit 2.



R A N C H O
CARRILLO
 MASTER PLAN


Project Vicinity


1





LEGEND

 General Plan Land Use Boundary

 Residential Low-Medium (0-4 du/ac)

 Residential Medium (4-8 du/ac)

 Residential Medium-High (8-15 du/ac)

 Residential High (15-23 du/ac)

 Open Space

 Elementary School



R A N C H O
CARRILLO
 MASTER PLAN

General Plan
 Land Use

2

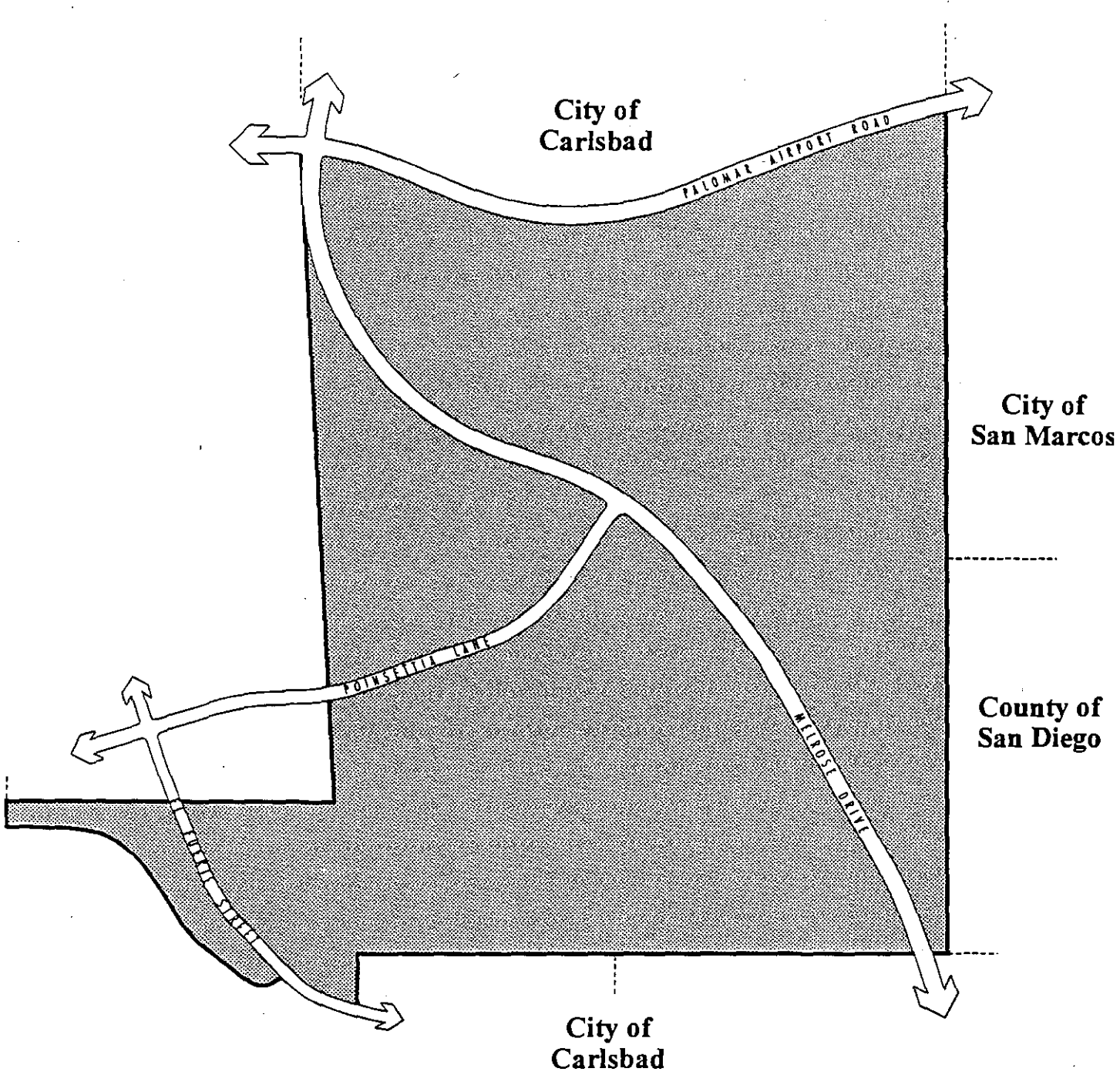
The residential General Plan Land Uses are divided into 18 residential villages labeled A through R as shown on Exhibit 4. In addition, a community recreational facility and daycare center will be located within Open Space Area 11 and a community service facility is proposed for Village T. The Rancho Carrillo Community Park will be located in Open Space Area 10. At build out, the Rancho Carrillo Master Plan will provide a diversity of single family and multifamily homes for a total of 1,816 dwelling units as shown on Exhibit 5.

The exhibits provided throughout the Master Plan text illustrate the conceptual development scheme for the majority of villages within the Rancho Carrillo Master Plan. The purpose of these exhibits is to provide sufficient information to evaluate the Master Plan concept. Specifically, the general lot layout and internal circulation system is shown for the single family villages while access points and the rough grading required for the multi-family areas is indicated. These exhibits are however, conceptual in nature and are provided solely to indicate the limits of grading, circulation and the proposed development scheme for each village. The detailed design of these villages will be reviewed at the time of tentative map submittal.

The dominant feature of the Rancho Carrillo Master Plan is the preservation of an extensive open space network traversing northeast to southwest through the Master Plan area and the dedication of additional park and open space areas around and contiguous to the existing Rancho Carrillo park site. This area designates open space to protect significant natural resource areas that include sensitive plant and animal species. Extensive areas of contiguous coastal sage scrub, wetlands, willow scrub, oak riparian forest and native grasslands are preserved within the open space network.

A trail system is provided within the open space network that is consistent with the open space trail system identified in the City's Open Space Element. As shown on Exhibit 34, the open space trail system will provide a corridor that will connect with open space areas adjacent to the Master Plan area. Additional open space areas are located adjacent to the residential areas which will tie into the main open space network as well as providing buffers between residential villages.

The existing 10.5 acre passive use Rancho Carrillo Park Site is located within the open space network. The Zone 18 - LFMP requires that an additional 8.5 net acres of park based on future development potential in the Master Plan area. The developers of the Rancho Carrillo Master Plan propose to dedicate 16.4 gross acres of parkland within or adjacent to the Rancho Carrillo Park. These 16.4 gross acres will include 9.4 net acres of land, which complies with the requirements of the Zone 18 LFMP.



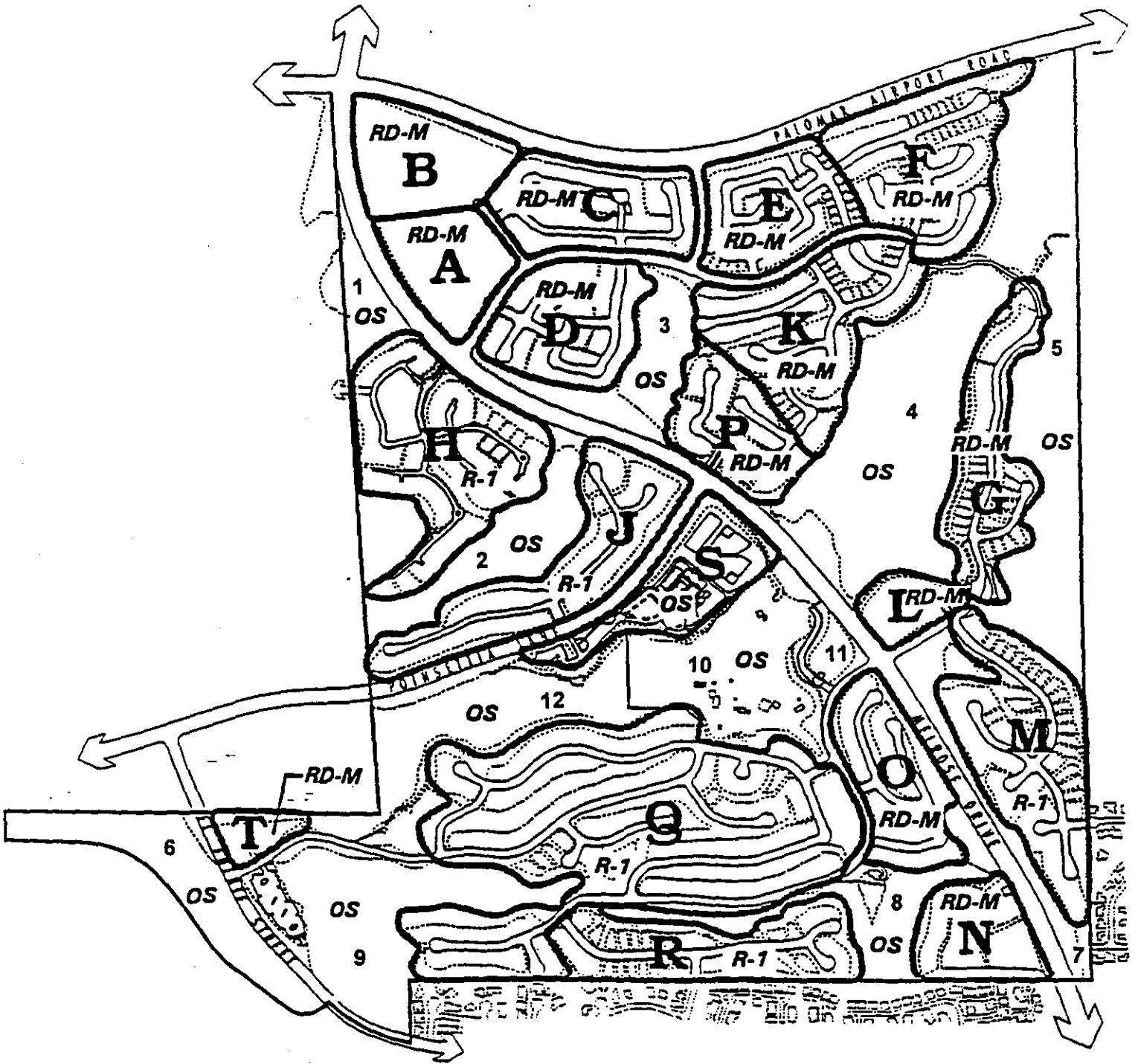
LEGEND

 *Rancho Carrillo Master Plan (690 ac)*



R A N C H O
CARRILLO
 MASTER PLAN

Master Plan Boundary



R A N C H O
CARRILLO
 MASTER PLAN

Master Plan Villages and
 Underlying Zoning

VILLAGES

Village	Land Use	Gross Ac.	Net Ac.	Units	Housing Type	Underlying Zoning
A	RH (15 – 23 du/ac)	14.8	8.5	*195	MF	RD-M
B	RH (15 – 23 du/ac)	15.4	13.6	258	MF	RD-M
C	RM (4-8 du/ac)	20.4	19.2	115	MF	RD-M
D	RM (4-8 du/ac)	22.0	19.0	114	SF	RD-M
E	RM (4-8 du/ac)	18.1	17.7	106	SF	RD-M
F	RM (4-8 du/ac)	25.6	25.0	**116	SF	RD-M
G	RLM (0-4 du/ac)	18.3	16.2	39	SF	RD-M
H	RLM (0-4 du/ac)	33.9	29.3	94	SF	R-1
J	RLM (0-4 du/ac)	27.0	20.0	*65	SF	R-1
K	RLM (0-4 du/ac)	28.9	27.8	*95	SF	RD-M
L	RH (15 – 23 du/ac)	5.8	5.1	96	MF	RD-M
M	RLM (0-4 du/ac)	38.3	32.3	**67	SF	R-1
N	RMH (8-15 du/ac)	12.4	10.4	119	MF	RD-M
O	RLM (0-4 du/ac)	18.3	13.0	**49	SF	RD-M
P	RM (4-8 du/ac)	16.3	14.0	**60	SF	RD-M
Q	RLM (0-4 du/ac)	73.9	63.8	**183	SF	R-1
R	RLM (0-4 du/ac)	17.0	14.9	**45	SF	R-1
S	E (School)	(17.1)	(12.8)	(147)		OS
T	Com -Fac	(4.5)	(3.2)	(19)		C-F
Totals		<u>405.7</u>	<u>349.8</u>	<u>1,816</u>		

Notes:

1. Net acreage and number of units are tabulated per growth management control point, except for units marked by an asterisk. The unit counts for these villages are within the land use density range.
2. Acreage/units in parenthesis are not included in the totals.
3. Double asterisks (**) denote unit numbers reduced to less than the maximum allowed by the growth control point.

OPEN SPACE

Area	Gross Ac.	Net Ac.	Area	Gross Ac.	Net Ac.	Area	Gross Ac.	Net Ac.
1	7.6	2.8	6	17.7	11.8	10	27.6	23.7
2	18.5	12.8	7	2.2	1.3	11*	4.0	3.3
3	8.9	7.3	8	18.1	9.2	12	30.4	24.0
4	41.9	29.6	9	30.1	22.9	Total	<u>252.2</u>	<u>189.9</u>
5	45.2	40.2						

Note:

1. Net and gross acreage are tabulated per growth management.

* A daycare/community recreation facility may be located in this area.

The daycare center will be provided within Open space Area 11 adjacent to the park site. This location will take advantage of the passive recreational opportunities within the park and open space areas, as well as being centrally located within the Master Plan area for easy access.

A potential school site (Village S) will be offered to the San Marcos Unified School District per the requirements of the Zone 18 LFMP. The site is contiguous with the Rancho Carrillo Park Site and within the Open Space Corridor as shown on Exhibit 4. The school site is adjacent to the park site and open space network and in close proximity to adjacent residential development.

Village T, a 3.2 net acre site, will be provided as a community facilities site. This site could be utilized by a church, Boys and Girls Club or other community facility. As shown on Exhibit 4, the site is located adjacent to El Fuerte and contiguous with the open space system on the western boundary of the Master Plan area.

Location of the community facilities within the central open space corridor will strengthen the area's sense of place. The central location provides for visual prominence, easy access and connection by pedestrian trail.

C. MASTER APPLICATIONS

The following applications are being processed concurrently with this Master Plan:

1. General Plan Amendment to revise land use designations within the Master Plan area to reflect existing topography or constraints based on up-to-date surveys and current city codes for this site, and a single ownership of the entire Master Plan area. The proposed revision will have two main results: 1) Changing open space boundaries to result in larger, more contiguous open space areas that protect the more valuable biological resources on the site and 2) provide a greater variety of residential dwelling units to address all segments of the market to include affordable housing.
2. Master Plan Amendment to the existing Rancho Carrillo Master Plan to revise land uses within the Master Plan.

D. MASTER PLAN GOALS

The Rancho Carrillo Master Plan has been developed based on the following goals. All development within the Master Plan shall conform to these goals:

1. Ensure that development within the Master Plan is compatible with surrounding development.
2. Create and maintain an open space network which preserves the environmental resources of the area and meets the objectives of the Open Space and Conservation Resource Management Plan.
3. Conform to all aspects of Carlsbad's General Plan, Zone 18 Local Facilities Management Plan and all applicable City ordinances, regulations and policies.
4. Ensure that public facilities and services that serve the Master Planned community meet or exceed applicable City standards and requirements prior to, or concurrent with development.
5. Create an attractive, buffered circulation system that provides for the safety needs of automobiles and pedestrians.

GENERAL PLAN AND LAND USE PROVISIONS

A. GENERAL PLAN

The General Plan designations of the Rancho Carrillo Master Plan are shown on Exhibit

2. They include the following designations:

OS	-	Open Space
RLM	-	Residential Low Medium, 0-4 dwelling units per acre (Growth Control Point -3.2 du/ac).
RM	-	Residential Medium 4-8 dwelling units per acre (Growth Control Point 6 du/ac).
RMH	-	Residential Medium High, 8-15 dwelling units per acre (Growth Control Point -11.5 du/ac).
RH	-	Residential High, 15-23 dwelling units per acre (Growth Control Point - 19 du/acre).
E	-	Elementary School
CF	-	Community Facility

All development within the Master Plan shall be consistent with these land use designations as well as complying with the Master Plan and Village Development Standards. The Elementary School will revert to the underlying RMH General Plan designation if San Marcos Unified School District does not exercise its option on the School site within a specified amount of time. In addition, for a 90 day period only, the City shall be given the first right of refusal to purchase Village S for park purposes if the site is not acquired by the District within the specified amount of time. Once the San Marcos School District exercises its option, the site's General Plan land use designation shall remain E, Elementary, unless a General Plan Amendment is approved.

B. ZONING

The property within the boundary of this Master Plan is zoned Planned Community, (PC), as shown on Exhibit 6. The PC Zone requires that a Master Plan be approved prior to any development on the site. The Rancho Carrillo Master Plan complies with all of the requirements of Chapter 21.38, the Planned Community Zone, of the Carlsbad Municipal Code and represents the zoning for the property within its boundaries. This Master Plan has been prepared in compliance with the four goals of the Intent and Purpose section, (21.38.010), of the PC Zone.

1. Provide a method for and to encourage the orderly implementation of the general plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted Master Plan to provide an environment of stable and desirable character;

2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space and community facilities, both public and private;
3. Allow for the coordination of planning efforts between the developer and the city to provide for the orderly development of all necessary public facilities to ensure their availability concurrent with need;
4. Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the city; provided such plans are in accordance with the approved planned community master plan.

C. LEGAL DESCRIPTION

A portion of the southerly one half of Section 18 and a portion of Section 19, Township 12 South, Range 3 West, San Bernardino Meridian and a portion of fractional Section 13 and a portion of fractional Section 24, Township 12 South, Range 4 West, San Bernardino Meridian, City of Carlsbad, County of San Diego, State of California.

D. LAND USES

The General Plan land uses for the Rancho Carrillo Master Plan include the following specific land uses: residential land uses, elementary school, open space and community facilities. Exhibit 4 shows how the General Plan land uses have been separated into residential villages, school site and open space areas. Exhibit 5 provides additional information for each of the planning areas shown on Exhibit 4.

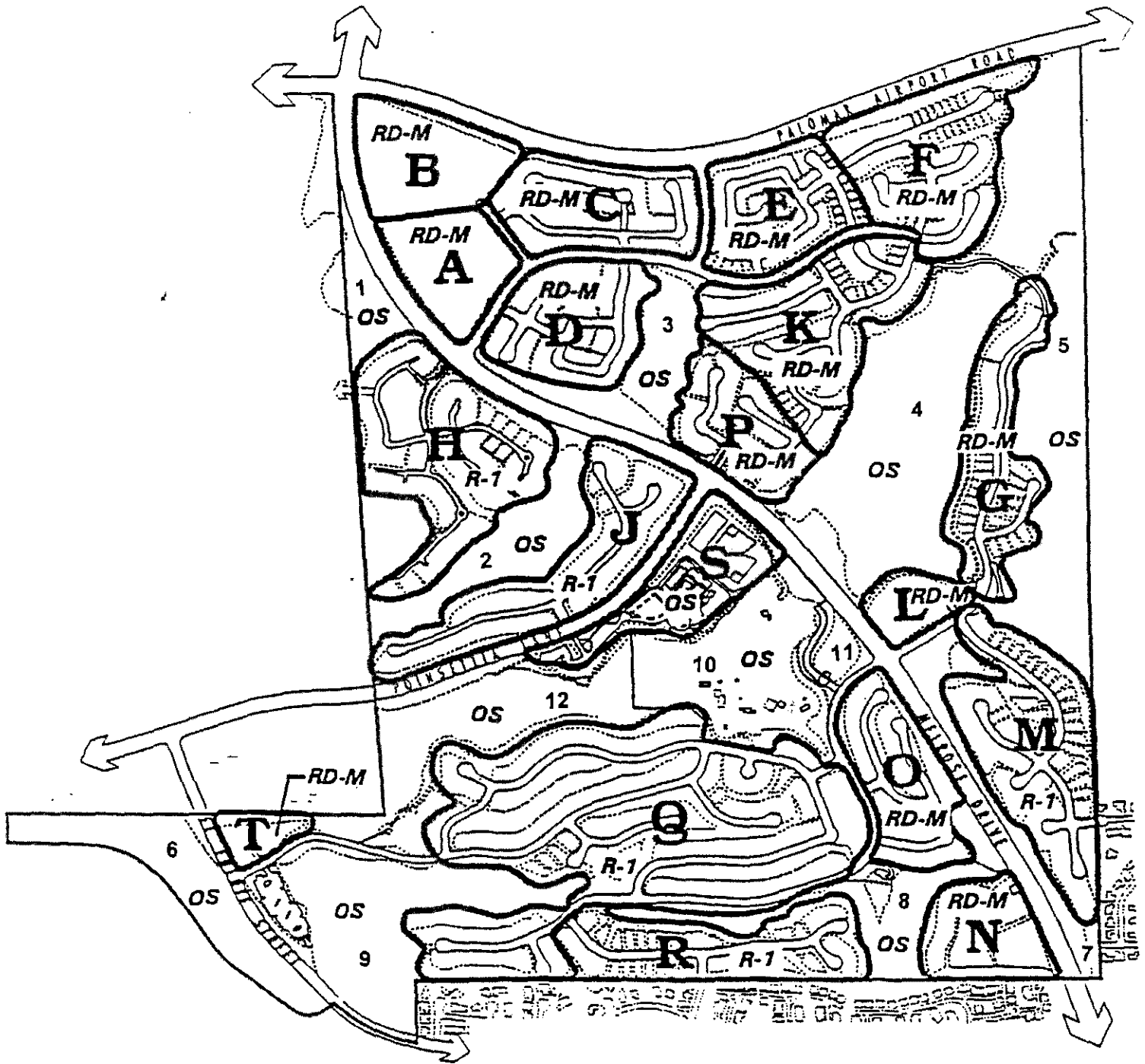
1. RESIDENTIAL

a. Types of Housing

The Master Plan area will provide a diversity of housing to include single family and multi-family homes for a total of 1,816 dwelling units. If Village S is not developed as a school site and Village T is not used as a community facilities site, the units allocated to these sites would allow for a total of 1,982 residential units within the Master Plan. The residential areas of the Master Plan are divided into 18 villages. Single family development areas will provide a wide range of lot sizes.

The design of residential homes provides a variety of housing opportunities consistent with the City's General Plan. The design is also compatible with the

existing, single and multiple family development to the south of the Master Plan area.



R A N C H O
CARRILLO
 MASTER PLAN

Master Plan Villages and
 Underlying Zoning

4

October 27, 1998

b. Affordable Housing

The Rancho Carrillo Master Plan shall provide Affordable Housing in conformance with the requirements of the Inclusionary Housing Ordinance, Section 21.85 of the Carlsbad Municipal Code. The total number of affordable units provided shall be based on the maximum number of units allowed by the Tentative Maps for this project. Tentative Maps have been approved for Villages J,M,O,Q,&R for a total of 409 units. The remainder of the other Villages do not have approved Tentative Maps at this time, however, based on this Master Plan, these remaining Villages could have up to 1407 units for a total of 1816 dwelling units in the Rancho Carrillo Master Plan. Based on these figures, the Master Plan will be required to provide 272.4 affordable units, 27.4 of which would have to be three bedroom units. If the actual number of market rate units allowed by the approved Tentative Maps in the remaining Villages is less than the number of units allocated to these villages by the Rancho Carrillo Master Plan, the required number of affordable units will be reduced accordingly.

The majority of the Affordable Housing for Rancho Carrillo will be located in Village B as multi-family condominiums or apartments. Village B is located adjacent to the intersection of Melrose Drive and Palomar Airport Road. This location puts it in proximity to jobs along the industrial corridor of Palomar Airport Road and bus stops on Melrose Drive and Palomar Airport Road.

Village B may be developed with up to 258 units which could meet the majority of the Affordable Housing requirements of the Rancho Carrillo Master Plan, if all of the Villages were developed to the maximum allowed by the Master Plan. At least 10% of the required Affordable Units required for the Rancho Carrillo Master Plan shall be provided as three bedroom units in Village B. This would be a maximum of 27.4 three bedroom Affordable Units.

Up to 20% of the required affordable units (54) may be provided as Second Units to be located in Villages D,F,G,H,J,K,M,O,P,Q,&R. The exact location and design of these Second Units will be determined when the Floor Plans and Elevations are approved for these Villages. All Second Units will be designed in conformance with the approved Design Guidelines for these Villages and the Second Unit Ordinance, Section 21.10.015 of the Carlsbad Municipal Code.

Second units will be provided concurrently with the market rate units in the villages that include second units. The affordable units in Village B shall be provided per the phasing schedule of the Rancho Carrillo Affordable Housing Agreement.

All future discretionary permits for development within the Master Plan shall be conditioned to enter into an Affordable Housing Agreement pursuant to Section 21.38.120 of the Carlsbad Municipal Code. This agreement shall be approved by the City prior to recordation of a final map or issuance of building permits, whichever occurs first. All relevant terms and conditions of any Affordable Housing Agreement shall be filed and recorded as a deed restriction on those individual lots or units of a project which are designated for the location of Affordable Units.

The Affordable Units provided in Village B may satisfy the Affordable Housing requirement of the following previously approved Tentative Maps:

CT 93-08/PUD 93-07 Village O

CT 93-04 Villages L,M,N,Q,R,&T

2. OPEN SPACE

Preservation and enhancement of open space is an important aspect of this Master Plan. Open Space constitutes a major portion of the Master Plan, approximately 252.2 gross acres or 37% of the Master Plan area will be retained as open space. The Master Plan Open Space program consists of extensive passive open space to include wetland and other significant habitats, natural slopes, trails and landscape parkways. Residential villages will also contain open space areas that will provide recreational areas as well as access to the major open space trail network. A more detailed discussion of open space is provided in Chapter VI.

3. SCHOOL SITE (Village S)

An elementary school site is reserved for the San Marcos Unified School District at Village S. The site will be made available per the requirements of the Zone 18 LFMP. If this site is not acquired by the San Marcos School District for school purposes it will revert to the underlying General Plan land use of RMH, 8-15 DU/AC with an allowable density of 11.5 DU/AC. This would allow Village S to be developed with 147 dwelling units. These 147 units represent a portion of the difference between the number of units allocated to Zone 18 by its approved Local Facilities Management Plan (2091 units) and the maximum number of units currently proposed by the Rancho Carrillo Master Plan (1,816 units). The detailed site design and timing of construction of school facilities will be determined by the San Marcos Unified School District.

4. PARK LAND DEDICATION

The Master Plan will dedicate 16.4 gross acres (9.4 net acres) of park land to the City of Carlsbad prior to recordation of any final map in the Master Plan area. This park

acreage is contiguous with the existing Rancho Carrillo Park Site and exceeds the Zone 18 - LFMP requirement. It is anticipated that the park site will be predominantly passive, however, final site design will be determined by the City of Carlsbad's Park and Recreation Department.

5. COMMUNITY FACILITIES

Within the residential and open space land uses, land is reserved for a community service facility and daycare center. The location and description of each of these facilities is provided below and are shown on Exhibit 7.

a. Community Service (Village T)

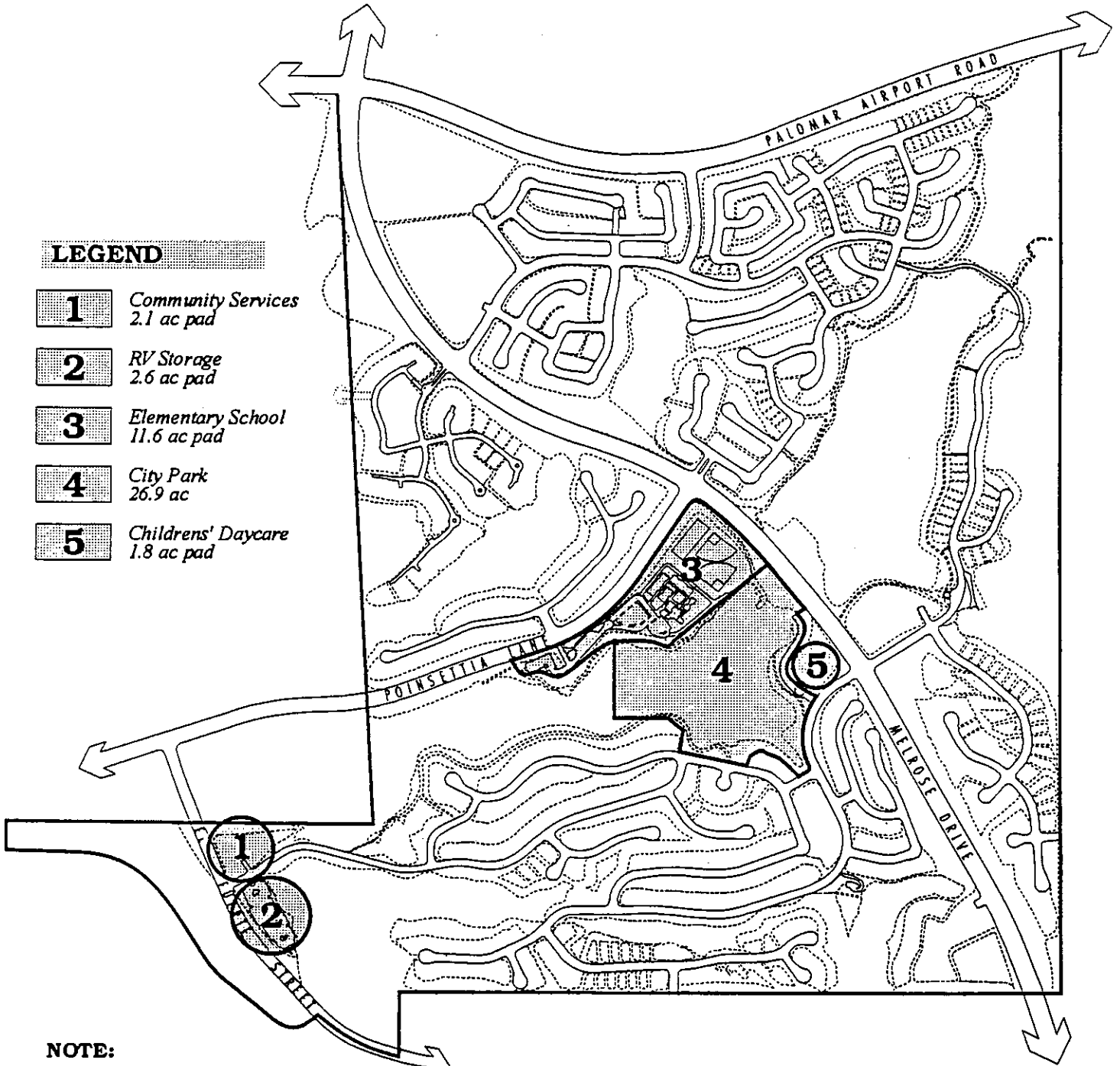
A 3.2 net acre site is reserved for a Community Service in Village T located near the southwest boundary of the Master Plan area. The site will be available for a minimum period of ten (10) years. The ten-year period shall commence when final inspections have been approved for one hundred percent of the units in the first residential planning area in the master plan (October 19, 2000). If, at the end of the ten-year reservation period, community facilities have not developed in the community facilities designated area, then the developer may make an application for a major master plan amendment to eliminate the community facilities site. If the developer proposes to eliminate the community facilities area, he shall demonstrate why it is infeasible that the designated area will ever develop with community facilities uses. The site may be General Plan land use designated Residential Medium (RM) for a potential of 19 dwelling units subject to approval of a Major Master Plan amendment.

b. Daycare Center

A daycare center in conjunction with a common recreation center will be provided in Open Space Area 11 adjacent to the Carrillo Ranch Park site.

LEGEND

- 1** Community Services
2.1 ac pad
- 2** RV Storage
2.6 ac pad
- 3** Elementary School
11.6 ac pad
- 4** City Park
26.9 ac
- 5** Childrens' Daycare
1.8 ac pad



NOTE:

1. Total park acreage does not include r.o.w.'s, which are included in the 27.5 acre figure.



R A N C H O
CARRILLO
MASTER PLAN

Community
Facilities

7

E. GENERAL PROVISIONS

1. MAXIMUM NUMBER OF DWELLING UNITS

The Zone 18 - LFMP allocated 2,091 dwelling units for residential development within the Master Plan area. The Master Plan currently proposes development for a total of 1,816 dwelling units. The additional 166 dwelling units allowed by the Zone 18 - LFMP will be reserved for the exclusive use of the Master Plan until the development status of Villages S and T are determined.

Village A may be developed with up to 195 units at a density of 22.94 dwelling units per acre which exceeds its General Plan designation of 19 dwelling units per acre. To compensate for Village A being developed with 34 more units than would be allowed by its Growth Control Point the maximum density in Village F has been reduced by 34 units. Under its General Plan designation of RM, Residential Medium Growth Control Point of 6 du/ac Village F would be allowed to have up to 150 dwelling units. The Master Plan has reduced the maximum number of dwelling units in Village F to 116, which allows a maximum density of 4.25 du/ac which is at the lower end of the RM General Plan range.

Villages J, K, & O may be developed at densities above their RLM General Plan growth control point of 3.2 du/ac. However, their densities shall not exceed the densities assigned to these Villages by the following chart.

Village	Maximum Units	Density
J	65	3.25 du/ac
O	48	3.69 du/ac
K	95	3.4 du/ac

The developers of the Master Plan propose to develop these villages with single family detached homes at the above mentioned densities, which are below the RM density range, but slightly above the growth control point of the RLM designation. In an attempt to accommodate the requirements of the City's General Plan and Growth Management Program the developers of the Master Plan have redesignated these Villages from RM to RLM with a maximum number of units as shown on the chart above.

Approval of these villages above their growth control point is acceptable because the maximum number of units allowed by the Master Plan, 1816, is below the 2091 residential units allocated to Zone 18 by its approved Local Facilities Management Plan.

The maximum development potential permitted by this Master Plan is shown on Exhibit 5. Unless a Master Plan Amendment is processed, the development allocation shown shall not be changed except for the following circumstances:

- a. Residential dwelling units in a village may be increased up to 10 percent provided that there is a concurrent reduction in the number of dwelling units permitted in another village in a corresponding amount, and further provided the total maximum number of dwelling units shall not be increased, or
- b. Upon determination by the San Marcos Unified School District that the elementary school site is not needed or at the end of three years from approval of this Master Plan (This period may be extended in one-year increments subject to the approval of the Planning Director and School District) and the City does not exercise its right of first refusal to purchase the site within a 90 day period if it is not acquired by the district, Village S will be allowed to develop to the maximum number of dwelling units allowed under growth management; or
- c. Upon determination that the Community Facilities site, Village T, is not needed or at the end of three years following the date of approval of the tentative map for this parcel, Village T will be allowed to develop to the maximum number of dwelling units allowed under growth management, or
- d. Density bonuses for affordable housing as allowed per Program 3.7a of the City of Carlsbad Housing Element.

2. DWELLING UNIT TRANSFER

A dwelling unit transfer may be allowed within a quadrant pursuant to the Growth Management Ordinance (Title 21.90 of the Carlsbad Municipal Code). Dwelling units may be transferred from one property within the Rancho Carrillo Master Plan to another property within the Master Plan or within the Southwest Quadrant as long as the overall unit count in the quadrant is not exceeded and adequate public facilities are provided concurrent with the need created by the transfer of the units. Any transfer of density shall be analyzed as part of the discretionary action proposing the transfer. This review shall determine if the proposed transfer is in

conformance with and compatible with Carlsbad's General Plan and Municipal Code.

3. RECORDATION

Notice of the approval of this Master Plan for property within its boundaries shall be recorded with the County of San Diego Recorder's Office.

4. NONVESTING OF RIGHTS

Specific development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time said plans are before the Planning Commission and the City Council for approval. Where a conflict in development standards occurs the more restrictive standard shall take precedence. Approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

5. MITIGATION MONITORING

In accordance with the Assembly Bill 3180, all mitigation measures specified in EIR 91-4 and in the approving resolutions shall be complied with in their entirety at the appropriate time of development. A mitigation monitoring program has been included as an attachment to the resolution certifying EIR 91-4.

6. GROWTH MANAGEMENT

The applicant shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The applicant by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) for Zone 18 agrees that all of the dedication and other requirements imposed as a condition of the Master Plan for Zone 18 LFMP are reasonably necessary to serve the needs of the development for which the building permits are required.

7. CONDITION VALIDITY

If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged, this approval shall be suspended as provided in Government Code Section 65913.5. If any such condition is determined to be invalid this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law. Portions of

the Master Plan that are not impacted by the challenged condition shall be allowed to proceed with development.

8. DEDICATIONS

All land and/or easements indicated in this Master Plan for public streets, open space, recreational purposes and public utility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances as conditioned by the appropriate discretionary approval.

9. AVAILABILITY OF PUBLIC SERVICES

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the Developer's timetable for construction. Availability of public services will be evaluated in the context of subsequent individual approvals.

10. PUBLIC FACILITIES

To ensure that all development areas of the Master Plan shall be adequately served, the developers of the Master Plan or portions thereof shall be required to provide for their share of the construction or funding of all necessary public facilities pursuant to the approved Zone 18 Local Facilities Management Plan.

11. ZONING

Pursuant to the powers of Chapter 21.38 of Carlsbad Zoning Ordinance (P-C Zone), this Master Plan shall constitute the zoning for all lands within the Master Plan. No person shall use or develop contrary to the provisions of the Master Plan any land located within the boundaries defined by the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning. Approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued. Unless modified by this Master Plan or approval of a Planned Development Permit all development shall comply with the requirements of the underlying zone as shown by Exhibits 4 and 5.

12. FISCAL IMPACTS

The fiscal impacts of the proposed project have been analyzed by the applicant and reviewed by the City of Carlsbad Finance Department. The analysis has determined that revenues from the proposed development will essentially match the expected expenditures for public services and therefore, have no net fiscal impact

on the City. Although the analysis is a reasonable effort to determine the fiscal impacts of development, any report of this type should be accepted only with the knowledge that it is based on a wide range of assumptions. Many of these assumptions must be accepted based on a sense of reasonableness rather than fact or defensible research.

13. HILLSIDE DEVELOPMENT ORDINANCE

All development within the Rancho Carrillo Master Plan shall be in compliance with Chapter 21.95, the Hillside Development Ordinance, of the Carlsbad Municipal Code.

14. LOCATION OF IMPROVEMENTS

The location of streets, utilities, and other land use related improvements are approximate on the Master Plan Map. Precise locations will be established through the approval of the Tentative Map and Site Development Plans by the City.

15. TRAIL SYSTEM

An extensive trail system shall be provided for the Master Plan area as discussed in detail in the Open Space Chapter.

16. LANDSCAPING

A detailed landscape and irrigation plan that follows the concepts established within this document will be submitted to the Planning Director prior to the issuance of a grading permit for each Village. A lighting and landscape maintenance district will be formed for the maintenance of the slopes adjacent to the Circulation Element Roadways and other open space areas within the Master Plan. If a maintenance district is not formed, the Master Homeowner's Association will be responsible for the maintenance of these areas.

17. MASTER HOMEOWNERS' ASSOCIATION

Prior to the recordation of the first final map, the applicant shall prepare and submit for City review the Master Declaration of Restrictions which control the private uses, design, maintenance and development standards for each area of the Master Plan. Prior to first occupancy, the state will require establishment of the Master Homeowner Association. Included within the Master Association may be one or more sub-associations composed of villages grouped according to issues of concern. Each association shall be an equal member of the Master Association and may be required to pay a reasonable amount of dues to the Master Association. No

revisions that weaken or diminish the rights of the City shall be made to these Restrictions without the City's prior written consent.

- a. The Restrictions shall state expressly that the property is subject to the provisions of the Master Plan. It shall also be indicated that the City shall have the right but not the obligation to enforce the provisions of the Restrictions through the normal enforcement procedures if the City Council determines such enforcement is necessary to protect the public welfare and may assess homeowners for costs incurred therein.
- b. The Restrictions shall prohibit the storage or parking of recreational vehicles within any of the Villages except in approved RV storage areas.
- c. The Master Association shall control the operation and maintenance of the recreation vehicle storage area, entry signs, common slopes and other common features as identified in the Master Plan.
- d. The provisions of the Master Restrictions shall be binding to the provisions of the Restrictions for the Village Associations and may not conflict. Slope areas within individual villages shall be maintained by the Master Association if exposed to major streets. The developer shall submit a master maintenance plan showing all areas to be maintained by the Master Association to be approved by the City Engineer prior to any final map approval.

18. RECREATIONAL VEHICLE STORAGE

As shown on Exhibit 7, a portion of Open Space Area 9 shall be developed as a Recreational Vehicle Storage Area to serve the needs of the residents of the Rancho Carrillo Master Plan area. It shall have a minimum usable area of one acre. This RV storage area shall be operated and maintained by the Rancho Carrillo Master Homeowners' Association. This area may be maintained by a private operator at the option of the Master Homeowners' Association. If there is space available within the RV storage area, nonresidents of the Master Plan may be allowed to store their recreational vehicles in this area. The fees charged to these nonresidents shall be used to pay for the maintenance of the RV storage area. As the Master Plan is developed, residents of the Master Plan area shall have priority over nonresidents for storage space within Open Space Area 9. Until this lot is developed a temporary RV storage lot may be provided in another portion of the Master Plan subject to the approval of the Planning Director, or each Village may provide its own temporary storage area pursuant to the standards of the Planned Development Ordinance.

