

ROBERTSON RANCH
WEST VILLAGE

MASTER PLAN AMENDMENT
MP 02-03H

City of Carlsbad

Applicants: *Calavera Hills II LLC*
 Rancho Costera LLC
 Brookfield Residential

May 17, 2016

**ROBERTSON RANCH MASTER PLAN
MP 02-03**

Master Plan Development of 1,122 dwelling units (1,154 with alternative land uses), a 13 acre (net) village commercial center with a community facilities component, an elementary school site, a 13.5 acre (net) public park, over 140 acres of open space preserve, and additional community recreation open space located within Local Facilities Management Zone 14.

APPROVED BY:
City Council Ordinance No. NS-822, November 14, 2006

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(A)**

An amendment to Master Plan to change the land use designation of Planning Area 14 from Elementary School (E) to Residential Medium Density (RM) and to transfer 2 dwelling units from Planning Area 21 to Planning Area 14.

APPROVED BY:
City Council Ordinance No. CS-020, December 2, 2008

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(B)**

An amendment to Master Plan to change the land use and underlying zoning designations of Planning Area 22 from Unplanned Area (UA) and Residential Low-Medium (RLM) to Office and Related Commercial (O) and Open Space, and to establish permitted land uses and development standards and a permanent RV storage area for the Planning Area 22 uses.

APPROVED BY:
City Council Ordinance No. CS-076, January 26, 2010

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(C)**

An amendment to Master Plan to provide an update to the West Village, modify the configurations of planning areas, modify land uses, and modify future development standards within the previously approved Robertson Ranch Master Plan.

APPROVED BY:
City Council Ordinance No. CS-197, December 4, 2012

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(D)**

An amendment to Master Plan to modify a development standard on Planning Area 17 within the previously approved Robertson Ranch Master Plan.

APPROVED BY:
Planning Commission Resolution No. 6970, May 1, 2013

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(E)**

An amendment to Master Plan to modify the location of Planning Area 4 within the previously approved Robertson Ranch Master Plan.

APPROVED BY:
City Council Ordinance No. CS-244, May 11, 2014

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(F)**

A minor amendment to Master Plan to modify certain development standards in Planning Areas 3, 5, 6, 9/10 and 13 within the previously approved Robertson Ranch Master Plan.

APPROVED BY:
Planning Commission Resolution No. 7070, August 20, 2014

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(G)**

An amendment to the Master Plan to transfer 20 dwelling units from Planning Area 7 to Planning Area 8 within the West Village of the Robertson Ranch Master Plan.

APPROVED BY:
City Council Resolution No. 2015-123, May 19, 2015

**ROBERTSON RANCH MASTER PLAN AMENDMENT
MP 02-03(H)**

An amendment to the Master Plan to change the Master Plan Land Use designation of Planning Area 22 from Office (O) to the R-23 (Residential (15-23 du/ac designation, to change the Master Plan Zoning on Planning Area 22 from Office (O) to Residential Density-Multiple (RD-M), and to the update the Planning Area 22 development standards to accommodate this revised land use.

APPROVED BY:
City Council Ordinance No. CS-297, June 14, 2016

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LIST OF ACRONYMS

ADA	Americans with Disabilities Act
Ave.	Avenue
Blvd.	Boulevard
BMP	Best Management Practices
CESA	California Endangered Species Act
CC&Rs	Covenants, Conditions and Restrictions
CDFG	California Department of Fish and Game
CEQA	California Environmental Quality Act
CMC	Carlsbad Municipal Code
CMWD	Carlsbad Municipal Water District
CF	Community Facilities
CF/L	Community Facilities/Local Shopping Center
CUP	Conditional Use Permit
CUSD	Carlsbad Union School District
D.G.	Decomposed Granite
Dr.	Drive
du	dwelling unit
DU/AC	Dwelling Units per Acre
E	Elementary School
EIR	Environmental Impact Report
ESA	Endangered Species Act
FEIR	Final Environmental Impact Report
fps	feet per second
GPA	General Plan Amendment
HDP	Hillside Development Permit
HGL	Hydraulic Grade Line
HMP	Habitat Management Plan
HOA	Homeowners' Association
L	Local Shopping Center
LFMP	Local Facilities Management Plan
o.c.	On Center
OS	Open Space
OS-P	Open Space – Park
OS (CR)	Open Space (Community Recreation)
MHCP	Multiple Habitat Conservation Plan
MMRP	Mitigation, Monitoring, and Reporting Program
MP	Master Plan
NCCP	California Natural Community Conservation Planning Act
NCTD	North County Transit District
PA	Planning Area
PAR	Property Analysis Record
PC	Planned Community
PDO	Planned Development Ordinance
RCHOA	Rancho Carlsbad Homeowners' Association

RCP	Reinforced Concrete Pipe
Rd.	Road
RD-M	Residential Density – Multiple
RMHP	Residential Mobile Home Park
RH	Residential High Medium Density
RLM	Residential Low-Medium Density
ROW	Right-of-Way
RM	Residential Medium Density
RV	Recreational Vehicle
SDG&E	San Diego Gas and Electric
SDP	Site Development Plan
St.	Street
SUP	Special Use Permit
SWPPP	Storm Water Pollution Prevention Plan
SWRCB	State Water Resources Control Board
USFWS	U.S. Fish and Wildlife Service

I. INTRODUCTION

The Robertson Ranch Master Plan establishes a “livable community” by providing a blend of compatible land uses that will meet the various daily needs of the residents it will serve. The Master Plan design is strongly influenced by the principles of “New Urbanism,” developed as a response to the zoning and automobile focused development patterns that arose after World War II. Residential neighborhoods, which traditionally had been designed at a pedestrian scale and were integrated with local stores and community gathering places, instead were designed as homogenous clusters of homes separated from the places where people work, shop, and play. The automobile gradually became a necessity of modern life, as people could no longer walk to meet their day-to-day needs. As more and more communities were designed around the automobile, the result was increased air and noise pollution, traffic, and the loss of open space. Meanwhile, “...public squares, the corner store, main street, and all the places where people could meet and a sense of community could happen were replaced by the abyss of asphalt.”¹

A number of leading thinkers in the planning profession have recognized these challenges over the years, as evidenced by the abundance of literature on the subject. In the early 1990s, several well-known leaders in the planning and architecture professions were tasked with consolidating the various ideas into a single set of community principles that could be used as a basis for improving the quality of community design throughout the nation. The result of this effort was presented in the fall of 1991 to about 100 local elected officials at the Ahwahnee Hotel in Yosemite.¹ Dubbed the “Ahwahnee Principles” by the enthusiastic attendants; the planning concepts that emerged have influenced many new developments across the nation, including the Robertson Ranch Master Plan.

The Ahwahnee Principles are referenced throughout this Master Plan because they have formed the basis for many of the design concepts proposed for the community. Section II.A, *Planning Context for the Robertson Ranch Master Plan*, provides a detailed discussion of how the Master Plan has incorporated the various Ahwahnee Principles into a cohesive development strategy for the site.

A. Historical Context of the Robertson Ranch Master Plan

(This section is based on the book “Seekers of the Spring” by Marje Howard-Jones)

The City of Carlsbad, long time home of the Kelly Family (Robertson), has survived, grown and thrived during its rich and interesting history to become the city it is today. Like the newcomers to the city who will live at the community created by the Robertson Ranch Master Plan, the City is built as much by the people who have (and will continue to) come here to build a life for themselves.

Located within the rolling, coastal hills of the Pacific Coast of Southern California, the Carlsbad area was inhabited for more than 10,000 years by indigenous peoples. The portion of Carlsbad today called “Agua Hedionda” was once known as “Palamei”, and was originally inhabited by the La-Jolla Pauma Indians nearly 6,000 years B.C., and later by the Luiseno Indians. With the coming of Spanish soldiers and missionaries in 1769, the name “Palamei”, and the traditional culture of the Luiseno Indians was destined to end.

¹ Local Government Commission 2004; <http://www.lgc.org/>

As part of the Spanish colonization of California, an expedition including a conquistador, a Franciscan friar and soldiers, led by Don Gaspar de Portola and Father Juan Crespi, moved north from San Diego. Three days out of San Diego the expedition stopped along the banks of a tidal lagoon, which the troops christened “Agua Hedionda” (“stinking waters”), for the smell of decaying fish and other debris that surrounded the lagoons’ shores. This was the site of the ancient native village of “Palamei”. The next temporary campsite described by Father Crespi, was on the western side of the canyon, near today’s intersection of El Camino Real and Tamarack Avenue, the western boundary of Robertson Ranch.

As the Spanish padre’s established Missions throughout “Alta California” and settled the land, the character of “Agua Hedionda” would shift dramatically. What was once considered communal land by the indigenous peoples was now property of the Mission San Luis Rey, under protection of the Spanish crown. However, the Church’s ownership of the land would eventually end.

After Mexico gained its independence from Spain in 1821, the Californios (pensioned Spanish soldiers) pushed a series of reforms which eventually left the Missions with little more than the land their churches were built on. The final blow to the Mission Period in California occurred when the church land was secularized to allow for private development.

The original grantee of what came to be known as Rancho Aqua Hedionda was Juan Maria Romouldo Marron II, a Spanish native of San Diego. Through a series of financial events, including unpaid loans and mortgages, Marrons’ family lost the rights to the original Mexican land grant to Rancho Agua Hedionda. Ownership transferred to Francis J. Hinton, who called on an old acquaintance by name of Robert Kelly, to tend to the land. When Hinton passed away, he willed the ownership of Rancho Agua Hedionda to his friend and associate, Robert Kelly.

Ironically, it was not Robert Kelly’s ownership of land that changed the course of Carlsbad’s history, so much as the land he gave away. In 1888, the San Diego County yearbook described Kelly as “one of the public spirited men of the county...who contributed liberally to every movement intended to advance the public interest.” Robert Kelly donated forty acres of land, which eventually brought the rail line that linked San Diego with Los Angeles through Rancho Aqua Hedionda land. As pioneer settlements began to sprout around Rancho Agua Hedionda, two pioneers, Gerhard Schutte and Samuel Church Smith recognized the potential financial prospect of the mineral laden water being sold by John Frazier at a nearby train watering stop.