19. DEVELOPMENT AND PUBLIC FACILITY PHASING

The Zone 18 Local Facilities Management Plan contains a detailed phasing program based on development assumptions. The demand created by development determines the need for facilities prior to or concurrent with development. The objective of the growth management program is to coordinate the provision of public facilities and services with a projected sequence and pattern of development.

Engineering analysis of the Master Plan site indicates that the majority of public facilities will be required with the first phase of development. Specifically, any development within the Master Plan will require that circulation, sewer, water and drainage facilities be provided concurrent with the first phase of development. The specific public facility improvements for each of these facilities are discussed and illustrated in Section VII.

The first phase of development in the Master Plan is dictated by the grading requirements for the Circulation Element Roadways located within the Master Plan area. In order to provide for the circulation roadways, the full width grading and construction of all circulation element roadways located within the Master Plan area will be provided in Phase 1 as shown on Exhibit 8. Since the water and drainage facilities requirements are located adjacent to the circulation roadways, these facilities will be constructed concurrently with the circulation road network in Phase 1. Additionally, the entire Master Plan is located within one sewer district which requires installation of new sewer facilities with the first development in the Master Plan.

The proposed Phase 1 grading will complete several items needed for the development of the Master Plan area. The Phase 1 grading will remove the soil problem areas, allow for the mitigation areas to be established during the early stages of development and allow for the grading needed for the community facilities, school and parks.


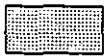

There will be additional phases of residential development in addition to Phase 1. These phases are independent of each other and may develop concurrently with or subsequent to Phase 1. However, since all public facility requirements are provided with Phase 1 of development, all subsequent phases do not have any public facility requirements and therefore, meet the requirements of growth management.

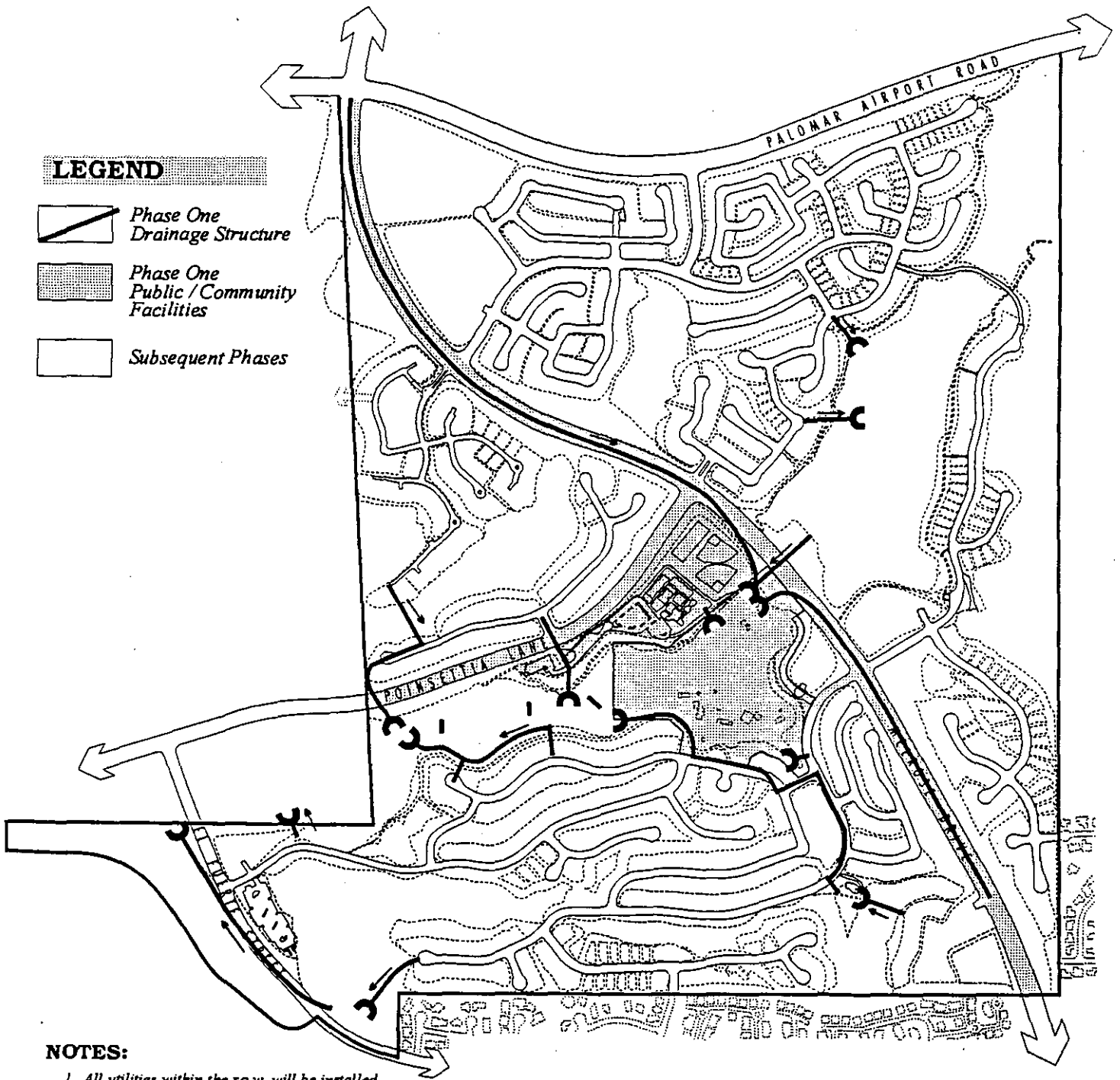
The phases of development are discussed in greater detail in the grading chapter. Specific public facility improvements identified by the Zone 18 LFMP are discussed in the Public Facilities Section.

20. AGRICULTURE

Agriculture may continue on any portion of the Master Plan that is currently being used for or has been previously used for agricultural purposes until that portion of the Master Plan has been developed or used for mitigation purposes.

LEGEND

-  Phase One
Drainage Structure
-  Phase One
Public / Community
Facilities
-  Subsequent Phases



NOTES:

1. All utilities within the r.o.w. will be installed with road construction.
2. Existing city park is not included in phased development area.



R A N C H O
CARRILLO
MASTER PLAN

Phasing of
Development Improvements

VI. DEVELOPMENT REVIEW PROCESS

Individual Planning Areas within this Master Plan shall be reviewed relative to the provisions of this chapter, State Law, Municipal Codes, and City Standards.

A. MASTER PLAN

Any revisions to the Rancho Carrillo Master Plan shall be processed pursuant to Title 21 of the Carlsbad Municipal Code as well as Chapter III of this document. All revisions must conform to and implement the purpose of the Master Plan. Any application which is not consistent with the Master Plan shall not be approved.

B. TENTATIVE MAP AND PLANNED UNIT DEVELOPMENT PERMIT

A Tentative Map processed pursuant to Titles 20 and 21 of the Carlsbad Municipal Code must be processed prior to the development of any residential area within the Master Plan for ownership units. Tentative maps, including vesting tentative maps, and Site Development Plans can cover more than one residential village. All proposed tentative maps must conform to and implement the Master Plan. Any application that does not implement the Master Plan shall not be approved. After Final Map approval of each Tentative Map, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 18 LFMP.

All Tentative Maps that will create lots averaging less than 7,500 square feet in size or create ownership multifamily units must process a Planned Unit Development pursuant to Chapter 21.45 of the Carlsbad Municipal Code concurrently with the Tentative Map. Tentative Maps creating duplex projects or single family detached projects on lots less than 7500 sq. ft. in size may use either of the following review processes subject to the desire of the applicant.

STANDARD PROCEDURE

1. Use of the standard procedure where floor plans and elevations are processed concurrently with the tentative map.

OR

DELAYED ARCHITECTURAL REVIEW

2. Tentative Maps and Planned Development Permits may be processed through Planning Commission and City Council without floor plans or elevations. At the time of Tentative Map approval the Planning Commission and City Council shall

adopt design guidelines for the project. These guidelines may address, if appropriate, such things as building envelopes, setbacks from slopes, building separations, the Small Lot Architectural Guidelines, compliance with the Hillside Architectural Guidelines, and the mixture of one & two story units.

Before obtaining a building permit the applicant shall submit floor plans and architecture for staff review to ensure compliance with these guidelines. After reviewing these plans and determining that they are in conformance with the design guidelines, that were approved as a part of the Tentative Map, staff shall present the floor plans and architecture to the Planning Commission per Carlsbad Municipal Code Section 21.45.160. The Planning Commission's review shall focus on architecture only, the previously approved Tentative Map shall not be opened for review and no new conditions shall be added to the Tentative Map. Any new conditions added to the Resolution approving the Planned Development Permit shall be limited to dealing with architecture and floor plans only.

C. SITE DEVELOPMENT PLAN

A Site Development Plan processed pursuant to Chapter 21.06 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of the following:

- Affordable Housing
- Community Recreation Center
- Apartment Projects
- Schools
- Community Service Facility
- Daycare Center

Site Development Plans are not required for standard 7,500 square foot or larger lot single family subdivisions that do not require the approval of elevations or floor plans at the time of tentative map approval.

The Site Development Plan shall be consistent with the concepts, goals and standards specified in this Master Plan to ensure compatibility with all appropriate City policies and ordinances. After final approval of each Site Development Plan, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 18 Local Facilities Management Plan and all conditions of approval by the City have been satisfied.

Each Site Development Plan shall be submitted and processed as set forth in Chapter 21.06, Qualified Development Overlay Zone, of the Carlsbad Municipal Code except that:

1. Per the requirements of the Carlsbad Municipal Code, a Conditional Use Permit must be approved by the Planning Commission prior to the development of a school or community service facility on any site. However, the use of a community service facility or school at the proposed locations has already been deemed appropriate through the approval of the Master Plan, therefore, processing of Conditional Use Permits are not required. The Site Development Plan process will instead be utilized and will require review of only the site designs and building elevations. It should be noted that the processing of either a CUP or SDP for a school is at the discretion of the appropriate School Board and may be waived by a 2/3 vote of the Board.

D. PUBLIC FACILITY PHASING

The Zone 18 Local Facilities Management Plan contains a detailed general development phasing program for eleven public facilities covered by the City of Carlsbad Citywide Public Facility Plan. The Master Plan and conditions of approval will ensure that public facilities will be in place when they are needed. The Citywide Public Facilities plan established performance standards for public facilities. These performance standards were adhered to by the Zone 18 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Zone 18 Local Facilities Management Plan and any amendments thereto must be complied with as the Master Plan develops.

E. MASTER PLAN AMENDMENTS

Approval of this Master Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Rancho Carrillo Master Plan.

It is anticipated that certain amendments to the Master Plan may be necessary during the development of the area. There are several ownerships within the Rancho Carrillo Master Plan. If one of the property owners desires to amend a portion of the Master Plan text or exhibits that impacts their property only, it would not be necessary to obtain the consent of the other property owners. This review would focus on the subject property only and would not impact other properties within the Master Plan. Amendments are divided into three categories as determined by the Planning Commission. These amendments include: 1) major; 2) minor; and 3) four year comprehensive review and update. Amendments may be initiated by the City Council or property owner.

1. MAJOR MASTER PLAN AMENDMENTS

All Master Plan modifications which do not meet the criteria of a Minor Amendment as determined by the Planning Commission, shall require a Major Amendment to the Master Plan. These amendments shall be processed pursuant to Section 21.38.120 (P-C Zone) of the Carlsbad Municipal Code. All Major Amendments shall be reviewed for approval by the Planning Commission and City Council.

Any request for a Major Amendment to the Master plan shall require serious consideration as it relates to the intent of the original Master Plan. As a condition of consideration of any amendment to the Master Plan it shall be the applicant's responsibility to:

- a. Ensure that the proposed amendment meets the goals and objectives of the Master Plan and the public facilities requirements identified in the Zone 18 Local Facilities Management Plan.
- b. Ensure that any impacts to the Master Plan resulting from the amendment can be satisfactorily mitigated.
- c. Update any Master Plan studies and/or provide additional studies when determined necessary by the Planning Director.
- d. Any Major Amendment to the Master Plan shall require that all proposed development comply with all City ordinances and policies in effect at the time of approval.
- e. Provide a strike-out/underline copy of the Master Plan text when changes are necessary and update any Master Plan exhibits affected by the proposed amendment.

2. MINOR MASTER PLAN AMENDMENTS

All Minor Amendments which meet the criteria noted below shall be reviewed for approval administratively by the Planning Director.

- a. Expansions or reductions up to 10% in the Village area may be allowed by the Planning Director if the overall dwelling unit yield specified for the Village in Chapter VIII does not increase.

- b. Change of product type from MF to SF or SF to MF may be allowed by the Planning Director if the overall dwelling unit yield specified for the Village in Chapter VIII does not increase.
- c. Minor realignment or modification of internal streets of the Master Plan if approved by the Planning Director and City Engineer as not constituting significant change
- d. Additions to/or minor amendments to design features identified in Chapter IV, General Community Development Standards, provided such additions or amendments strengthen the unity and vitality of the community's design and are comprehensively incorporated in the Master Plan.
- e. Minor modifications to the Development Phasing Scenario described in the Local Facilities Management Plan for Zone 18 will require the approval of the Planning Director and City Engineer.
- f. Any changes to the Master Plan required to satisfy the requirements of the U.S. Department of Fish and Wildlife, Army Corp of Engineers or other responsible agencies, may be approved administratively by the Planning Director or City Engineer.

F. MASTER PLAN REVIEW AND UPDATE

If determined to be necessary, at the direction of the City Council, the Master Plan shall be comprehensively reviewed by the City of Carlsbad Planning Department every four years or more frequently. The review shall consider but not be limited to the following topics.

- 1. The quality of the living environment created by the Master Plan.
- 2. The Master Plan's fulfillment of current City policies and standards.
- 3. The fiscal impact of the Master Plan's implementation.
- 4. The Master Plan's maintenance of environmental quality.
- 5. Adequacy of public facilities.

G. TENTATIVE MAP/PLANNED DEVELOPMENT PERMIT AMENDMENTS

1. MAJOR AMENDMENTS

Major Amendments to a Planned Development Permit may be permitted per Carlsbad Municipal Code Section 21.45.160.

2. MINOR AMENDMENTS

Minor Amendments may be approved administratively by the Planning Director if there is no change to the densities or the ownership boundaries of the subject property, and if the proposed change does not involve an addition of a new use or group of uses not shown on the original permit, or the rearrangement of uses within the development, or changes of greater than ten percent in approved yards, coverage, height, square footage of units, open space or landscaping. The Planning Director's Review shall be limited only to the Villages or Open Space Areas affected by the proposed amendment.

H. SITE DEVELOPMENT PLAN AMENDMENTS

1. MAJOR AMENDMENTS

Major amendments to a Site Development Plan may be permitted subject to the approval of the Planning Commission provided that the provisions of Section 21.06.090 are met (Qualified Development Overlay Zone, Development Standards).

2. MINOR AMENDMENTS

Minor Amendments may be approved administratively by the Planning Director if there is no change to the ownership boundaries of the subject property, and if the proposed change does not involve changes of greater than ten percent in approved yards, coverage, height, square footage of buildings, open space or landscaping. The Planning Director's review shall be limited only to the Villages or Open Space Areas affected by the proposed amendment.

IV. GENERAL COMMUNITY DEVELOPMENT STANDARDS

All development within the Master Plan shall comply with the general development standards established by this chapter. The following design guidelines have been developed to ensure that all Villages within the Master Plan maintain a consistent and unified character, at the same time retaining their individual identity. These guidelines address the common design elements that will be used throughout the community to provide a visual cohesiveness and order, and to establish a strong sense of place and belonging. Each element is defined through text and/or illustrations. Site-specific design criteria for each Village is established in Chapter VIII.

A. ARCHITECTURE

1. PURPOSE OF DESIGN GUIDELINES

The purpose and intent of the architectural design guidelines for the Rancho Carrillo Master Plan is to encourage design that will have a distinct identity, expressing a thoughtful integration of building structures and their environment. These guidelines will provide the City and the residents of Rancho Carrillo Master Plan with the necessary assurances that this community will develop in accordance with the quality and character envisioned in the Master Plan.

The guidelines contained herein shall provide direction during the development phase of Rancho Carrillo Master Plan. These guidelines are intended to establish parameters for quality of appearance and to help provide compatibility between subdivisions within Rancho Carrillo Master Plan.

2. COMMUNITY CHARACTER

A unique Southern California vernacular will characterize the built environment of Rancho Carrillo. The distinct, yet similar, styles of architecture to be integrated within the community represent the commitment to create a strong sense of identity and community through the use of harmonious architectural concepts, colors, materials and usage.

The aesthetic beauty of the hillsides and valley creates a sense of flowing to the ocean. The sloping hills that form the valley set the tone for architecture where the buildings are solid, firmly based on the ground and in harmony with the shapes and colors of the surrounding hillsides and valley.

The entry monumentation establishes this clean, sharp and positive atmosphere. Community entries, community walls, signage, landscape architecture and monumentation work well together to create a harmonious community.

3. DESIGN CONSISTENCY AND INTEGRITY

Integrity and diversity of architectural style can be made to co-exist within Rancho Carrillo. This can be achieved through the use of unifying elements in the overall community, and by the avoidance of jarring visual conflicts caused by drastically dissimilar styles, colors and levels of quality located within same visual area. It is intended that a mixture of residential projects utilizing varied architectural styles should be permitted to provide visual interest and diversity. Residential communities can utilize similar building materials and architectural design elements to provide neighborhood unification. Adjacent residential communities with different architectural styles should provide architectural compatibility by utilizing both a complementary color palette and similar exterior accent materials on adjacent residential structures. This compatibility can be further enhanced through the use of common community walls and landscaping.

4. ARCHITECTURAL STYLES

In an effort to promote richness with the diversity of architectural styles, a theme has been developed which focuses on the unique character of Southern California architecture. The following eight styles of architecture will be used within the Master Plan:

California Mediterranean	Spanish Eclectic
California Ranch	Prairie
Early California/Monterey	Mission
Spanish Colonial	Craftsman

These styles of architecture will be introduced on the following pages with a brief description of the various components that make up this Southern California traditional architecture. Designers should be encouraged to create individualistic interpretations of the identified architectural styles. However, interpretations shall be generally traditional in nature - experimental or overly contemporary architectural interpretations shall be discouraged. Traditional interpretations can be achieved through the utilization of modern building material including aluminum frame windows, masonry veneers, fire resistant and simulated wood roof materials.

California Mediterranean

The architecture that dominates the coastal hillsides of the Mediterranean has been transplanted to Southern California. Similar in climate and topography, this adaptation is well suited to conditions and lifestyles in California. The Southern California architecture, having its roots in the Mediterranean, is characterized by barrel tile roofs, recessed openings and a sense of mass and solidity. The architecture of the Mediterranean, build in decades rather than years, has a timeless feel that, with simple forms and uncluttered detailing, can result in a time honored look that responds to climate, culture and the marketplace of Southern California.

Roof pitches can range from steeply sloping to flat, but will always have clay colored tile with flush or small overhangs. Hipped, gable and flat roofs with varying plate heights provide an image of being built over time. The exterior materials are smooth or textured plaster (stucco) with predominantly lighter colors and bright accents or rails, shutters and awnings.

California Ranch

California Ranch style is derived from the early ranch architecture of the 1940's with bungalow and Mediterranean influences. California Ranch architecture became a distinct style with extensive use in the 1970's. It was characterized by a horizontal emphasis with hip and gable roofs, varying in pitch from 4:12 to 5:12 accompanied by moderate overhangs. Relationships between indoor and outdoor areas are an important factor in the layout and design of California Ranch architecture, resulting in large areas of glass, corner windows, greenhouse windows and continuous materials which link indoor and outdoor spaces. Exposed beam ends and deep fascias with built-up wood post or masonry columns are typical.

Stucco or wood siding are the predominant wall materials with masonry accents in the form of columns or wainscots creating patios or potshelves. Roof materials consist of simulated wood shakes, asphalt shakes or concrete tile. Colors are earthtones with brighter use of accent colors.

Early California/Monterey

Early California architecture can be defined by many terms including Mission, Spanish Colonial and Monterey. The historical roots of all these styles lie in the directness, adaptability and contrast of materials and textures. A variety of forms and massing give a sense of being built over time. The charm of this style is represented in many Southern California locales. Santa Barbara, which was designed and build primarily in the 1920's and 30's, demonstrates many examples

of early California architecture. The roof consists of barrel tile in red clay or terra cotta colors, with plaster walls. Building color consists typically of whites or off-whites with pastel tints. The wood is natural weathered stain.

Spanish Colonial

The architecture that defines Spanish Colonial is the L or U shaped floor plans with an enclosed courtyard. The concept is to bring the outdoor area into the house and to give internal views onto the courtyard. Large vast overhangs and exposed rafter ends lend to the Spanish Colonial style along with recessed doors, arched windows and wall openings. Free standing pilaster archways at the entrance gate along with wrought iron railings are typical entry statements to this style of architecture.

Spanish Eclectic

The Spanish Eclectic style of architecture uses decorative details borrowed from the entire history of Spanish architecture. The roof pitch is generally low with little or no eave overhang. Mission tiles, which are shaped like half-cylinders and Spanish tile, which have an S-curve shape, are the typical roof covering. The wall surface is usually stucco. There are typically one or more prominent arches placed above doors, principal windows, or beneath porch roofs. Doors are emphasized by adjacent spiral columns, pilasters, carved stonework or patterned tiles. Less elaborate entrance doors of heavy wood panels, sometimes arched above, are also common. Doors leading to exterior gardens, patios, and balconies are usually paired and glazed with multiple panes of rectangular glass. Decorative window grilles of wood or iron are common, as are similar balustrades on cantilevered balconies, which occur in a variety of shapes and sizes. Other typical details include tiled roofed chimney tops, brick or tile vents, fountains, arched walkways and round or square towers.

Prairie

The identifying features of the Prairie architecture are the low-pitched roof, usually hipped, with widely overhanging eaves; two stories, with one story wings or porches; eave, cornice, and facade detailing emphasizing horizontal lines; often with massive, square porch supports.

The characteristic horizontal decorative emphasis is achieved by such devices as contrasting caps on porch and balcony railings; contrasting wood trim between stories; horizontal board and batten siding; contrasting colors on eaves and cornice; and selective recessing of only the horizontal masonry joints. Other common details include window boxes or flattened pedestal urns for flowers; geometric patterns of small pane window glazing; broad flat chimneys; contrasting wall

materials or trim emphasizing the upper part of the upper story; and decorative door surrounds consisting of bands of carved geometric or stylized floral ornamentation.

Mission

The Mission architecture is typically representative of the Old California missions with mission shaped dormer or roof parapets and roof materials consisting of a red tile roof covering. The eaves are widely overhanging with the porch roof supported by large, square piers and commonly arched above. The wall surface is usually smooth stucco.

There is a great variety of shaped dormers and roof parapets which mimic those found on some Spanish Colonial mission buildings. Few are precise copies of the original models. Most examples have prominent one-story porches either at the entry area or covering the full width of the facades. These sometimes have arched roof supports to simulate the arcades of Hispanic buildings. Decorative detailing is generally absent, although patterned tiles, carved stonework, or other wall surface ornament is occasionally used. Some examples have unusual visor roofs. These are narrow, tiled roof segments cantilevered out from a smooth wall surface. They most commonly occur beneath the parapets of flat roofs.

Craftsman

The Craftsman style was the dominant style for smaller houses built during the period from about 1905 until the early 1930's. The identifying features of the Craftsman house are low-pitched, gabled roof (occasionally hipped) with wide, unenclosed eave overhangs; roof rafters usually exposed; decorative (false) beams or braces commonly added under gables; porches, either full or partial-width, with roof supported by tapered square columns; columns or pedestals frequently extend to ground level without a break at the level of the porch floor.

Columns for supporting the porch roofs are a distinctive and variable detail. Typically short, square upper columns rest upon more massive piers, or a solid porch balustrade. These columns, piers, or balustrades frequently begin directly at ground level and extend without break to a level well above the porch floor. Materials used for piers, columns and solid balustrades are varied and consist of stone, clapboard, shingle brick, concrete block or stucco.

Craftsman doors and windows are similar to those used in vernacular Prairie houses. Dormers are commonly gabled, with exposed rafter ends and braces such as are found at the main roof-wall junction. The most common wall cladding is

wood clapboard with wood shingles ranking second. Stone, brick, concrete block, and stucco are also used.

5. AFFORDABLE UNITS

Affordable units provided to fulfill Carlsbad's requirements for units available to families of low and moderate income shall be designed in accordance with these design criteria whenever possible. Exceptions to these design criteria may be made for affordable units if the developer of these units can demonstrate that these units can not be developed economically without alternative designs and materials (i.e. composite roof). Every effort will be given to confirm that these units will not adversely impact the overall cohesiveness and appearance of the Master Plan.

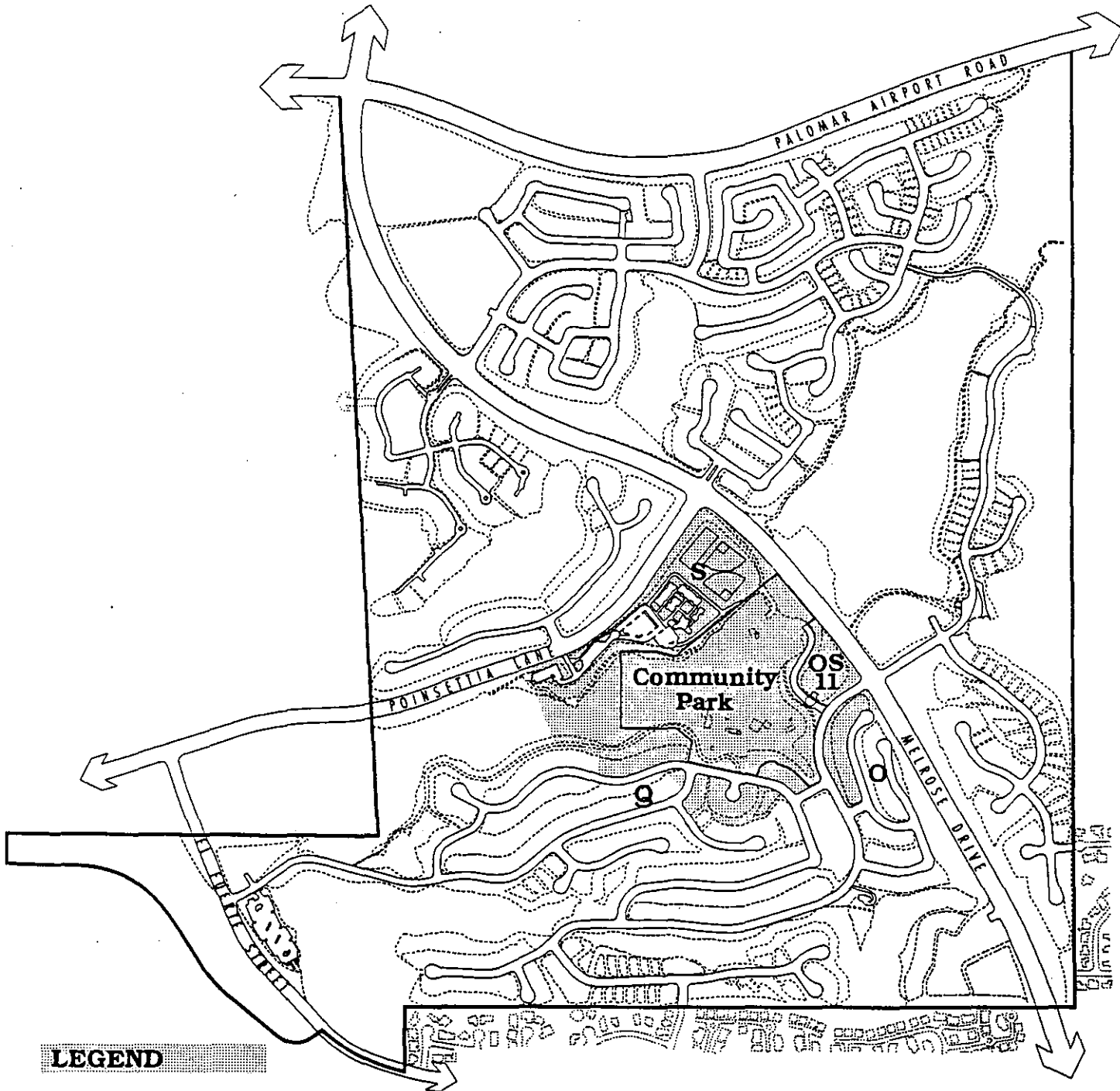
B. SPECIAL DESIGN PARK DISTRICT

The Carrillo Ranch Community Park, with its geographical location at the mid-point of the central valley, will become the visual focus of the new community. This historical homesite provides the community's namesake, and gives it the element of heritage, providing the prospective of time and place. To protect the historic context and feeling of the Carrillo Ranch Community Park a Special Design Park District has been established which covers Open Space Area 11, Village S and portions of Villages O and Q. Development in these areas should be designed so that it does not clash with the existing architecture and landscape of the Carrillo Ranch Community Park.

To provide additional separation between future development and further buffering of the park site, manmade slopes in excess of 30 feet may be created within the Special Design Park District. These slopes shall be landscaped per the requirements of the Landscape section of this chapter and the City's Landscape Guidelines Manual. The drainage outlet structure in the vicinity of the bridge leading to the ranch house shall be designed and constructed to blend in with the historic man made environment. The design shall be approved by the Planning Director and City Engineer.

All grading adjacent to the buildings and significant vegetation within the park site shall provide a detailed staking plan showing the limits of grading to ensure that there are no accidental adverse impacts from the grading operation. The staking marking the limits of grading shall be in place prior to moving grading equipment on to the site.

All grading within the Special Design Park district shall be periodically watered to control dust.



LEGEND

 *Special Park Design District*



R A N C H O
CARRILLO
 MASTER PLAN

Special Park Design District **9**

October 21, 1997

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11

1. COMMUNITY FACILITIES

OPEN SPACE 11- COMMUNITY CHILD CARE/RECREATION CENTER

This important community facility will act as a locational feature signaling the location of the park entrance off of Melrose Drive. It is important that it be recognizable from that thoroughfare, but not be overpowering when viewed from the park site itself. Development of the Community Child Care/Recreation Center requires the approval of a Site Development Plan by the Planning Commission.

Special Design Criteria

a. Site Design

- 1) Orient outdoor use areas toward the western valley views.
- 2) Design and construct the facility to have an attractive presence from Melrose Drive, and be scaled appropriately to its use and site'.

b. Grading

The site construction should follow the grading as shown in the Master Plan.

c. Landscape Architecture

- 1) Duplicate or complement the existing Rancho plant palette.
- 2) Initial installation shall include a minimum of three specimen (36-inch box minimum) trees per building.

d. Building Heights(Maximum)

- 1) This facility should become a positive landmark and locational feature within the community. This could be accomplished by a tower feature. If a tower feature is constructed as a part of this facility, the tower shall be designed to be compatible with the existing structures of the Rancho Carrillo Park and sufficiently set back from the property line so it would not dominate the park site. The design of any proposed tower feature shall be closely examined as a part of the review of the Site Development Plan required for the development of this site.

- 2) One story - 18 feet
- Two story - 30 feet
- Tower - 40 feet

e. Building Setbacks (Minimum)

- 1) 50 feet from Melrose
- 2) 25 feet from residential collector
- 3) 50 feet for two-story building from park property line
- 4) 30 feet for one-story buildings or structures from park property line
- 5) 5) 175 feet for tower elements from park property line

f. Building Architecture

- 2) Architectural style will be selected from one of the following:
 - a) Spanish Colonial Revival
 - b) California Mission
 - c) Monterey

VILLAGE "S" -ELEMENTARY SCHOOL

Village "S" is designated as a school site for the San Marcos School District. As stated in this Master Plan, a Site Development Plan must be approved by the Planning Commission prior to development. The following special design criteria should be used to guide that plan. However, the requirement for the SDP may be waived by a two-thirds vote of the School Board.

Special Design Criteria

a. Site Design

Due to the shape of the site and its logical primary access point, the location of its three main components; parking, building compound, and playfield will run west to east, respectively.

b. Grading

Site construction should follow the grading as shown in the Master Plan. The facility requires a minimum of a ten-acre pad. Grading will allow for a 12-foot minimum wide public trail along its southern edge and a 12-foot trail within the property on the slope produced by the construction of Melrose Drive.

c. Landscape Architecture

The plant palette for this facility should be supportive and compatible with the adjacent creek habitat vegetation and supportive of the architectural theme. The slope plantings will be as prescribed by the City's landscape guidelines and in this Master Plan document.

d. Building Heights (Maximum)

As per State of California Regulations'.

e. Building Setbacks (Minimum)

- 1) 200 feet from all historical buildings
- 2) 30 feet from the southern edge of the school pad for one-story buildings
- 3) 40 feet from the southern edge of the pad for two-story buildings
- 4) 40 feet from Poinsettia Lane
- 5) 50 feet from Melrose Drive

f. Building Architecture

The architectural theme of the facility will be comprehensive and selected from one of the styles described in Section A.4 of this chapter.

2. RESIDENTIAL VILLAGES

Residential development within the Special Design Park District should be designed and screened so that it does not clash with the existing buildings and vegetation within the Rancho Carrillo Community Park. The portions of Villages O and Q

within the Special Design Park District should be developed in accordance with the following criteria.

Special Design Criteria

a. Site Design

- 1) Surrounding streets should provide the neighborhood as well as the park visitor views into the park to add to the sense of arrival and neighborhood appreciation. This should be accomplished without impacting the historic sense of place.
- 2) Park users shall be offered the opportunity to travel to the site by non motorized means via the City's trail system in keeping with the historic nature of the site.
- 3) More intense land uses such as commercial shall be prohibited within the special historic district.

b. Grading

To provide a more natural appearance, manufactured slopes adjacent to the historical site should have a curving form and roll with a varied slope gradient from 2:1 to 3:1.

c. Landscape Architecture

All slopes within the Special Design Park District Area should be planted to buffer views from the park compound to the surrounding homes. The species, quantity, and size of plants shall be sufficient to screen the park user from views of these homes. No more than a maximum of 30 percent of each residential elevation should be visible from the historical building compound at a point five years after initial planting. Exhibits 12 to 14 illustrate how the proposed landscaping will screen the park users from views of the homes proposed to the south of the park site.

d. Building Heights (Maximum)

- 1) One story -18 feet
- 2) Two Story-30 feet

e. Building Setbacks (Minimum)

Setbacks are from any historical building in the park site.

- a) 175 feet for one-story homes
- b) 200 feet for two-story homes

f. Building Architecture

The architectural theme of the homes in the district should be selected from one of the following:

- | | |
|-----------------------------|---------------------|
| 1) Spanish Colonial Revival | 5) Craftsmen |
| 2) California Mission | 6) Bungalow |
| 3) Monterey | 7) Prairie |
| 4) Spanish Eclectic | 8) California Ranch |

C. LANDSCAPE GUIDELINES

The community landscape plan proposed in this document responds to a number of existing conditions and preset guidelines. The plan's guiding factors are the area's natural landforms and native plant communities, the heritage of the existing rancho, biologically sensitivity areas, and the landscape standards set by the City. The purpose of the plan is to illustrate how this community's physical character will respond to these existing conditions while visually reinforcing the patterns established by the Master Plan. This plan will serve as a guide to assure that individual projects will be compatible within the overall community's comprehensive landscape plan. Exhibit 14 shows the landscape concept plan for the Master Plan area.

The species, density of planting and sizes provided in the following text are for illustrative purposes only. The exact species, density of planting and sizes will be determined at the time of preparation of the detailed landscaping plans. However, the final landscaping plans should be compatible with the landscape plan described in this chapter.

Much of Rancho Carrillo's landscape will be made up of native and enhanced open space. Creek vegetation in the area's drainage tributaries and hillside brush areas will make up 30 percent of the entire Master Plan area. These natural areas will remain a prominent feature of the area's physical character. Native areas will be edged by transition plantings that support open space habitat values, produce a compatible visual transition from natural to the more refined residential landscape and promote fire suppression.

The arterial streetscapes will use tree groves to produce wide edges and a strong thematic character. These streetscapes will open to frame view opportunities of valley and hillsides as well as frame distant panoramic vistas. Streetscapes for Melrose Drive and Poinsettia Lane will also include shrub plantings selected from the existing rancho's palette to help incorporate that theme within the overall community.

Trees will be a dominant thematic element used to create a logical sense of order and continuity throughout the community. Many trees will be preselected to provide the necessary guidance to the various parties responsible for implementing and administering the landscape program. Except for the City's preselected "streetscapes" for general plan roads, the plant list presented in this chapter indicates plants that may be used to produce the expressed community landscape theme. Final landscape plants may be substituted or new species may be added to this list.

ELEMENTS OF THE LANDSCAPE PLAN

1. STREETS CAPES

Streetscapes for the General Plan roadways are prescribed by the City's landscape manual. A landscape setback will be provided along all arterial roads within the community. This setback will buffer residential units from traffic through the use of mounding, walls and landscaping, thus providing an area for a common community landscape theme to mature. The setback distance measured from the right-of-way will be (at a minimum) as follows:

Palomar Airport Road	50 feet
Melrose Drive	50 feet
Poinsettia Lane	40 feet
El Fuerte Street	30 feet

Zone 2 plantings will be used in the areas where possible; Zone 3 plantings will be used in the remaining setback areas (see section). Due to the different watering needs, the two zones will have separate irrigation systems. In order to blend the zones together and eliminate a distinct border, the edge between the two will meander and will consist of plant materials capable of sustaining themselves under both zone conditions.

Plantings within the setbacks will be installed as smaller/younger material. Smaller/younger material will require less water to sustain and establish new root systems. This will enable the plants to acclimate faster to permanent growing conditions.

a. Palomar Airport Road Design Statement

1) Design Statement

The streetscape along Palomar Airport Road will provide a continuation of the existing City-specified streetscape. The streetscape shall make reference to the agricultural history of the area by use of California Peppers, Oaks and Red Flowering Eucalyptus. Pines and White Ironbark may be added to the palette to frame vistas. Villages will be protected from the street noise through the use of berming or sound attenuation walls. The planting scheme is informal.

2) Palette

Trees:

Minimum Planting Width 50 feet
Density 3/1,000 square feet
Size 40% - 15 gallon
. 60% - 5 gallon

24-inch box for median
Schinus molle (theme) California Pepper
Quercus spp. (support) Oaks
Eucalyptus ficifolia (support and median)
. Red Flowering Eucalyptus
Eucalyptus leucoxylon White Ironbark
(additional to City-prescribed palette)

3) Entry Monumentation

City entry monumentation shall be provided along the south side of Palomar Airport Road where it enters the City of Carlsbad per the recommendations of Carlsbad's Adopted Scenic Corridor Study. The purpose of this monumentation is to provide identity, a feeling of welcome and a sense of arrival to the City. The exact location and design of this monumentation shall be subject to the approval of the Planning Director and City Engineer.

Opuntia Bigelovii	Teddybear Cactus
Strelitzia reginae	Bird of Paradise
Yucca schidigera	N.C.N.

d. El Fuerte

1) Design Statement

Within the Master Plan, El Fuerte is hidden in a canyon. The existing brush vegetation (mixed chaparral) on the west side should be supported by planting manufacture slopes with native shrubs and groundcovers. A limited number of trees should be planted along this edge, averaging only 1/60 L.F. On the east side, random tree groupings, averaging 1/40 L.F. will be planted along with shrubs and groundcovers from the screening/buffering palette. The planting scheme is informal.

2) Streetscape Palette

Trees: Planting Zone 3

Average Planting Width	30 feet
Density	1/60 linear feet (west side)
	1/40 linear feet (east side)
Sizes	40% - 15 gallon
	60% - 5 gallon

Alnus rhombifolia	White Alder
Quercus ilex	Holly Oak

e. Carrillo Way

1) Design Statement

Within the village areas that this street ties together, there will be a common theme driven by the landscape and architecture elements of the historic ranch. This streetscape will be broken by many natural areas. The indigenous characteristics of the brush and creek plant communities in the natural areas will dominate those portions of the streetscape. This will allow the open space area to set the theme of the overall community.

In the brush areas, ground plane plantings of native/naturalizing shrubs will predominate and a reduced quantity of trees will be used. This streetscape palette will mix in riparian trees as it passes the creek area. Where a streetscape abuts multi-family projects, special consideration should be given to screening objectional views. The planting scheme is informal.

2) Palette

Village Trees: Planting Zone 2

Average Planting Width 10 feet
 Density 4/1,000 square feet
 Sizes 15% - 24-inch box
 55% - 15 gallon
 30% - 5 gallon

Schinus molle California Pepper
 Eucalyptus ficifolia Red-flowering Gum
 Eucalyptus torquata Coral Gum
 Tristania conferta Brisbane Box

Trees (near brush covered areas): Planting Zone 2

Average Planting Width 15 feet
 Density 2/1,000 square feet
 Sizes 60% - 5 gallon
 40% - 15 gallon

Schinus molle California Pepper
 Quercus ilex Coast Live Oak

Trees (near drainage ways): Planting Zone 2

Average Planting Width 25 feet
 Density 3/1,000 square feet
 Sizes 30% - 15 gallon
 70% - 5 gallon

Platanus racemosa California Sycamore
 Quercus agrifolia Coast Live Oak

f. Residential Streets

Coverage 1/40 linear feet or 1 per lot
Sizes 15 gallon

1) Design Statement

Each street shall have a separate theme. This theme shall be related to the street's prominent characteristics whether it is in the valley, hillside or hilltop; its surrounding area (native brush or riparian communities); its village density (low or high), etc. Single-family projects will be planted at the minimum rate of 1 tree per lot. The ultimate size of the trees should be appropriate for the scale of the streetscape.

2) Palette

Single-family street trees:

Arbutus unedo	Strawberry Tree
Brachychiton populneus	Bottle Tree
Lagerstroemia indica	Crape Myrtle
Liquidamber styrachiflua	Sweet Gum
Melaleuea quinquenervia	Cajeput
Quercus spp	Oaks
Cinnamomum camphora	Camphor Tree
Jacaranda mimosifolia	Jacaranda
Tristania conferta	Brisbane Box
Tipuana tipu	Tipu Tree
Koelreuteria bipinnata	Chinese Flame Tree

2. PROJECT ENTRANCES

a. Design Statement

Entry landscapes are an important orientation feature for a community. Their important visual statement can be made using lush Zone 1 plants or the striking forms and textures of plants of drier zones. All project entries shall have a statement compatible with the old San Diego landscape theme. Individual projects shall develop this statement by installing palettes similar to, or from, the following list.

b. Palettes

Trees:

Community Entrances

Sizes 24-inch box

Jacaranda mimosifolia Jacaranda
Phoenix canariensis Canary Island Date Palm
Quercus agrifolia Coast Live Oak
Schinus molle California Pepper
Eucalyptus species Eucalyptus

Village Entrances - in Theme Groups

Sizes 60% - 24-inch box
. 40% - 15 gallon
. 6-foot minimum trunk height for palms

Arecastrum romanzoffianum Queen Palm
Melaleuca quinquenervia Cajeput Tree
Chorisia speciosa Floss Silk Tree

Ficus rubiginosa Rusty Leaf Fig

Jacaranda mimosifolia Jacaranda
Hibiscus rosa-sinensis Hibiscus (tree form)

Brahea armata Mexican Blue Palm
Eucalyptus sideroxylon "Rosea" Pink Ironbark

Arcontophoenix cunninghamiana King Palm
Nerium oleander Oleander

Washingtonia filifera California Fan Palm
Callistemon viminalis Weeping Bottlebrush

Shrubs:

Sizes 75% - 5 gallon
. 25% - 15 gallon

Agave attenuata Agave
Aloe arborescens Tree Aloe

Citrus	Lemons, Limes, Oranges
Crassula corymbulosa	Crassula
Phormium tenax	New Zealand Flax
Strelitzia reginae	Bird of Paradise
Tecomaria capense	Cape Honeysuckle
Xylosma congestum	Xylosma

Groundcovers:

Sizes	100% - flats
.	40% - seeds

Bougainvillea spp.	Bougainvillea
Ceanothus griseus "horizontalis"	Wild Lilac
Festuca elatior	Tall Fescue
Gazania species	Gazania
Lampranthus productus	Ice Plant
Limonium perezii	Sea Lavender
Osteospermum fruticosum	African Daisy
Pelargonium peltatum	Ivy Geranium
Trachelospermum jasminoides	Star Jasmine

3. SLOPES

a. Design Statement

The majority of manufactured slopes shall be established as a Zone 3 "naturalizing" area. These landscapes should have the ability (once established) to sustain themselves through some seasonal periods. Their growth rate may be slower as they will not be pushed by over-watering; rather, planting techniques, maintenance, and watering will stress root development. Again, these landscapes will be typically installed as smaller/younger material. Since many of areas may be irrigated with reclaimed water, tolerance to salinity and other impurities will be important to plant palette selection.

Trees should be planted in small groves or drifts that tie together, increasing their visual prominence. Sufficient spacing between individual trees is necessary, however, to reduce competition for moisture. Shrub massing should be planted near the top of slopes periodically to soften these edges. The ground plane should be planted with low-growing, woody shrubs planted to cover in drifts that make up a large percentage of the entire planting area.

b. Palette

Trees and Large Shrubs: Planting Zone 3

Coverage	3/1000 square feet
Sizes	100% - 1 gallon
<i>Comostaphylis diversifolia</i>	Summer Holly
<i>Eucalyptus</i> species	Eucalyptus
<i>Grewia caffra</i>	Lavender Starflower
<i>Leptospermum scoparium</i>	New Zealand Tea Tree
<i>Liquidamber styraciflua</i>	Sweet Gum
<i>Pinus halepensis</i>	Aleppo Pine
<i>Schinus molle</i>	California Pepper
<i>Pinus torreyana</i>	Torrey Pine
<i>Rhus integrifolia</i>	Laurel Sumac
<i>Rhus ovata</i>	Sugar Bush
<i>Tecomaria capense</i>	Cape Honeysuckle
<i>Tristania conferta</i>	Brisbane Box

Low Shrubs:

Coverage 70% of area
Sizes 1 gallon

<i>Acacia redolens</i>	Acacia
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
<i>Bougainvillea</i> spp	Bougainvillea
<i>Carissa grandiflora</i>	Natal Plum
<i>Ceanothus griseus horizontalis</i>	Wild Lilac
<i>Ceanothus "Yankee Point"</i>	Wild Lilac
<i>Coprosma kirkii</i>	Coprosma
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Echium fastuosum</i>	Pride of Madeira
<i>Escallonia x exionensis "Fradesii"</i>	Pink Princess Escallonia
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lantana sellowiana</i>	Lantana
<i>Pyracantha santa cruz</i>	Fire Thorn
<i>Rhaphiolepis indica</i>	Indian Hawthorn

Groundcovers:

Coverage 100% of area
Sizes 30% - flats

..... 70% - seeds

<i>Achillea millefolium</i>	Red Yarrow
<i>Clarkia amoena</i>	Dwarf Godetia
<i>Collinsia heterophylla</i>	Chinese Houses
<i>Delosperma alba</i>	Ice Plant
<i>Eriogonum giganteum</i>	Saint Catherine's Lace
<i>Escholzia californica</i>	California Poppy
<i>Gazania</i>	Gazania
<i>Gilia tricolor</i>	Bird's Eyes
<i>Iva haysiana</i>	Hays Ivy
<i>Layia platyglossa</i>	Tidy Tips
<i>Limonium perezii</i>	Sea Lavender
<i>Lupinus succulentus</i>	Arroyo Lupine
<i>Mimulus puniceus</i>	Monkey Flower
<i>Osteospermum fruticosum</i>	African Daisy
<i>Nemophila menziesii</i>	Baby Blue-Eyes
<i>Pennisetum setaceum</i>	Fountain Grass
<i>Phacelia campanularia</i>	California Bluebell
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass
<i>Trifolium fragiferum</i>	O'Connors Legume
<i>Vinca major</i>	Periwinkle

Special Conditions:

The slope palette will be modified when certain special conditions exist.

Where fire is a potential hazard, the fire suppression/slopes palette shall take highest priority. Where screening is of concern, the design and palette shall be adjusted to address this special situation.

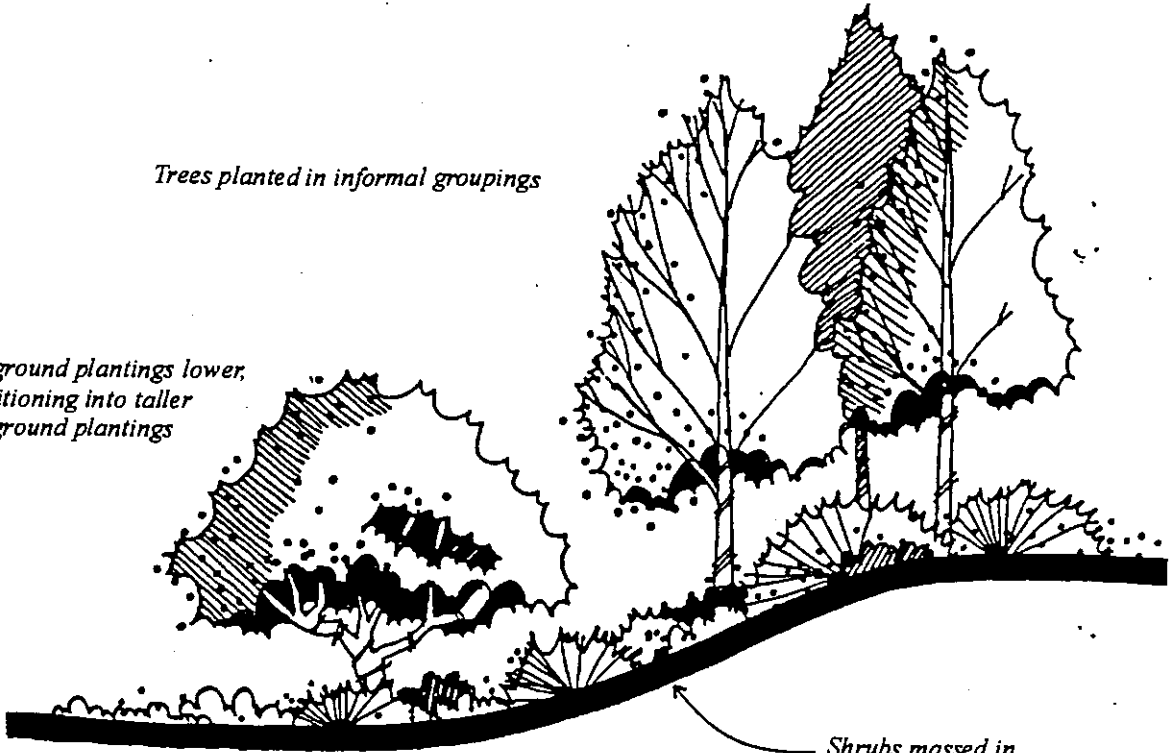
Slopes within and around some villages will be revegetated to help mitigate potential negative visual impacts of tall slopes. If such areas are proposed, they will be identified in the Hillside Development Permit. Slopes with this requirement shall have their plant palette installed at the following rate and sizes.

Interior Slopes (bounded by development):

Trees (5 gallon minimum) and large shrubs (1 gallon minimum) shall be planted at a coverage rate of 10/1000 square feet. This coverage rate shall transition to the coverage rate for adjacent slopes with a height of 30' or less.

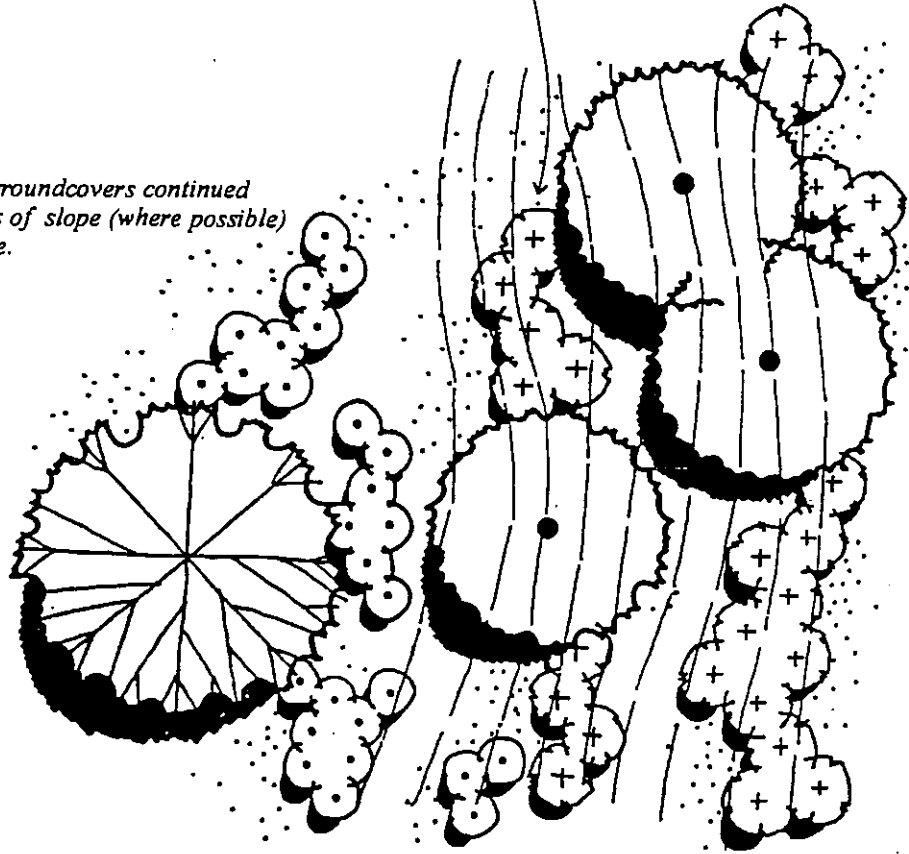
Trees planted in informal groupings

*Foreground plantings lower,
transitioning into taller
background plantings*



*Shrubs massed in
large informal groups*

*Shrubs and groundcovers continued
beyond limits of slope (where possible)
to soften edge.*



Slopes Adjacent to Existing Vegetation:

Whenever tall manufactured slopes are adjacent to natural vegetation areas, their height can be best mitigated by blending the existing visual character into the slope revegetation. To achieve this, a portion of the manufactured slope (up to a maximum of 25') will utilize plants from the natural area. These plants will then transition into the Interior Slope Standard (up to a maximum of 25').

4. FIRE SUPPRESSION/SLOPES

a. Design Statement

Much of the remaining open space are areas of brush vegetation. These can produce a fire threat to homes if not treated properly. An adequate separation between dwelling units and high fire fuel vegetation (60-foot minimum) shall be provided. Within this 60 feet, different fire suppression techniques will be used for native slopes and manufactured slopes as shown on Exhibits 17 and 18. On the native slopes, hand removal of certain restricted high-fuel species (see list), selective pruning of others, replanting with fire-retardant natives and irrigation will be used under the direct supervision of a biologist familiar with the habitat and responsible for identifying and protecting sensitive species. Refer to the Landscape Manual for specific standards.

Restricted High Fuel Species:

Natives

- Adenostoma fasciculatum Chamise
- Artemisia californica California Sagebrush
- Eriogonum fasciculatum Buckwheat
- Salvia species Sage
- Other species as specified by the City.

Domestics

- Acacia species Acacia
- Cedrus species Cedar
- Cupressus species Cypress
- Dodonaea viscosa Hopseed Bush
- Eucalyptus species Eucalyptus
- Juniperus species Juniper
- Pennisetum Fountain Grass
- Pinus species Pine
- Other species as specified by the City.

Moderate Hazard Species:

Heteromeles arbutifolia	Toyon
Malosma laurina	Laurel Sumac
Quercus dumosa	Scrub Oak
Rhus integrifolia	Lemonade Berry
Arctostaphylos spp.	Mission Manzanita
Other species as specified by the City.	

b. Palette Planting Zone 2

Manufactured slopes, adjacent to high-risk fire areas, shall be revegetated with plant material known to have fire retardant qualities. A permanent irrigation system shall be installed.

Trees/Large Shrubs:

Coverage	2/1,000 square feet
Sizes	100% - 1 gallon

Arbutus unedo	Strawberry Tree
Ceratonia siliqua	Carob
Metrosideros excelsus	New Zealand Christmas Tree
Prunus caroliniana	Carolina Laurel Cherry
Schinus molle	California Pepper

Shrubs:

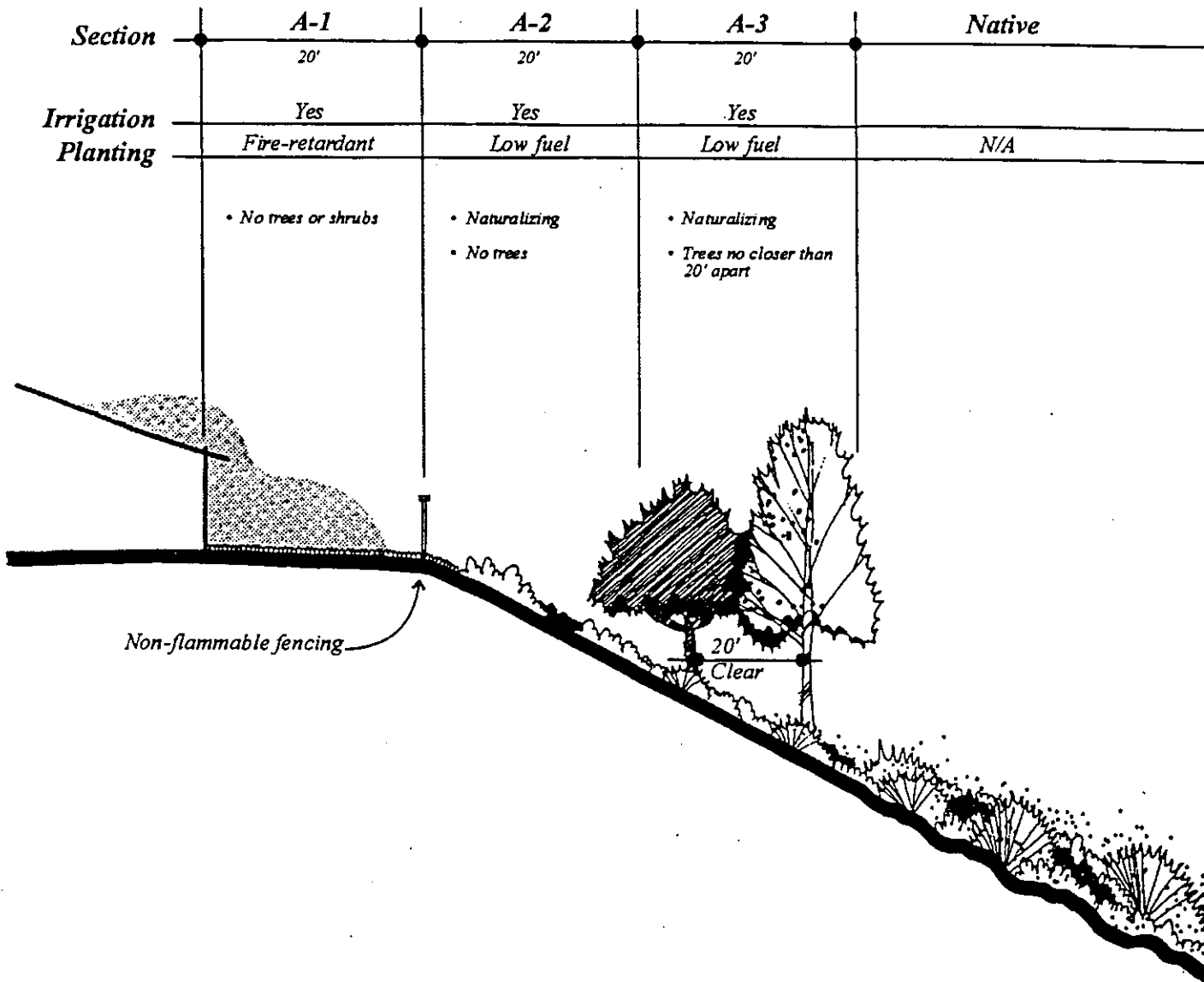
Coverage	up to 70% of area
Sizes	100% - 1 gallon

Arctostaphylos densiflora "Howard McMinn"	Manzanita
Nerium oleander	Oleander
Pittosporum	Pittosporum
Pyracantha "Santa Cruz"	Fire Thorn

Groundcovers:

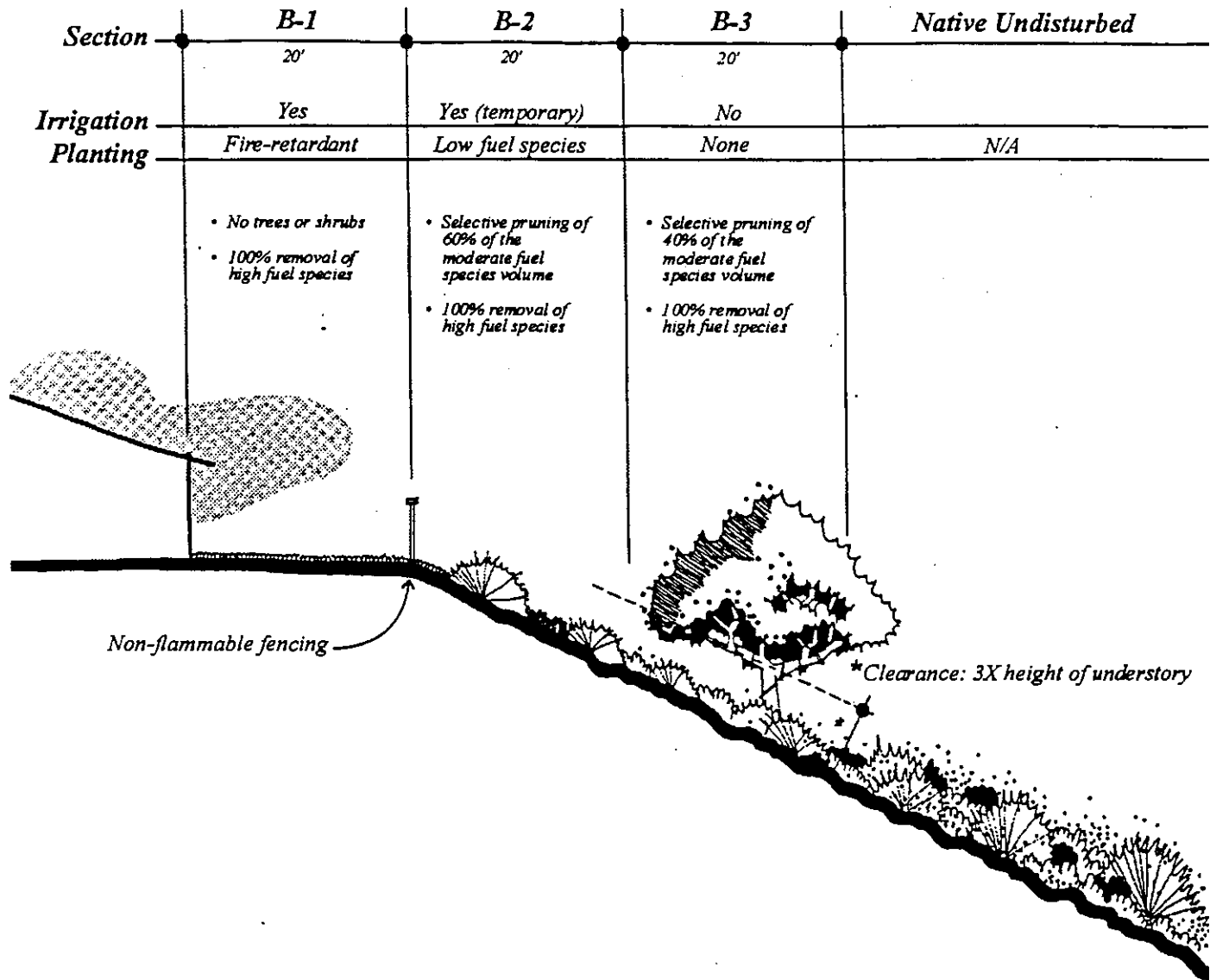
Coverage	100% of area
Sizes	40% - flats
	60% - seeds

Delosperma alba	Ice Plant
Encelia farinosa	Brittlebush
Gazania	Gazania
Iva haysiana	Hay's Ivy
Mimulus punicius	Monkeyflower
Nemophila maculata	Five Spot
Osteospermum fruticosum	African Daisy
Phacelia campanularia	California Bluebell
Vinca major	Periwinkle



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Fire Control Landscape
 Manufactured Slopes



5. SCREENING/BUFFERING

a. Design Statement

Certain areas within and between development areas will need to be screened or buffered. The visual impact of unattractive or incompatible uses can be lessened through effective placement of shrubs and trees as shown on Exhibit 19.

b. Palette

Trees:

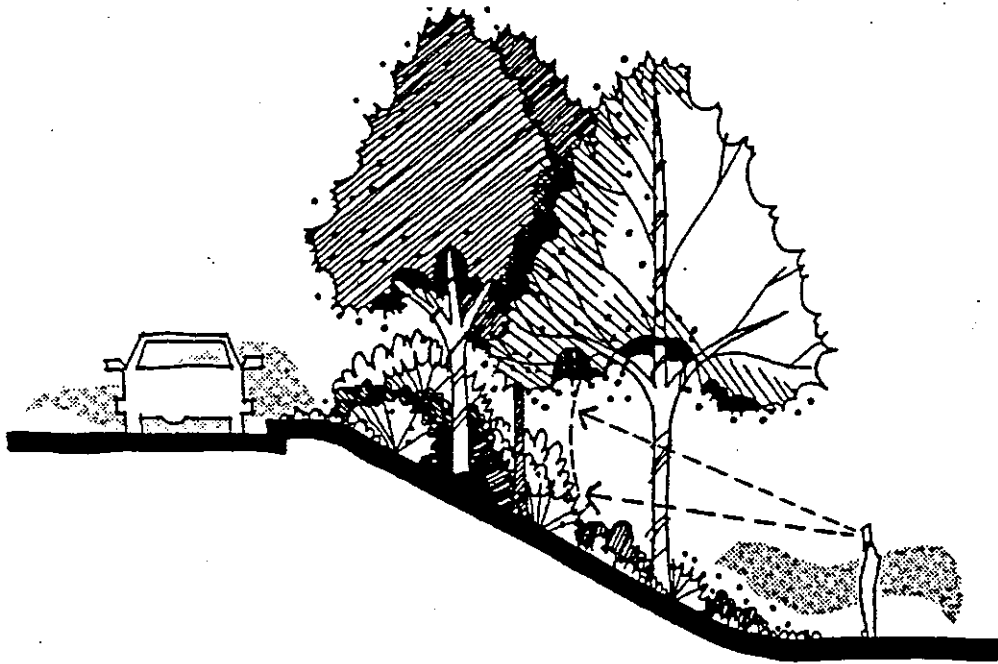
Coverage 5/1,000 square feet
Sizes 70% - 15 gallon
. 30% - 5 gallon

Arbutus unedo Strawberry Tree
Ceratonia siliqua Carob
Metrosideros excelsus New Zealand Christmas Tree
Pinus halepensis Aleppo Pine
Prunus caroliniana Carolina Laurel Cherry
Schinus molle California Pepper

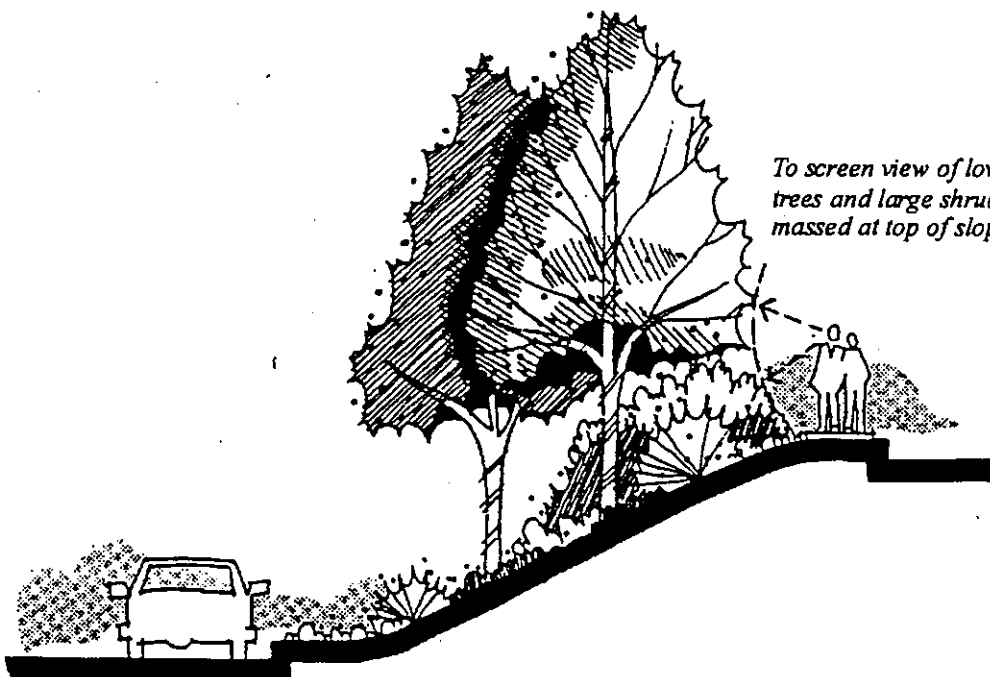
Shrubs:

Coverage 70% of area
Sizes 60% - 5 gallon
. 40% - 1 gallon

Dodenaea viscosa Hopseed Bush
Escallonia rubra Escallonia
Heteromeles arbutifolia Toyon
Leptospermum scoparium New Zealand Tea Tree
Nerium oleander Oleander
Rhus ovata Sugar Bush



To screen view of higher locations, large shrubs should be massed at top of slope with high branching trees planted down slope



To screen view of lower locations, trees and large shrubs should be massed at top of slope



6. CREEK - HABITAT AREAS AND EDGES

a. Design Statement

The Master Plan will include contoured areas of open drainage that will be re-established with creek vegetation. The plant palette and design of these areas will re-establish or enhance riparian plant habitats. The exact palette and establishment program is defined in the Biological Mitigation Plan.

Where these areas are near developed areas the edge between neighborhood residential landscapes and native/naturalizing will provide an appropriate transition. This transition palette will support the riparian plant community habitat value with plants of a drier zone that work visually with the more refined neighborhood residential landscapes.

b. Riparian Woodland Palette - Major Components

Trees:

Coverage	1/3,000 square feet
Sizes	60% - 5 gallon
	40% - 1 gallon

Platanus racemosa	California Sycamore
Populus fremontii	Fremont Cottonwood
Quercus agrifolia	Coast Live Oak
Salix gooddingii	Black Willow
Salix lasiolepis	Arroyo Willow
Sambucus mexicana	Elderberry

Shrubs:

Coverage	20% - liners/seed
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Baccharis glutinosa	Mule Fat
Elymus condensatus	Giant Wild Rye
Ribes speciosum	Fuschia-flower Gooseberry
Rosa californica	California Rose
Salix hindsiana	Sandbar Willow
Scirpus californica	Bulrush
Scirpus olneyi	Olney's Bulrush
Vitis girdiana	Wild Grape
Rhus integrifolia	Lemonade Berry

Rhamnus californica California Coffeeberry

Hydroseed Mix:

Coverage 100% - hydroseed

- Artemisia californica California Sagebrush
- Eriogonum fasciculatum California Buckwheat
- Anemopsis californica Yerba Mansa
- Baccharis glutinosa Mule Fat
- Festuca megalura Foxtail Fescue
- Lupinus succulentus Lupine
- Melilotus albus White Clover
- Oenothera Hookeri Evening Primrose
- Vitis girdiana Wild Grape
- Salvia spp Sage
- Encelia californica California Encelia

7. NATIVE BRUSH - AREAS AND EDGES

a. Design Statement

Certain areas of the Master Plan will be re-established with brush vegetation. The exact palette and planting program will attempt to re-establish the visual qualities these native plant communities provide. The exact palette/program will be prescribed by an ecologist/biologist familiar with the habitat .

Where these areas are adjacent to development, an edge between the two will need to provide an appropriate transition. The plant palette will need to reflect the brush habitat with plants that can be used near development. In some cases, this will mean plant material common to both the brush habitat palette and the fire suppression/slopes palette. In other cases where a road provides a fire break or sufficient separation is possible, the brush habitat palette should provide the appropriate transition.

b. Palette

Zone 3 and 4
Hydroseed Mix

- Adolphia californica California Adolphia
- Artemisia californica Coastal Sagebrush
- Ceanothus species Ceanothus
- Encelia farinosa Brittlebush

Eriogonum fasciculatum	Flat-top Buckwheat
Escholzia californica	California Poppy
Heteromeles arbutifolia	Toyon
Lotus scoparius	Deerweed
Lupinus sparsiflorus	Lupine
Rhus laurina	Laurel Sumac
Salvia apiana	White Sage
Salvia mellifera	Black Sage
Solanum xanthii	Nightshade

8. WATER CONSERVATION

a. Zone Planting

The City of Carlsbad's landscape manual defines planting Zones 1 through 4. The major delineator between these zones is the amount of supplemental water required, with Zone 1 being the most and Zone 4 being the least.

All Zone 1 plantings should include a multi-use concept. Zone 1 plantings will be limited to areas of high use or visual importance. Turf areas are a common landscape in Zone 1. Unless the turf area is designed for recreational use or is a focal area, it will be limited. The school area is a good example of where Zone 1 plantings can and should be utilized. Lying in the valley floor central to the entire Master Plan community, the school will serve as a green visual landmark as well as a functional recreation area. See the appendix for typical Zone 1 plantings.

Zone 2 plantings will be limited to areas of secondary visual importance, which promote less maintenance and lower water requirements. These areas will include the first 20 feet of streetscape along arterials, multi-family common areas, front yard landscaping of single-family homes and areas requiring fire suppression. The plants included in this Master Plan tend to lean more to the drought-tolerant side. The water requirement (once established) is estimated to be 10 to 30 inches of supplemental water. See the appendix for typical Zone 2 plantings.

Zone 3 will be used on the edges of natural areas and on a percentage of the large manufactured slopes. The hillsides should reflect the vegetation typically found in this setting: coastal sage scrub and mixed chaparral. The irrigation requirements of this zone after establishment are less than 10 inches annually, giving it the ability to sustain itself through the wet/dry

seasons with very little supplemental water. See the appendix for typical Zone 3 plantings.

Zone 4 encompasses the undisturbed plant communities. This zone will be the largest in Rancho Carrillo, as much of the existing quality vegetation will remain. These areas will be disturbed only if necessary for fire protection.

b. Irrigation

When a source of reclaimed water becomes available, it will serve some of the irrigation needs in Rancho Carrillo. Development of the Rancho Carrillo Master Plan will help provide portions of the system that will provide useable reclaimed water. Because use of this important resource is imminent, selection of plant palettes, irrigation equipment and management practices will need to consider the unique requirements of watering with this resource. The irrigation system shall be clearly labelled as reclaimed water.

All systems shall be designed with "hydrozonation" techniques, grouping similar plants, similar sun and shade exposures, similar topography and similar soils together. Runoff and overspray shall be minimized. Trees and shrubs will be watered with single emitter bubblers and soaker tubing shall be used whenever possible on groundcovers. Where sprinkler heads are used, they shall have matched precipitation rates. Automatic controllers, with multiple cycle start and a flexible calendar program, shall be installed on all irrigation systems. Moisture sensors (or hydrometers) and rain shut-off devices will also be required. Irrigation shall be restricted to morning and evening hours.

D. COMMUNITY ENTRIES

Entry monuments serve several important purposes. They identify the community, help establish a hierarchical order within the community (from major community entry to village entries) and provide unifying design accents throughout the community. Rancho Carrillo will have a major community entry located at the intersection of Palomar Airport Road and Melrose Drive. Primary neighborhood entries will be located on Palomar Airport Road and Melrose Drive, while secondary neighborhood entries will mark individual villages. Exhibit 20 shows the location of these entries. These entries are characterized by theme monument signage and accent plantings.

Entry monumentation will be provided concurrent with development. There are four types of entries: major community entry, primarily community intersections, community columns and village entries. The approximate location of these entries is depicted on Exhibit 20.

The community entry features should be designed to create a portal and convey a sense of arrival and will inform the motorist that this is the entrance to the Rancho Carrillo Community. These will include design features that are consistent with community fencing materials. Entry design should flow with the terrain and appear to be an extension of adjacent land forms.

E. VILLAGE ENTRIES

These are the entries to the individual villages in Rancho Carrillo. They are to be designed as an enhanced extension of the community edge details. These should be limited to the one or two major entry points into a village and will provide visitors with the project name identification (See Exhibit 20).







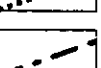

F. COMMUNITY EDGES

One of the most dominant visual elements of a community is its edge treatment. It is essential for this element to be aesthetically pleasing and provide continuity in design to unify the various architectural styles within individual neighborhoods into a single community theme.

Walls and fences can serve many functions including security, identity, enclosure, privacy, etc. However, care must be exercised in the design of these elements in order to avoid long, boring or awkward sections. It is intended that the available edge details be combined to attract interest and provide variety. Using a combination of open and solid styles, changing angles and directions is encouraged.

The walls and fences for Rancho Carrillo are divided into two categories as follows and their respective locations are shown on Exhibit 20.

LEGEND

-  Major Community Entry
-  Primary Community Entry
-  Village Entry
-  Community Facility Entry Monumentation
-  Entry Columns
-  Solid Wall
-  Open Fence
-  Natural Resource Fence



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Community Edges and Entries

EDGE TYPES

Rancho Carrillo will provide two types of walls/fences along its edges, these will be "solid and open." Where security and privacy are important, the master plan will provide solid edges.

a. Solid Edges

Masonry walls and wood fences will be used to produce this type of edge. In all high visibility areas, where presentation of the community is important, the "community/village wall" will be used. Areas with less visual importance will use the "village fence." Locations and details of these are on Exhibits 20 and 22, respectively.

b. Open Edges

Open edge treatments will be used in all locations where the need for privacy is minimal and the potential for views into the open space will be beneficial. In prominent locations, where community theme again is important, the "community open fence" will be used exclusively. Where open edges are more removed or on less-traveled roadways, the "village open fence" will be used. Locations and details of these are on Exhibits 20 and 23.

The pedestrian trail which loops around the valley open space will allow for increased exposure to this resource. Because much of this area has been left as open space due to its importance as a wildlife habitat, pedestrians will be restricted to the trail system. Due to this, the "natural resource fence" will be used to restrict off-trail movement. Placement of this edge will restrict movement while allowing unobstructed views for all age groups.

c. Sound Attenuation

Where possible and where the need for noise attenuation is anticipated, earth mounding has been incorporated into edges. These areas along with all other solid walls, will be landscaped as defined in other segments of this document to enhance the theme character of the community.

G. RETAINING WALLS

Retaining walls less than three feet in height for side yard drainage and maintenance enhancement and to accommodate single story structures do not need to be shown on Tentative Maps, Site Plans or Final Maps. However, at the time of construction a maximum of 50% of the lots created by the subdivision will be allowed to add 1-3 foot high side yard retaining walls. The addition of a higher percentage of side yard retaining walls will require the approval of the City Engineer and Planning Director.

H. GUARD RAILS

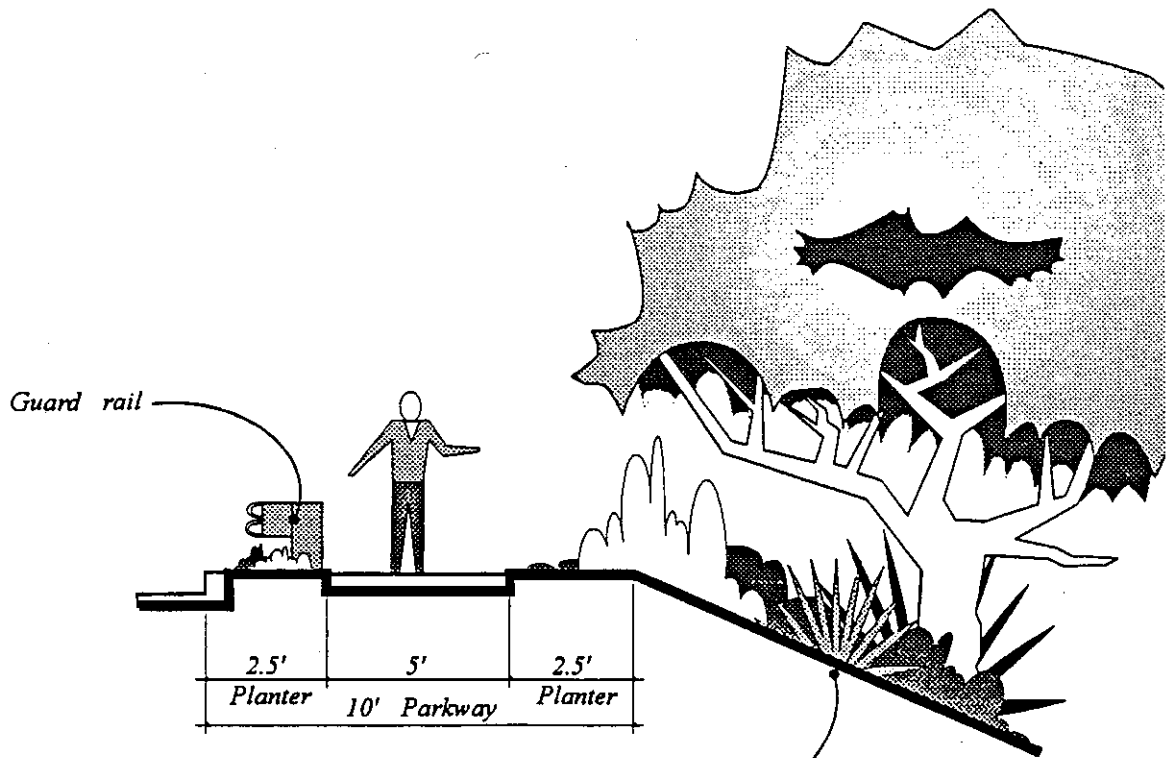
Guard rails designed to City specification may be required for safety purposes along roadways adjacent to 2:1 or steeper slopes in excess of 12 feet in height. The need for guard rails and their exact location will be determined prior to approval of street improvement plans. A typical guard rail situation is shown by Exhibit 21.