It was, in turn, this mineral water that gave rise to the name and fame of Carlsbad. After studies had shown that the mineral water was chemically identical to that of the world famous spa, Well Number Nine in Karlsbad, Bohemia, the directors of what was to be Carlsbad Land and Mineral Company, renamed their town Carlsbad, hoping to use the fame of the real Bohemian spa to their advantage. This strategic move resulted in interest in Carlsbad throughout the country, and settlers began to arrive.

Robert Kelly died of cancer in 1890, leaving Rancho Aqua Hedionda to the children of his brother, Mathew Kelly. In the generations to come, the Kelly family, other families and the town of Carlsbad itself, would benefit from the legacy of Robert Kelly. The Rancho was split into nine parcels, which were distributed to the Kelly children and others.

B. Master Plan Purpose and Intent

Prior to the approval of the Robertson Ranch Master Plan the properties within the Master Plan boundaries were zoned Planned Community (PC), as shown on Figure II-1, *2006 Zoning Map*. The PC Zone requires that a Master Plan be approved prior to any development on the site. The Robertson Ranch Master Plan constitutes the zoning standards for the area contained within the plan boundaries, as provided for by the Planned Community Zone, Section 21.38 of the Carlsbad Municipal Code. All provisions of the Master Plan are imposed as a condition of zoning. The underlying Master Plan Land Use zoning for each neighborhood area is shown on Figure II-3, *Underlying Master Plan Zone Designations*. In many cases the standards of the underlying Master Plan zones have been modified from the Carlsbad Municipal Code. Therefore, the specific neighborhood area development standards of this Master Plan must be consulted as they apply to the Master Plan area.

This Master Plan has been prepared in compliance with the four goals of the Intent and Purpose section (21.38.010) of the PC Zone.

- Provide a method for and to encourage the orderly implementation of the General Plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted master plan to provide an environment of stable and desirable character;
- Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
- Allow for the coordination of planning efforts between the developer and the City to provide for the orderly development of all necessary public facilities to ensure their availability concurrent with need;
- Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the City; provided such plans are in accordance with the approved planned community master plan.

More specifically, the Robertson Ranch Master Plan provides for a long-range comprehensive planning approach to the development in a manner which cannot be accomplished on a parcel-by-parcel basis. To achieve this goal, a number of important issues were examined, analyzed and considered during the preparation of this Master Plan document, including the Ahwahnee Principles, the City of Carlsbad's General Plan, Growth Management Plan, Local Facilities Management Plan for Zone 14, Hillside Development Ordinance, Planned Development Ordinance, Livable Communities Policies (Council Policy Nos. 44 and 66), Habitat Management Plan, engineering feasibility, market acceptance, economic viability, development phasing, and local community goals. Included within the Appendix in this Master Plan are consistency analyses with the General Plan, the El Camino Real Corridor Study, and the Hillside Development Ordinance. A consistency analysis with the Ahwahnee Principles is also available

in Appendix B. To ensure the functional integrity, economic viability, environmental sensitivity and positive aesthetic contribution of the Master Plan, these important considerations helped to establish the following list of distinct planning and development goals for the project. The Robertson Ranch Master Plan project is intended to:

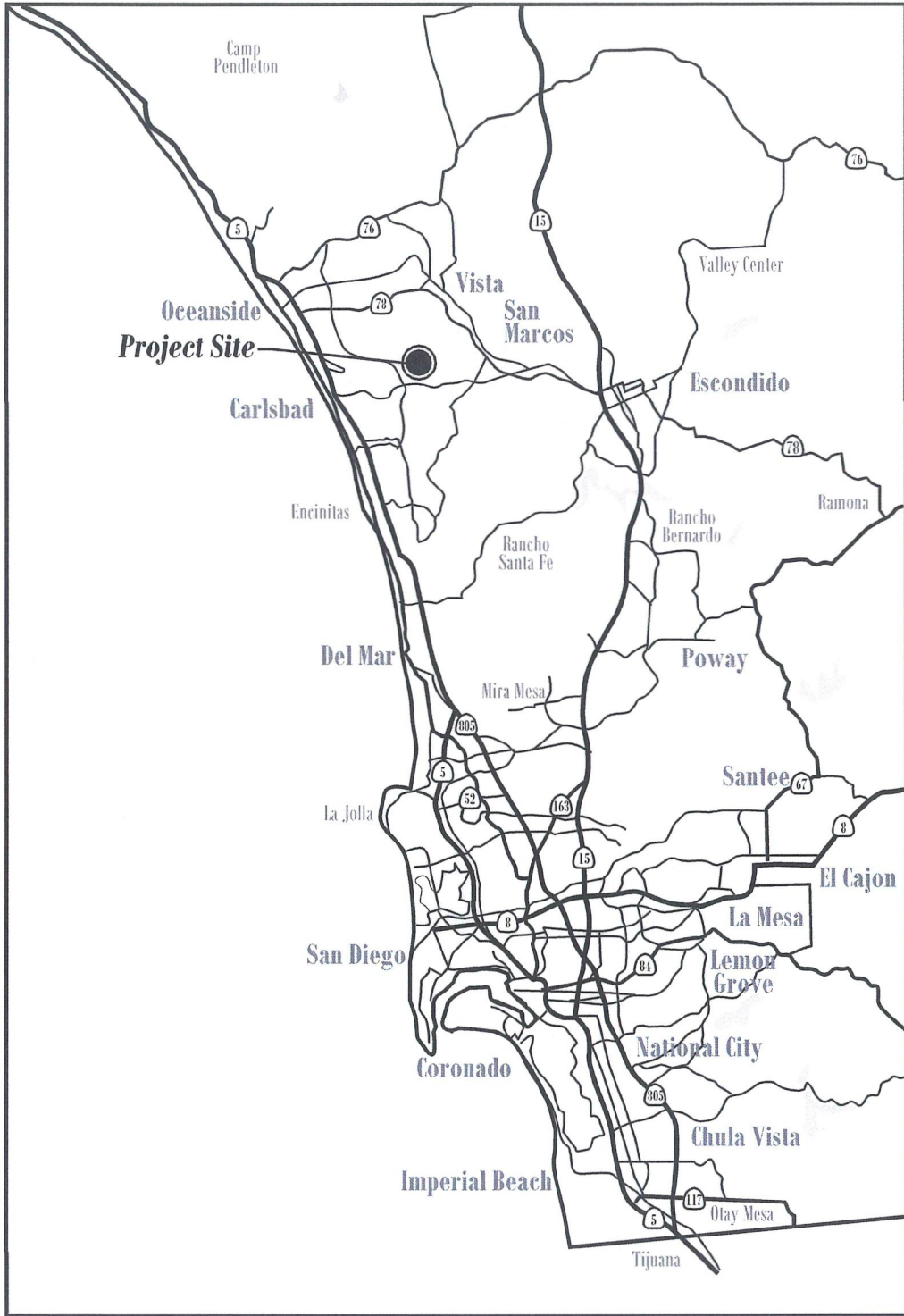
- Implement the applicable portions of the City of Carlsbad General Plan and Zoning Code;
- Implement applicable aspects of Carlsbad Zone 14 Facilities Management Plan;
- Establish a comprehensive development plan for the approximately 398 acre site that provides an appropriate balance of residential, recreational, commercial and open space land uses;
- Furnish a plan for development that implements the policies and achieves the goals of the adopted Habitat Management Plan (HMP);
- Provide for compatible and complementary adjacent land uses and facilities while offering a diversity of land uses throughout the community;
- Implement a plan which is sensitive to the environment and results in an aesthetically pleasing community;
- Establish a community that creates an urban design concept consistent with the Ahwahnee Principles by:
 - Incorporating a variety of public spaces and recreation elements that attract the presence of people;
 - Accommodating the housing needs of a wide range of economic levels and age groups;
 - Promoting public transportation while providing consistency with the existing vehicular circulation network;
 - Providing a variety of employment opportunities within the Master Plan boundaries;
 - Promoting a diversity of land uses of different types within the project; and
 - Conserving open space areas for recreation and the preservation of sensitive environmental resources;
- Establish and promote a project-wide circulation system which is responsive to regional and local transportation needs, is consistent with existing surrounding vehicular circulation networks, and which accommodates a variety of transportation modes;
- Provide for the recreational and open space needs of project residents and the City at large, by incorporating recreational land uses including a City park site, community recreation facilities, pocket parks, a pedestrian circulation system and substantial areas of permanently preserved natural open space;

- Develop a community identity for the project through control of project design elements such as architecture, clustering of development, landscaping, color treatment, paving, walls, fencing, signage, and entry treatments which present balanced, attractive, and resident friendly neighborhoods;
- Provide an appropriate mix of architectural styles and housing types to meet the City's goals for establishing a sustainable community that is marketable within the evolving economic profile of the surrounding community and the City of Carlsbad as a whole;
- Encourage housing diversity by providing a variety of detached single-family residential lot sizes in traditional subdivision layouts and courtyard neighborhoods;
- Encourage housing diversity by providing a variety of multifamily and affordable housing opportunities that are conveniently located adjacent to transportation, commercial, recreational and community facilities; and
- Provide flexibility in the Master Plan amendment process by allowing amendments to either the East or West Villages of the Master Plan to be processed without initiating review of the other Village.

C. Project Location and Site Description

The Robertson Ranch Master Plan consists of 398.0 acres of undeveloped agricultural lands located on the lower slopes of the foothills that comprise the Aqua Hedionda area of the City of Carlsbad, approximately two miles from the Pacific Ocean. As indicated in Figure I-1, *Regional Map*, the site is located approximately 1.5 miles east of Interstate 5. The project site is nestled among the rolling hills of the City of Carlsbad with the higher on-site elevations providing views of the Pacific Ocean. As shown on Figure I-2, *Aerial Photo*, the West Village site is primarily in agricultural use, surrounded by both proposed and existing residential uses and urban densities of development. As of 2012, the East Village property is undergoing construction for development consistent with this Master Plan. The site represents an important component of the overall development of this portion of the City.

The majority of the site is located along the north side of El Camino Real between Tamarack Avenue on the west, and Cannon Road and College Boulevard, which traverse the eastern and southeastern portions of the site, respectively. Small portions of the site are located south of Cannon Road, and east of College Boulevard. The site and its relationship to the surrounding roadways are illustrated in Figure I-3, *Vicinity Map*. Access to the site and existing ranch homes is available from a private road that extends onto the site from El Camino Real.