I. VIEWS

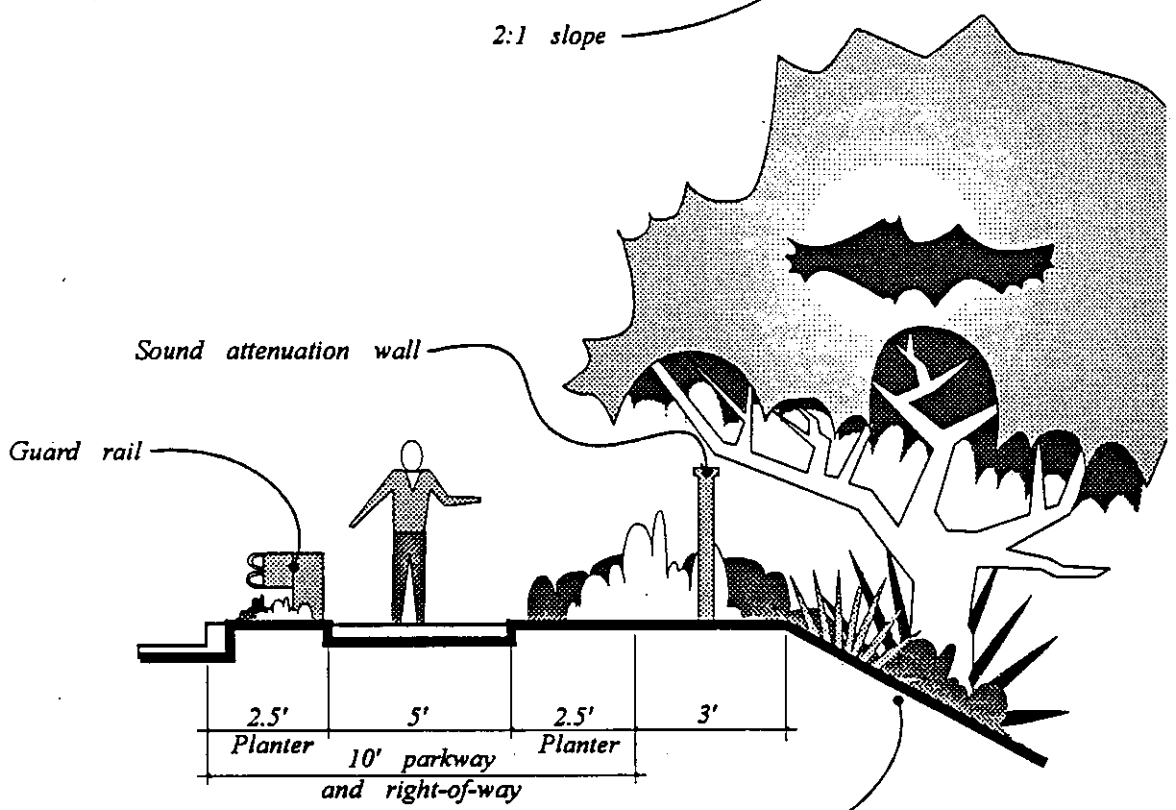
Maintaining quality views is important in the overall image of Rancho Carrillo. Views into and down the valley should be maximized by careful siting of buildings and tall trees. Views should be framed with tree and shrub massing. This planting will also serve to soften views of the houses visible to surrounding areas and roadways. Landscaping shall be used to create a sense of privacy where appropriate and screen residences from arterial roadways. Exhibit 27 and 28 illustrate examples of view enhancement and controls for the Master Plan area.

J. SIGNAGE

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development and giving directional information to residents and visitors. Signs utilized in Rancho Carrillo include both temporary and permanent types as illustrated in Exhibits 24, 25 and 26.



2:1 slope



2:1 slope

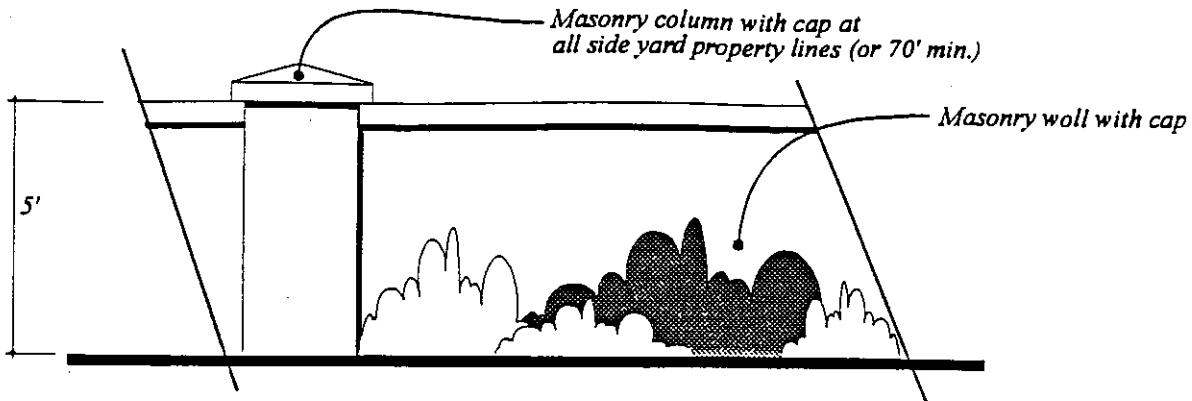
NOTE:

These illustrations are concepts depicting the design theme. Final construction may differ.

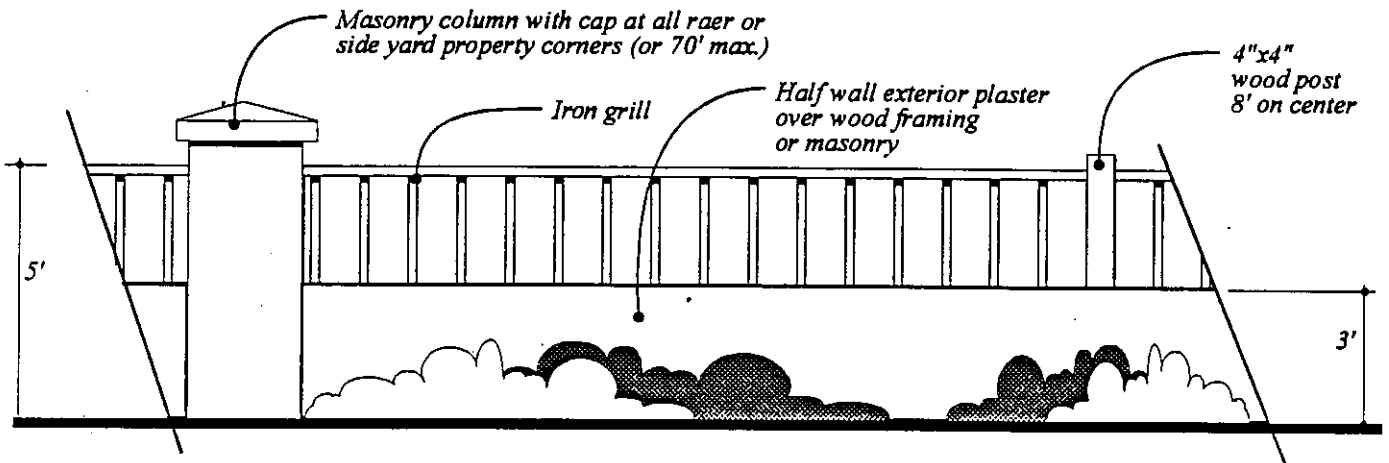


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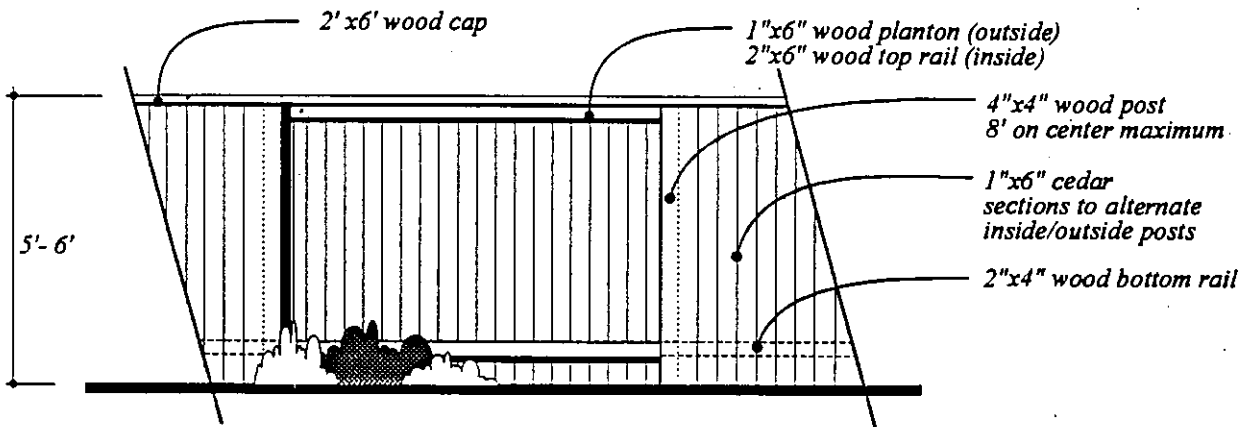
Parkway
 with Guardrail



Community Theme Wall



Village Theme Wall



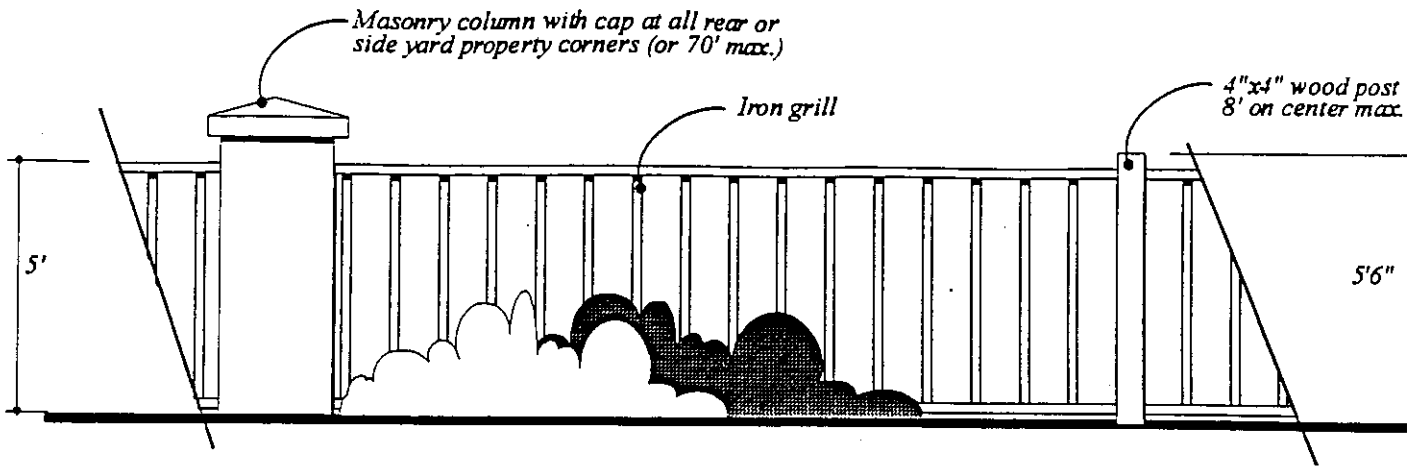
Village Wood Fence

NOTE:

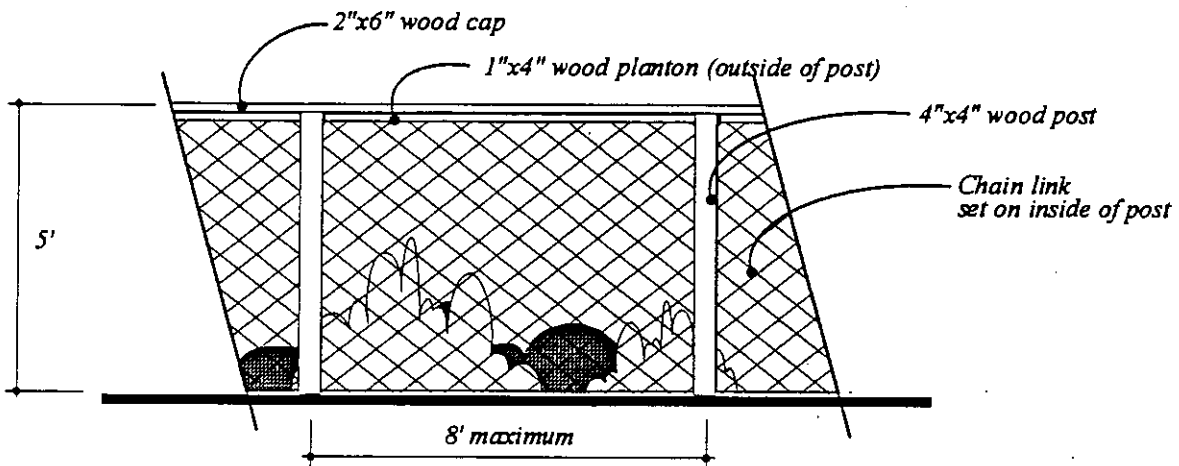
These illustrations are concepts depicting the design theme. Final construction may differ.



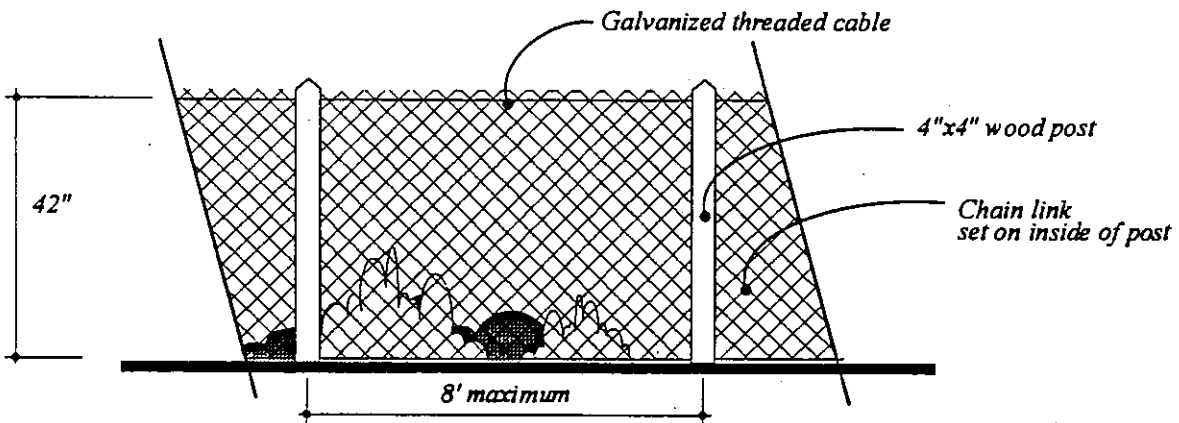
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Community Theme Fence



Village Fence



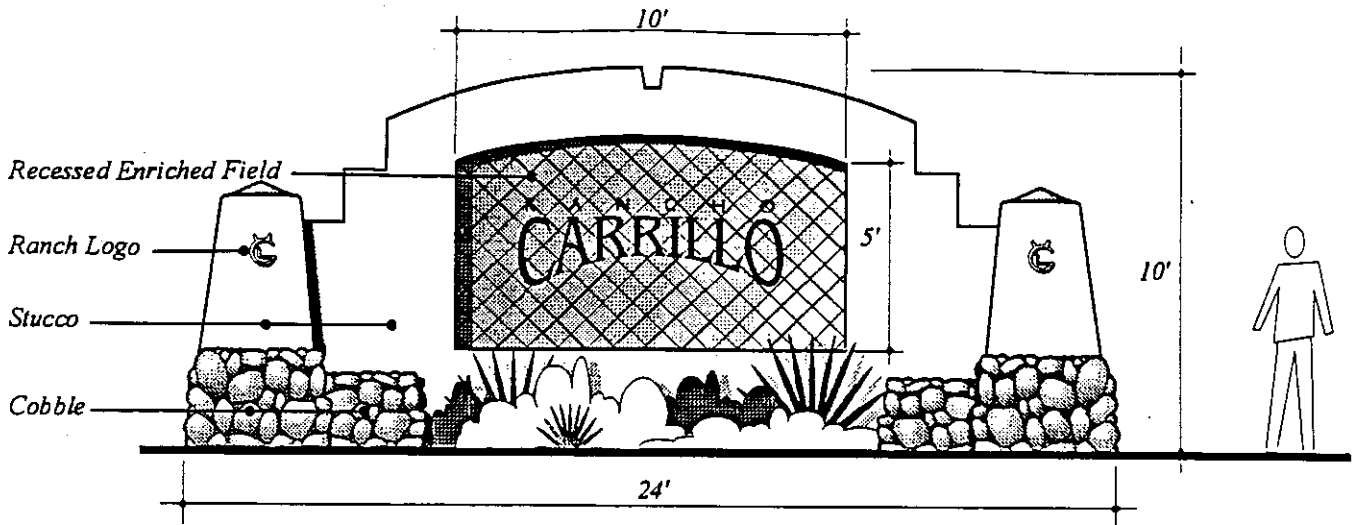
Natural Resource Fence

NOTE:

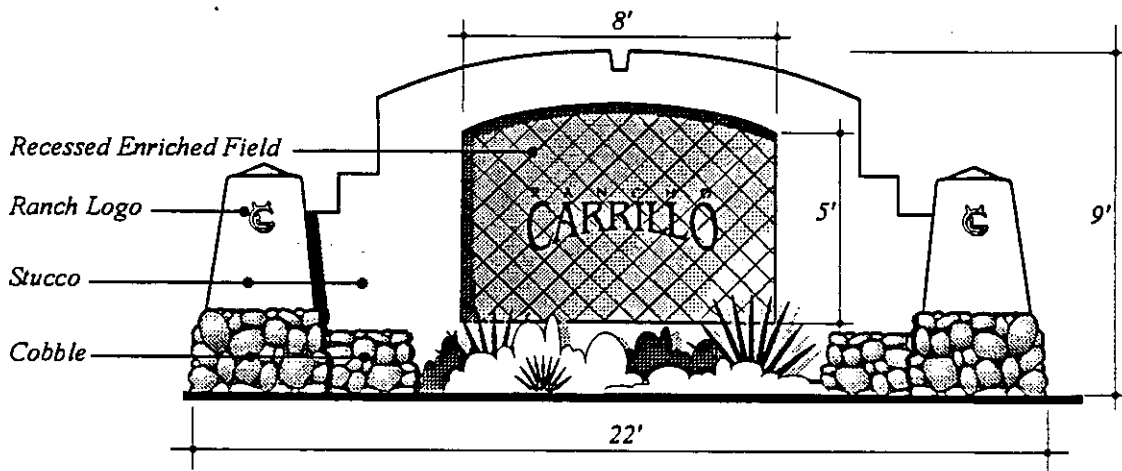
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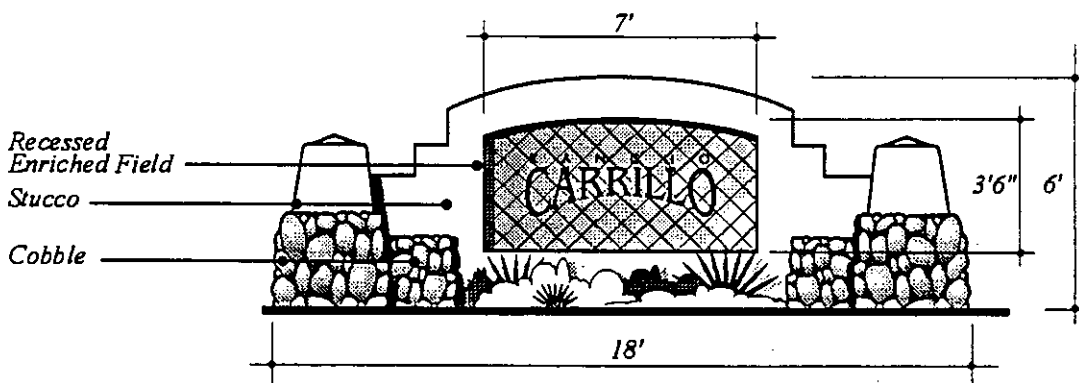
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Major Community Monument Sign



Primary Community Monument Sign

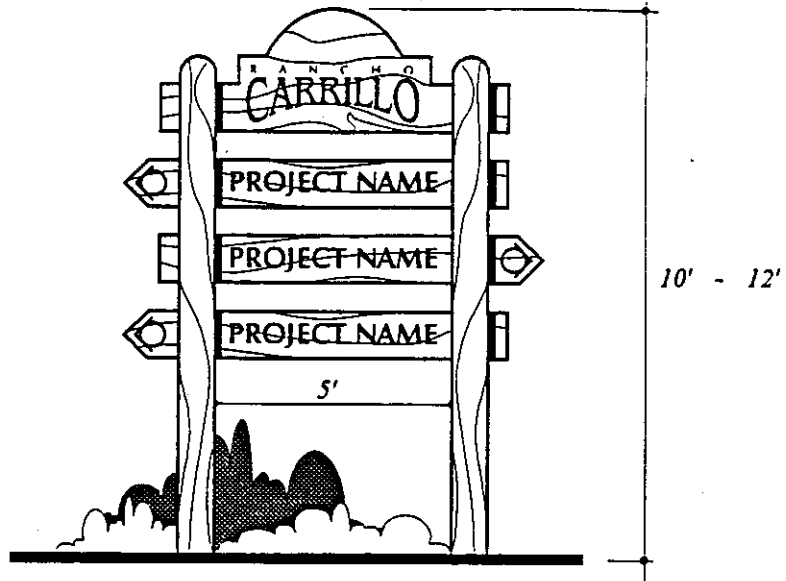


Village Entry Sign

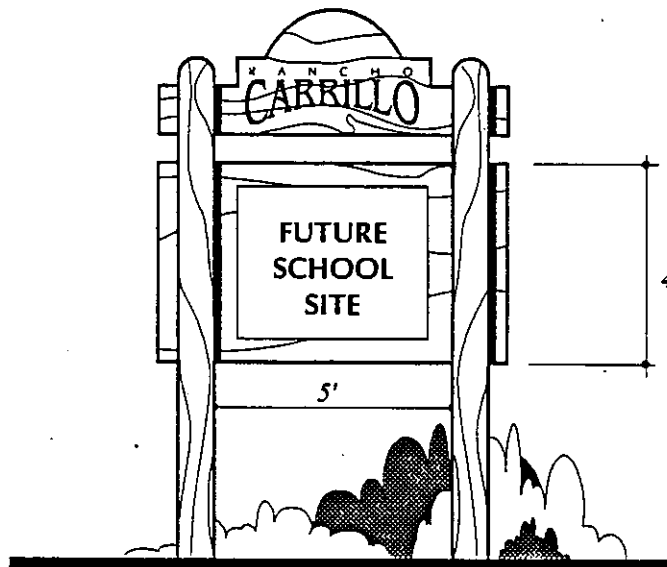
NOTE:

These illustrations are concepts depicting the design theme. Final construction may differ.





Directional



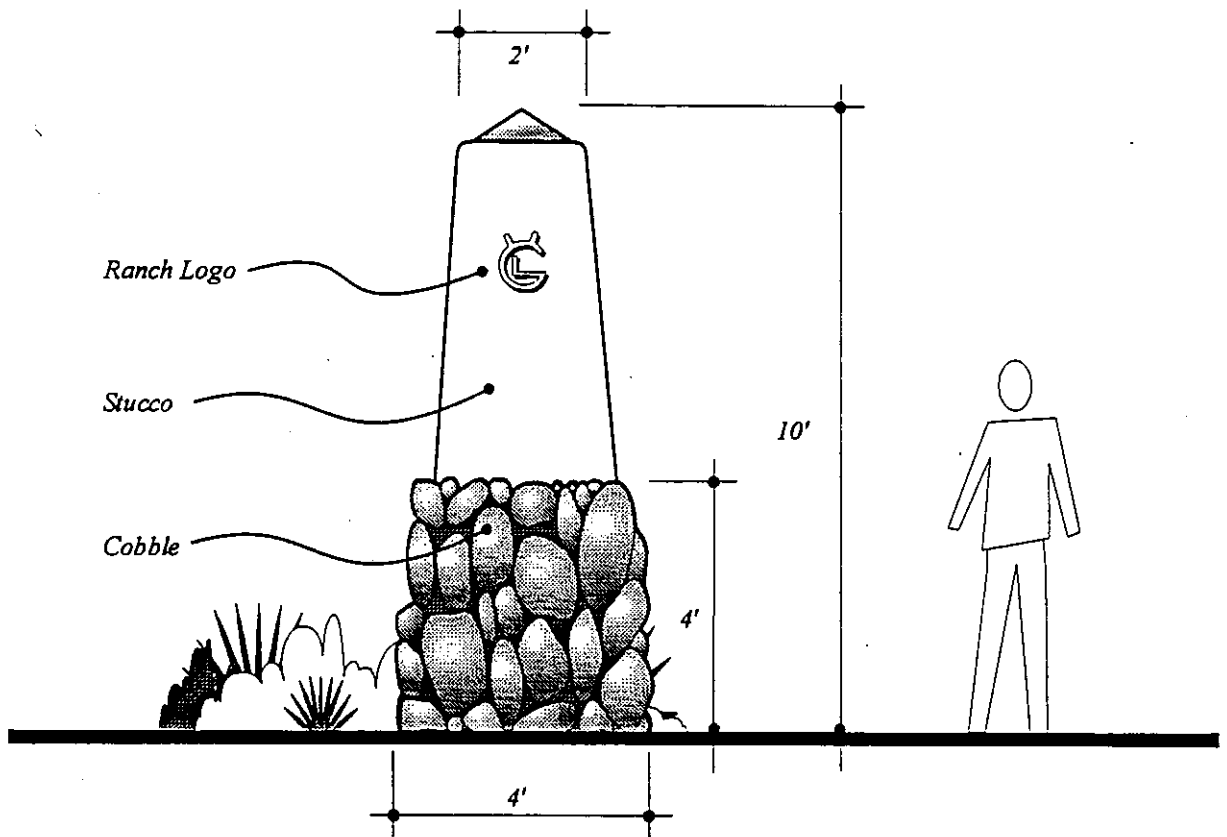
Location

NOTE:

These illustrations are concepts depicting the design theme. Final construction may differ.



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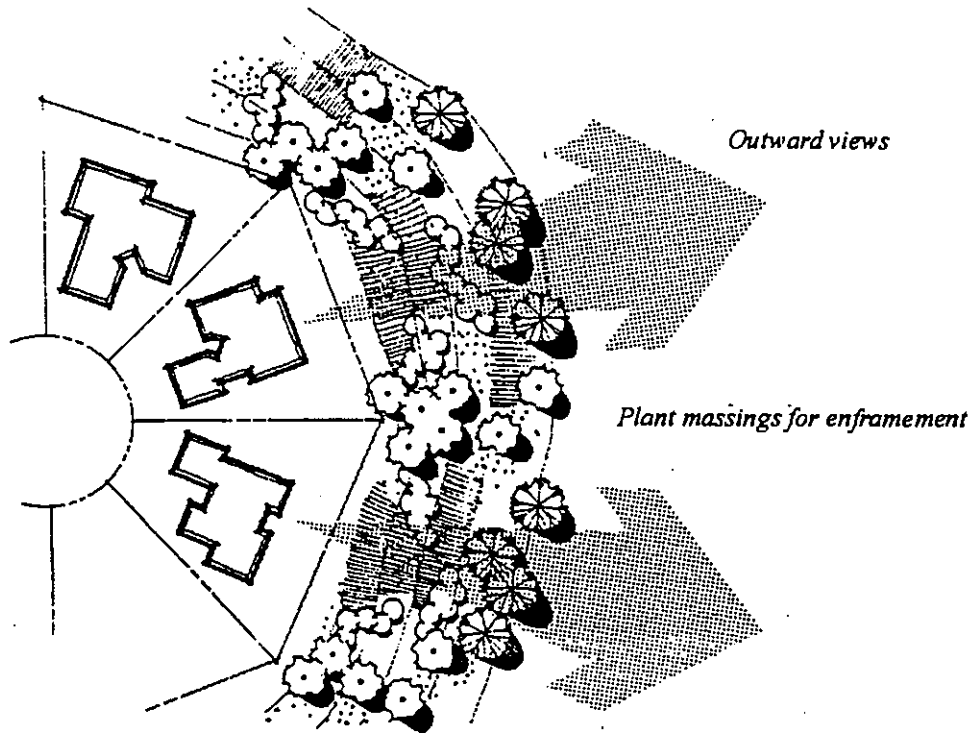
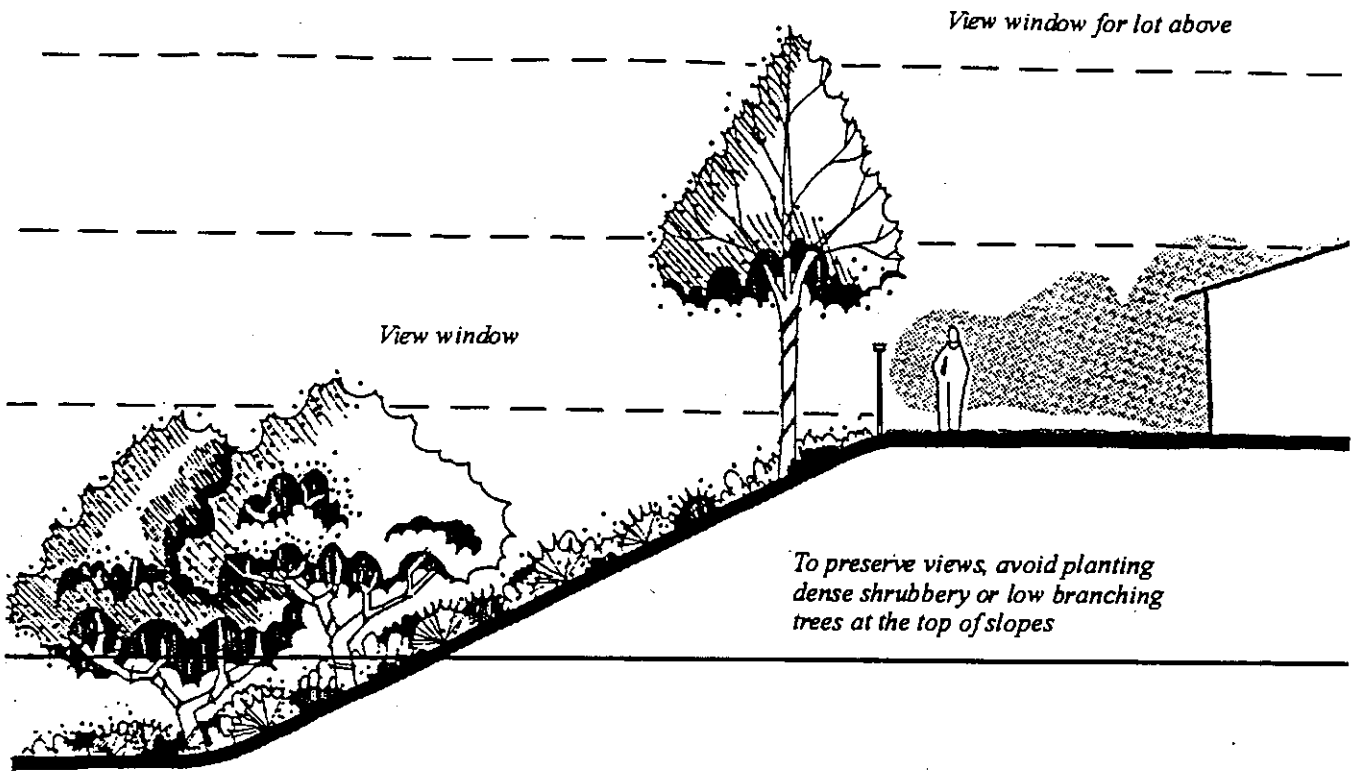


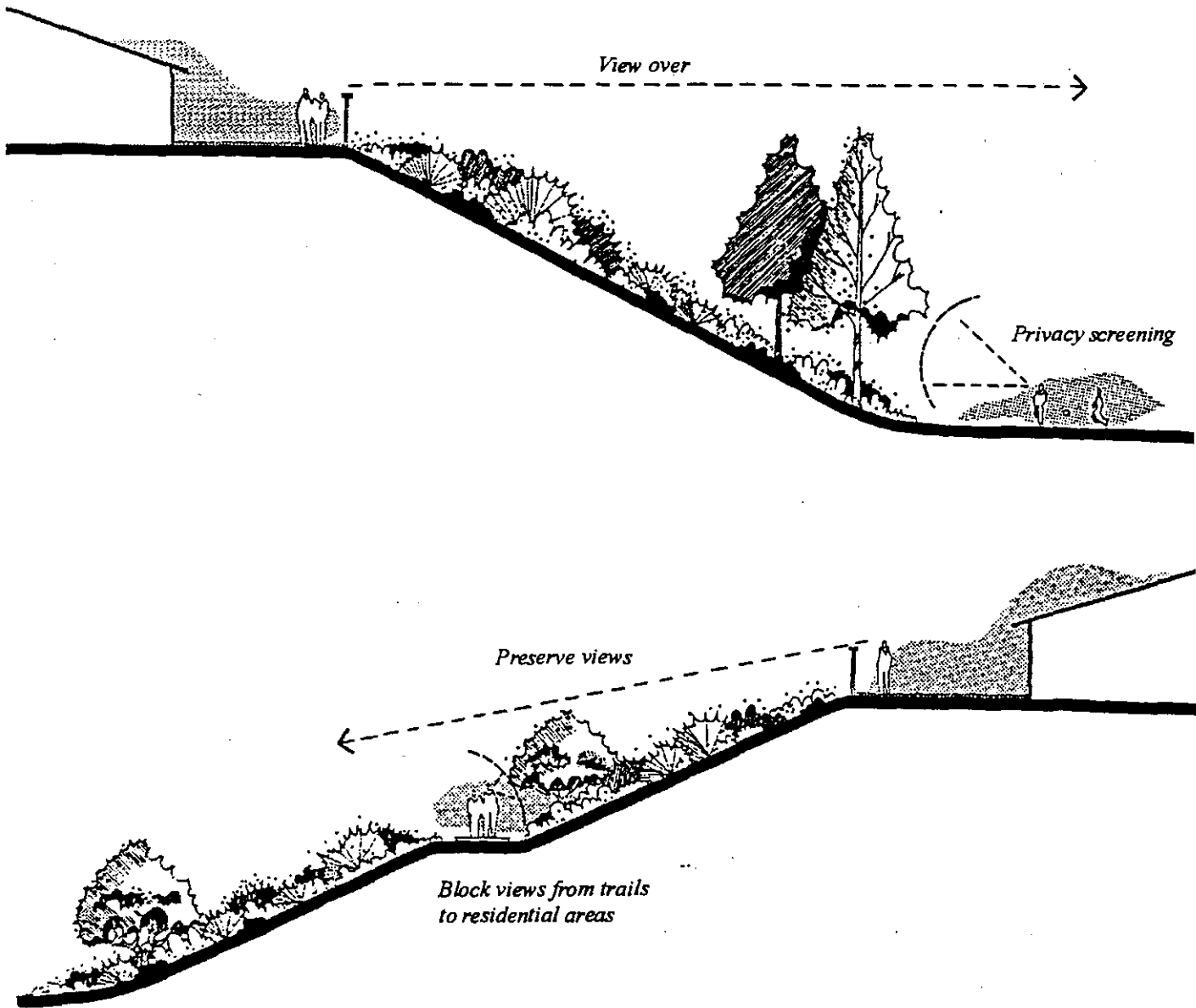
NOTE:

These illustrations are concepts depicting the design theme. Final construction may differ.



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V. GRADING

A. INTRODUCTION

The purpose of this chapter is to establish appropriate guidelines for the grading of the Rancho Carrillo Master Plan Area. Since the intent of the Master Plan process is to review the area in question in a comprehensive manner, this grading plan proposes that the grading of planning areas be reviewed for the entire Master Plan area. The extensive public facility requirements, topography and soils of the Master Plan area require that a comprehensive grading plan be prepared.

There are a number of conditions that shall be addressed in the grading plan. A major concern is the construction of circulation element roadways within and adjacent to the boundary of the Master Plan, and a trunk sewer from the Master Plan boundary to El Camino Real. The most significant impact will be the construction of Melrose Drive, a prime arterial, running north/south within the Master Plan area. Melrose Drive will require significant amounts of cut/fill in order to meet City engineering grade and alignment standards. The grading of the park, community service facilities and school site along with environmental mitigation grading will also be addressed in the grading plan.

The Master Plan area is characterized by extreme topographic relief as well as extensive areas of known and potential landslides (See Exhibit 29). The grading plan will ensure that needed public facility improvements and remedial grading for geotechnical problems will be adequately addressed while minimizing potential impacts to the existing landforms. The proposed phasing will reduce the overall impacts of the grading (i.e. no crossing of constructed circulation element roadways). A Hillside Development Permit was processed concurrently with MP 139(E). All revisions proposed by this current amendment have been determined by the City Planning and Engineering Departments to be substantially in conformance with the previously approved Hillside Development Permit.

B. GUIDELINES

The following guidelines are hereby established to assure appropriate grading designs for Rancho Carrillo Master Plan area.

1. Grading Plans shall conform to the requirements of Chapter 21.95, 21.38.060, and Chapter 11.06 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Preliminary and final grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.

2. All permanent manufactured slopes, shall be constructed at a gradient of 2 to 1 (horizontal to vertical) or less. Any exceptions to the gradient must be approved by the City Engineer and Planning Director.
3. In areas where space is available within the approved site plan, manufactured slopes shall be contoured to simulate natural terrain, except where such contouring will conflict with the recommendations of the soils engineer and be supported with the appropriate technical data.
4. Grading shall be in compliance with the policies of the City's Hillside Development Ordinance.
5. Grading within each village shall provide for the safety and maintenance of other villages already developed or under construction.
6. Grading Permits may be issued for construction of model homes prior to the recordation of the final map per the requirements of Section 21.60.030 of the Carlsbad Municipal Code.
7. Runoff and erosion shall be reduced by the construction of temporary and/or permanent desiltation basins within each area of development. Provision for maintenance and final removal of temporary desiltation basins must be made prior to final map approval. The plans for these basins must be approved by the City of Carlsbad Engineering Department. Provisions for maintenance of permanent basins must be made prior to final map approval.
8. Grading shall be phased so that all erosion control basins are installed concurrent with or prior to any grading activities.
9. Temporary runoff-control devices should be installed prior to any grading activities.
10. All graded areas shall have erosion control measures installed within 30 days after rough grading is completed. If permanent vegetation can not be installed within the 30 day period, temporary erosion control measures shall be installed, if required for maintenance of the public health, safety and welfare.
11. All temporary slopes not scheduled for development within 60 days shall be hydroseeded. All other graded areas not scheduled for construction within 90 days must be hydroseeded. Ninety percent (90%) germination is

required by means of rainfall or with an irrigation system if rainfall is insufficient.

12. The application for grading permits must provide assurance to the City Engineer that manufactured slope banks will be properly landscaped.
13. All slopes shall be planted per the requirements of Carlsbad's Landscape Guidelines Manual and Chapter 11.06 of the Carlsbad Municipal Code. Drought tolerant xeriscape shall be used whenever possible to reduce the need for irrigation.

C. CONFORMANCE WITH CITY OF CARLSBAD ORDINANCES

All grading proposed by any grading design intended to implement this plan shall also conform to the following City of Carlsbad ordinances, policies and/or guidelines unless otherwise permitted within this Master Plan:

1. Excavation and Grading Ordinance (Chapter 11.06 Carlsbad Municipal Code)
2. Hillside Development Regulations (Chapter 21.95, Carlsbad Municipal Code)
3. Zone 18 Local Facilities Management Plan
4. City of Carlsbad Design Guidelines
5. City of Carlsbad Landscape Guidelines
6. City of Carlsbad Master Drainage Plan
7. City of Carlsbad Planning Department Policies
8. City of Carlsbad Engineering Department Policies

D. CUT AND FILL AREAS

The comprehensive Grading Plan provides for a nearly balanced grading operation that is in compliance with the City of Carlsbad's Hillside Development Ordinance. Current studies indicate that the total volume of earthwork involves approximately 6.5 million cubic yards of cut and fill as shown on Exhibit 30.

The development of the Master Plan will require approximately 6.95 million cubic yards of grading excluding subsurface remedial grading requirements. This grading will be spread over an area of approximately 468 acres.

A substantial portion of this grading, approximately 3.0 million cubic yards, is required for the Circulation Element Roadways, school site, elimination of geotechnical problems and riparian mitigation. Section 21.95.070 of Carlsbad's Hillside Development Ordinance allows modifications if findings can be made by City Council for grading required for construction of circulation element roadways and geotechnical problems. These modifications may be granted for such things as the creation of man-made slopes in excess of 30 feet in height or grading in excess of 10,000 cubic yards per acre. In addition, the grading quantities and nonresidential uses may be exempted from the requirements of the Hillside Ordinance by the City Council.

When this grading is subtracted from the total amount of proposed grading on-site, it results in 7,620 cubic yards of grading per acre of residential development. This is potentially acceptable per the standards of the City of Carlsbad's Hillside Development Ordinance. Final quantities of cut and fill will depend upon actual field conditions and final engineering design.