NOT TO SCALE



FIGURE NO. I-1

Robertson Ranch



Source: City of Carlsbad (Flown 2009)

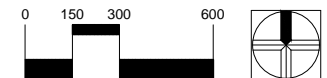


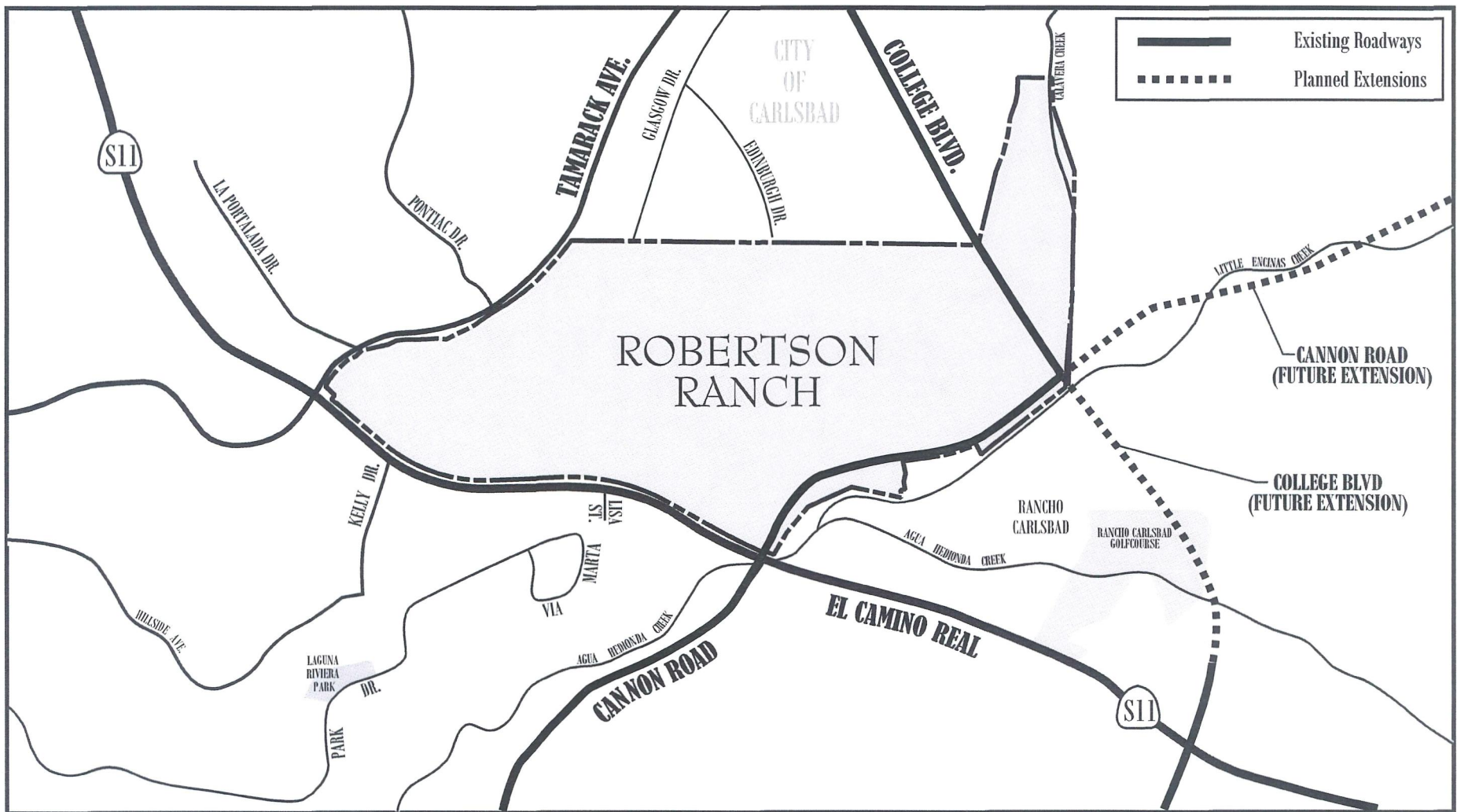
FIGURE NO. I-2

Robertson Ranch

MASTER PLAN

AERIAL PHOTO

PAGE I-7



PLANNING SYSTEMS



NOT TO SCALE



FIGURE NO. I-3

Robertson Ranch

VICINITY MAP



Source: City of Carlsbad (Flown 2009)



FIGURE NO. I-4

Robertson Ranch

MASTER PLAN

ON-SITE AND SURROUNDING LAND USE MAP

Figure I-4, *On-Site and Surrounding Land Use Map*, provides an overall view of the project site including the on-site land uses in 2009, as the East Village section of the property was undergoing initial grading pursuant to the original approved Master Plan, as well as those uses located on the adjacent and surrounding properties. Surrounding land uses vary considerably and include undeveloped/ agricultural land to the south and east, established residential subdivisions located to the north, west and south, and the Rancho Carlsbad manufactured home subdivision located along the projects' southeast property line. The Calavera Hills project is adjacent to the eastern portion of the projects' northern boundary. Directly to the east of the site is the Carlsbad Unified School District high school site which began development in 2011. To the northeast is an undeveloped parcel under the ownership of the State of California, which is part of the City's adopted Habitat Management Plan (HMP) preserve area. Beyond these adjacent land uses to the north lie the boundaries of the City of Oceanside. The remainder of the City of Carlsbad lies to the west, south and east of the site.

Prior to 2009, the majority of the site was used for agricultural purposes, including a wholesale palm tree nursery and the cultivation of field crops and flowers. The on-site structures included one single-family residence in the West Village, agricultural outbuildings and irrigation infrastructure. In addition, the site is traversed by two SDG&E utility easements which contain high voltage electrical transmission lines, poles and access roads. Those portions of the site not appropriate for agricultural uses (primarily steep slopes and drainages) are undeveloped and contain a variety of native and non-native vegetation, including chamise chaparral and Diegan coastal sage communities on the higher slopes and canyons, with riparian habitat located within the natural drainages. Figure II-8, *HMP Hardline Map*, indicates the locations of the habitat and biological resources located on the site. Calavera Creek, an intermittent tributary of Agua Hedionda Creek, runs north to south along the eastern boundary of the site.

Biological resources on the site include Diegan coastal sage scrub habitat and a variety of mammalian, reptilian and avian species typical for this area and the existing habitat. The biological assessment for the site indicates that a bird species of concern, the California gnatcatcher, has been located on the site. Also, a single Bell's Vireo was detected on-site; however, a Section 7 Consultation was undertaken by the U.S. Fish and Wildlife Service in 2002-2003 which authorized impacts to this area of Cannon Road and College Boulevard. No plants or other animals of special concern were identified on the site during the biological surveys of the site. Topographically, the site varies considerably and ranges in elevation from approximately 40 feet to 225 feet above mean sea level as shown on Figure I-5, *Topographic Map*.

As established by the initial Master Plan adoption, the site contained two residential and two nonresidential General Plan designations, as follows: Residential Low-Medium (RLM); Residential Medium (RM); Local Shopping Center (L), and Elementary School (E). The Local Facilities Management Plan (LFMP) constraints analysis for Zone 14 approved by the City Council in 1989 determined that a maximum of 1,122 residential dwelling units were allowed within the LFMP zone. Since the adoption of the original Master Plan in 2006, the Carlsbad Unified School District (CUSD) has declined to purchase the Elementary School site and thus "Alternative Uses" for the school site are reflected in the West Village Update Master Plan Amendment of 2012.



PLANNING SYSTEMS

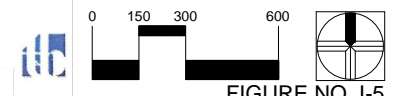


FIGURE NO. I-5

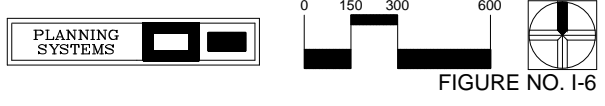
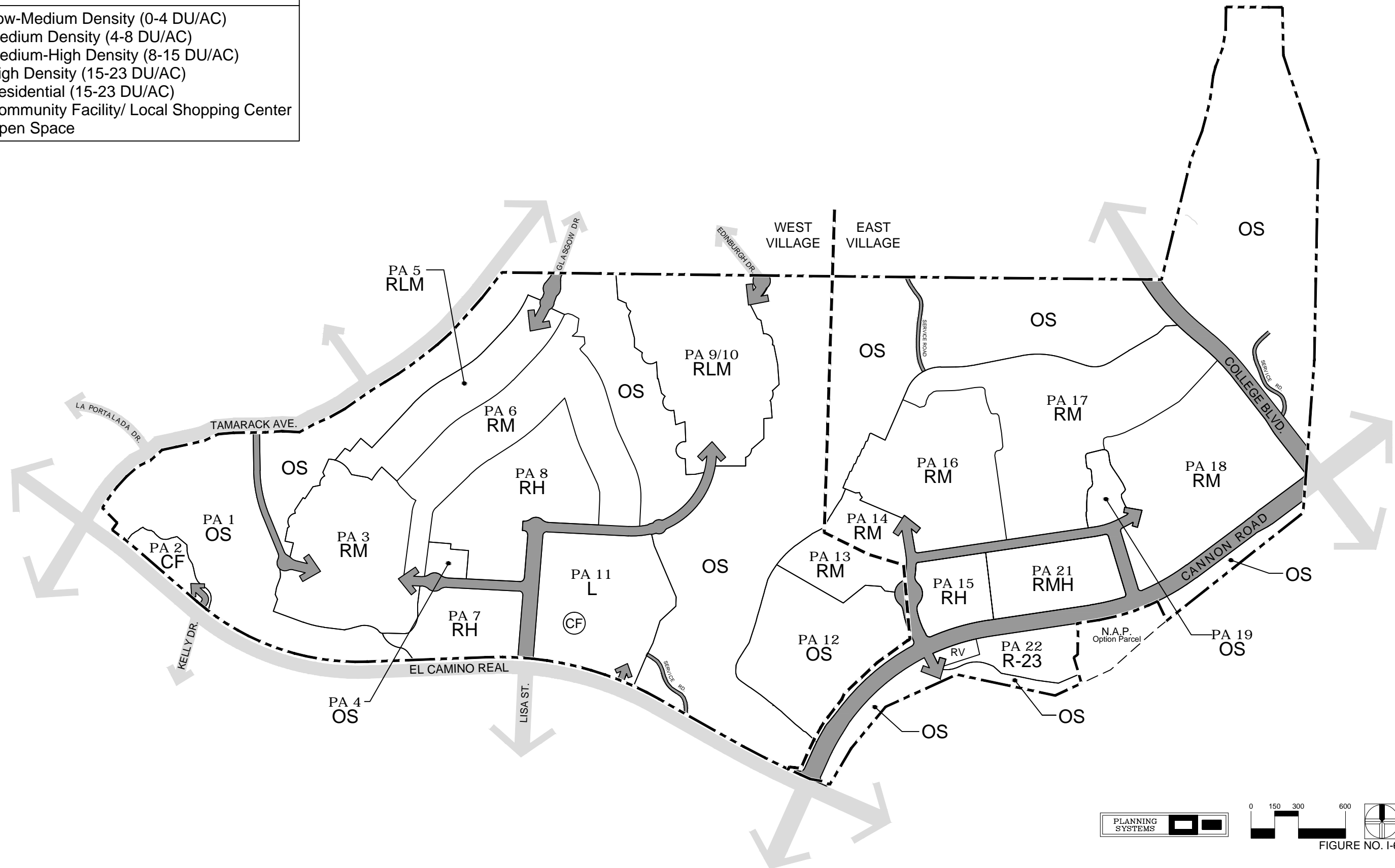
Robertson Ranch