E. PHASING OF GRADING

The Comprehensive Grading Plan for the Master Plan anticipates the grading operation to be completed in multiple phases. The majority of grading in Phase 1 is for the Circulation Element Roadways. Phase 1 includes the grading of Melrose Drive, Poinsettia Lane and El Fuerte Street.

Work associated with the construction of major circulation element roads includes roadway sections, remedial work to correct underlying geotechnical issues, and mitigation areas required by road impacts on sensitive biological areas. In addition, three existing sewer lines within the Master Plan will need to be relocated due to grading and construction for Melrose Drive.

It is anticipated that additional earthwork and borrow sites to balance development areas created by the major roads will occur with this first phase. This earthwork is included within the development cubic yards per acre figure, but must be accomplished concurrent with the major roads work to avoid earthwork equipment crossing these roads once major road construction is completed.

The proposed Phase 1 grading, though extensive, is a benefit for the commencement of development of the Rancho Carrillo Master Plan area. The Master Plan has areas of known and potential landslides. Phase 1 grading will ensure that the remedial grading for geotechnical problems will be adequately addressed while minimizing potential impacts to the existing landforms. Phase 1 grading will reduce the duration of noise impacts due to construction, reduce the amount of dust influence into the air due to construction and allow the revegetation within mitigation areas to commence as soon as possible.

In addition to circulation element roadways, Phase I grading includes all grading work associated with biological mitigation requirements, community facilities and borrow sites for arterial road grading. Biological mitigation areas required by major roads impact is not counted in the development cubic yards per acre, however, biological mitigation cubic yards required by development is included. The vast majority of biological mitigation grading is anticipated with Phase 1 grading to ensure that biologically sensitive areas can be preserved/restored/replaced or enhanced as a first priority. The community facilities are also proposed for grading in Phase 1 to secure their availability at an early date. Per Section 21.95.080 of the Hillside Development Ordinance, the earthwork for non-residential development (i.e. community facilities) may be found exempt from grading volume calculations.

Some development area grading is also proposed within Phase 1 to support remedial grading work. For example, a major shear key to stabilize a landslide adjacent to a major road could be reduced by providing development fill on the toe of the same landslide. Significant shared cost savings to major roads and development areas will occur by reducing geotechnical remedial work that would be required if only the roadway sections were built. In addition, this would have the effect of reducing the overall amount of grading required for the development of the Master Plan.

With the completion of Phase 1, the majority of grading within the Master Plan will be complete. The remaining grading will be limited to construction of the residential villages with each village considered as separate phases. Each of these phases can proceed concurrently with or subsequent to Phase 1 grading. Grading for each subsequent phase balances within that phase and will therefore, prevent hauling across previously constructed circulation element roadways.

F. ADVANCED GRADING

An advanced grading permit for the Master Plan shall be allowed for Phase I grading conditioned on the formation of the Assessment District. The Assessment District may provide for up front construction of on-site circulation element roadways, grading associated with biological mitigation, public infrastructure (sewer, water, drainage) and community facilities.

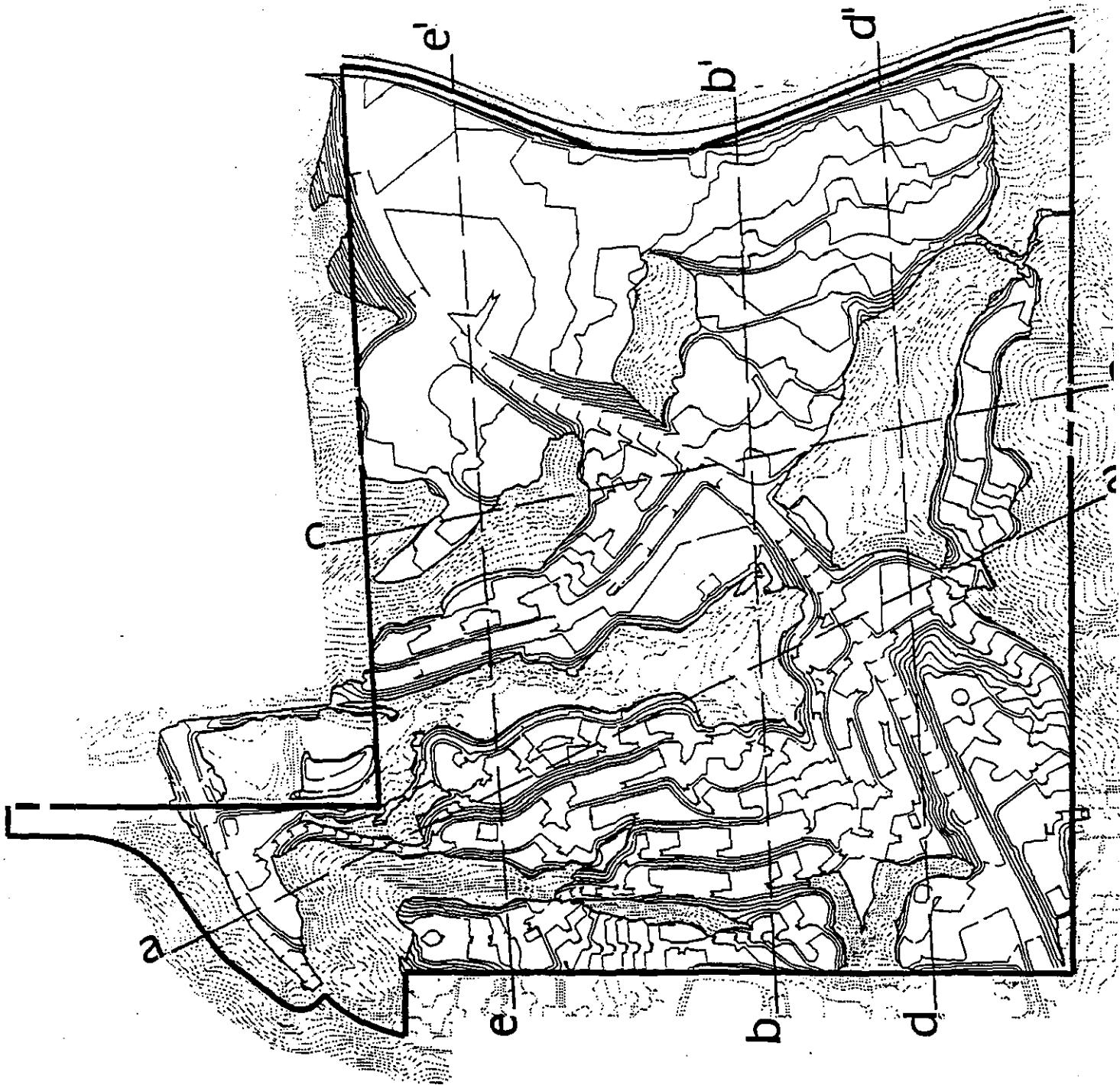
The advanced grading permit will benefit the City by providing public facilities prior to development within the Master Plan. In addition, the initial stage of biological revegetation critical to successful mitigation will be in place prior to the direct/indirect impacts by humans and pets associated with future Master Plan development. This permit will also allow for borrow areas and balancing of each subarea of the Master Plan so that movement of earth will not occur across constructed circulation element roadways.

The advanced grading permit will conform with the requirements of Chapter 11.06 of the Carlsbad Municipal Code.

G. LANDSCAPE MITIGATION

All graded areas shall be landscaped per the requirements of the City of Carlsbad's Landscape Guidelines Manual, Chapter 11.06 of the Carlsbad Municipal Code and the Final EIR for this Master Plan.

When possible, slopes shall be planted with drought tolerant native species using temporary irrigation systems. Once the vegetation has been established these temporary irrigation systems shall be removed if above ground or abandoned if buried.



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CARRILLO
MASTER PLAN

Grading

October 21, 1997

VI. OPEN SPACE

A. INTRODUCTION

Approximately 252.2 gross acres or 37% of the Rancho Carrillo Master Plan consists of Open Space as shown on Exhibit 32. This Open Space includes all open space located outside of the Village boundaries that will remain undeveloped. The 252.2 gross acres includes 188.9 acres of performance standard open space. The performance standard requirement for the Master Plan is 82.1 acres, therefore, an additional 106.8 acres over and above that required by the City's Growth Management Program will be provided.

The 252.2 gross acres does not include interior slopes and recreation areas within the individual villages that will provide additional Open Space within the Master Plan. Additional Open Space and recreational areas will be provided within residential villages per the Master Plan development standards at the time of tentative map approval.

B. MASTER PLAN OPEN SPACE

In addition to the Growth Management requirement, Section 21.38.060 of the Carlsbad Municipal Code states that 15 percent of all Master Plans must be provided in an integrated open space program which addresses: a) Open space for the preservation of natural resources; b) Open space for the managed production of resources; c) Open space for outdoor recreation; and d) Open space for public health and safety. Based on this standard, the Rancho Carrillo Master Plan is required to provide 103.5 acres of open space. The Master Plan will significantly exceed the 103.5 acres required per Section 21.38.060 of the Carlsbad Municipal Code. Provided below is a discussion of the four categories of Master Plan Open Space.

1. OPEN SPACE FOR THE PRESERVATION OF NATURAL RESOURCES

a. Riparian/Wetlands

The Rancho Carrillo Master Plan area is split by a riparian/wetland canyon. The canyon runs generally in an east to west direction. Included in this canyon area are sensitive wetland plant communities which include coastal and valley freshwater marsh, southern willow scrub and disturbed wetland.

The existing riparian habitat onsite consists of 11.7 acres along the main drainage within the central corridor and 5.9 acres along several secondary finger drainages for a total of 17.6 acres.

The total riparian wetland impacts onsite permitted by the California Department of Fish and Game, and the U.S. Army Corps of Engineers amounts to 3.59 acres of freshwater marsh, 0.76 acres of mulefat scrub, 3.49 acres of southern willow scrub and 0.4 acres of other wetlands, for a total of 8.24 acres.

The mitigation for the impacts to the 8.24 acres of riparian wetlands accepted by the California Department of Fish and Game and the U.S. Army Corps of Engineers include the following:

- a. creation of 11.1 acres of riparian habitat
- b. provide a wildlife conservation easement over
 - i. 11.1 acres of created riparian habitat
 - ii. 9.92 acres of existing riparian habitat to be preserved
 - iii. approximately 20 acres of buffer areas adjacent to the riparian mitigation areas
- c. remove exotic plant species from the 9.92 acre riparian habitat area to be preserved
- d. enhance upland buffer area (unspecified acreage) adjacent to the buffer area adjacent to the mitigation site including the area on the adjacent "off-site" mitigation parcel that converts ruderal vegetation to coastal sage scrub vegetation.

The required riparian mitigation will be done on-site and on an off-site parcel immediately downstream of the project site subject to the approval of the property owners and the City of Carlsbad; approval from the California Department of Fish and Game and the U.S. Army Corps of Engineers has already been obtained.

Exhibit 33 illustrates the proposed mitigation and areas to be used for mitigation.


b. Native Areas

In addition to the riparian/wetlands area described above, the Rancho Carrillo Master Plan area consists of several plant communities containing native grassland, coastal sage scrub and mixed chaparral. Existing within these plant communities are a significant colony of *Bride filifolia* (listed as

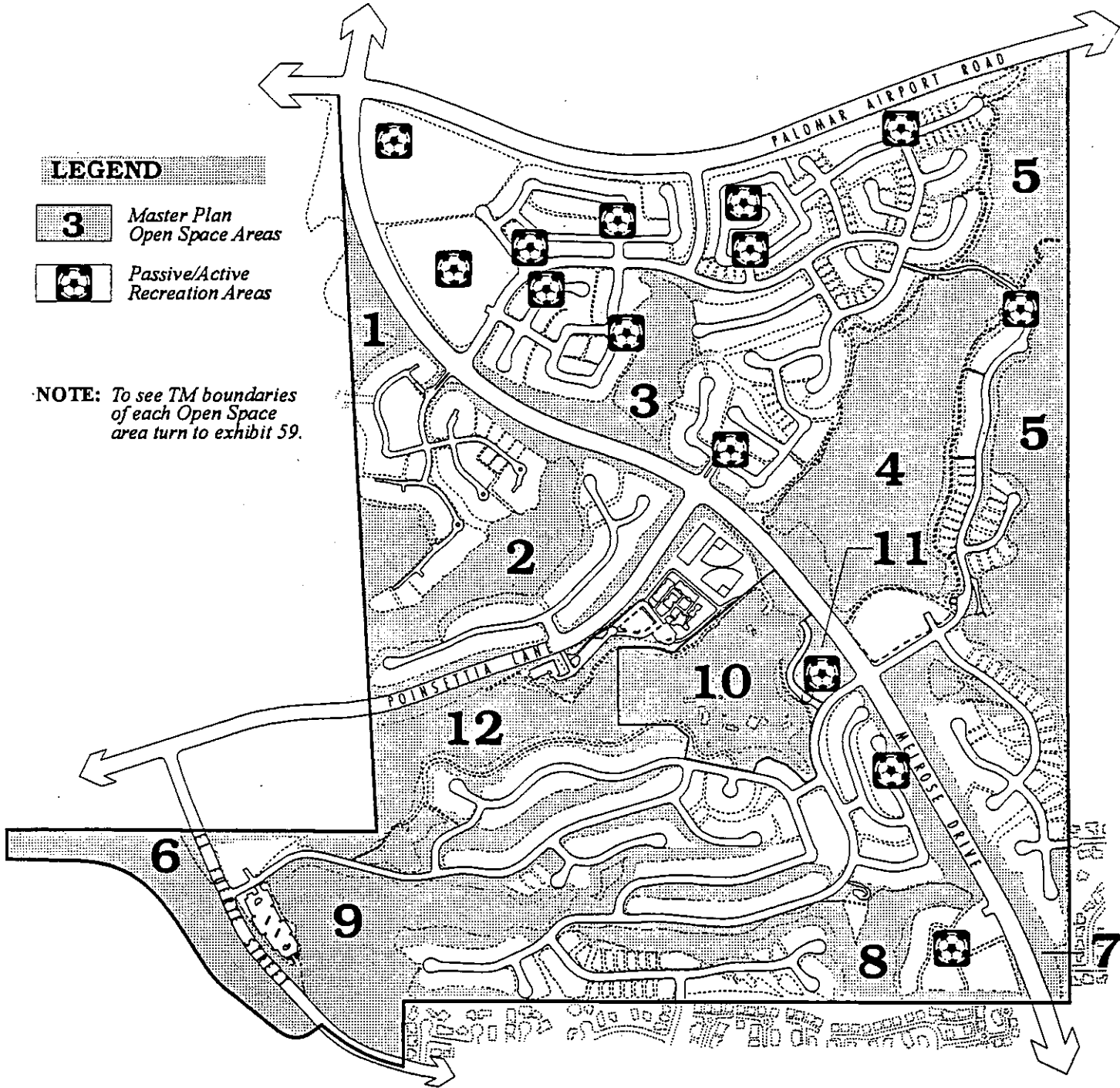
endangered by CDFG), several areas of *Acanthomintha ilicifolia* (listed as endangered by CDFG), a significant amount of *Adolphia californica* (a CNPS List 2 species), scattered patches of *Harpagonella palmeri* (a CNPS List 2 species), a small area of *Comarostaphylis diversifolia* (a CNPS List 1B species) and a large area of coastal sage scrub.

LEGEND

3 Master Plan Open Space Areas

 Passive/Active Recreation Areas




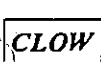


NOTE: To see TM boundaries of each Open Space area turn to exhibit 59.

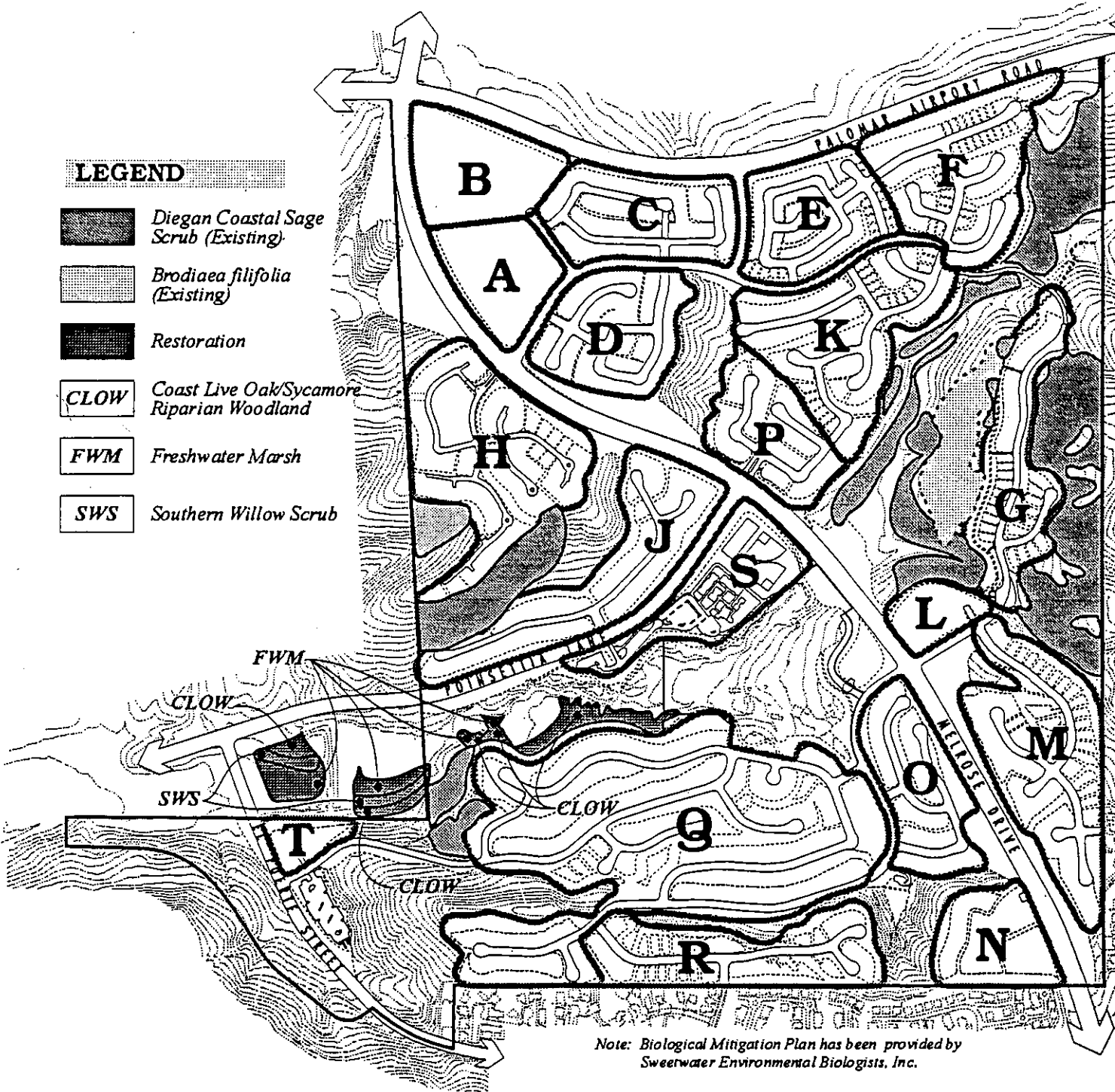


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MASTER PLAN

Master Plan
Open Space

LEGEND

-  *Diegan Coastal Sage Scrub (Existing)*
-  *Brodiaea filifolia (Existing)*
-  Restoration
-  *Coast Live Oak/Sycamore Riparian Woodland*
-  *Freshwater Marsh*
-  *Southern Willow Scrub*



Note: Biological Mitigation Plan has been provided by Sweetwater Environmental Biologists, Inc.



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The Brodiaea population, covering approximately 9.8 acres, is concentrated along the lower portions of a west-facing slope on the eastern side of the Master Plan. Impacts to the population will result in mitigation of 3.7 acres by transplanting a specified number of brodiaea into an adjacent preserved habitat suitable for long term survival. The remaining existing population will be preserved intact along with adjacent grasslands that have the potential for supporting additional brodiaea transplants. To ensure long term protection, the entire preserve will be placed in an open space easement with the City of Carlsbad.

A small patch of *Acanthomintha ilicifolia*, commonly known as thornmint, is located in the southwest corner of the Master Plan. The Master Plan has been designed so that the construction of El Fuerte and the RV storage area will have no impacts on the *Acanthomintha ilicifolia*.

The coastal sage scrub consists of two categories or subassociations for a total of approximately 170 acres. The coastal sage scrub categories are based on dominance by either California sagebrush or black sage. Within the Master Plan, the California sagebrush dominated communities are primarily located on the east side of the property with small pockets occurring in the east-central and southwest corner of the site. The remaining areas of coastal sage are dominated by black sage.

The California gnatcatcher, currently warranted for listing by U.S. Fish and Wildlife, resides in coastal sage habitats that are typically dominated by California sagebrush. The Master Plan retains the majority of the coastal sage scrub area occupied by the one pair of breeding California gnatcatchers observed onsite. This area includes the highest quality habitat along the eastern border of the site which also connects with high quality habitat to the north and east to provide a movement corridor for the species. This reserve area should be adequate to sustain a territory for the present pair of gnatcatchers located onsite.

The Mitigation Plan contained in this Master Plan and shown on Exhibit 33 shows the limits of biological open space as well as the many on-site mitigation areas. This mitigation plan has been developed based on the Section 7 Permit and other environmental permits approved by the US. Fish and Wildlife Service, U.S. Army Corps of Engineers and the California Department of Fish and Game.

2. OPEN SPACE FOR THE MANAGED PRODUCTION OF RESOURCES

Although a portion of the Master Plan area is currently being utilized for agricultural purposes, no portion of the Master Plan will be reserved for the production of agricultural resources.

3. OPEN SPACE FOR OUTDOOR RECREATION

a. City Park

Existing within the Rancho Carrillo Master Plan area is the Rancho Carrillo Park. This park is approximately 10.5 acres and is located in the central portion of the Master Plan area, west of Melrose Drive. The park currently includes the Leo Carrillo Ranch house and outlying buildings.

With the approval of this Master Plan, approximately 16.4 additional acres of park land will be dedicated to the City of Carlsbad. This additional acreage will result in a 26.9 acre community park.

b. Common Recreation

Common recreational facilities per the requirements of the Planned Development Ordinance, Chapter 21.45.090 of the Carlsbad Municipal Code, will be constructed within each Village except for those Villages proposing lots greater than 7,500 square feet or villages specifically exempted through their development standards. The size and location of each of these facilities will be determined at the time of the tentative map approval for each Village.

4. OPEN SPACE FOR PUBLIC HEALTH AND SAFETY

All slope areas will be maintained in open space. Each Village shall provide for dedication of open space easements for slope maintenance purposes at the time of final map approval for that Village.

Where deemed necessary by the Fire Marshall, a fire protection plan shall be implemented as shown by Exhibits 17 and 18. Any irrigation system placed in the slope areas shall comply with the City of Carlsbad's Landscape Guidelines Manual.

C. TRAILS

1. INTRODUCTION

To encourage pedestrian movement within the community, a system of trails has been developed to include both Citywide and Master Plan trails. The Master Plan trails allow residents to move freely about the Rancho Carrillo community and access Rancho Carrillo Park, open space areas and the common recreational areas within the Master Plan. They are also designed to tie in to a future citywide trail system, if one is developed. Exhibit 34 shows the location and types of trails which will be provided.

2. DESCRIPTION

There are two trail types which are interconnected and allow movement throughout the community:

a. Unpaved Hiking and Bike Path

The first of these trails follows the guidelines set forth in the City's Trails Feasibility Study dated June 20, 1990. This study shows a trail link through the canyon area to Rancho Carrillo Park and intersecting with the City of San Marcos trail system. The links identified in this study are Trail Link No. 34 and 36. The trail links will be adjacent to the riparian areas within the canyon with road crossings at the intersection of Melrose Drive and Poinsettia Lane as shown on Exhibit 34.

In addition, a loop Citywide trail will be provided for the Open Space area west of Melrose Drive. The trail will be located on the slopes south of the open space network and will afford views along the entire valley area.

The trail links will be designated as a class 2 trail which is an unpaved hiking and bike path. The trail will be constructed of decomposed granite, compacted gravel, woodchips, bark, and/or coarse asphalt (where heavy use or erosion may be a problem). The minimum width of the trail will be 8' and a total right-of-way of 20'.

b. Paved Walking and Bike Path

The paved walking and bike pathways will be located within the street right-of-way. These pathways will provide links between the various Villages as shown on Exhibit 34.

The timing for construction of the paved pathways located within each Village will be tied to the development of that particular Village. Other paved pathways providing a link between the neighborhoods and open space areas may be constructed as part of the improvements for each individual tentative map.

Although the proposed paved pathways of the Rancho Carrillo Master Plan are not a part of the Citywide Trails System, they will be designed to link into the citywide system where it is feasible.

D. MAINTENANCE

Rancho Carrillo Park will be maintained by the City of Carlsbad's Parks and Recreation Department. Trails and slopes within individual Villages shall be maintained by homeowner's associations. All other open space areas shall be maintained by a City Maintenance District if approved or some other maintenance entity approved as a part of Carlsbad's Habitat Management Plan. If neither option is available at the time of the development of the Master Plan, these open space areas shall be maintained by the Master Homeowner's Association.

If the City of Carlsbad accepts dedication of the trail easement, the trail shall be constructed as a public trail and will be the maintenance and liability responsibility of the City of Carlsbad. If the City of Carlsbad does not accept dedication of the trail easement, the trail shall still be constructed but it shall be constructed as a private trail and shall be the maintenance and liability responsibility of the Master Homeowner's Association.

LEGEND

-  Public Trail Staging Areas
-  Community Trail Head
-  Village Trail Head
-  City-wide Trail
-  Master Plan Trail
-  Community Park
-  Village Recreation Areas

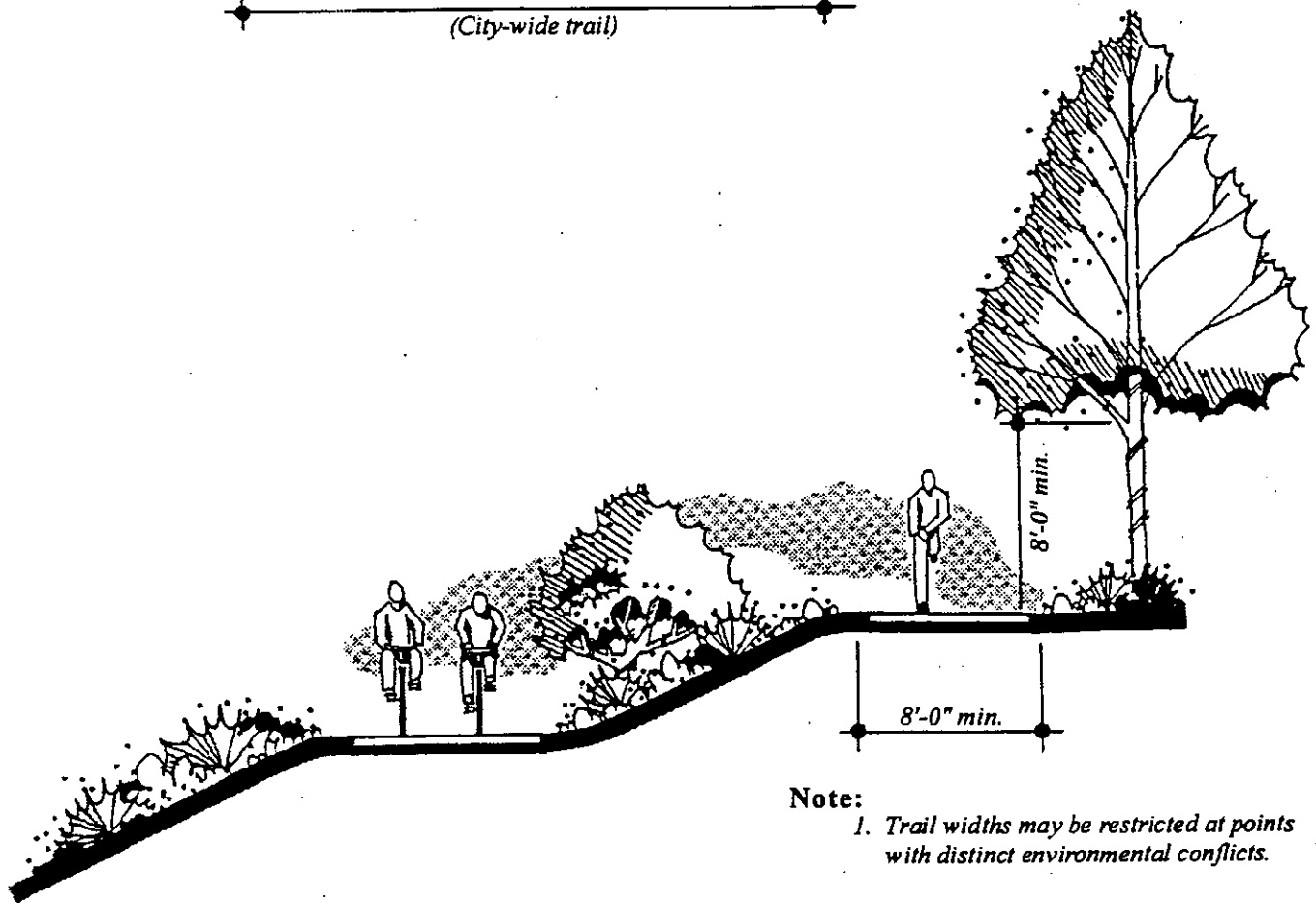
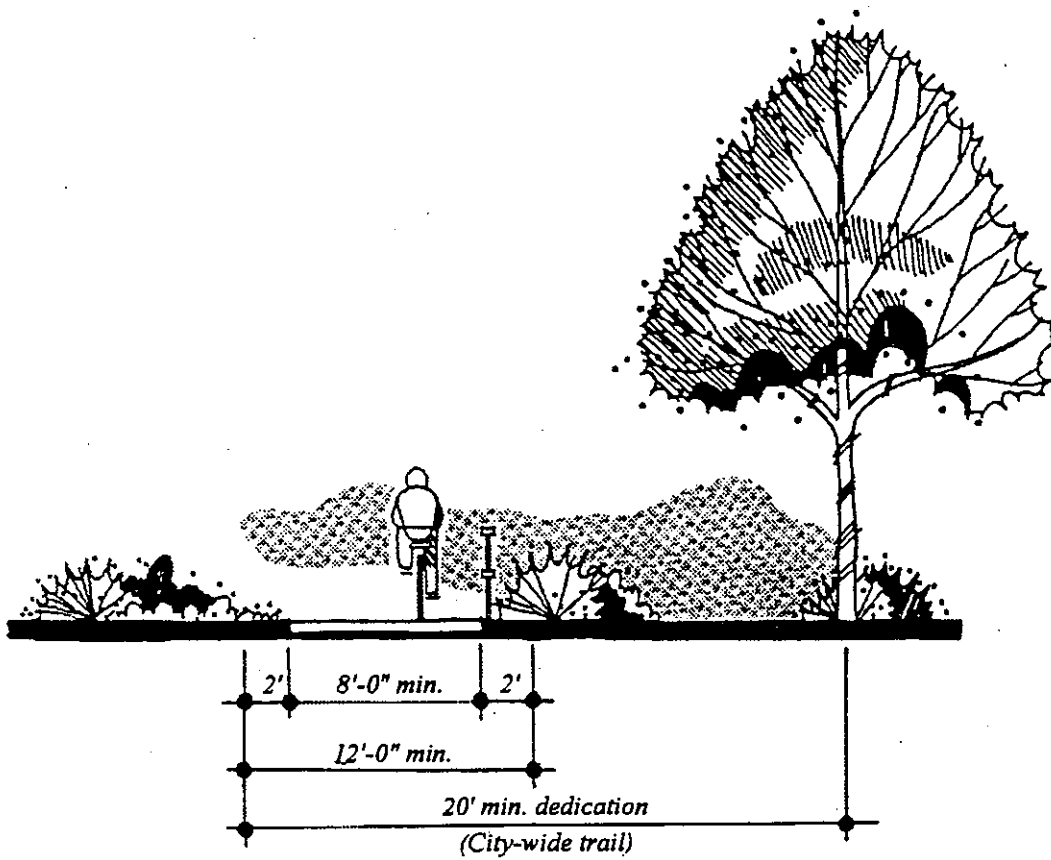


NOTES:

1. The public trail staging area shown within Village "S" is an alternative location and requires a joint use agreement between the City and School District.
2. Recreation area locations are diagramatic.



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Note:
1. Trail widths may be restricted at points with distinct environmental conflicts.



R A N C H O
CARRILLO
MASTER PLAN

Unpaved
Hiking and Bike Paths

VII. PUBLIC FACILITIES AND INFRASTRUCTURE PLAN

A. COMMUNITY FACILITIES

1. INTRODUCTION

The Rancho Carrillo Master Plan land area lies entirely within Local Facilities Management Zone 18. The public facility requirements for this Master Plan are addressed in the Zone 18 Local Facilities Management Plan and Finance Plan. The approved Zone 18 LFMP was prepared pursuant to the City's Growth Management Program. The Zone 18 LFMP: (1) provides a description of how the zone will develop, (2) demonstrates how and approximately when each required facility and improvement will be constructed to accommodate phased development within the zone, and (3) provides a description of options for how each facility and improvement will be financed when mitigation is necessary.

The Rancho Carrillo Master Plan implements but does not supersede the Zone 18 Local Facilities Management Plan. The Master Plan has been designed to be consistent with the purpose and intent of the Zone Plan. The following are the development policies as they pertain to the community facilities identified in the Zone 18 Local Facilities Management Plan. The following also identifies specific mitigation requirements of the Zone 18 LFMP. Development within the Rancho Carrillo Master Plan shall be responsible for providing required facilities concurrent with need within Zone 18 as well as impacted facilities outside of Zone 18.

Zone 18 is currently not included within the boundaries of the Mello-Roos CFD. Properties within the zone shall be required to annex to the CFD as a condition of the first discretionary approval. Upon annexation into the district, the guarantee requirements for facilities funded through the CFD will have been met.

2. CITY ADMINISTRATIVE FACILITIES

Administrative facilities requirements in the City of Carlsbad include new maintenance, warehouse and administrative buildings. These facilities will be funded with revenues generated through the City's Public Facilities Fees, Sewer Fees and the Mello Roos Community Facilities District. The projected cost of these facilities is \$29,050,000. Per the Zone 18 LFMP, no mitigation is required for Zone 18 to meet the adopted performance standard. However, the proportional obligation by the Rancho Carrillo property owners will be met through the payment of fees and/or Community Facilities District taxes.

3. LIBRARY FACILITIES

Library remodeling and the construction of a new library facility in south Carlsbad are included in this category. Revenue sources for these facilities are the City's Public Facilities Fee Program and the Community Facilities District. Per the Zone 18 LFMP, no mitigation is required for Zone 18 to meet the adopted performance standard. However, the proportional obligation by the Rancho Carrillo property owners will be met through the payment of fees and/or Community Facilities District taxes.

4. PARK FACILITIES

Zone 18 is located in the City's southeast quadrant district for parks planning and service purposes. Zone 18 shares responsibility for parks facilities with Growth Management Zones 6, 10, 11, 12 and 17. These facilities are also funded from traditional municipal sources through the City's on-going capital improvements program.

The Zone 18 LFMP special condition is for future developers in the zone to enter into a parks agreement with the City of Carlsbad prior to final map to provide: 1) dedication of 8.5 acres of park land, 2) establish acceptable access to the park site and 3) reimbursement and/or park-in-lieu fee credits, if appropriate. Since approval of the zone plan, the City has determined that only 5.7 net acres of park land are required of future development within Zone 18. The Master Plan, however, proposes that 9.4 net acres and 16.4 gross acres of park land be dedicated to the City. On February 22, 1993, the Parks and Recreation Department approved the dedication of park acreage and location as proposed by the Rancho Carrillo Property Owners. A parks agreement between the property owners and City of Carlsbad will be provided prior to recordation of first final map as required by the Zone 18 LFMP.

5. FIRE

Per the Growth Management standard, no more than 1500 dwelling units are allowed outside of a five minute response time. At present, Fire Station # 2, 5 and Temporary #6 provide adequate fire support to Zone 18 and the southeast quadrant. The permanent location for Fire Station # 6 will be provided to the City by Fieldstone concurrent with development in Zone 11.

As additional development and circulation infrastructure occurs in the southeast, fire response time will improve at build out. At build out, approximately 1,075 dwelling units in Zone 18 will be outside the five minute response time of Fire

Station No. 2, 5 and 6. This is within the performance standard and therefore Zone 18 will meet the performance standard through build out.

6. SCHOOLS

The new school district boundaries adopted by the Carlsbad Unified School District (CUSD) and San Marcos Unified School District (SMUSD) as of April 9, 1986, locates all of Zone 18 within the SMUSD boundary. The special condition for Zone 18 requires acquisition of an acceptable school site by the district, if it is determined that a school site is warranted. The Rancho Carrillo property owners proposed Village S within the master plan as the school site which was accepted and approved by SMUSD on February 23, 1993. In addition to the requirement to provide a school site, if one was warranted, the zone plan requires that a school agreement be approved by the district prior to recordation of the first final map, grading permit or building permit in the zone. The Master Plan property owners will enter into a school agreement with SMUSD that addresses site acquisition and financing of school facilities based upon actual impact of the project.

7. OPEN SPACE

The Zone 18 LFMP open space performance standard requires that 15% of the total land area exclusive of environmentally constrained non-developable land must be set aside for permanent open space and must be available concurrent with development. Adequate open space to meet the performance standard will be provided as development occurs in the Master Plan area. The Rancho Carrillo proposed open space system will provide a significant amount of the open space in the area as well as providing recreational uses. Open space may also be provided through setbacks, easements, and with development of each village. The proposed trail system will be designed to link with the City of Carlsbad's Citywide trail system.

B. UTILITIES AND INFRASTRUCTURE

1. INTRODUCTION

The four public utilities identified in the zone plan required to serve Zone 18 include wastewater/sewer, water/reclaimed water, drainage and circulation facilities. The zone plan assumes the need for public facilities based on a five year phasing scenario. When appropriate, the zone plan also divides the provision of public utilities into independent basins for the provision of public facilities. The service area boundaries allow for independent review and development for the facilities within each boundary.

The majority of public facilities may be provided in the first phase of development if the phasing of development occurs as discussed in the Grading Chapter. This phase will include circulation infrastructure, sewer, water and drainage facilities. For purposes of this section, however, the special conditions are as identified in the Zone 18 - LFMP except where additional engineering work has identified alternately sized facilities.

2. WATER

The City of Carlsbad is provided domestic water from three sources: The Carlsbad Municipal Water District, Vallecitos Water District and the Olivenhain Municipal Water District. Water service for the Rancho Carrillo Master Plan is entirely within the Carlsbad Municipal Water District.

This Master Plan lies entirely within the boundaries of Zone 18 which currently conforms with the adopted performance standards. Since the water district requires development to install domestic water and fire flow needs as conditions of approval to future development, conformance with the adopted standards will be maintained to ultimate development of the project.

On March 21, 1989 the City of Carlsbad adopted an interim Reclaimed Water Use Policy for new land development projects. The policy specified that all new development shall use reclaimed water when reasonably available and that the installation of dual irrigation systems may be required subject to the terms of the draft Water Reclamation Master Plan. The Water Reclamation Master Plan is currently under review by City Staff and is estimated to be completed later in 1993.

There are approximately 152 acres of landscape area within the Master Plan that could potentially benefit from the future use of reclaimed water. This includes 92 acres of naturalizing landscape which, once established, will require less than 10" of supplemental water annually. This does not include median landscaping along the circulation element streets, the elementary school (approximately 11.6 acres), or the park (approximately 26.9 acres) which could also potentially benefit from the use of reclaimed water.

The existing facilities which serve the site are as follows:

a. Potable System

A 9.0 million gallon (MG) storage tank located to the east of Zone 18.

A 33-inch offsite transmission line from the 9.0 MG storage tank to an existing 27-inch transmission line in Palomar Airport Road.

A 27-inch transmission line located in Palomar Airport Road.

A 21-inch and a 27-inch offsite transmission line located east of Alga Road to the south of Zone 18.

A 16-inch and a 21-inch offsite transmission line in Melrose Drive and Santa Fe Road from Questhaven Road to the southeast corner of Zone 18.

A 16-inch transmission line located in Palomar Airport Road stubbed at the western boundary of Zone 18.

b. Reclaimed System

There is currently an existing 12-inch fail-safe reclaimed waterline from Mahr Reservoir and Meadowlark Reclamation Facility to Encina WPCF.

c. Special Conditions

Projected water facilities within Zone 18 are separated into independent basins which correlate with property ownership boundaries. The majority of the facilities listed below will be provided in Phase 1 concurrent with construction of the circulation element roadways. However, for purposes of this Master Plan, the water facilities are listed as conditioned in the zone plan and as shown on Exhibit 36.

1. All development with Zone 18 shall pay a major facilities fee based on EDU's to the CMWD and a capacity charge based on meter size to the San Diego County Water Authority. In addition, all development in Zone 18 shall be required to provide any water reclamation facilities identified in the future Water Reclamation Master Plan as determined by the District Engineer. Any water reclamation facilities necessary to accommodate future development must be guaranteed prior to the recordation of a final map, issuance of a grading permit or building permit, whichever occurs first for any project in Zone 18.