MASTER PLAN

TOPOGRAPHIC MAP

PAGE I-11

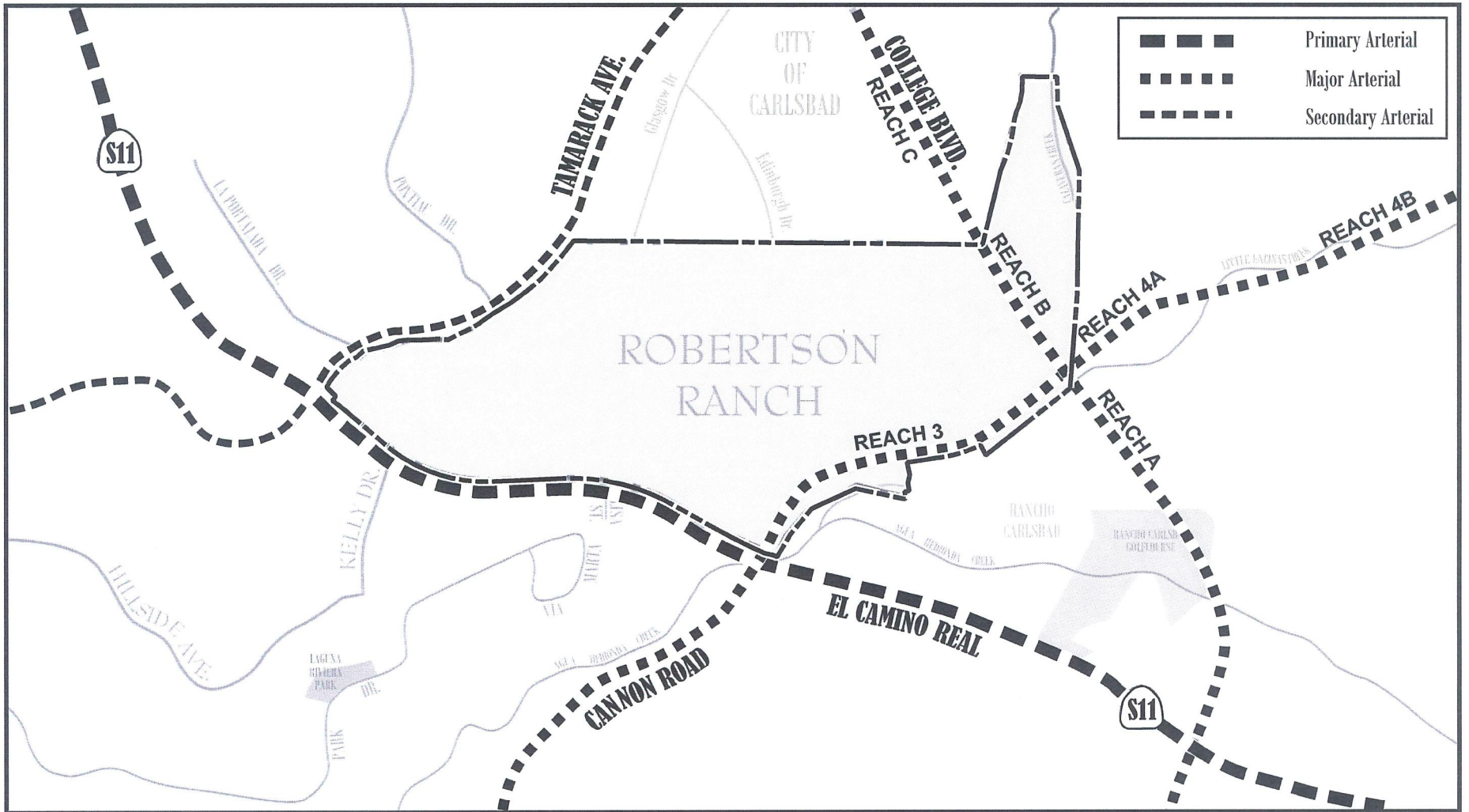
LEGEND	
RLM	Low-Medium Density (0-4 DU/AC)
RM	Medium Density (4-8 DU/AC)
RMH	Medium-High Density (8-15 DU/AC)
RH	High Density (15-23 DU/AC)
R-23	Residential (15-23 DU/AC)
ⓄL	Community Facility/ Local Shopping Center
OS	Open Space



Robertson Ranch

MASTER PLAN

GENERAL PLAN LAND USE MAP



	Primary Arterial
	Major Arterial
	Secondary Arterial



NOT TO SCALE



FIGURE NO. I-7

Robertson Ranch

GENERAL PLAN ROADWAYS

An amended LFMP accompanied the original Master Plan adoption in 2006. This LFMP included a revised constraints analysis which determined that the maximum number of dwelling units for the Robertson Ranch was 951 dwelling units (or 983 dwelling units if the Alternative Uses for the elementary school was implemented). However, the Robertson Ranch Master Plan was approved with the statement that a total of 171 additional units would be allocated to the Master Plan, bringing the total project units to 1,122 (1,154 with the Alternative Use scenario). The additional 171 units (under either the Elementary School or the Alternative Use scenario) will be made available from the City's Excess Dwelling Unit Bank. Then in 2015, the City allocated 98 additional units from the Excess Dwelling Unit Bank to Planning Area 22 as part of their General Plan Update. As a result, the total number of residential units within the project is 1,252 units.

The project site is bound on three sides by General Plan Circulation Element roadways, as indicated on Figure I-7, *General Plan Roadways*. El Camino Real forms the project site's southern boundary and is designated as a "Primary Arterial" in the General Plan Circulation Element and as a "Community Theme" Corridor in the City's Scenic Corridor Guidelines.

College Boulevard and Cannon Road traverse the eastern portion of the site and both are designated "Major Arterial" roadways by the General Plan Circulation Element, and as "Community Scenic Corridors" in the City's Scenic Corridor Guidelines. Tamarack Avenue, which forms the site's western boundary, is designated as a "Secondary Arterial" in the General Plan Circulation Element.

D. Project Description

The Robertson Ranch Master Plan is envisioned as a balanced master planned community which successfully integrates residential, commercial, recreational and open space land uses. As shown on the *Master Plan Land Use Map*, Figure II-3, the project design provides for the creation of a remarkable community composed of the 178.6-acre East Village and the 219.4-acre West Village. Table I-1, *Land Use Summary* identifies the land uses proposed for each of the two villages. Since the original Master Plan approval in 2006, the Carlsbad Unified School District has rejected the Planning Area 13/14 Elementary School site. Thus, combined upon buildout, the villages of the Robertson Ranch Master Plan, including the Alternative Uses, comprise a total of 1,252 dwelling units in a wide range of product types, densities and price ranges, including multifamily neighborhoods and dwelling units provided under the City's Inclusionary Housing Ordinance.

The land uses within the Robertson Ranch Master Plan have been chosen to provide residents the opportunity to live, shop and enjoy open space and active recreational facilities within their own community. As a result, each of the villages has a distinct set of land uses, physically linked by a pedestrian circulation system and thematically linked through the implementation of strong, consistent landscape design theme and related architecture.

Table I-1 Land Use Summary

General Plan Designation	Development Type	Gross Acreage (Net)			Units			Density ¹		
		East Village	West Village	Total	East Village ²	West Village ²	Total ²	East Village	West Village	Total
RLM ² Residential Low-Medium Density (0-4 du/ac)	Single Family (8,500 s.f. min. lot size)	0.0	9.7 (9.5)	9.7 (9.5)	0	36	36	0.0	3.8	3.8
	Single Family (6,000 s.f. min. lot size)	0.0	20.3 (18.5)	20.3 (18.5)	0	74	74	0.0	4.0	4.0
RM Residential Medium Density (4-8 du/ac)	Single Family (5,000 s.f. min. lot size)	68.0 (66.4)	22.2 (19.1)	90.2 (85.5)	320	113	433	4.8	5.9	5.0
	Single Family (4,000 s.f. min. lot size)	0.0	17.1 (15.4)	17.1 (15.4)	0	85	85		5.5	5.5
RMH Residential Medium High Density (8-15 du/ac)	Courtyard Homes	9.0 (7.0)	0.0	9.0 (7.0)	84	0	84	12.0	0.0	12.0
RH/R-23 Residential High Density (15-23 du/ac)	Multifamily	11.0 (9.3)	21.7 (16.9)	32.7 (26.2)	176	364	540	21.0	21.5	18.7
RESIDENTIAL SUBTOTAL:		88.0 (81.8)	91.0 (79.4)	179.0 (156.3)	580 ³	672 ³	1,252	7.1	8.4	8.0

¹ Density based on estimated net developable acreage.

² Affordable units will be provided within each Village, in conformance with the Inclusionary Housing Ordinance.

³ Unit distribution may change if units are transferred between Planning Areas or Villages, in accordance with Master Plan Section II.F.

Table I-1 Land Use Summary (Cont'd)

General Plan Designation	Development Type	Gross Acreage (Net)			Units			Density ¹		
		East Village	West Village	Total	East Village ²	West Village ²	Total ²	East Village	West Village	Total
L/CF Local Shopping Center/Community Facility	Village Center	0.0	15.3 (12.0)	15.3 (12.0)	-	-	-	-	-	-
OS Open Space	Community Recreation ⁵	2.0 (2.0)	1.0 (1.0)	3.0 (3.0)	-	-	-	-	-	-
					-	-	-	-	-	-
Community Facilities	Community Facilities	0.0	2.3	2.3	-	-	-	-	-	-
OS Open Space	City Park	0.0	16.1 (16.1)	16.1 (16.1)	-	-	-	-	-	-
OS Open Space	Water Quality Facility	2.9 (2.9)	0.0	2.9 (2.9)	-	-	-	-	-	-
OS Open Space	Open Space Preserve	72.4	88.3	160.7	-	-	-	-	-	
OS Open Space	PA 23G Open Space	1.1		1.1						
Roads	Roads	13.1 ⁶	5.4	18.5	-	-	-	-	-	-
NONRESIDENTIAL SUBTOTAL:		91.5 (4.9)	128.4 (29.1⁷)	219.9 (34.0)	-	-	-	-	-	-
MASTER PLAN TOTALS:		178.6 (83.9)	219.4 (102.1)	398.0⁸(186.0)⁹	580	672	1,252⁸	-	-	

⁵ Community Recreation total is approximately 3.0 acres. Additional recreation facilities will be provided within each residential planning area pursuant to the Master Plan and Planned Development Ordinance.

⁶ Includes 12.8 acres of College Boulevard and Cannon Road constructed on-site as part of Calavera Hills II.

⁸ In accordance with Master Plan Sections II.F and V.E, acreage totals and unit distribution may be modified if the 5.7-acre Option Parcel located between Planning Areas 22 and 23F is incorporated into the Master Plan through a Focused Master Plan Amendment. Total Master Plan acreage would increase to 403.7.

⁹ Total Master Plan net acreage is based on the Zone 14 LFMP net constraints acreage and is not reflective of the net acreage values shown herein for each General Plan Designation.

Extensive design guidelines and implementation standards ensure high quality development and recognizable community identities, while providing the architectural and landscape design flexibility necessary to successfully accommodate future market demands. In addition, the project design has incorporated the requirements of the City's Livable Neighborhood Policy and Livable Streets Ordinance and reflects smart growth elements, as exemplified by the Ahwahnee Principles.

East Village Land Uses

The Architectural Design Guidelines are intended to evoke a rural atmosphere by utilizing the architectural elements consistent with both traditional European and related early California design. The Landscape Design Guidelines establish the project's character and provide thematic continuity throughout the entire community. Through the thematic blending of hardscape and planting elements, the landscape plan helps create a strong "sense of identity." Elements of the landscape theme include appropriately landscaped common areas and landscape materials identified with rural communities, including river rock, stone, clusters and groves of trees, wood materials, earth-tone colors, and a diversity of materials.

The 178.6-acre East Village provides 482 dwelling units within seven residential neighborhoods consisting of four planning areas totaling 320 dwelling units on 5,000 square-foot lots², one planning area consisting of 84 courtyard homes, and a multifamily neighborhood composed of 78 units and a senior housing site composed of 98 senior units. The affordable units for the East Village will be accommodated in the multifamily neighborhood. The majority of the East Village single-family neighborhoods will utilize a grid-pattern of streets, resulting in a high degree of internal connectivity, in conformance with the Ahwahnee Principles. The nonresidential portion of the East Village includes 2.0 net acres of the required Community Recreation facilities within a centrally-located community park site, and approximately 16.5 acres of roads. The East Village also provides approximately 72.4 acres of open space, mostly located within the wildlife corridor, as well as recreation and circulation trails to encourage alternative transportation methods, in conformance with the Ahwahnee Principles.

Planning Area 22, located south of Cannon Road between Street "A" and Street "O" within the East Village, shall be designated for high density senior housing and a permanent RV storage facility for the Robertson Ranch Master Plan.

² Within Planning Area 18, a minimum lot size of 4,500 square feet is permitted for those lots which abut Cannon Road.

West Village Land Uses

The West Village residential Land Uses include a total of 672 dwelling units in five single-family neighborhoods and two multifamily neighborhoods. Single family neighborhoods within the West Village include 308 dwelling units which are distributed as follows: 36 units in Planning Area 5 on 8,500 square-foot minimum lots, 74 units in Planning Area 9/10 on 6,000 square-foot minimum lots, 113 units in Planning Areas 6 and 13 on 5,000 square-foot minimum lots, and 85 units in Planning Area 3 on 4,000 square-foot lots. The two high-density multifamily neighborhoods include a total of 364 dwelling units on Planning Areas 7 and 8, including the required inclusionary housing units and a maximum of 56 units of moderate income housing. A maximum unit transfer of 10 percent between villages and/or planning areas may be permitted through a Minor Master Plan Amendment (refer to Section V, MASTER PLAN IMPLEMENTATION MEASURES).

In addition to the residential component of the Master Plan, the West Village provides a 12.0 net-acre Village Center which will accommodate commercial uses and a portion of the project's 5.0-acre community facilities requirement. The Village Center also could be developed as a mixed use project. The Master Plan Community Facilities requirements will be accommodated in part within the Village Center. The remainder of the Community Facilities will be located on Planning Area 2. The West Village also provides a public park site on 16.1 acres and 1.0-net acre of centralized community recreation for the surrounding neighborhoods. The West Village provides approximately 88.3 acres of open space, mostly located within the wildlife corridor, as well as recreation and circulation trails to encourage alternative transportation methods.

Open Space and Recreation

The Master Plan preserves approximately 161.8 acres of open space, including re-vegetated manufactured slopes, detention basins, Diegan coastal sage scrub habitat, and riparian and wetland habitats. In accordance with the standards for the project site contained in the adopted Habitat Management Plan (HMP), the Master Plan permanently preserves and protects more than 67 percent of the existing 71.6 acres of Diegan coastal sage scrub habitat existing on the site. In addition to providing for the permanent conservation of "Link B" as a 500 to 600-foot wide Wildlife Corridor, the project exceeds the HMP requirements by providing a 400 to 500-foot wide east-west wildlife corridor, utilizing an existing 12 feet wide by 6 feet high arched soft-bottom culvert under-crossing of College Boulevard, which was not envisioned by the adopted HMP. In accordance with the Citywide Trails Program, portions of this open space are made accessible by a trail system consisting of both paved circulation trails and unpaved recreation trails, which encourage the movement of pedestrians and bicyclists throughout the project.

One of the goals of the Robertson Ranch Master Plan is to incorporate a functional pedestrian/bike circulation system that will facilitate the movement of pedestrians and bicyclists through the site while minimizing the need for motorized forms of transportation. Figure III-54, *Pedestrian Circulation Plan*, includes a "5-minute Walk Radius Plan" which helps to illustrate the pedestrian/bike orientation of the Master Plan. As depicted on this figure, many of the proposed residential planning areas will be located within close proximity to the commercial,

recreation, community facilities, and open space components of the project, and access to these areas will be facilitated by the project's extensive pedestrian and bicycle trail system.

As shown on Figure III-54, *Pedestrian Circulation Plan*, the pedestrian/bike trail system will be composed of various types of pathways. Forming the backbone of the pedestrian/bike circulation system within each village will be landscaped paseos featuring enhanced pedestrian walkways that are intended to minimize the conflict between pedestrian and vehicular traffic. These landscaped paseos will be supported by several pedestrian and bicycle-oriented parkways that offer connectivity within each village, while a variety of unpaved trails will connect each village and surrounding communities. The trail system also provides alternative transportation links for residents of both villages to Cannon Road, College Boulevard and El Camino Real, as well as through the open space, providing access to parks and other land uses. The trail system is designed to permit future connections with adjacent off-site unpaved recreational trails as well as circulation trails and sidewalks in accordance with the Citywide Trails Program.

The provision of trails and pedestrian circulation elements are important components of the Ahwahnee Principles. The connectivity afforded by the trails network will ensure that pedestrians and bicyclists are provided with access from each residential neighborhood to the various land uses that are essential to the daily life of residents, such as parks, community facilities, and commercial uses. The direct pedestrian/bike connectivity from all portions of the Master Plan to major roadways, such as El Camino Real and College Boulevard, will ensure a short walking/riding distance to public transit. Finally, the centrally located paseos will encourage frequent use of the trail network, and will include aesthetically enhanced landscape and hardscape treatments so as to attract the presence of people.

Circulation

The Robertson Ranch Master Plan also accommodates and implements elements of the regional transportation system, including El Camino Real, Cannon Road and College Boulevard. Development of the West Village requires construction of El Camino Real to its ultimate half-width of a 63-foot right of way, as well as providing setbacks, walls and landscaping as required by the City Landscape Manual and Scenic Corridor Guideline. The majority of the construction of College Boulevard and Cannon Road has been completed as part of the Calavera Hills project, adjacent to the north. The Robertson Ranch Master Plan will be responsible for completing College Boulevard and Cannon Road by constructing the outside lanes, landscaping medians, and ultimate project landscaping components.

Traffic calming measures will be implemented where appropriate to slow traffic and provide for a safer pedestrian and bicycle oriented community. Such measures may consist of, but are not limited to roundabouts/traffic circles, intersection bulb-outs, and/or mid-block choker curb extensions that narrow a street by extending the curbs towards the center of the roadway. Traffic calming measures are discussed in more detail in Section IV of this Master Plan.

Primary access to the West Village from El Camino Real is provided by a 116-foot-wide landscaped boulevard (Figure III-39, *Primary West Village Entry Street (Street "Z") Streetscape*), consisting of 96 feet of right-of-way, composed of 60 feet of pavement, a 16-foot-wide landscaped center median, and a 20-foot-wide landscape parkway (including 10 feet within the right-of-way and 10 feet of additional landscape design zone outside of the right-of-way)

with a meandering 6-foot sidewalk on each side of the roadway. Street “Z” terminates at the community focal point, where the multifamily and community facility land uses are clustered around a landscaped plaza. Secondary access to the West Village is provided at two locations, i.e.; Street “Y” (a local hillside street referenced in this Master Plan as the “Tamarack Connection”), which extends southward from Tamarack Avenue, and also a driveway access at the south end of Planning Area 11, which provides access to the Village Center. This access to the Village Center is a right-in, right-out access onto El Camino Real and is designed in accordance with the standards of the City of Carlsbad Engineering Department.