2. All Service Areas

Palomar Airport Road is proposed to be widened from El Camino Real to the east City limit in early 1993. As part of the widening improvements, the existing potable 27-inch transmission line within Palomar Airport Road will be replaced with a potable 30"-36" inch transmission line. The cost of the replacement line is included in the circulation cost estimate for the widening of Palomar Airport Road.

3. Service Area B

The following water facilities will be required as a condition to the approval of future development within Service Area B to the satisfaction of CMWD:

- a. A portion of the proposed potable 24-inch main in the proposed alignment of Melrose Drive.
- b. A portion of the proposed reclaimed 8-inch main in the proposed alignment of Melrose Drive.

4. Service Area C

The following water facilities will be required as a condition to the approval of future development within Service Area C to the satisfaction of CMWD.

- a. A portion of the proposed potable 24-inch main in the proposed alignment of Melrose Drive.
- b. The proposed reclaimed 8-inch main in the proposed alignment of Melrose Drive.

5. Service Area D

The following water facilities will be required as a condition to the approval of future development within Service Area D to the satisfaction of CMWD:

- a. A portion of the proposed potable 24-inch main in the proposed alignment of Melrose Drive.

- b. A portion of the proposed reclaimed 8-inch main in the proposed alignment of Melrose Drive.
- c. The proposed potable 8-inch main in the proposed alignment of Poinsettia Lane.
- d. The proposed reclaimed 10-inch main in the proposed alignment of Poinsettia Lane.

6. Service Area E

The following water facilities will be required as a condition to the approval of future development within Service Area E to the satisfaction of CMWD.

- a. A portion of the proposed potable 24-inch main in the future alignment of Melrose Drive.
- b. The proposed pressure reducing station at the southeast corner of Zone 18.
- c. The proposed potable 30-inch transmission line in the proposed alignment of El Fuerte within Zone 18.
- d. A portion of the proposed reclaimed 8-inch main in the proposed alignment of Melrose Drive.
- e. The proposed reclaimed 38-inch main in the proposed alignment of El Fuerte within Zone 18.
- f. The proposed potable 12" main from Melrose to El Fuerte through service Area E.




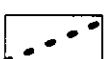



7. Service Area F:

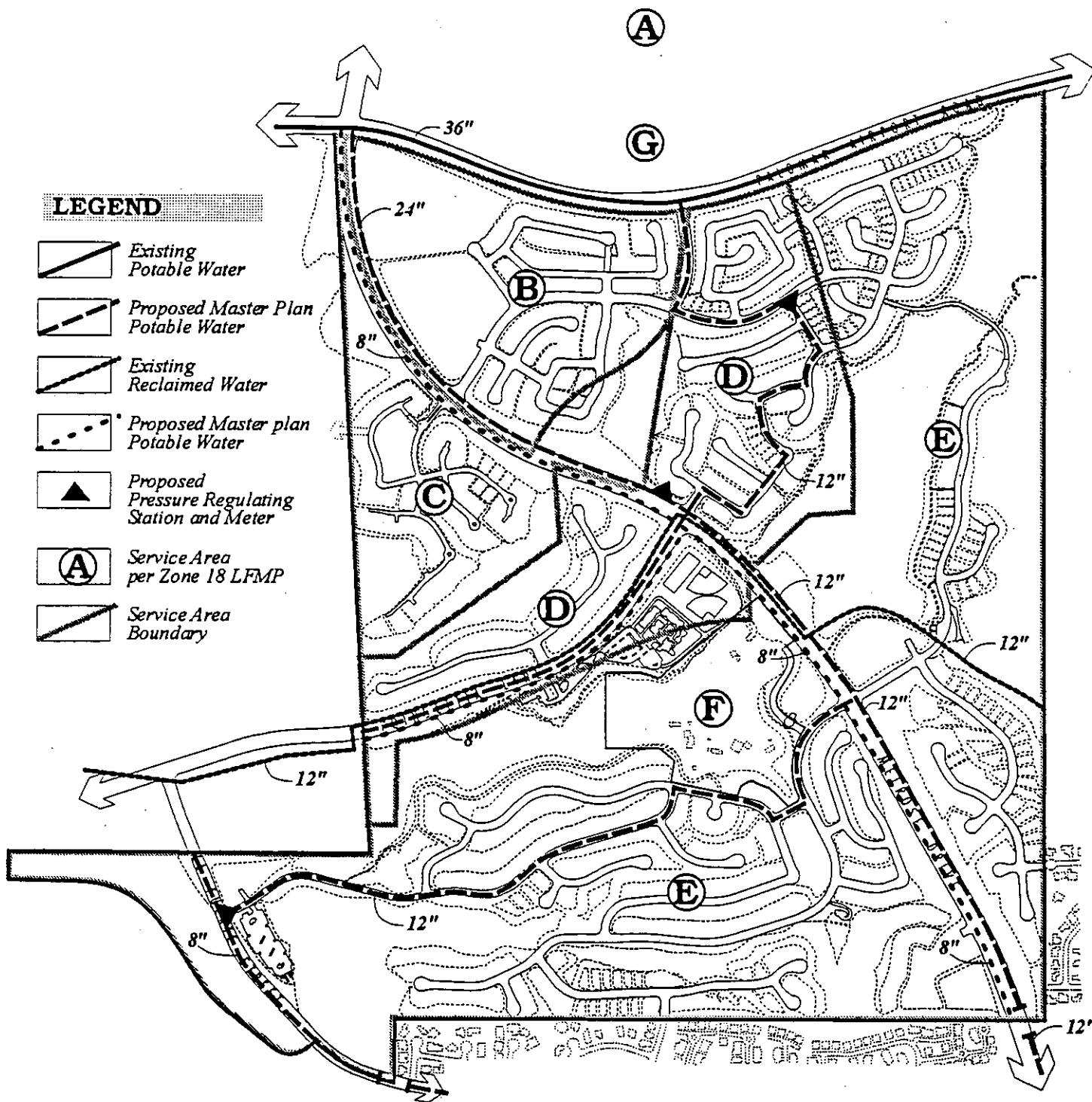
Water facilities will be provided at the time of development to the satisfaction of the CMWD. The CMWD may require additional improvements outside of the service area boundary, if deemed necessary, to serve development.

All development within Service Area F shall pay the appropriate water fees established by CMWD.

The location and sizes of the above facilities have been approximated. The exact sizes and locations will be determined as areas within the Master Plan develop. The water distribution system interior to the project site will be designed at the time of the development of final engineering plans.

LEGEND

-  Existing Potable Water
-  Proposed Master Plan Potable Water
-  Existing Reclaimed Water
-  Proposed Master plan Potable Water
-  Proposed Pressure Regulating Station and Meter
-  Service Area per Zone 18 LFMP
-  Service Area Boundary



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 MASTER PLAN

Water

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October 21, 1997

3. STORM DRAINAGE

Zone 18 is located within two watersheds, the Batiquitos Lagoon Watershed and the Aqua Hedionda Lagoon Watershed. The portion of Zone 18 generally north of Palomar Airport Road naturally drains northwest into Aqua Hedionda Creek which, in turn, flows into the Aqua Hedionda Lagoon. The portion of Zone 18 generally south of Palomar Airport Road which correlates with the Master Plan area, naturally drains southwest through a portion of the La Costa Golf Course into San Marcos Creek which, in turn, flows into the Batiquitos Lagoon.

Drainage is distinguished from all other public facilities and improvements because, by its very nature, it is more accurately assessed as specific development plans are finalized. However, certain facilities may be necessary which are larger than those required from a single development project and, therefore, need to be identified so that the proper funding can be collected for the construction of these facilities.

a. Inventory

Zone 18 is currently undeveloped and therefore does not have any existing major drainage facilities. However, an existing 42-inch storm drain in Zone 6 discharges into the most southerly portion of Zone 18. The discharge from this storm drain currently flows through Zone 18 within an improved drainage channel.

b. Future Facilities

The proposed major drainage facilities for the ultimate build out of Rancho Carrillo have been modified slightly from the Zone Plan. However, drainage facilities still remain consistent with the intent of the Zone Plan.

The original Zone Plan proposed a 72-inch storm drain culvert crossing Melrose, and an upstream detention/desiltation basin. The Master Plan proposes a series of check dams upstream of Melrose Drive and a multiple box culvert crossing Melrose Drive. Onsite detention/desiltation upstream of Melrose as proposed in the Zone Plan remains an option if future downstream analysis demonstrates the need.

The Zone Plan's proposed 30-inch storm drain system under Melrose Drive, south of Palomar Airport Road, has been deleted from the zone plan and replaced with a 36" and 48" storm drain system in Melrose Drive.

The proposed 42-inch and 48-inch storm drain system from the existing drainage channel adjacent to El Fuerte is essentially the same as shown in the Zone Plan, however, the downstream pipe size is now proposed to be 54". It is anticipated that certain levels of channel protection such as rock riprap and drop structures will be needed along the main drainage course to provide channel stabilization.

Two more culverts are proposed within Rancho Carrillo. A 10' X 8' culvert in the loop road north of Village G and an 8' X 6' culvert in the same road south of Village G are in addition to previous Zone Plan systems.

As shown on Exhibit 37 there are other site specific drain systems proposed. However, their size and exact configuration will need to be established after further hydrologic/hydraulic study.

The City is currently in the process of revising the Drainage Master Plan which is anticipated to be adopted in 1993. The updated version will analyze the adequacy of the existing storm drain facilities and propose the construction of specific major storm drain facilities so that future development will continue to conform with the adopted performance standard as development occurs.

c. Special Conditions

The special conditions for Zone 18 that apply to the Master Plan area are shown on Exhibit 37 and are as follows:

1. All future development in Zone 18 will be required to construct any future Zone 18 storm drain facilities identified in the current Drainage Master Plan and revised Drainage Master Plan as determined by the City Engineer. Any facilities necessary to accommodate future development must be guaranteed prior to the recordation of any final map, issuance of a grading permit or building permit, for any development requiring future storm drain facilities in Zone 18.
2. Prior to the recordation of any final map, issuance of grading permit or building permit, whichever occurs first for any specific watershed within Zone 18, the developers of that project are required to:

- a. Pay the required drainage area fees established in the current Drainage Master Plan and;
- b. Execute an agreement to pay any drainage area fees established in the forthcoming revised Drainage Master Plan.

3. Watershed A, D, F, G

Drainage facilities will be provided at the time of development to the satisfaction of the City Engineer.

4. Watershed B

Prior to the recordation of the first final map, issuance of grading permit or building permit, whichever occurs first within Watershed B of Zone 18, the developers are required to financially guarantee the construction of the proposed 48-inch storm drain in future Melrose Drive as required by the City Engineer.

5. Watershed C:

Prior to the recordation of the first final map, issuance of grading permit or building permit, whichever occurs first within Watershed C of Zone 18, the developers are required to financially guarantee the construction of the proposed multiple box culvert under Melrose and the check dams or any necessary detention/desiltation upstream of Melrose Drive and a 10' X 8' culvert north of Village G and the 8' X 6' culvert south of Village G. Construction of the facilities shall be concurrent with the grading operation of the project requiring the facility.

6. Watershed E






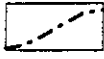
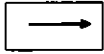
Prior to the recordation of the first final map, issuance of grading permit or building permit, whichever occurs first within Watershed E of Zone 18, the developers are required to financially guarantee the construction of the proposed 54 -inch storm drain system in El Fuerte Street as required by the City Engineer.

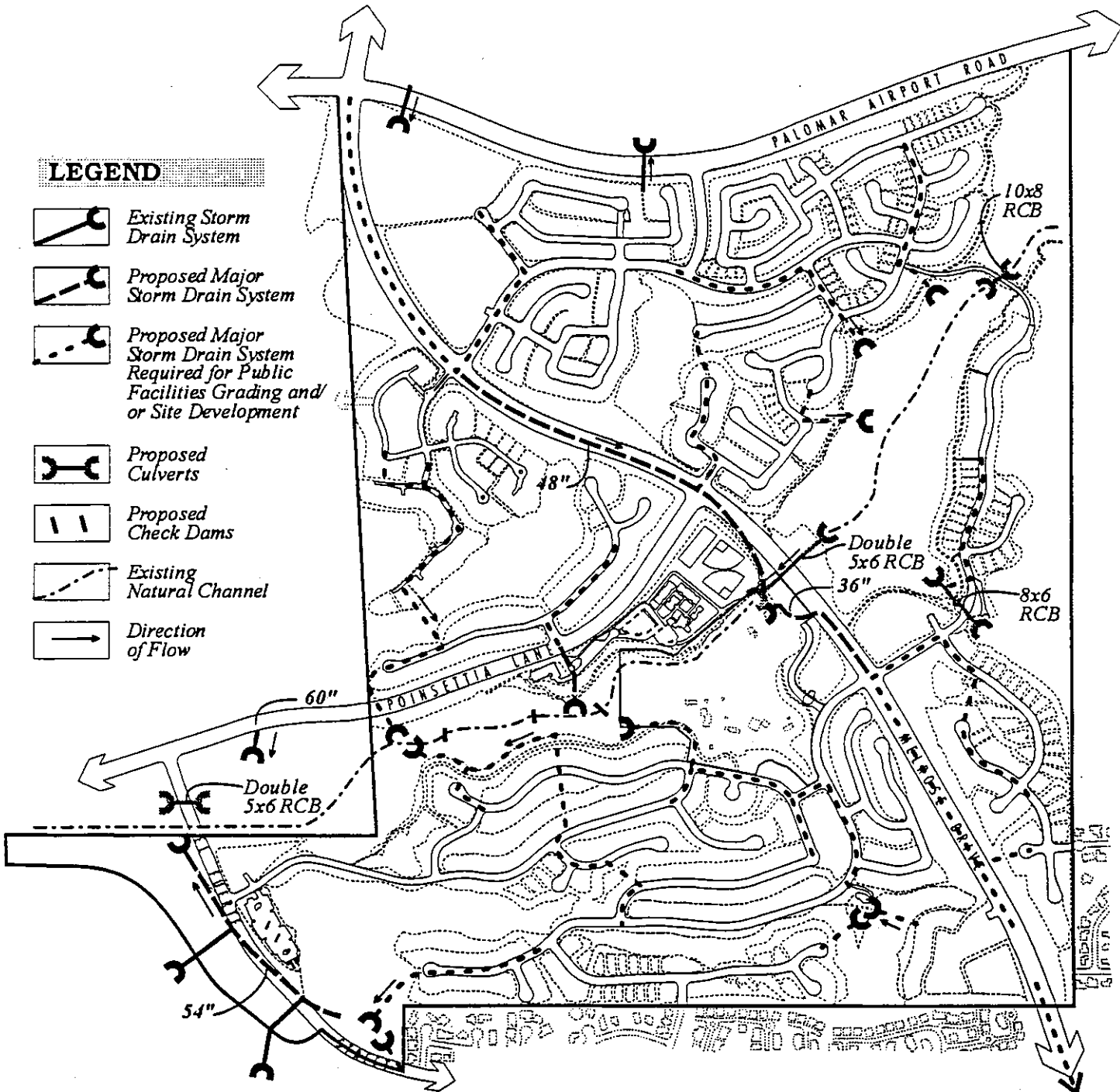
7. All Watersheds Within Rancho Carrillo

Prior to the recordation of the first final map, issuance of grading permit or building permit, whichever occurs first within any watershed, the developers are required to:

- a. Financially guarantee the check dams upstream of El Fuerte and the enhanced natural channel as required by the City Engineer. Construction of the facilities shall be concurrent with the grading operation of the project requiring the facility.
- b. Prepare and process for the City Engineer's approval a hydrology analysis that addresses flood attenuation in Zone 18 and downstream through Zones 17 and 10. Said analysis to address runoff flow reduction/desiltation required by all future development to reduce downstream impacts.
- c. Financially guarantee on site drainage improvements as required by the City Engineer to achieve runoff flow reduction/desiltation consistent with the above hydrology analysis.

LEGEND

-  Existing Storm Drain System
-  Proposed Major Storm Drain System
-  Proposed Major Storm Drain System Required for Public Facilities Grading and/or Site Development
-  Proposed Culverts
-  Proposed Check Dams
-  Existing Natural Channel
-  Direction of Flow



R A N C H O
CARRILLO
MASTER PLAN

4. SEWER AND WASTEWATER FACILITIES

The City of Carlsbad receives wastewater for treatment at its primary plant, the Encina Water Pollution Control Facility. After treatment it is then discharged into the ocean. The City of Carlsbad wastewater collection systems utilizes over 100 miles of sanitary sewers ranging from 6" in diameter to 54" and 15 lift stations.

The system has been generally laid out to conform to the topography of the area watersheds and to drain in a westerly direction; therefore allowing most of the transportation to be provided by gravity. The majority of the lift stations are along the coast.

Carlsbad is served by three independent sewer districts. The area south of Palomar Airport Road which corresponds to the Master Plan area will be served by the City of Carlsbad's Sewer District.

a. Inventory

The City of Carlsbad Sewer District does not have any existing major sewer facilities within Zone 18. The Vallecitos Water District, formerly known as the San Marcos County Water District, has three existing major sewer lines crossing the southern portion of Zone 18.

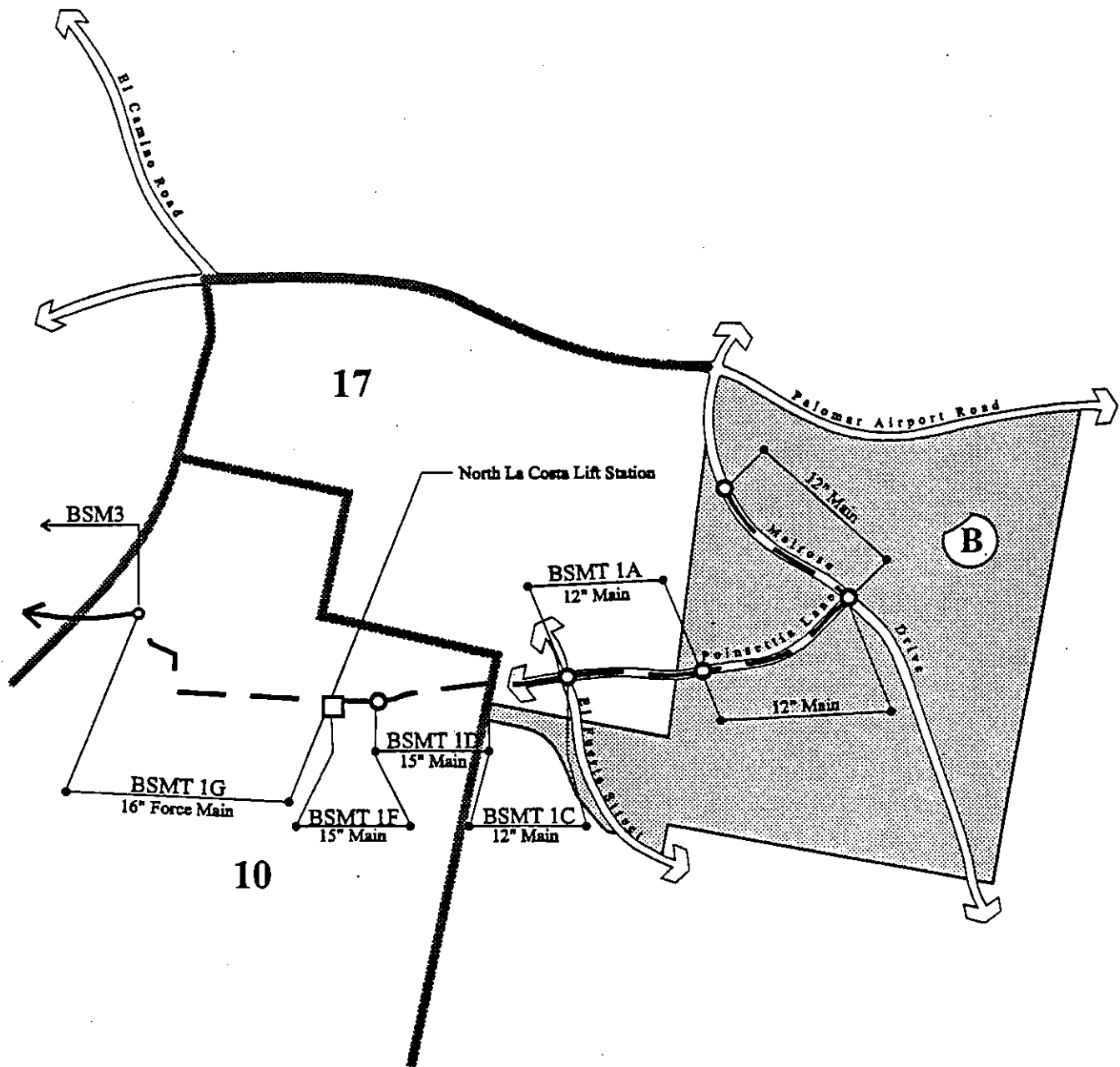
The current policy of the Vallecitos Water District is not to allow anyone outside of their district to connect to their sewer lines, even on a temporary basis. Zone 18, therefore, cannot convey sewage through the Vallecitos Water District facilities within the zone. The existing Vallecitos Water District lines within the Master Plan will, however, need to be relocated due to grading and construction of Melrose Drive.

b. Proposed Facilities


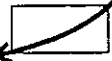
Sewer Watershed B, which covers the Master Plan area is proposed to sewer through trunk sewers into the existing Buena/San Marcos (BSM) Interceptor system. Prior to recordation of any final map, issuance of building permit or grading permit, whichever occurs first for any development in Watershed B of Zone 18, an alignment must be fixed, and environmental review completed, and a financing mechanism guaranteeing the construction of the facilities identified on the following page must be in place:

1. 12" main in Melrose
2. 12" main in Poinsettia Lane
3. BSMT1A
4. BSMT1C
5. BSMT1D
6. BSMT1F
7. BSMT1G
8. North La Costa Lift Station

Prior to issuance of building permits in Watershed B of Zone 18, the City Engineer shall make a determination that the proposed sewer system from Melrose Drive to the existing gravity line in El Camino Real must be complete and operational to serve development within Watershed B. The portion of the Rancho Carrillo Master Plan that is affected by BSMT1B will be required to provide an easement for that trunk sewer line with its final map.



LEGEND

- | | | | |
|---|----------------------------|---|------------------------------|
|  | <i>Proposed Facilities</i> |  | <i>Proposed Lift Station</i> |
|  | <i>Existing Facilities</i> |  | <i>Sewer Watershed B</i> |



R A N C H O
CARRILLO
MASTER PLAN

5. CIRCULATION

The zone plan addresses all Circulation Element road segments within Zone 18 and roadways and intersections outside of Zone 18 impacted by twenty percent or more of the traffic generated by Zone 18. The text analyzes existing, 1992, 1995, 2000 and city build out conditions (2010) based on yearly development phasing assumptions.

The zone plan analyzes existing, 1992, 1995, 2000 and city build out conditions. The time increments are used more as bench marks than actual completion dates. If a future traffic analysis indicates that the timing of the necessary improvements needs to be accelerated, the required improvements must also be adjusted to guarantee that conformance with the adopted performance standard will be maintained.

Inventory

Palomar Airport Road is the only existing circulation element roadway located within Zone 18. The circulation element roadways to be built in Zone 18 include Poinsettia Lane, El Fuerte, Melrose Drive and Palomar Airport Road.

Future Circulation Improvements

To maintain an acceptable level of service on all impacted roadways by the Master Plan, the Local Facilities Management Plan identifies mitigation measures for circulation improvements. The following Master Plan mitigation measures are included to address certain timing requirements for those circulation improvements.

- a. Prior to occupancy of the first unit within the Master Plan, the following improvements, unless otherwise modified by the final decision making body, shall be constructed to the satisfaction of the City Engineer:
 - 1) Palomar Airport Road - El Camino Real to East City Limit
 - a) Complete grading to ultimate right-of-way width to prime arterial standards;
 - b) Provide two lanes in each direction and intersection improvements to the satisfaction of the City Engineer.

- 2) Melrose Drive - Alga Road to Palomar Airport Road
 - a) Complete grading to ultimate right-of-way width to prime arterial standards;
 - b) Construction of a median and two lanes in each direction and intersection improvements to the satisfaction of the City Engineer.
 - 3) Poinsettia Lane - Melrose to Zone 18 western boundary
 - a) Complete grading to ultimate right-of-way width to major arterial standards;
 - b) Construction of full major arterial standards from the intersection with Melrose Drive to the entrance to Village J and the school site.
 - 4) El Fuerte - Through Zone 18
 - a) Complete grading to ultimate right-of-way width.
 - b) Construction of one lane in each direction from the southerly boundary of the Master Plan to the entrance to Village T.
- b. Prior to the approval of any final map, construction costs for arterial roadway frontage, internal circulation and any necessary external circulation links to comply with the City's circulation policies and standards shall be guaranteed.

VIII VILLAGE AND OPEN SPACE DEVELOPMENT STANDARDS

A. INTRODUCTION

The Rancho Carrillo Master Plan has been divided into 19 Villages and 12 Open Space Areas.

B. COMMON VILLAGE DEVELOPMENT STANDARDS

All residential villages within the Rancho Carrillo Master Plan shall comply with the following common development standards and design criteria.

1. PERMITTED USES

Single family detached dwellings, multiple family dwellings, accessory structures and associated recreation areas

Villages A,B,C,L,& N are currently proposed to be developed with multiple family dwelling units.

Villages D,E,F,G,H,J,K,M,O,P,Q,& R are currently proposed to be developed with single family detached homes. At the time of tentative map approval the lot size within each village will be determined.

2. SETBACKS

All units shall comply with section 21.45.090 of the Carlsbad Municipal Code (Development Standards section of the Planned Development Ordinance) unless an alternative standard is stated within the specific village description. In addition, all single family detached units with less than 7,500 square feet shall comply with the City of Carlsbad's Architectural Guidelines for small lot single family detached units unless otherwise specified within the village description or design guidelines. All units shall be setback from the tops of slopes in accordance with the requirements of Carlsbad's Hillside Development Ordinance and the Fire Control exhibits of this Master Plan, Exhibits 17 and 18.

3. DESIGN CRITERIA EXHIBITS

Design Criteria Exhibits are provided for each residential village. These exhibits show the location and type of entry monumentation, walls, trails, intersections, community facilities, recreation areas and open space areas. These exhibits are conceptual in nature and are provided to indicate the presumed limits of grading as well as illustrate the proposed development of the various villages. Design Criteria Exhibits for single family villages show conceptual street and lot layouts. The

exact number of lots, street layouts and other details will be determined when tentative maps are submitted for City review.

4. PROJECTIONS

Fireplace structures, cornices, eaves, belt courses, sills buttresses, and other similar architectural features projecting from a building may intrude up to two feet into the required distance between buildings.

5. NEIGHBORHOOD IDENTITY

a. Monuments

Each village shall provide entry monuments and other signs at the locations shown in the individual village Design Criteria Exhibits. These monuments shall meet the specifications of the Community Development Standards section of the Master Plan.

b. Walls and Fences

Community theme wall, village wall and fencing, and project fencing shall be provided at locations shown in the individual village wall/fence exhibits. These walls and fences shall be per the specifications shown in the Community Development Standards section of this Master Plan.

6. LANDSCAPE

All community-wide landscape standards described in the Community Development Standards section shall be incorporated into each planning area. The dominant unifying landscape elements for this planning area shall be preselected street trees, common landscaped area and slopes planted prior to homeowner occupation. Individual homeowner landscapes may vary subject to the approval of the individual village associations within the Rancho Carrillo Master Plan.

C. VILLAGES

1. VILLAGE A

a. Description

Village A is located immediately south of Village B and east of Melrose Drive. Village A has a gross area of 14.8 acres and a net developable of 8.5 acres.

b. Use Allocation

General Plan Land Use RH (15-23 du/ac).

Growth Management allows 161 units. However, per Section E.1 of Chapter 2 of this Master Plan, Village A may be developed with up to 195 dwelling units at a density of 22.9 du/ac which is within the density range of the RH General Plan Designation.

c. Product Type

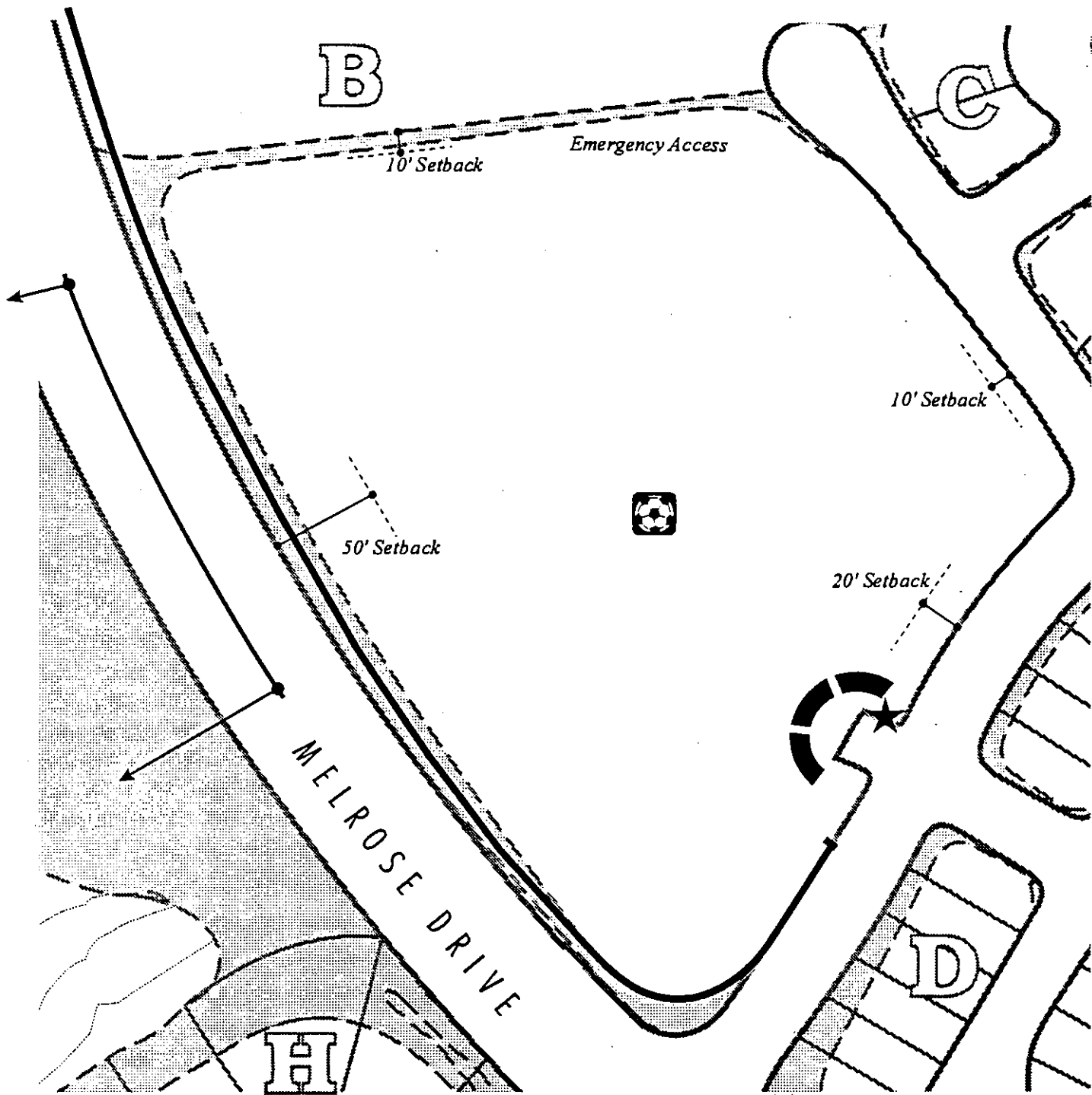
Multifamily

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of the Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included in this planning area:

- Special attention shall be given to any unit elevation visible from Melrose Drive and Palomar Airport Road to ensure that these elevations are consistent with the architectural style of a transportation corridor.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- All units shall be setback a minimum of 50 feet from the Right-of-Way of Melrose Drive.
- Landscape screening shall be incorporated to soften views of dwelling units from Melrose Drive.

- The units may have a minimum setback of 10 feet from internal private streets.
- Twenty foot wide motor courts may be utilized to provide access to garages subject to the approval of the Planning Director and the City Engineer.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

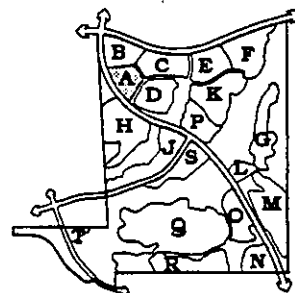
Land Use: RH
 Product: MF
 Max. Yield: 195

Village Entry w/Monumentation

Community Theme Wall
 Community Theme Fence
 Village Fence

Resource Fence
 Trail
 Trail Head

Recreation Facility
 Distant View
 Streetscape View



R A N C H O
CARRILLO
 MASTER PLAN

Design Criteria
 Village A

2. VILLAGE B

a. Description

Village B is located immediately south of Palomar Airport Road and east of Melrose Drive. Village B has a gross area of 15.4 acres and a net developable of 13.6 acres.

b. Use Allocation

General Plan Land Use RH (15-23 du/ac).
Growth Management allows 258 units.

c. Product Type

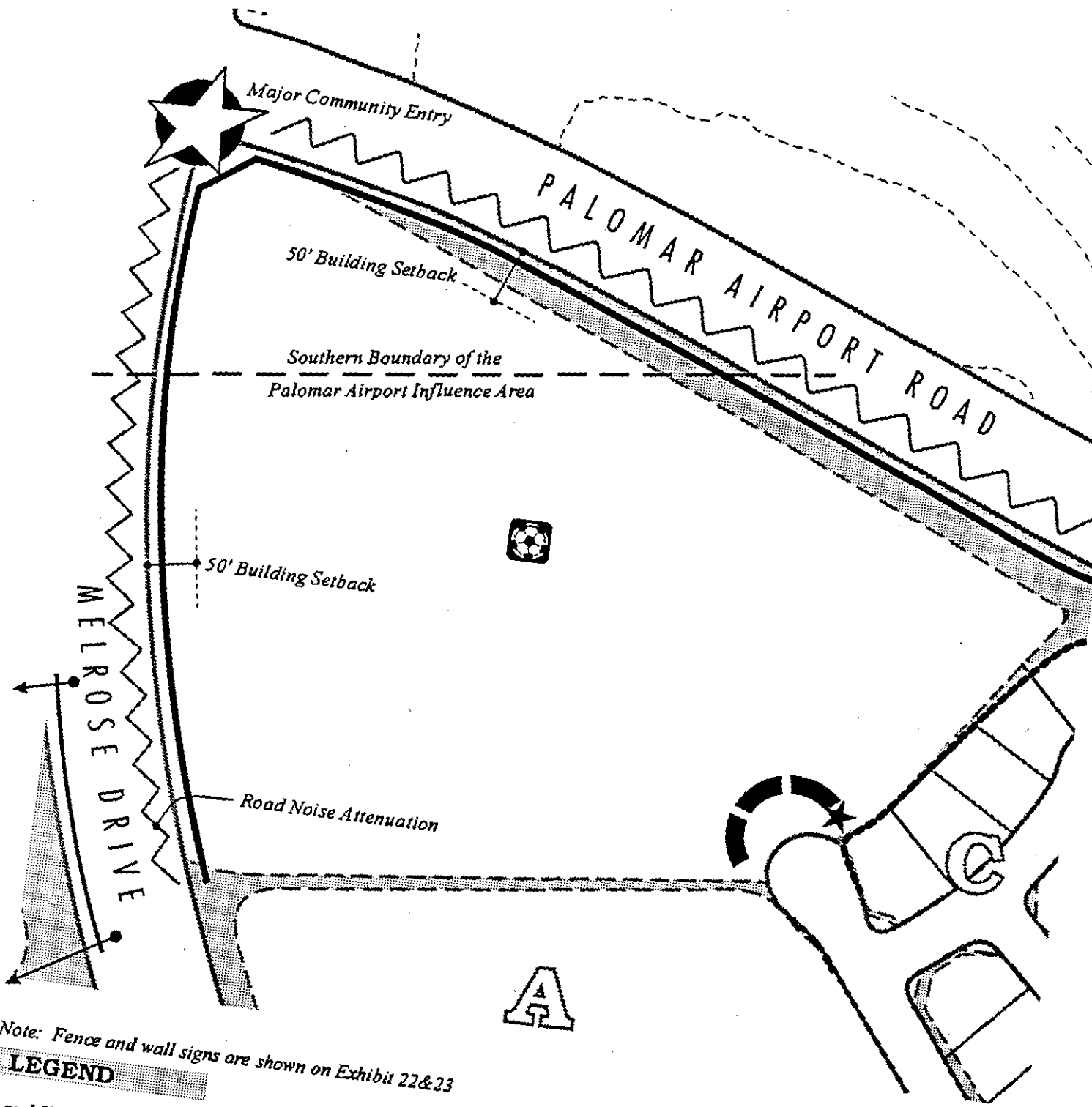
Multifamily

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section shall be implemented in this planning area. The following specific guidelines shall also be included in this planning area:

- Special attention shall be given to any unit elevation visible from Melrose Drive and Palomar Airport Road to ensure that these elevations are consistent with the architectural style of a transportation corridor.
- The noise generated from Melrose Drive and Palomar Airport Road shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- All units shall be setback a minimum of 50 feet from the Right-of-Way of Palomar Airport Road and Melrose Drive.
- Landscape screening shall be incorporated to soften views of dwelling units from Palomar Airport Road and Melrose Drive.
- A small portion of Village B falls within the Palomar Airport Influence Area. Development in this portion of the village will be limited to a maximum of 10 du/ac in accordance with the requirements of the Comprehensive Land Use Plan for McClellan-Palomar Airport.

- This village is designated as a potential location for the provision of a portion of the on-site affordable housing which per the Housing Element of the General Plan will allow for modifications to the Carlsbad Zoning Ordinance and Planning Department Polices at the discretion of the decision making body.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

Land Use: RM

Product: MF

Max. Yield: 258

Village Entry w/Monumentation

Community Theme Wall

Community Theme Fence

Village Theme Wall

Village Fence

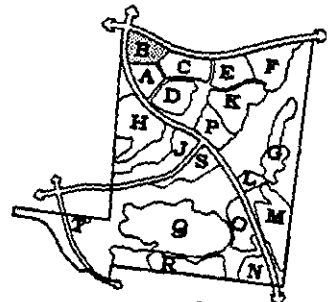
Trail

Trail Head

Recreation Facility

Distant View

Streetscape View



RANCHERO
CARRILLO
MASTER PLAN

Design Criteria
Village B

October 21, 1997

3. VILLAGE C

a. Description

Village C is located immediately south of Palomar Airport Road, with Village B on the west, Village E on the east side and a collector road to the south. Village C has a gross area of 20.4 acres and a net developable area of 19.2 acres.

b. Use Allocation

General Plan Land Use RM (4-8 du/ac).
Growth Management allows 115 units.

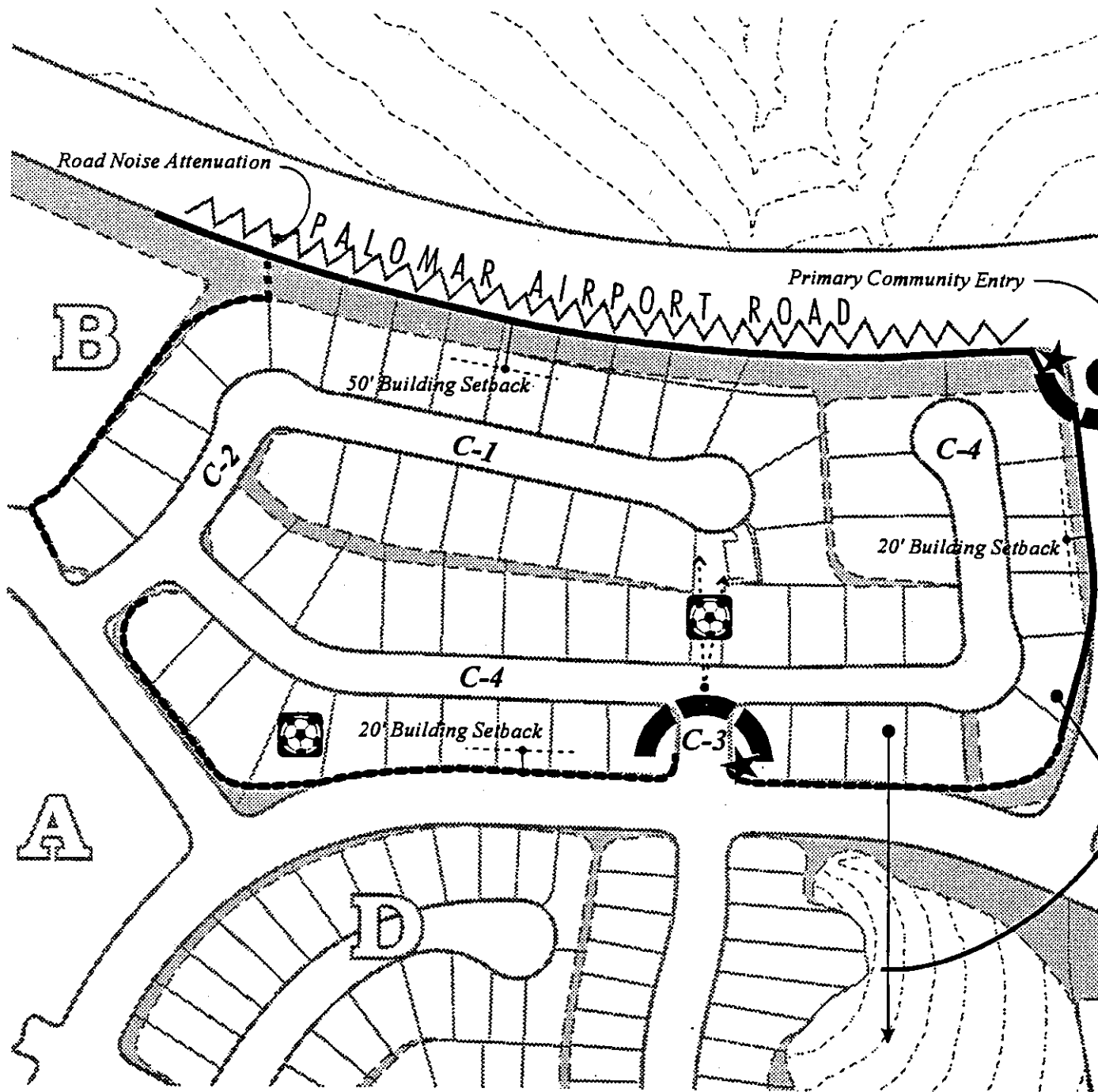
c. Product Type

Multifamily

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- The noise generated from Palomar Airport Road shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Palomar Airport Road.
- Site planning shall be designed to take advantage of potential views into Open Space Area 3 and into the valley floor.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

Land Use: RM

Product: MF

Max. Yield: 115

Village Entry w/Monumentation

Community Theme Wall

Community Theme Fence

Village Theme Wall

Village Fence

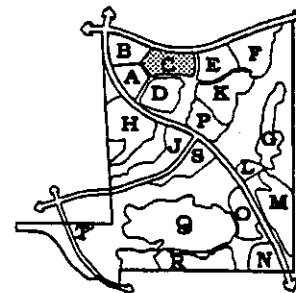
Trail

Trail Head

Recreation Facility

Distant View

Streetscape View



R A N C H O
CARRILLO
MASTER PLAN

Design Criteria
Village C

42

October 21, 1997

4. VILLAGE D

a. Description

Village D is located immediately north of Melrose Drive, with Village A on the west, Open Space Area 3 on the east side and a collector road to the north. Village D has a gross area of 22.0 acres and a net developable area of 19.0 acres.

b. Use Allocation

General Plan Land Use RM (4-8 du/ac).
Growth Management allows 114 units.

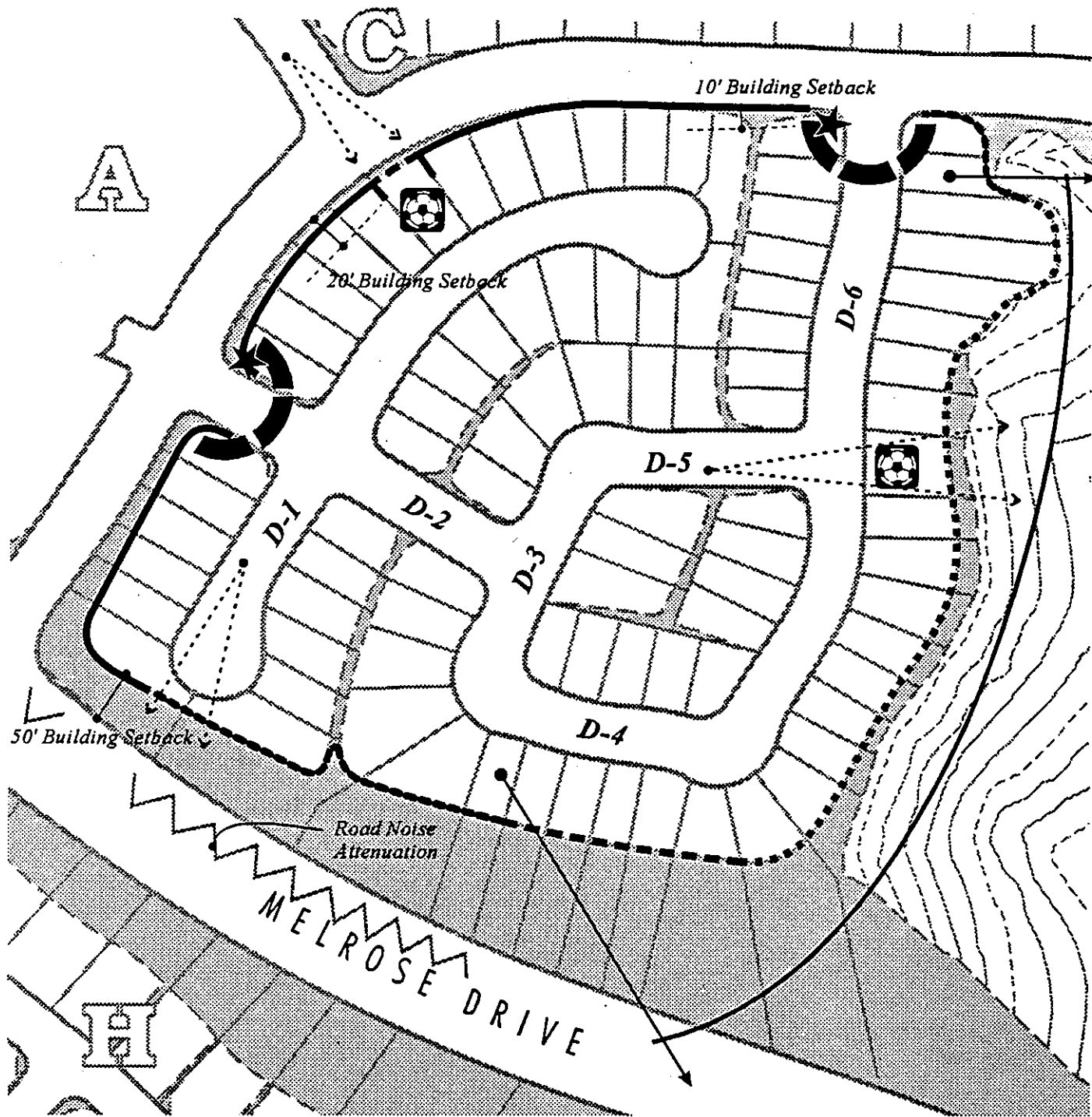
c. Product Type

Single Family

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following guidelines shall also be included in this planning area:

- Whenever possible units should be designed to take advantage of views into the adjacent open space area and into the valley floor.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Melrose Drive.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

Land Use: RM

Product: SF

Max. Yield: 114

Village Entry w/Monumentation

Community Theme Wall

Community Theme Fence

Village Theme Wall

Village Fence

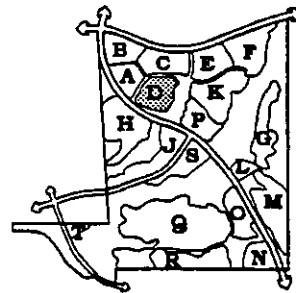
Trail

Trail Head

Recreation Facility

Distant View

Streetscape View



RANCHO
CARRILLO
MASTER PLAN

Design Criteria
Village D

43

October 21, 1997

5. VILLAGE E

a. Description

Village E is located directly south of Palomar Airport Road with Village F to the east, Village K to the south and Village C on the west side. Village E has a gross area of 18.1 acres and a net developable area of 17.7 acres.

b. Use Allocation

General Plan Land Use RM (4-8 du/ac).
Growth Management allows 106 units.

c. Product Type

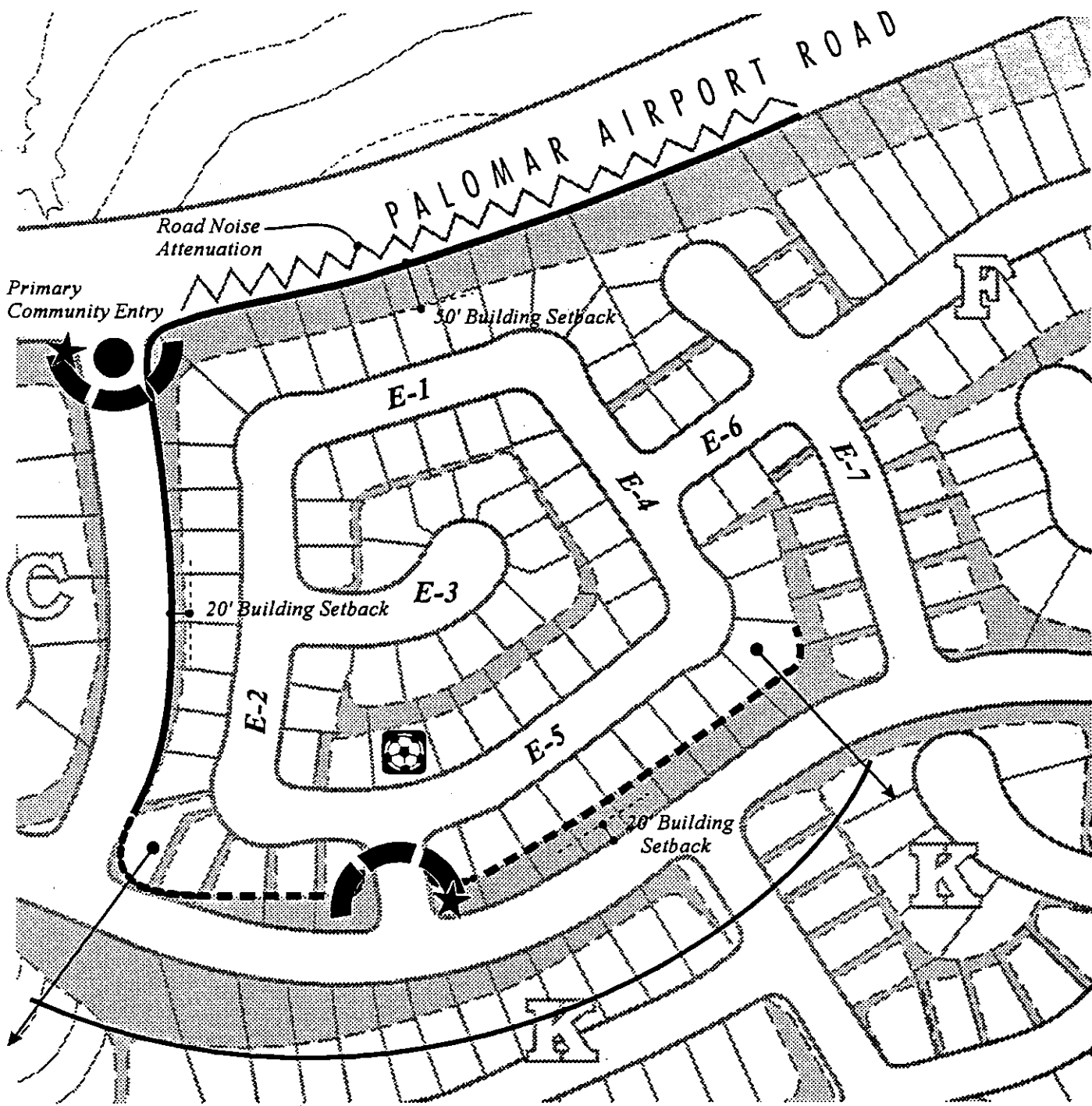
Single Family

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Whenever possible units should be designed to take advantage of views into the adjacent open space area and into the valley floor.
- The noise generated from Palomar Airport Road shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Palomar Airport Road.
- Panhandle lots may be permitted if the following can be shown:
 - a. The panhandle lots will not preclude or adversely impact the ability to provide access to other properties within this village;
 - b. Adequate and safe access can be provided to all panhandle lots;
 - c. Adequate on-site resident parking and visitor parking in close proximity to the panhandle lots can be provided to the satisfaction of the Planning Director;

- d. Additional privacy for future residents of the panhandle lots is provided; and,
- e. It improves the street scene by creating a variable setback along the street frontage.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

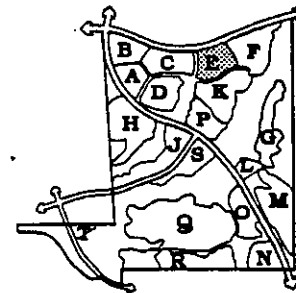
Land Use: RM
 Product: SF
 Max. Yield: 106

Village Entry w/Monumentation

Community Theme Wall
 Community Theme Fence
 Village Theme Wall

Village Fence
 Trail
 Trail Head

Recreation Facility
 Distant View
 Streetscape View



R A N C H O
CARRILLO
 MASTER PLAN

6. VILLAGE F

a. Description

Village F is located at the northeast corner of the Master Plan between Village E and Open Space Area 5, south of Palomar Airport Road. Village F has a gross area of 25.6 acres and a net developable area of 25.0 acres.

b. Use Allocation

General Plan Land Use RM (4-8 du/ac).
Growth Management allows 150 units. However, only 116 units have been allocated to this site by the Master Plan.

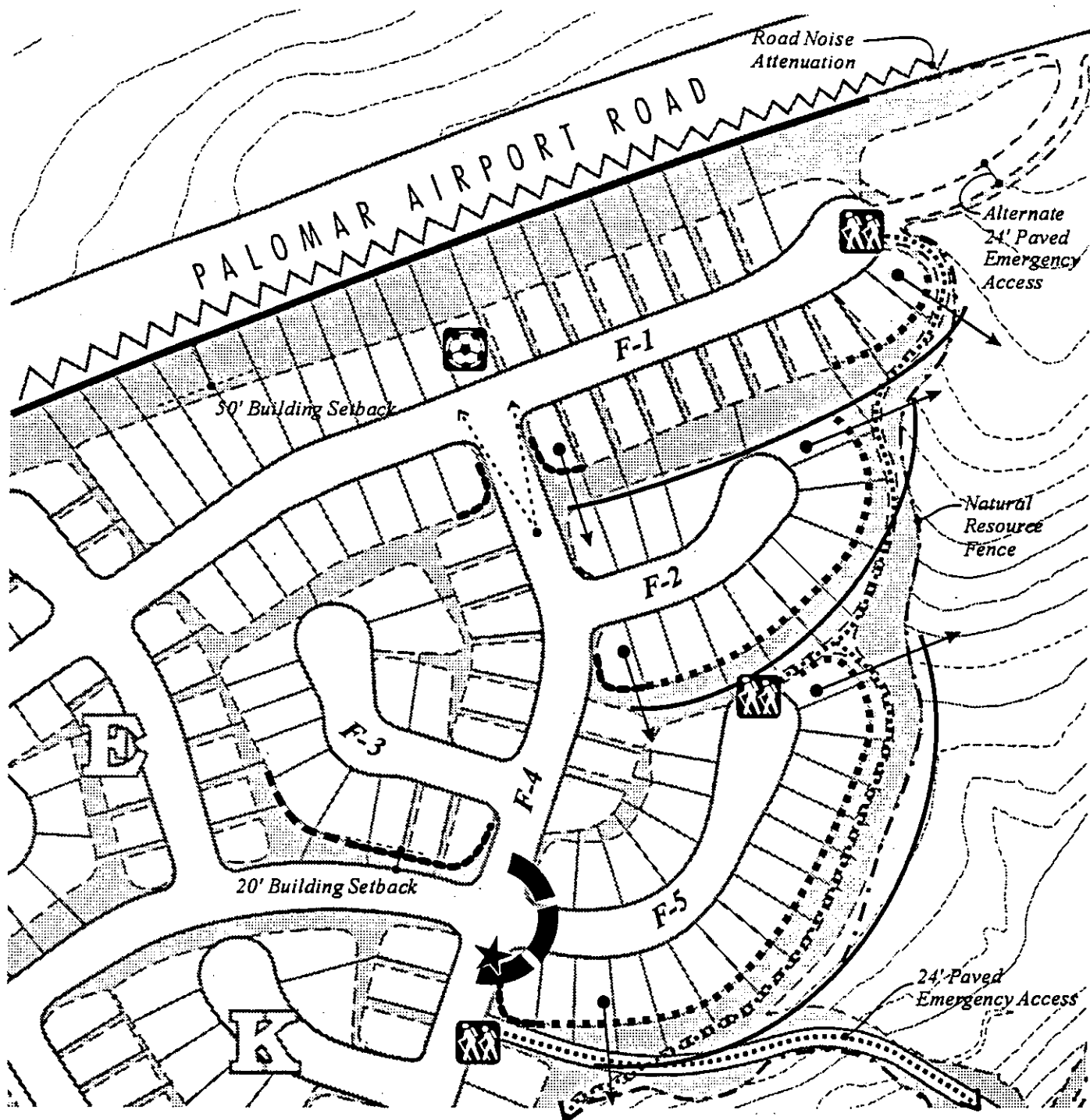
c. Product Type

Single Family

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included in this planning area:

- Site planning shall be coordinated to ensure preservation of open space views to the south.
- The noise generated from Palomar Airport Road shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- All residences shall be setback a minimum of 50 feet from the Right-of-Way of Palomar Airport Road.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Palomar Airport Road.
- A 24' wide gated paved all-weather secondary emergency access road from this planning area to Palomar Airport Road shall be provided.
- A 24' wide gated paved all-weather secondary emergency access road from Street F-4 to the northerly terminus of Street G-1 in Village G shall be provided to the satisfaction of the City Engineer.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

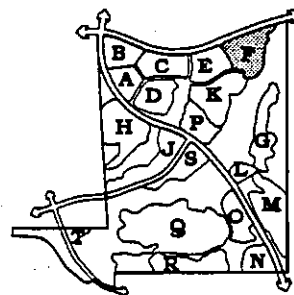
Land Use: RM
 Product: SF
 Max. Yield: 116

Village Entry w/Monumentation

Community Theme Wall
 Community Theme Fence
 Village Theme Wall

Village Fence
 Trail
 Trail Head

Recreation Facility
 Distant View
 Streetscape View



R A N C H O
CARRILLO
 MASTER PLAN

Design Criteria
Village F

45

7. VILLAGE G

a. Description

Village G is located on the eastern side of Rancho Carrillo surrounded by open space. Village G has a gross area of 18.3 acres and a net developable area of 16.2 acres. This village is surrounded by open space and has the opportunities for views to the north, south and west.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac)
Growth Management allows 39 units.

c. Product Type

Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Units shall be located to take advantage of views into the adjacent open space areas.
- Landscaping in this area shall be compatible with existing native vegetation.
- Single Family Development with lots less than 7,500 square feet in size shall not be required to provide common recreational facilities if the majority of the lots in the subdivision have a lot size of 7,500 square feet or greater. In addition, this Village is completely surrounded by open space and has several points of access to the community trail system which provides for recreational opportunities.
- An Open Space Easement shall be placed on manufactured slope areas that are visible from adjacent roadways. Large slopes within residential lots adjacent to public or private streets shall be maintained in common and free of property line fences.
- Reduced front, rear and side yard setbacks may be permitted in Village G due to its isolation and in an attempt to protect the sensitive plant species

adjacent to the development. The reduced setbacks will allow for development to pull away from the area occupied by the sensitive species. The exact amount and location of the reductions shall be determined at the time of tentative map approval.

- Panhandle lots shall be permitted in this Village where it can be shown that the use of panhandle lots will allow development to be pulled away for the sensitive plant species adjacent to the developable area and increase the amount of natural open space. The use of panhandle lots is justifiable since topography and the need to protect the sensitive species make it impossible to adequately serve certain developable portions of this Village with public streets. In addition, the use of panhandle lots in Village G will not adversely impact the ability to provide full public street access to other developable areas within the Master Plan.
- Village G may be developed as a gate guarded community with private streets.
- A 24' wide gated paved all-weather secondary emergency access road shall be provided at the northerly terminus of Street G-1 to street F-4 in Village F to the satisfaction of the City Engineer.

8. VILLAGE H

a. Description

Village H lies west of Melrose Drive, Open Space Area 2 to the south and the project boundary along its western side. Village H has a gross area of 33.9 acres and a net developable area of 29.3 acres. Units within Village H will be able to take advantage of views to the east and south overlooking the valley floor, as well as to the west overlooking the Bressi Ranch.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac)
Growth Management allows 94 units.

c. Product Type

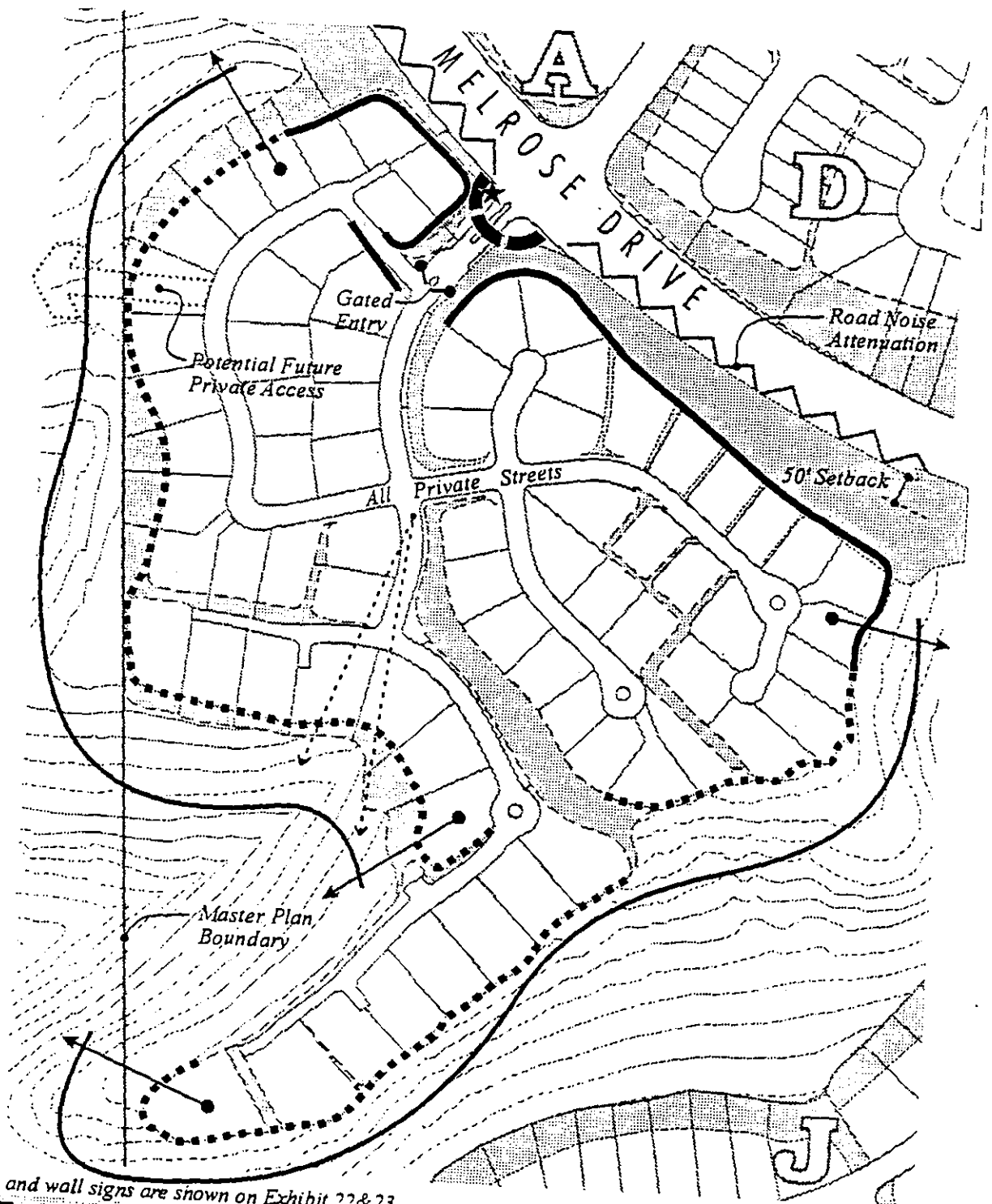
Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Whenever possible units should be designed to take advantage of the views looking down the valley and toward the east and west.
- All units shall maintain a 50 setback from Melrose Drive.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Village H will take access from a single point off of Melrose Drive and be designed as a gate guarded community with private streets.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to right of ways. Slopes within residential lots shall be maintained in common and free of property line fences.
- Access to developable property in Zone 17 may be required by the City Engineer.

- Panhandle lots may be permitted if the following can be shown:
 - a. The panhandle lots will not preclude or adversely impact the ability to provide access to other properties within this village;
 - b. Adequate and safe access can be provided to all panhandle lots;
 - c. Adequate on-site resident parking and visitor parking in close proximity to the panhandle lots can be provided to the satisfaction of the Planning Director;
 - d. Additional privacy for future residents of the panhandle lots is provided; and,
 - e. It improves the street scene by creating a variable setback along the street frontage.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

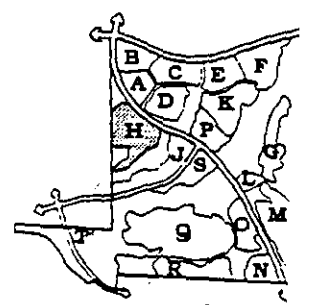
Land Use: RLM
 Product: SF
 Max Yield: 94

Village Entry w/Monumentation

- Community Theme Wall
- Community Theme Fence
- Village Fence

- Resource Fence
- Trail
- Trail Head

- Recreation Facility
- Distant View
- Streetscape View



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CARRILLO
 MASTER PLAN

10. VILLAGE J

a. Description

Village J is located south of Melrose Drive, north of Poinsettia Lane, with the project boundary as its western edge and Open Space Area 2 along its northern boundary. Village J has a gross area of 27.0 acres and a net developable area of 20.0 acres.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac)

Growth Management allows 64 units, however, per Section E.1 of Chapter 2 of this Master Plan, Village J may be developed with up to 65 dwelling units at a density of 3.25 du/ac which is within the density range of the RLM General Plan designation.

c. Product Type

Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Whenever possible units should be designed to take advantage of the views overlooking Rancho Carrillo Park to the south.
- The noise generated from Melrose Drive and Poinsettia Lane shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- All units shall maintain a 50 foot setback from the Melrose Drive Right-of-Way and a 40 setback from the Poinsettia Lane Right-of-Way.
- Village J will take access from an expanded single point off of Poinsettia Lane.

- Lots with side loaded garages shall have a minimum setback of 10' from the right-of-way.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways. Slopes within residential lots shall be maintained in common and free of property line fences.

11. VILLAGE K

a. Description

Village K is located between Villages E and P, west of Open Space 4. Village K has a gross area of 28.9 and a net developable area of 27.8 acres. A riparian area exists along the eastern boundary of Village K.

2. Use Allocation

General Plan Land Use RLM (0-4 du/ac).

Growth Management allows 88 units however, per Section E.1 of Chapter 2 of this Master Plan, Village K may be developed with up to 95 dwelling units at a density of 3.42 du/ac which is within the density range of the RLM General Plan designation.

3. Product Type

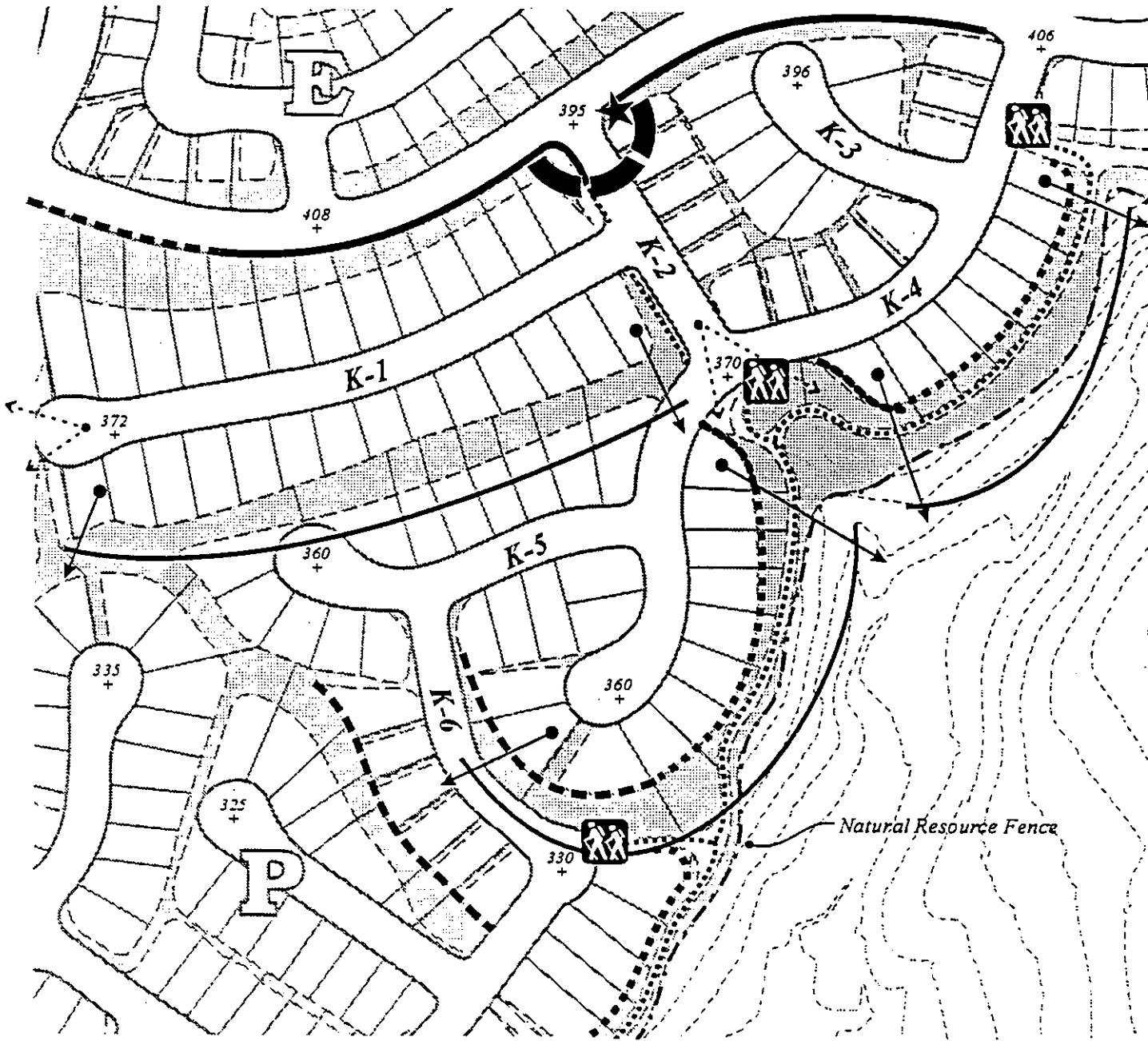
Single Family Development

4. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included in this planning area:

- Whenever possible units should be designed to take advantage of views into the adjacent open space area.
- Internal trails shall be designed to tie into Trail Link No. 36 of the City wide Trail System if the City approves the development of this system. To the extent possible, trails shall be designed to preclude views into the rear yards of adjacent residences.
- On street K-1 all lots will have a minimum width of 60' or greater and shall have a side yard equal to 10% of the lot width.
- Lots with side loaded garages shall have a minimum setback of 10' from the right-of-way.

- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways.
- Panhandle lots may be permitted if the following can be shown:
 - a. The panhandle lots will not preclude or adversely impact the ability to provide access to other properties within this village;
 - b. Adequate and safe access can be provided to all panhandle lots;
 - c. Adequate on-site resident parking and visitor parking in close proximity to the panhandle lots can be provided to the satisfaction of the Planning Director;
 - d. Additional privacy for future residents of the panhandle lots is provided; and,
 - e. It improves the street scene by creating a variable setback along the street frontage.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

Land Use: RLM

Product: SF

Max. Yield: 95

Village Entry w/Monumentation

Community Theme Wall

Community Theme Fence

Village Theme Wall

Village Fence

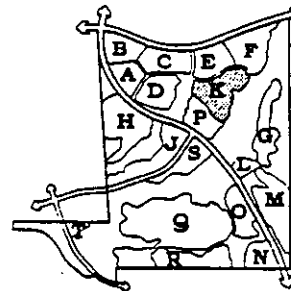
Trail

Trail Head

Recreation Facility

Distant View

Streetscape View



R A N C H O
CARRILLO
MASTER PLAN

Design Criteria
Village K

12. VILLAGE L

a. Description

Village L is located east of Melrose Drive with Open Space Area 4 on the northwest side, Open Space Area 5 on the northeast boundary and Village M to the south. Village L has a gross area of 5.8 acres and a net developable area of 5.1 acres. This village will have views to the north into the open space area.

b. Use Allocation

General Plan Land Use RH (15-23 du/ac)
Growth Management allows 96 units.

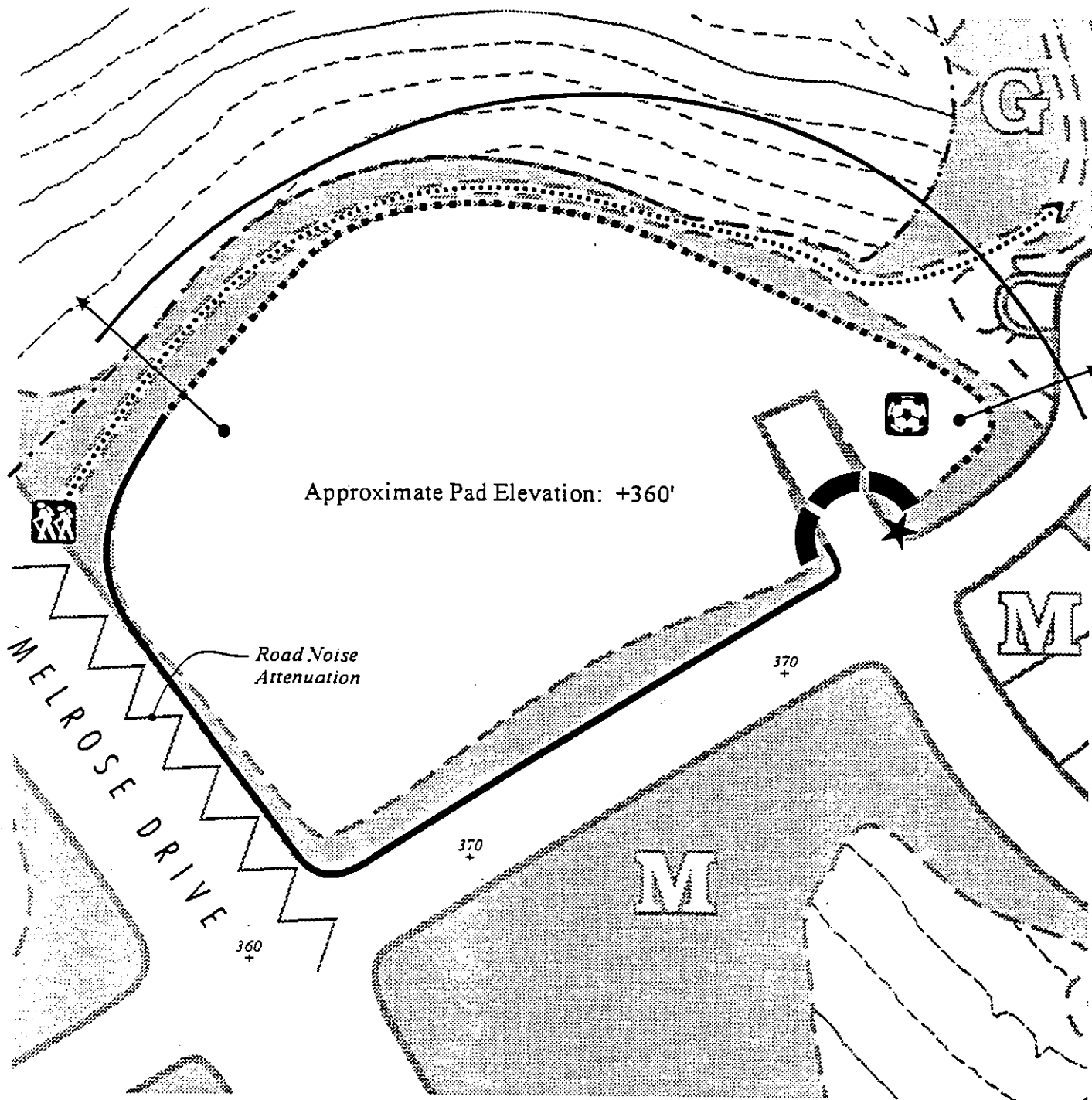
c. Product Type

Multifamily

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Units shall be designed to take advantage of views to the open space area to the north.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Melrose Drive.
- Front yard setbacks may be a minimum of 10 feet from internal private streets if the project is designed with interior motor courts that provide access to the majority of garages in the project.
- Twenty-four feet wide driveway entrances from private streets to interior motor courts may be utilized to provide access to the majority of garages in the project.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

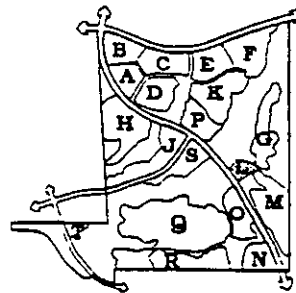
Land Use: RH
 Product: MF
 Max. Yield: 96

Village Entry w/Monumentation

- Community Theme Wall
- Community Theme Fence
- Village Fence

- Resource Fence
- Trail
- Trail Head

- Recreation Facility
- Distant View
- Streetscape View



R A N C H O
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 MASTER PLAN

Design Criteria
 Village L

13. VILLAGE M

a. Description

Village M is located north and east of Melrose Drive with Village L on its northern boundary and Open Space Area 5 on the north and east side. Village M has a gross area of 38.3 acres and a net developable area of 32.3 acres.

b. Use Allocation

General Plan Use RLM (0-4 du/ac)
Growth Management allows 103 units, however only 67 units have been allocated to this site by the Master Plan.

c. Product Type

Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Where feasible, units shall be designed to take advantage of views into the open space area to the east.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- This Village shall gain access from a collector street off of Melrose Drive.
- Secondary access via Redwing Drive shall be restricted to emergency access unless City Council takes action to open Redwing Drive as a public road.
- Panhandle lots shall be permitted as allowed under R-1 Zoning since there are portions of this Village that cannot be adequately served with a public street due to topography and the grading required for the construction of Melrose Drive. The panhandle lots created in

this Village will not adversely impact the ability to provide full public street access to other properties within the Master Plan or adjacent properties outside of the Master Plan.

- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways. Slopes within residential lots shall be maintained in common and free of property line fences.

14. VILLAGE N

a. Description

Village N is located in the southeast corner of the project, adjacent to and southwest of Melrose Drive with Open Space Area 8 along the north and west boundary of Village N. Village O is located directly north of Village N. Village N has a gross area of 12.4 acres and a net developable area of 10.4 acres. The village will offer views into the valley, Rancho Carrillo Park and towards the west.

b. Use Allocation

General Plan Land Use RMH (8-15 du/ac).
Growth Management allows 119 units.

c. Product Type

Multifamily

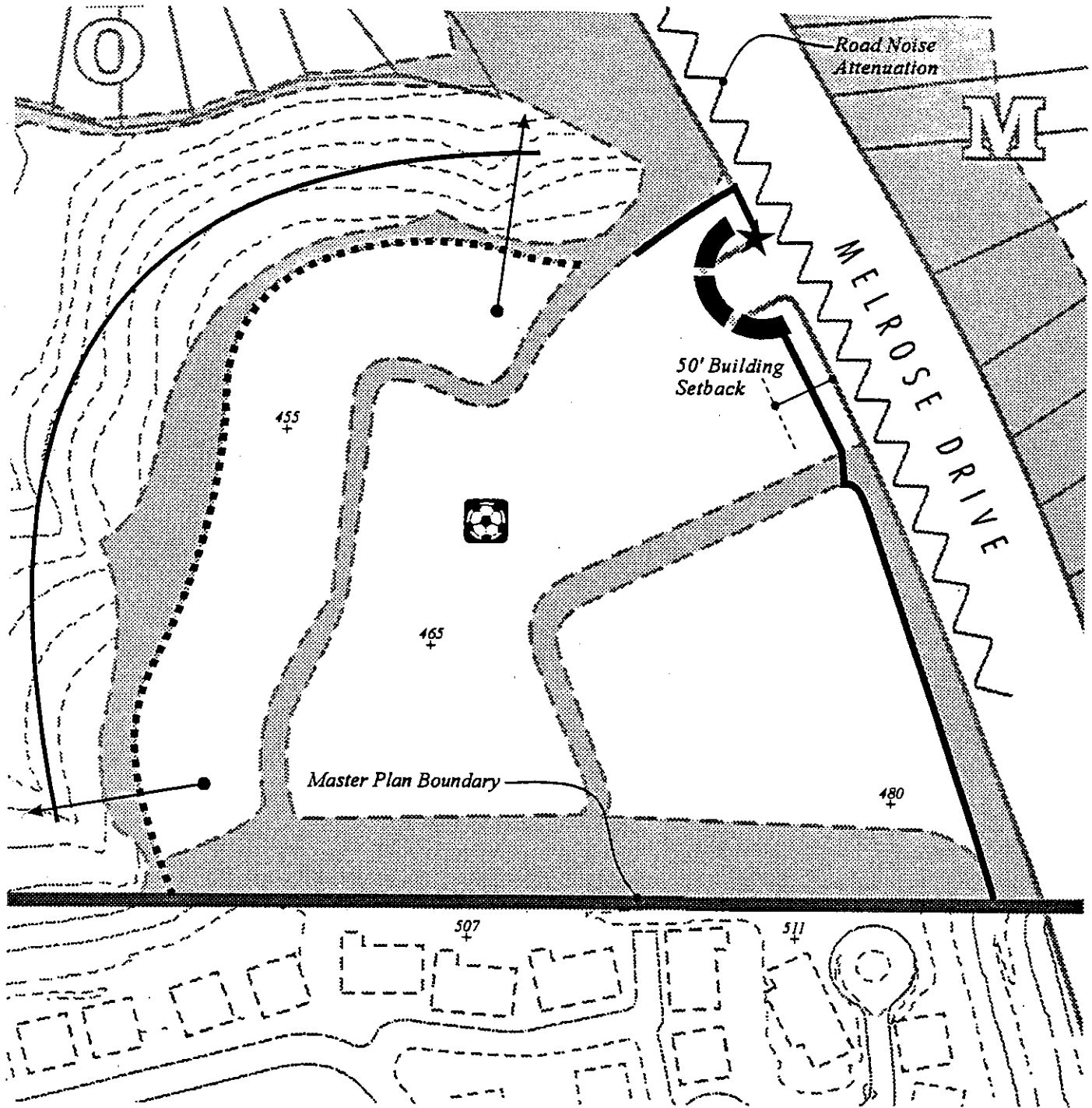
d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Whenever possible units should be designed to take advantage of the views offered by this village.
- All units within this village shall maintain a minimum 50 foot setback from Melrose Drive.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways. Slopes within residential lots shall be maintained in common and free of property line fences.
- The multifamily units developed in this site shall consist of a mixture of 3-4 plex units compatible with the existing units to the south of Village N.

d. Special Design Criteria, continued

- Front yard setbacks may be a minimum of 10 feet from internal private streets if the project is designed with interior motor courts that provide access to the majority of garages in the project.
- Twenty-four feet wide driveway entrances from private streets to interior motor courts may be utilized to provide access to the majority of garages in the project.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

Land Use: RMH

Product: MF

Max. Yield: 119

Village Entry w/Monumentation

Community Theme Wall

Community Theme Fence

Village Fence

Resource Fence

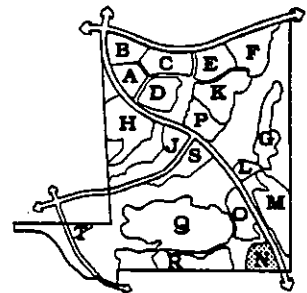
Trail

Trail Head

Recreation Facility

Distant View

Streetscape View



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CARRILLO
MASTER PLAN

Design Criteria
Village N

52

15. VILLAGE O

a. Description

Village O is located south and west of Melrose Drive with Village N to the south and Rancho Carrillo Park located on the western boundary. Village O has a gross area of 18.3 acres and a net developable area of 13.0 acres. This village will offer views into the valley, Rancho Carrillo Park and towards the west.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac).