Primary access to the East Village is from Cannon Road and is provided by a wide, richly landscaped boulevard (Figure III-40, *Primary East Village Entry Street (Street “A”) Streetscape*). Street “A” consists of an 88-foot wide right-of-way, including 50 feet of pavement and an 18-foot wide landscaped median, in addition to a 15- to 20-foot³ wide landscaped parkway along both sides of the roadway (including 10 feet within the right-of-way and 5 to 10 feet³ of additional landscape design zone outside of the right-of-way) which includes a 5-foot wide meandering sidewalk. Street “A” also will feature a 46-foot wide landscaped traffic circle that will slow vehicular traffic (Figure III-41, *Conceptual Traffic Circle Treatment*), provide an attractive scenic vista for motorists passing by on Cannon Road, and will help identify this boulevard as a focal point within the community. The community park located adjacent to Street “A” also will help identify this boulevard as a community focal point and will provide access to the project’s extensive pedestrian trail system.

Secondary access to the East Village is provided via Street “O,” which extends northward from Cannon Road into the project site. Street “O” consists of a 78-foot-wide right-of-way, composed of 40 feet of pavement and an 18-foot wide landscaped median (Figure III-42, *East Village Entry Street (Street “O”) Streetscape*). Five-foot meandering sidewalks will be provided along both edges of Street “O” which will meander within a 10-foot parkway. An additional 10-foot Homeowners’ Association landscaped area will be provided along both sides of the roadway outside of the right-of-way as a buffer between the residential lots and the road. Where feasible, the meandering sidewalk also may meander within the additional 10-foot Homeowners’ Association landscaped area. Accessing the East Village on these entry roads provides a view of the community recreation facility or 13.9-acre community park.

Access to the individual residential neighborhoods in both the East and West Villages is provided by collector and local streets constructed in accordance with the City’s Livable Streets Policy. Additionally, internal streets in the East Village will be designed in a grid pattern to achieve maximum circulation connectivity in accordance with the City’s Livable Streets Policy and the Ahwahnee Principles. Moreover, the single-family neighborhoods within the Master Plan will be designed to promote street scene diversity by encouraging variation in setbacks, architectural enhancements, and single-story elements. Details and cross sections of the project roadways are provided in Section III-B, DESIGN GUIDELINES. The project is phased in a logical sequence and is expected to be constructed over a period of approximately 10 years, in response to market demands. Several development phases may occur, and the development of roadways and public facilities would occur as needed to support development of land uses contained within each phase.

³ Street “A” has a 10-foot landscape buffer adjacent to Planning Areas 12 and 15, and a 5-foot landscape buffer adjacent to Planning Areas 13 and 14.

E. Entitlements Needed to Implement the Master Plan

Implementation of the various components of the development plan contained within the Robertson Ranch Master Plan required the concurrent approval of entitlement applications and permits, by the City of Carlsbad, as well as by State and Federal resource agencies. Table I-2, *Robertson Ranch Master Plan Permit Matrix*, organizes the required and dependent permits by planning area.

1. 2006 Concurrent Entitlement Applications:

During the City's consideration and approval of the original 2006 Master Plan, the processing, favorable consideration and approval of the Robertson Ranch Master Plan required that the following applications be considered concurrently:

- **General Plan Amendment (GPA 02-04)**
As part of the proposed project, a General Plan Amendment was filed which amended the General Plan Land Use designations within the project site to be consistent with the land uses proposed by the Master Plan document. The redistribution of land uses proposed included the following designations: "OS" (Open Space), "RLM," "RM," "RMH" (Medium-High Density, 8 to 15 du/ac), "RH" (High Density, 15 to 23 du/ac), "CF" (Community Facilities), "E" (Elementary School), "UA" (Unplanned Area), and "L."
- **Amended Local Facilities Management Plan for Zone 14 (LFMP 14(B))**
Pursuant to the City's Growth Management Program (Title 21, Chapter 21.90 of the Municipal Code), a Local Facilities Management Plan (LFMP) amendment was filed for Zone 14 concurrently with this Master Plan. The amendment addressed the public facilities, infrastructure requirements, capital improvements and financing mechanisms which are required to adequately serve the project.
- **Certification of a Program Environmental Impact Report (EIR 03-03)**
The Program EIR constituted all environmental review required for approval of this Master Plan and all related discretionary actions.
- **Master Tentative Map (CT 02-16)**
A Master Tentative Map was filed concurrently with this Master Plan for the portion of the site identified as the "East Village."
- **Hillside Development Permit (HDP 02-07)**
A Hillside Development permits was processed for all neighborhoods proposed on land with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal Code.
- **Special Use Permit (SUP 02-05) (Flood Plain Special Use Permit)**
A Flood Plain Special Use Permit was applied for at the time the related Master Tentative Tract Map was submitted for development within any area of special flood hazards, area of flood-related erosion hazards, or areas or mudslide hazards established in Section 21.110.070 of the Carlsbad Municipal Code.

2. **Subsequent/Concurrent Entitlements to Implement the Master Plan**

Over the life of the Robertson Ranch Master Plan, a variety of entitlement actions and discretionary permits will be required to implement the components of the plan. The following entitlements are anticipated to be required for the implementation of one or more aspects of the Master Plan:

Planning Discretionary Actions:

1. Master Tentative Tract Map(s) may be processed to divide the West Village of the Master Plan area into distinct parcels. The Master Tentative Tract Map may encompass the entire West Village or a portion thereof to facilitate development phasing.
2. Master Plan Amendment In 2010, the City of Carlsbad adopted a General Plan Amendment, Zone Change, Master Plan Amendment, Subdivision, Site Development Plan and an Office Planned Development Permit to allow for an office and a permanent RV storage facility on Planning Area 22. The off-site Option Parcel is owned by the Rancho Carlsbad HOA and no plan exists to include it within this Master Plan.
3. Tentative Tract Maps and Final Maps shall be processed to further subdivide planning areas.
4. Planned Unit Development Permits or Condominium Permits shall be processed to create single-family residential lots which are less than 7,500 square feet in area, to allow for airspace ownership of dwelling units, or to provide for planning areas with private roads.
5. Site Development Plans shall be processed for any multifamily residential developments having more than four dwelling units or an affordable housing project of any size. A Site Development Plan also is required for neighborhoods having a minimum lot size of 7,500 square feet or greater. A Site Development Plan shall be required for the community recreation areas (Planning Areas 4 and 19), daycare centers, and commercial development (Planning Area 11).
6. Conditional Use Permits shall be obtained for any fire station, church, community facilities, public park (Planning Area 12), temporary RV storage facilities, as well as other uses designated as allowed by a conditional use permit.
7. Hillside Development Permits shall be processed for all planning areas proposed on land with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal Code.

8. Nonresidential Planned Unit Development Permits pursuant to Chapter 21.47 must be submitted with any nonresidential tentative map that creates commercial lots less than one acre in size, or lots that do not have frontage on a public street or have shared access or parking. A nonresidential PUD also shall be required for the subdivision of residential units if proposed as part of a mixed-use development.
9. El Camino Real Scenic Corridor Special Use Permits shall be obtained before construction or development occurs within any planning area adjacent to El Camino Real.
10. Flood Plain Special Use Permits shall be applied for at the time the related Master Tentative Tract Map is submitted and shall be obtained before construction or development begins within any area of special flood hazards, area of flood-related erosion hazards, or areas of mudslide hazards established in Section 21.110.070 of the Carlsbad Municipal Code.

Table I-2 Robertson Ranch Master Plan Permit Matrix

DEVELOPMENT PERMIT	PLANNING AREAS																								
	1	2	3	4	5	6	7	8	9/10		11	12	13	14	15	16	17	18	19	20	21	22	23A-B	23C-G	
Tent. Subdivision Map			●		●	●	①	①	●		①		●	●	①	●	●	●			●				
Planned Dev. Permit			●		●	●	①	①			⑤		●	●	①	●	●	●			●				
Site Dev. Plan				●			②	②	④		●				②				●						
Hillside Dev. Permit ⁴			○		○	○	○	○	○		○	○			○	○	○	○			○				
Scenic Corridor SUP		●					●				●														
CUP		○									●	●													
Other												⑥								⑥					⑥
●= Denotes permit required for development																									
○= Denotes permit may be required for development depending upon type of development																									
① = This permit required if developed as condominiums																									
② = This permit required if developed as apartments and/or affordable housing																									
④ = Site Development Plan is for review of architecture and plotting.																									
⑤ = Nonresidential Planned Unit Development Permit if developed as a mixed-use project with 'for sale' condominiums.																									
⑥ = Special Use Permit (flood plain) required if not previously processed with Master Tentative Map																									

⁴ A Hillside Development Permit shall be required with the Master Tentative Maps for the East and West Villages and may be required for individual planning areas.

F. Authority

The Robertson Ranch Master Plan has been prepared in accordance with Title 21, Section 21.38 of the City of Carlsbad Municipal Code, Planned Community Zone, and in consideration of, and in accordance with, all regulations, conditions, programs, and policies of the City of Carlsbad General Plan, including but not limited to the Growth Management Plan, Local Facilities Management Plan for Zone 14, and the adopted Habitat Management Plan. These considerations include: 1) the location of and standards for land uses, building and facilities; 2) the location of and standards for roadways, drainage, and other essential facilities; 3) standards for population density and building intensity and provisions for supporting services; 4) standards for the conservation, development and use of natural resources; 5) a program of implementing the conservation and open space element, and 6) other implementation measures. The Master Plan has been prepared in accordance with the City of Carlsbad Municipal Code Section 21.38.060, Contents of a master plan.