Growth Management allows 41 units, however, per Section E.1 of Chapter 2 of this Master Plan, Village O may be developed with up to 49 dwelling units at a density of 3.69 du/ac which is within the density range of the RLM General Plan designation.

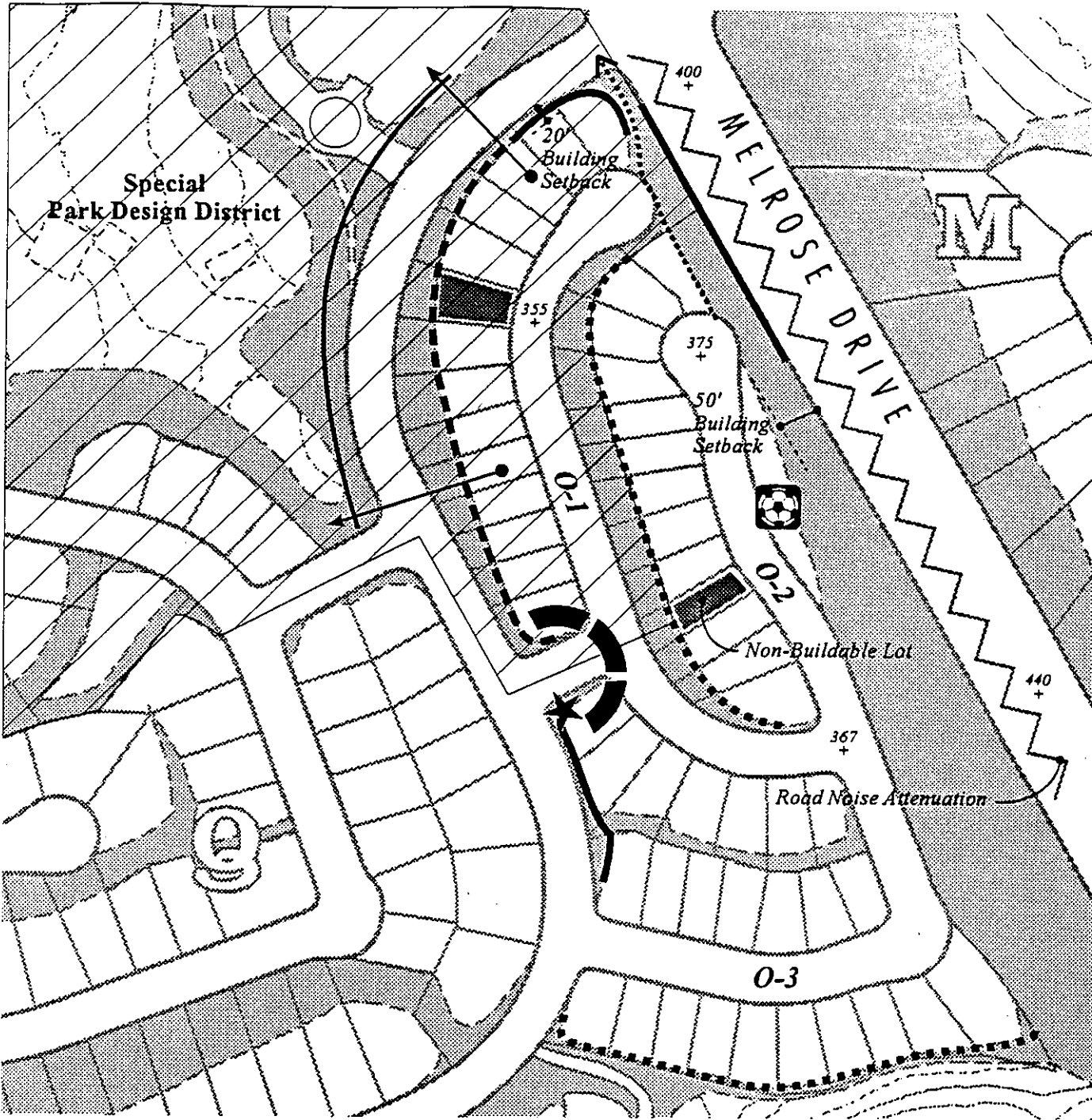
c. Product Type

Single Family

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Whenever possible units should be designed to take advantage of the views offered by this village.
- All units within this village shall maintain a minimum 50 foot setback from Melrose Drive.
- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Development in the northern portion of this village shall be designed to be compatible with the Rancho Carrillo Park.
- Portions of Village O will be designed in conformance with the requirements of the Special Park Design District.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

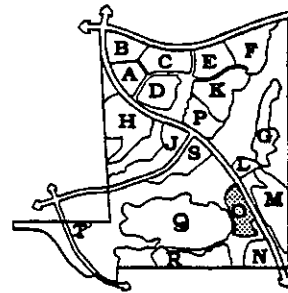
Land Use: RLM
 Product: SF
 Max. Yield: 48

Village Entry w/Monumentation

Community Theme Wall
 Community Theme Fence
 Village Theme Wall

Village Fence
 Trail
 Trail Head

Recreation Facility
 Distant View
 Streetscape View



R A N C H O
CARRILLO
 MASTER PLAN

16. VILLAGE P

a. Description

Village P is located north of the intersection of Poinsettia Lane and Melrose Drive, with Open Space Area 4 as its eastern boundary. Village P has a gross area of 16.3 acres and a net developable area of 14.0 acres

b. Use Allocation

General Plan Land Use - RM (4-8 du/ac).

Growth Management Allows 84 units, however only 60 units have been allocated to this site by the Master Plan.

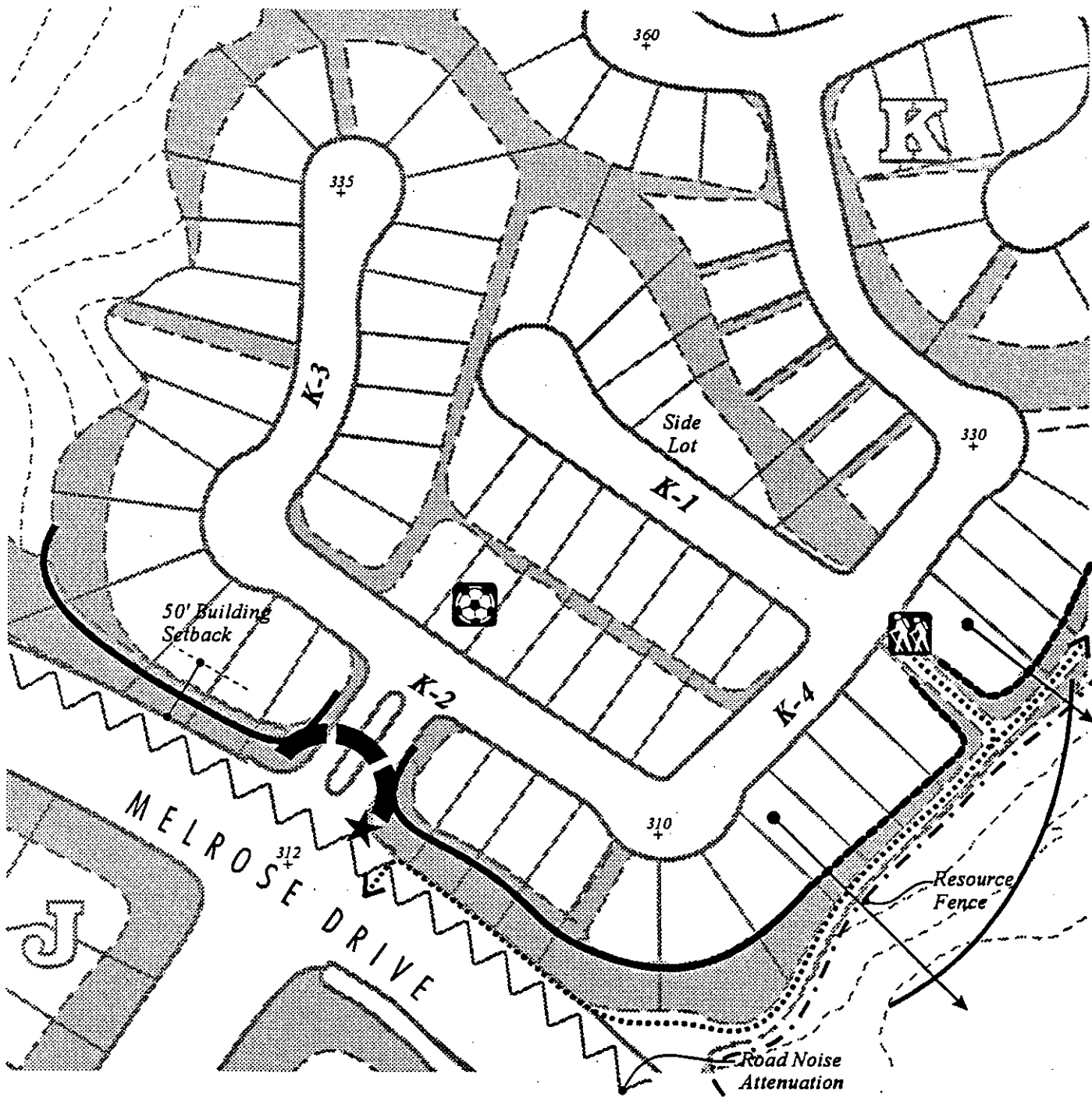
c. Product Type

Single Family

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planing area:

- The noise generated from Melrose Drive shall be mitigated per the City of Carlsbad's Noise Element and Noise Guidelines Manual.
- Wherever possible, units shall be designed to take advantage of views into adjacent open space areas.
- All units shall be setback a minimum of 50 feet from the Melrose Drive Right -of-Way.
- Internal trails shall be designed to tie into Trail Link No. 36 of the Citywide Trail System if the City approves the development of this system. To the extent possible, trails shall be designed to preclude views into the yards of adjacent residences.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

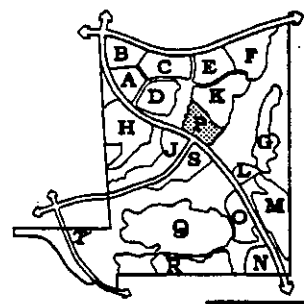
Land Use: RM
 Product: SF
 Max. Yield: 61

Village Entry w/Monumentation

- Community Theme Wall
- Community Theme Fence
- Village Theme Wall

- Village Fence
- Trail
- Trail Head

- Recreation Facility
- Distant View
- Streetscape View



R A N C H O
CARRILLO
 MASTER PLAN

Design Criteria
Village P

17. VILLAGE Q

a. Description

Village Q is located in the southern portion of the Master Plan north of Village R, south of Open Space Areas 10 and 12 and west of Village O. Open Space Areas 8, 9, 10 and 12 separate it from Villages N and R to the south and Villages J and S to the north. Village Q has a gross area of 73.9 acres and a net developable area of 63.8 acres. This village is located on a large hillside that slopes down into the valley floor to the north.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac)

Growth Management allows 204 units, however only 183 units have been allocated to this site by the Master Plan.

c. Product Type

Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Units shall be located to take advantage of views into the valley floor to the north and towards Rancho Carrillo Park to the northeast.
- Lots with side loaded garages shall have a minimum setback of 10' from the right-of-way.
- 32' wide curb to curb public hillside streets shall be allowed for unloaded streets that traverse steep topography.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways. Slopes within residential lots shall be maintained in common and free of property line fences.

- Portions of Village Q will be designed in conformance with the requirements of the Special Park Design District.
- Panhandle lots shall be permitted as allowed under R-1 zoning, since there are portions of this Village that can not be adequately served with a public street due to topography and grading. The use of panhandle lots in these instances would reduce grading amounts, the size of manmade slopes, increase the amount of natural open space and the connection between open space areas. In addition, the use of panhandle lots in Village Q would not adversely impact the ability to provide full public street access to other developable properties within the Master Plan.

18. VILLAGE R

a. Description

Village R lies along the southern boundary of the project. Open Space Area 8 & 9 separates this village from Village Q to the north and Village N to the east. Village R has a gross acreage of 17.0 acres and a net developable acreage of 14.9 acres. This village has the highest elevations in the development and will have the most dramatic views overlooking the valley. This village will gain access from an extension of Unicornio Drive from the south and from Village Q.

b. Use Allocation

General Plan Land Use RLM (0-4 du/ac).
Growth Management allows for 47 units, however only 45 units have been allocated to this site by the Master Plan.

c. Product Type

Single Family Development

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Although architectural style does not need to be of an identical style with existing development to the south, it should be compatible.
- Site planning shall be coordinated to take advantage of views into the valley.
- Lots with side loaded garages shall have a minimum setback of 10' from the right-of-way.
- An Open Space Easement shall be placed on manufactured slope areas adjacent to roadways. Slopes within residential lots shall be maintained in common and free of property line fences.

19. VILLAGE S

a. Description

Village S is located south of the intersection at Poinsettia Lane and Melrose Drive. The master plan proposes an 17.1 gross acre, 12.8 net acres, elementary school site. The San Marcos Unified School District has three years from the date of approval of this Master Plan to purchase this site for school purposes. This period may be extended in one year increments subject to the approval of the Planning Director and School District. If the school district does not purchase the site in that time period and subsequently, the City does not exercise it's right of first refusal to acquire the site within a 90 day period for park purposes, Village S may be developed per its underlying General Plan designation of RMH, Residential Medium High Density or within City guidelines for affordable housing. This would allow for the development of 147 units on this site, unless a density bonus was granted for affordable units.

b. Use Allocation

General Plan Land Use E (Elementary School)

c. Use Allocation

Elementary School

d. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Manufactured slopes shall be planted per the requirements of the Master Plan Landscape Chapter.
- A Site Development Plan must be approved by the Planning Commission prior to the development of a school on this site; however, this requirement may be waived by a 2/3 vote of the school board.

- The school site is within the Special Park Design District. Any future development of this site should comply with the requirements of the Special Park Design District.
- A portion of the overflow parking area west of the entrance to the school site may be used for trailhead parking and parking for pedestrian access to Carrillo Ranch Park.

20. VILLAGE T

a. Description

Village T is located east of El Fuerte between Open Space Areas 12, 9 & 6. Village T has a gross area of 4.5 acres and a net developable area of 3.2 acres. This village has been designated as a community service facilities site.

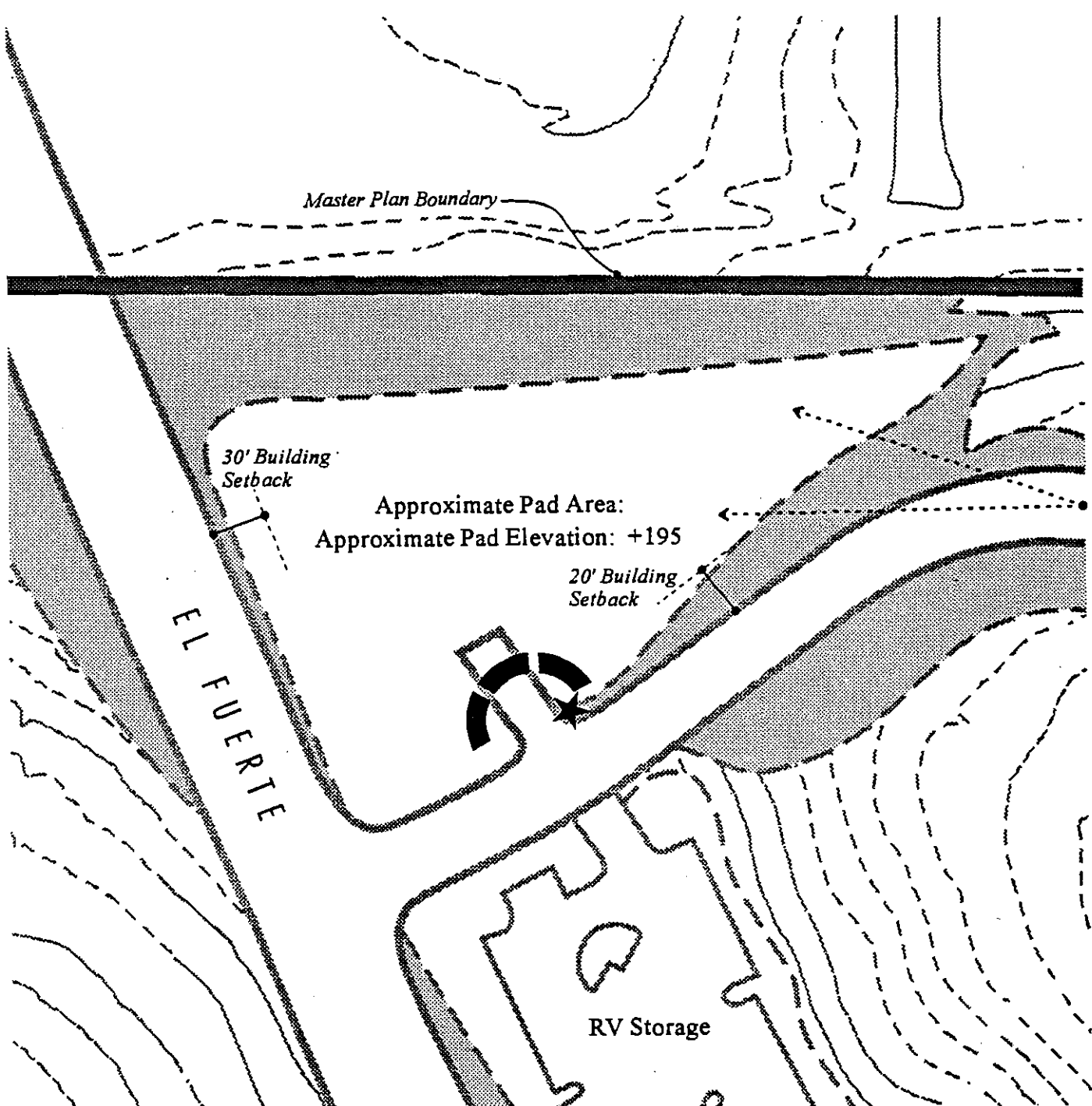
b. Use Allocation

This site carries the CF General Plan Land Use Designation and has been designated as a community service facility site by the Rancho Carrillo Master Plan. If this site is not utilized by a community service facility within ten (10) years from when final inspections were approved for one-hundred percent of the units in the first residential planning area in the master plan, then the developer may make an application for a major master plan amendment to eliminate the community facilities site. If the developer proposes to eliminate the community facilities area, he shall demonstrate why it is infeasible that the designated area will ever develop with community facilities uses. The site may be General Plan land use designated Residential Medium (RM) for a potential of 19 dwelling units subject to approval of a Major Master Plan amendment.

c. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall be included in this planning area:

- Prior to development of this site other than the Phase 1 grading, a Site Development Plan must be approved by the Planning Commission.
- Village T should attempt to take advantage of views into the valley open space to the north and northeast.
- The Community Service Facilities shall produce a positive landmark building within the plans overall architectural theme.



Note: Fence and wall signs are shown on Exhibit 22&23

LEGEND

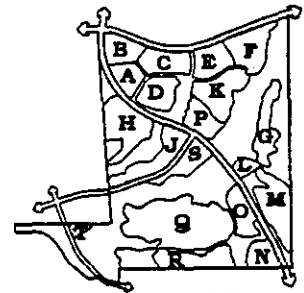
Land Use: RM
 Product: Com. Facility
 Max. Yield: (19)

Village Entry w/Monumentation

Community Theme Wall
 Community Theme Fence
 Village Fence

Resource Fence
 Trail
 Trail Head

Recreation Facility
 Distant View
 Streetscape View



D. OPEN SPACE AREAS

Open Space Area OS-1

1. Description

Open Space Area OS-1 is located near the project entry, west of Melrose Drive and just south of Palomar Airport Road. This open space area provides an entry statement into the project and will set the ambience for the development. OS-1 has a gross acreage of 7.6.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes due to the construction of Melrose Drive.
- Manufactured slopes shall be enhanced with sensitive plant species where appropriate and as shown on the Mitigation Plan.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the supervision of a qualified biologist.

4. Trails

No trails shall be built within this open space area.

Open Space Area OS-2

1. Description

Open Space Area OS-2 is located in the western portion of the Master Plan separating Village H from Village J. Most of OS-2 will remain in its natural state covered with natural vegetation. Portions of this area that are disturbed by grading will be replanted with native species. Wherever possible these replanted areas will be used as mitigation areas for the replanting of sensitive plant species. OS-2 has an area of 18.5 gross acres.

2. Use Allocation

General Plan Land Use - Open Space (OS).

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.

4. Trails

No trails shall be built within this open space area.

Open Space Area OS-3

1. Description

Open Space Area OS-3 consists of an open space corridor separating Village D from Villages K and P. OS-3 will be utilized for some enhancement to the slopes. Wherever possible this enhanced area will be planted with native species including sensitive species to make up for the loss of these species in other graded areas of the master plan. OS-3 has a gross acreage of 8.9.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- This open space area may be utilized for mitigation purposes for the loss of sensitive plant species in other portions of the master plan area.

4. Trails

No trails shall be built within this open space area.

Open Space Area OS-4

1. Description

Open Space Area OS-4 consists of open space lying east of Melrose Drive between Villages F, K, G, L, and P. OS-4 will remain in its natural state with wetland/riparian and coastal sage vegetation. The wetland/riparian area is along the floor of the east to west canyon with the coastal sage vegetation along the east facing slopes of the canyon. OS-4 has a gross acreage of 41.9.

2. Use Allocation

General Plan Land Use - Open Space (OS).

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes, the Citywide Trail System, biological mitigation and any secondary trails.
- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- This open space area shall incorporate and preserve the riparian, preserved bride population and existing high quality gnatcatcher habitat area within its boundaries.

- Land within OS-4 will serve as mitigation for sensitive plant species and riparian habitat.

4. Trails

This open space area provides an important link in the Citywide Trail System which runs through Rancho Carrillo. The trail link is designated as Trail Link No. 36 in the City of Carlsbad's Trails Feasibility Study dated August 1990. This link runs from Rancho Carrillo Park through OS-4 and OS-5 and connects with the City of San Marcos Master Trail System. Secondary trails will provide access for the adjacent residents to the Citywide Trail System.

Open Space Area OS-5

1. Description

Open Space Area OS-5 is contiguous with and east of OS-4 and Villages F and G. Together with OS-4, it provides a large expanse of open space that contains areas of coastal sage and riparian vegetation. The majority of the area is coastal sage vegetation located on the western grade of a gently sloping hill. The area will be retained in its natural state except for small areas of mitigation for sensitive plant species. OS-5 has a gross acreage of 45.2.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- This open space area shall incorporate and preserve the riparian area within its boundaries with minimal impact to the natural vegetation.

- Land within OS-5 will serve as mitigation for sensitive plant species and wetland/riparian habitat.

4. Trails

This open space area provides an important link in the Citywide Trail System which runs through Rancho Carrillo. The trail link is designated as Trail Link No. 36 in the City of Carlsbad's Trails Feasibility Study dated August 1990. This link runs from Rancho Carrillo Park through OS-4 and OS-5 and connects with the City of San Marcos Master Trail System. The pedestrian bridge for the portion of Trail Link No. 36 which crosses the riparian area shall be designed to have a minimal impact on the existing riparian vegetation. Secondary trails will provide access for the adjacent residents to the Citywide Trail System.

Open Space Area OS-6

1. Description

Open Space Area OS-6 is located entirely west of El Fuerte Street at the most western edge of the Rancho Carrillo Master Plan area. This open space area will remain in its natural state with the exception to the grading needed for the construction of El Fuerte Street.

OS-6 has a gross acreage of 17.7.

2. Use Allocation

General Plan Land Use - Open Space (OS).

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.

4. Trails

No trails shall be built within this open space area.

Open Space Area OS-7

1. Description

Open Space Area OS-7 consists of open space located in the southwest corner of the Master Plan area. This area will remain in its natural state except for the grading encroachment due to the construction of Melrose Drive. OS-7 has a gross acreage of 2.2.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.

4. Trails

No trails shall be built within this open space area.

Open Space Area OS-8

1. Description

Open Space Area OS-8 is located on between Villages O, N, Q & R in the southern portion of the Master Plan. There are no existing significant sensitive plant species in this area. Portions of OS-8 may be used for mitigation enhancement for the loss of sensitive plant species in other areas of the master plan. OS-8 has a gross acreage of 18.1.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- Land within OS-8 will serve as mitigation for the loss of sensitive plant species.

4. Trails

No trails shall be built within this open space

Open Space Area OS-9

1. Description

Open Space Area OS-9 is located in the southwestern section of the master plan area between El Fuerte Street and Village Q. The topography consists of a gently sloping hill to the north and to the west.

OS-9 provides a natural open space separating El Fuerte Street from Village Q. This area will remain in its natural state except for some enhancement of the slopes. OS-9 has a gross acreage of 30.1.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- The RV storage lot shall provide at least 20 square feet of storage area (exclusive of driveways and approaches) per residential unit built in the Rancho Carrillo Master Plan.

Site planning and landscaping for this area shall provide adequate buffering to adjacent residences, in the form of berming and/or landscaping, from light and noise created by the RV storage. Adequate screening shall also be provided to screen the RV storage area from motorists on El Fuerte Street.

4. Trails

This open space area provides an important link in the Citywide Trail System which runs through Rancho Carrillo. The trail link is designated as Trail Link No. 34 in the City of Carlsbad's Trial Feasibility Study dated August 1990. this link runs from Rancho Carrillo Park in a westerly direction through OS-12 and will connect with another City of Carlsbad Trail Link.

Open Space Area OS-10

1. Description

Open Space Area OS-10 is the existing and proposed addition to Rancho Carrillo Park currently operated by the City of Carlsbad. OS-10 is located north of Village Q and OS-9, west of Village O and south of Village S.

Open Space Area OS-10 is located south of the intersection at Poinsettia Lane and Melrose Drive. The site contains a significant amount of wetland/riparian vegetation along the valley floor. This sensitive area runs in an east to west direction.

OS-10 includes the Carrillo Ranch house, several outlying buildings and some wetlands along its northern and southern boundary. The site will continued to be maintained by the City of Carlsbad. OS-10 has a gross acreage of 27.6 with a net area of 23.7 acres.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes, the Citywide Trail System and secondary trails.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.

- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.
- Portions of this open space area may be utilized as mitigation area for wetlands/riparian loss in other areas of the master plan.
- No development shall occur on this site prior to approval of a Site Development Plan by the Carlsbad Planning Commission.
- Site planning shall minimize, to the extent possible, light and noise impacts to the adjacent open space areas and residential villages.

4. Trails

This open space area provides an important link in the Citywide Trail System which runs through Rancho Carrillo. The trail link is designated as Trail Link No. 34 in the City of Carlsbad's Trails Feasibility Study dated August 1990. This link runs from Rancho Carrillo Park in a westerly direction through OS-11 and will connect with another City of Carlsbad Trail Link. Secondary trails will provide access for the adjacent residents to the Citywide Trail System and the Rancho Carrillo Park.

Open Space Area OS-11

1. Description

Open Space Area 11 is located west of Melrose Drive immediately adjacent to the Carrillo Ranch Parks site. OS-11 will be developed with a daycare center in combination with a community recreation center. This will allow the daycare center to take advantage of the recreational opportunities offered by the adjacent park site. OS-11 has a gross area of 4.0 acres which yields a net area of 3.3 acres.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- Open Space Area 11 is within the Special Park Design District. Any future development on this site shall comply with the requirements of the Special Park Design District.
- Development of a daycare/common recreation facility in this area will require approval of a Site Development Plan by the Planning Commission

Open Space Area OS-12

1. Description

Open Space Area OS-12 is located south of Poinsettia Lane, north of Village Q and west of OS-10. OS-12 is part of the main east to west canyon. This open space area contains a significant amount of wetland/riparian area as well as high quality gnatcatcher habitat. These sensitive areas will remain in their natural state with the exception of the disturbed wetland area as shown on the Mitigation Plan.

Large portions of OS-12 will be utilized for wetland and sensitive plant species mitigation. The mitigation areas will be along the canyon floor as well as along the manufactured slopes adjacent to the development areas.

OS-12 has a gross acreage of 30.4.

2. Use Allocation

General Plan Land Use - Open Space (OS)

The Rancho Carrillo Master Plan does not allow any residential development other than slope grading to occur in this area.

3. Special Design Criteria

All community-wide design standards described in the Community Development Standards section of this Master Plan shall be implemented in this planning area. The following specific guidelines shall also be included for this planning area:

- This open space area shall remain in its natural state except where impacted by manufactured slopes.
- Manufactured slopes shall be enhanced with sensitive plant species where appropriate.
- This open space area shall incorporate and preserve a majority of the wetland/riparian area within its boundaries with minimal impact to the vegetation.

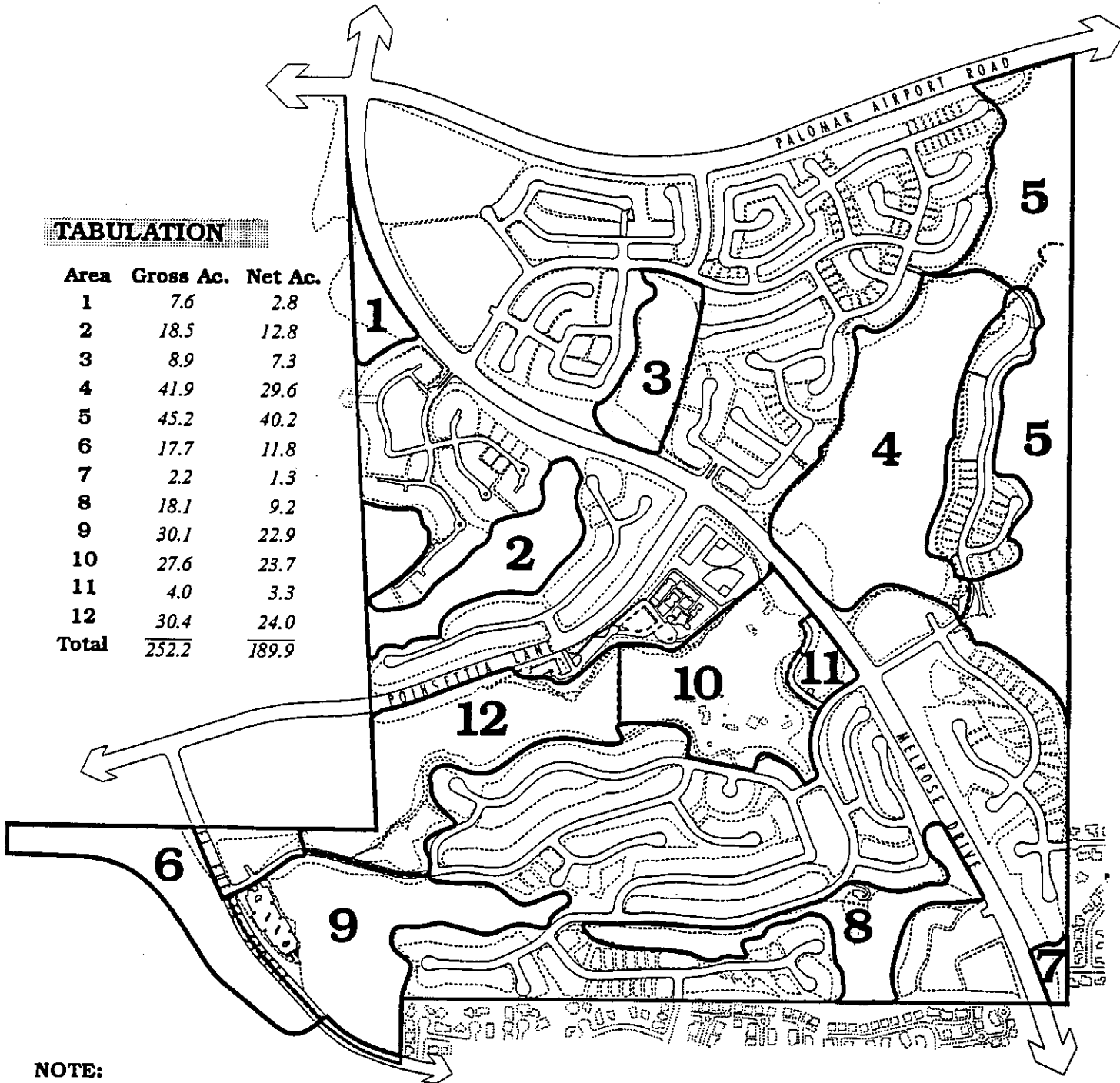
- Special attention shall be given to landscaping of this open space area in order to ensure compatibility between this area and the adjacent existing open space and residential villages.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes under the direct supervision of a qualified biologist.

4. Trails

This open space area provides an important link in the Citywide Trail System which runs through Rancho Carrillo. The trail link is designated as Trail Link No. 34 in the City of Carlsbad's Trails Feasibility Study dated August 1990. This link runs from Rancho Carrillo Park in a westerly direction through OS-12 and will connect with another City of Carlsbad Trail Link. A secondary trail is proposed to run along the southern border of OS-12 adjacent to Village Q. This trail will connect 10 with the western boundary of OS-12 thus providing a scenic path along the ridge above the wetland/riparian canyon. The proposed pedestrian bridge which crosses the riparian area in the westerly portion of this open space area shall be designed to have a minimal impact on the existing riparian vegetation.

TABULATION

Area	Gross Ac.	Net Ac.
1	7.6	2.8
2	18.5	12.8
3	8.9	7.3
4	41.9	29.6
5	45.2	40.2
6	17.7	11.8
7	2.2	1.3
8	18.1	9.2
9	30.1	22.9
10	27.6	23.7
11	4.0	3.3
12	30.4	24.0
Total	252.2	189.9



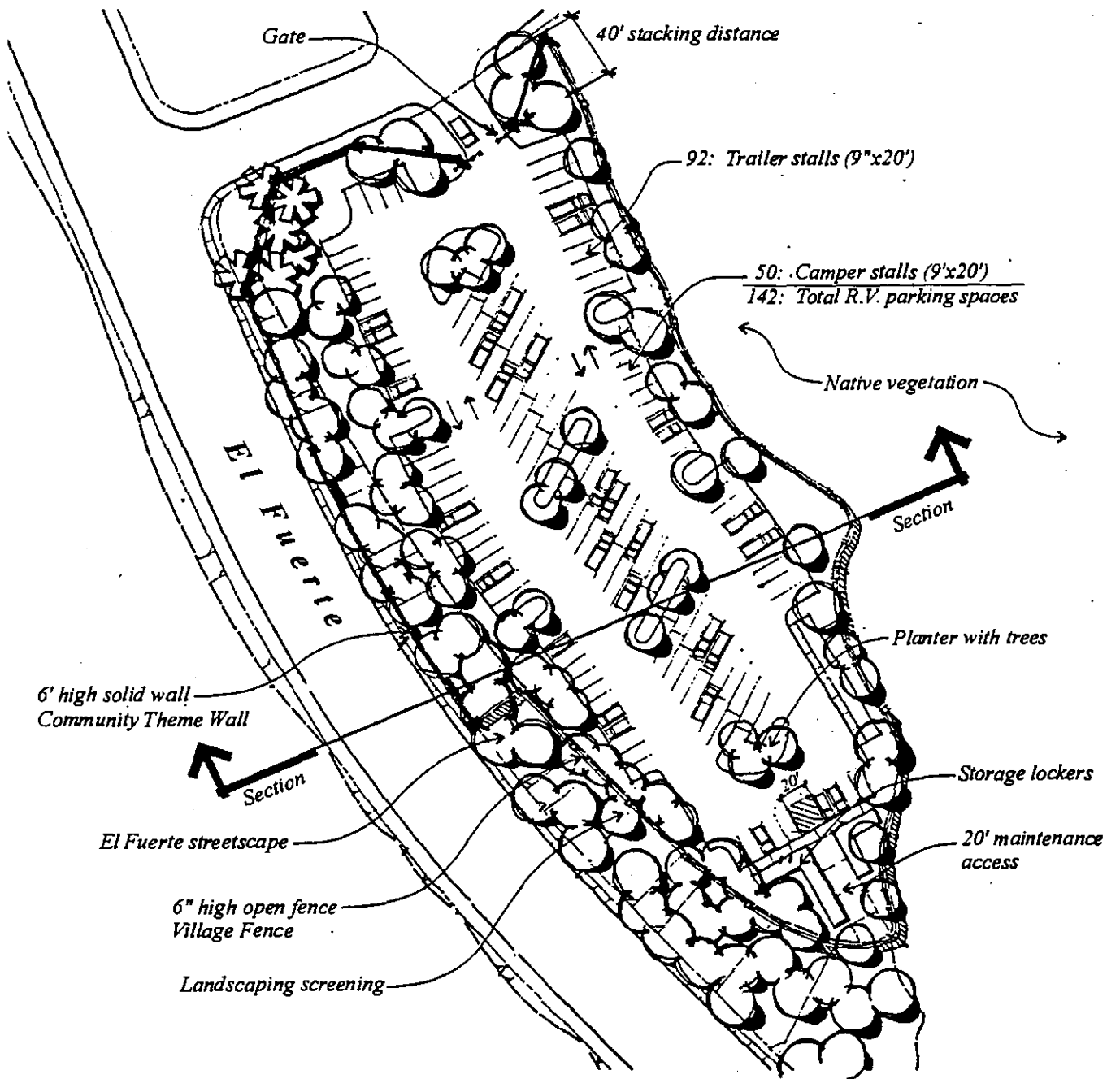
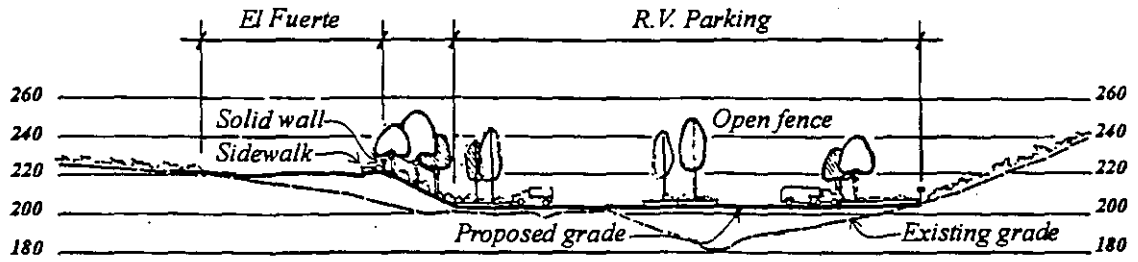
NOTE:

1. Gross and net acreage are based on General Plan open space areas. Master Plan open space areas have additional open space which is not included in this tabulation.



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Open Space
Area Tabulation



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Recreational Vehicle
 Storage Area