This Master Plan establishes land uses, residential densities, infrastructure improvements, and a circulation pattern for the area historically referred to as Robertson Ranch. This document also establishes a set of zoning regulations, regulatory procedures, and design guidelines that have been formulated for the implementation of the land uses included within the Robertson Ranch Master Plan. Infrastructure and public facilities, both on-site and off-site, are planned to accommodate the buildout requirements of the Robertson Ranch Master Plan, ensuring that the City's goals for balanced, orderly growth are implemented. Implementation of this Master Plan will provide assurance to the City of Carlsbad that ultimate development of the site will be consistent with the intended goals and objectives of the City General Plan and the Facilities Management Plan for Zone 14.

The adopted Master Plan functions as an important component in the development implementation process, by serving as the basis for reviewing subsequent development plans, subdivisions, and other discretionary permits.

The Robertson Ranch Master Plan shall constitute the orderly development and the zoning for the property. Consistent with the City of Carlsbad Municipal Code, any violation of the standards and regulations identified in the Robertson Ranch Master Plan adopted by the City of Carlsbad's City Council shall be considered a violation of the Zoning Ordinance. Should any conflict arise between the Master Plan zoning regulations and existing City policies, procedures or ordinances, the provisions of this Master Plan shall prevail. Where the Master Plan is silent on an issue, the requirements of the Carlsbad Municipal Code shall apply. If any term, provision or condition of this Master Plan is found to be invalid or unenforceable, the remainder of this Master Plan shall not be affected.

II. DETAILED PLAN DESCRIPTION

A. Planning Context for the Robertson Ranch Master Plan

The Robertson Ranch Master Plan is intended to provide future residents of the project with places to work, live, shop, and recreate within a single, consolidated community. By meeting many of the daily needs of residents within the Master Plan boundaries, many impacts associated with traditional development patterns such as traffic congestion, air pollution, loss of open space, and increased costs for public services and infrastructure could be reduced, and perhaps more importantly, the creation of places that lack character and a sense of community would be avoided. These considerations are at the center of a relatively recent trend in community design, commonly referred to as “smart growth,” which recognizes the critical connection between the physical relationships and components comprising development and the quality of life for the residents of a community.

Techniques for implementing smart growth elements are perhaps best expressed by the Ahwahnee Principles. One key goal of the Ahwahnee Principles is to create walkable communities that meet the day-to-day needs of the residents that will inhabit them. Other considerations addressed by the Ahwahnee Principles are the importance of public spaces, the need to provide areas of open space and greenbelts, and the benefits of land use efficiency. The design proposed for the Robertson Ranch Master Plan reflects many of the Ahwahnee Principles and seeks to meet the needs of those who will ultimately live, work, and shop within the community.

Each of the Ahwahnee Principles is listed below, followed by a discussion of how the project has addressed that principle.

1. ***All Planning should be in the form of complete and integrated communities containing housing, shops, work places, schools, parks and civic facilities essential to the daily life of the residents.***

The Robertson Ranch Master Plan is a complete and fully integrated community which meets the various daily needs of future residents. The Land Use Plan is composed of two distinct communities separated by a wildlife corridor, and the dual village concept is the result of the need to accommodate the wildlife corridor. The land use plan provides for the development of a diversity of housing choices, including a wide range of single-family housing opportunities and a variety of multifamily housing densities, including affordable housing units. The master plan includes a commercial component to provide opportunities for employment and shopping, which will be integrated with a community facility site to meet a variety of civic purposes, including a daycare facility. The project contains a centrally located park site which may act as the focus of community activity. Recreational uses are provided throughout the plan, including 13.9 acres of parkland within Planning Area 12, 5.0 acres of community recreation facilities conveniently located near the residential areas they will serve, and a variety of paved circulation element trails and unpaved recreation element trails, which wind through the project open space, residential villages, and along Cannon Road, College Boulevard and El Camino Real.

- 2. Community size should be designed so that housing, jobs, daily needs, and other activities are within easy walking distance of each other.***

The Robertson Ranch Master Plan Land Use Plan is composed of two distinct communities separated by a wildlife corridor. While the dual village concept utilized by this plan was the result of the need to accommodate the wildlife corridor, the result is a project which provides for a human scale of development within each village. Although not all daily needs could be practically accommodated within each village, the villages are designed to accommodate many of the daily needs of the residents of each village within a short walk of their homes. Pedestrian circulation within each village and between the villages is encouraged by the provision of community gathering or focal points within each village, and by the provision of an extensive pedestrian trail system. Figure III-54, *Pedestrian Circulation Plan*, includes a “Five Minute Walking Radius” which demonstrates that the majority of the homes in each village are within a short walk of the focal points and gathering places within the respective villages.

The land use concept for the East Village creates two community activity nodes within walking distance of the majority of homes in this Village. These activity nodes include the community park located adjacent to major roadways where public transit facilities are or will be available, and the community recreation facility within Planning Area 19.

The land use concept for the West Village also creates two community activity nodes within walking distance of the majority of homes in this Village. The primary community activity node is envisioned as a 12.0 net-acre Village Center within Planning Area 11, which will accommodate a combination of community facilities, commercial land uses and/or multifamily units on the second story above the commercial components. This community activity node is located adjacent to two West Village multifamily neighborhoods as well as the transit opportunities provided by El Camino Real. A secondary community activity node is created by the 1.0-acre Community Recreation area located in Planning Area 4.

- 3. As many activities as possible should be located within easy walking distance of transit stops.***

The land use concept for the Robertson Ranch Master Plan anticipates that future public transit along El Camino Real, Cannon Road, and Tamarack Avenue provided by the North County Transit District will be in close proximity to the community activity nodes within the project. Therefore, the multifamily and affordable residential planning areas and community activity nodes are located either adjacent to anticipated future bus routes on El Camino Real, Cannon Road, College Boulevard, and Tamarack Avenue, or within a 5-minute walking distance of anticipated locations for future public transit facilities.

- 4. A community should contain a diversity of housing types to enable citizens from a wide range of economic levels and age groups to live within its boundaries.***

The Robertson Ranch Master Plan includes a wide range of housing opportunities including housing types and residential densities which make the community available to

people in a variety of age groups, living arrangements and economic circumstances. An array of multifamily housing types including high density products in excess of 20 du/ac are provided within the community, including “affordable” housing units as defined by City of Carlsbad “Inclusionary Housing” ordinance, which make up at least 15 percent of all housing units. These “lower-income” affordable housing units are provided in both the East Village and the West Village. In addition, and in conformance with the Ahwahnee Principles, the Robertson Ranch Master Plan will exceed the inclusionary housing within the project established policies by providing units to “moderate-income” households within the West Village of this Master Plan. As agreed to by the City of Carlsbad, 56 homes shall be provided. A selection of single-family housing types and densities, including detached courtyard homes, patio homes, and residences on lot sizes ranging from minimum 4,000 square feet to 8,500 square feet in size are provided¹.

- 5. Businesses within the community should provide a range of job types for the community’s residents.***

Employment opportunities within the Robertson Ranch Master Plan are provided by the proposed Village Center. The range of employment opportunities associated with the proposed community facilities and commercial land uses within the Village Center include: retail sales, management, service and professional positions.

- 6. The location and character of the community should be consistent with a larger transit network.***

The project site is located adjacent to several General Plan designated roadways, including Tamarack Avenue, El Camino Real, Cannon Road, and College Boulevard. Each of these roadways is designed for relatively high volumes of vehicular traffic; therefore, project entries and internal roadways have been designed to complement, accommodate, and seamlessly integrate with these roadways.

In addition, and as discussed earlier, the community activity nodes, affordable housing and higher density multifamily housing units are located adjacent to, or in close proximity to, existing or anticipated future locations of transit stops along the General Plan roadways.

- 7. The community should have a center focus that combines commercial, civic, cultural and recreational uses.***

To accommodate the required wildlife corridor, the Robertson Ranch Master Plan is composed of two distinct villages, each providing community focal points which mix community activities and informal gathering places. These gathering places and focal points are located within a short walking distance of the majority of residents within each village, and can be reached by residents of the other village via the extensive pedestrian circulation system.

¹ Lots within Planning Area 18 that abut Cannon Road may be provided with a minimum lot size of 4,500 s.f.

The East Village's primary community focal point is formed by the park facility, located adjacent to the main village entry road traffic circle. A second informal community gathering place is created by the Community Recreation facility in the center of the East Village.

The community focal point for the West Village is created by the mixture of residential, commercial, civic and cultural uses located along the primary entry road to this village. A second community gathering place is created by the Community Recreation facility in the center of the West Village.

8. ***The community should contain an ample supply of specialized open space in the form of squares, greens and parks whose frequent use is encouraged through placement and design.***

The Robertson Ranch Master Plan integrates open space land uses into the community in a manner which, where appropriate, encourages use by project residents. The project includes the preservation of approximately 161.8 acres of the site as natural open space to facilitate wildlife movement and preserve sensitive habitat. Portions of this area will be fenced to discourage unauthorized use of the natural open space, except along the designated trails. The project trail and pedestrian circulation system provides connections to the citywide trail system. In addition, a centrally located city park is provided to serve the whole community, and is accessible from the West Village via the main trail crossing the wildlife corridor. Each Village contains a primary Community Recreation area as well as pocket parks within each neighborhood, all of which include opportunities for passive and/or active recreation. The Village Center development standards ensure that a public gathering place which provides an opportunity for residents and shoppers to interact with one another will be incorporated into the design.

9. ***Public spaces should be designed to encourage the attention and presence of people.***

The use of the community activity areas and the public spaces by project residents is promoted by the project design, which locates these uses in areas that are easily accessible to project residents and are near complementary land uses. The community activity areas are located adjacent to the project's higher density residential uses, which allow these public spaces to augment the limited private space available to these residents. The pedestrian trail and circulation system are designed to encourage pedestrian access to these areas. The primary village entries are located adjacent to or lead to the village community activity areas, which feature enhanced landscaping treatments. The community activity areas are located in close proximity to the projects primary roadways and are reachable by pedestrian trails and sidewalks. The primary village entries and streetscapes are designed to encourage pedestrian use with the introduction of wide meandering sidewalks with parkways and trees separating pedestrians from vehicular traffic. The Village Center provides a public meeting place as an opportunity for people to gather and socialize encouraging the presence and attention of residents and visitors.

10. ***Each community or cluster of communities should have a well-defined edge, such as agricultural greenbelts or wildlife corridors, permanently protected from development.***

The Robertson Ranch Master Plan provides for two distinct development clusters; the East Village and West Village, connected by a 500 to 600-foot wide wildlife corridor. The project includes approximately 161.8 acres of clearly defined, permanently protected open space provided as part of a regional wildlife habitat conservation program and includes areas preserved as wildlife movement corridors and for sensitive habitat protection. The edge of these open space areas are clearly defined through the use of fuel modification zones or perimeter roadways separating the open space from the developed areas.

11. ***Streets, pedestrian paths and bike paths should contribute to a system of fully connected and interesting routes to all destinations. Their design should encourage pedestrian and bicycle use by being small and spatially defined by buildings, trees and lighting, and by discouraging high speed traffic.***

The pedestrian facilities proposed for the project include a fully integrated system of landscaped pedestrian/bicycle trails which provide pleasant and convenient access between the various portions of the community. Two types of trails are provided within the plan: trails adjacent to roadways, and trails that traverse open space areas. Soft surface trail facilities traverse the project open space areas will be narrow and spatially defined by fences and landscaping, as appropriate and/or required by city regulations. The project also provides a variety of pedestrian trails adjacent to roadways. In certain key locations, a landscaped parkway will be placed between the driving area and pedestrian trails and sidewalks in order to encourage pedestrian activity. Paseos in each Village will promote pedestrian connectivity throughout the project area, and shared parking between the commercial and community facilities will encourage pedestrian movement. Finally, a variety of product types will be encouraged within single-family neighborhoods in order to create a more interesting and diverse street scene.

12. ***Wherever possible, the natural terrain, drainage, and vegetation of the communities should be preserved with superior examples contained within parks or greenbelts.***

Substantial portions of the project site have been disturbed by historical and ongoing agricultural operations. However, portions of the site have not been farmed and contain sensitive biological resources, steep slopes, and/or drainage courses that will be preserved and/or restored as natural open space as part of the project. Approximately 142.5 acres of the site are preserved, including areas of steep slopes containing Diegan coastal sage scrub habitat preferred by the coastal California gnatcatcher, and 21.1 acres of re-vegetated areas will be provided, as depicted on Figure II-6, *HMP Hardline Map*.

13. ***The community design should help conserve resources and minimize waste.***

The Robertson Ranch Master Plan design creates a community which conserves important environmental resources and offers residents alternatives to motorized vehicles for meeting their daily needs. The project landscape plan maximizes the use of drought resistant and low water use materials where practical to minimize the use of water. The

project will be designed to connect to the City's reclaimed water system, and reclaimed water will be used for landscape irrigation. Furthermore, a solid waste recycling program will be instituted within the project to reduce the amount of solid waste going to local landfills.

14. *Communities should provide for the efficient use of water through the use of natural drainage, drought tolerant landscaping, and recycling.*

The majority of landscape elements within the plan feature drought tolerant or drought resistant plant species. In addition, reclaimed water lines are located adjacent to the project and will be utilized as appropriate. Municipal services will be available to future residents and will provide a solid waste recycling program to reduce the amount of solid waste going to local landfills.

15. *The street orientation, the placement of buildings, and the use of shading should contribute to the energy efficiency of the community.*

The project's Design Guidelines encourage the use of trellises, porches, or other structures to create shaded areas that will minimize the need for air conditioning. The circulation network within the project consists of a traditional hierarchy of roadways which enable buildings to be oriented in a manner which maximizes opportunities for passive solar heating. Deciduous trees will be used to provide shade during the summer and will allow for light during the winter.

B. General Plan

The Robertson Ranch Master Plan is adopted by ordinance by the City Council of Carlsbad. The Master Plan is not a component of the City's General Plan, but rather a separate document that systematically implements the City's General Plan. It creates a link between the broad-based General Plan policies and the individual development proposals and neighborhood concerns for the Master Plan area.

The City of Carlsbad General Plan land use designations for the project site are shown in Figure I-6, *General Plan Land Use Map*, in Section I, INTRODUCTION. The General Plan Land Use Designations are indicated in Table II-1, *General Plan Designations*.

The land uses and development contained in the Robertson Ranch Master Plan is consistent with the General Plan, as described in Appendix "A," Robertson Ranch Master Plan General Plan Consistency Analysis, and must comply with the Master Plan development standards. All future Vesting Tract Maps or Tentative Maps and amendments to the Master Plan must be consistent with the General Plan and with the vision, goals, and programs of this Master Plan.

Table II-1 General Plan Designations

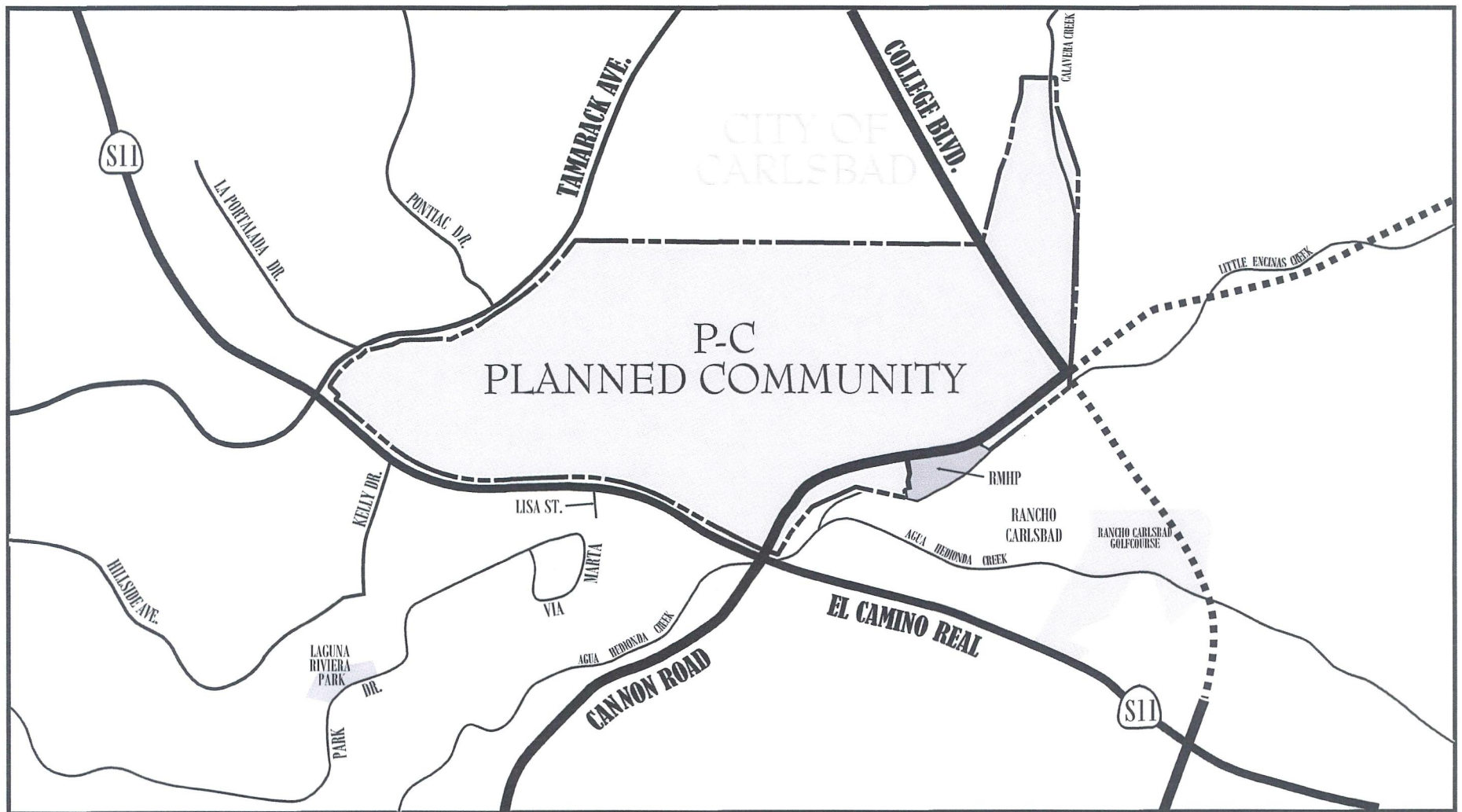
General Plan Designations	Description	Density Range Dwelling units per acre	Growth Control Point
RLM	• Residential Low Medium	0-4	3.2 du/ac
RM	• Residential Medium	4-8	6 du/ac
RMH	• Residential Medium High	8-15	11.5 du/ac
RH	• Residential High	15-23 ¹	19 du/ac
R-23	• Residential Density 23	15-23 du/ac ³	19 du/ac
CF	• Community Facilities	-	-
L	• Local Shopping Center	-	-
OS	• Park • Open Space • Wildlife Corridor • Community Park • Water Quality Facility • Community Recreation Areas • Fire Station ²	-	-
OS	• Open Space (Hillside)	-	-

1. Residential High Density may exceed 23 du/ac per the requirements of CMC Chapter 21.53.120 and the City Housing Element policies regarding high density and State requirements to provide affordable housing.
2. The City of Carlsbad owns 2.0 acres within Planning Area 12 for purposes of constructing a fire station.
3. The General Plan requires that the PA 22 density be developed at between 20-23 du/ac.

C. Zoning Regulations

The properties within the boundaries of this Master Plan are zoned Planned Community (P-C), as depicted on Figure II-1, *Zoning Map*. However, the P-C Zone stipulates that development within a P-C Zone may only occur in conformance with an approved Master Plan for the site. The underlying Master Plan land use zoning is shown in Figure II-2, *Underlying Master Plan Zone Designations*.

This Master Plan complies with Chapter 21.38 of Carlsbad Municipal Code, Planned Community Zone (P-C Zone) and shall constitute the zoning for all lands within the Master Plan. No person shall use or develop any land located within the boundaries defined by the Master Plan in a manner which is contrary to the provisions of the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning. Approval of this document does not affect the applicability of all other City ordinances in effect at the time building permits are issued. Pursuant to Section 21.38.030(d) of the City of Carlsbad Municipal Code, where a conflict in regulation occurs, the provisions of this Master Plan shall control. Pursuant to Section 21.38.020 of the Carlsbad Municipal Code, uses permitted in the E-A zone (agricultural uses) are permitted in the P-C Zone and shall be permitted as interim uses by the Master Plan.



PLANNING SYSTEMS



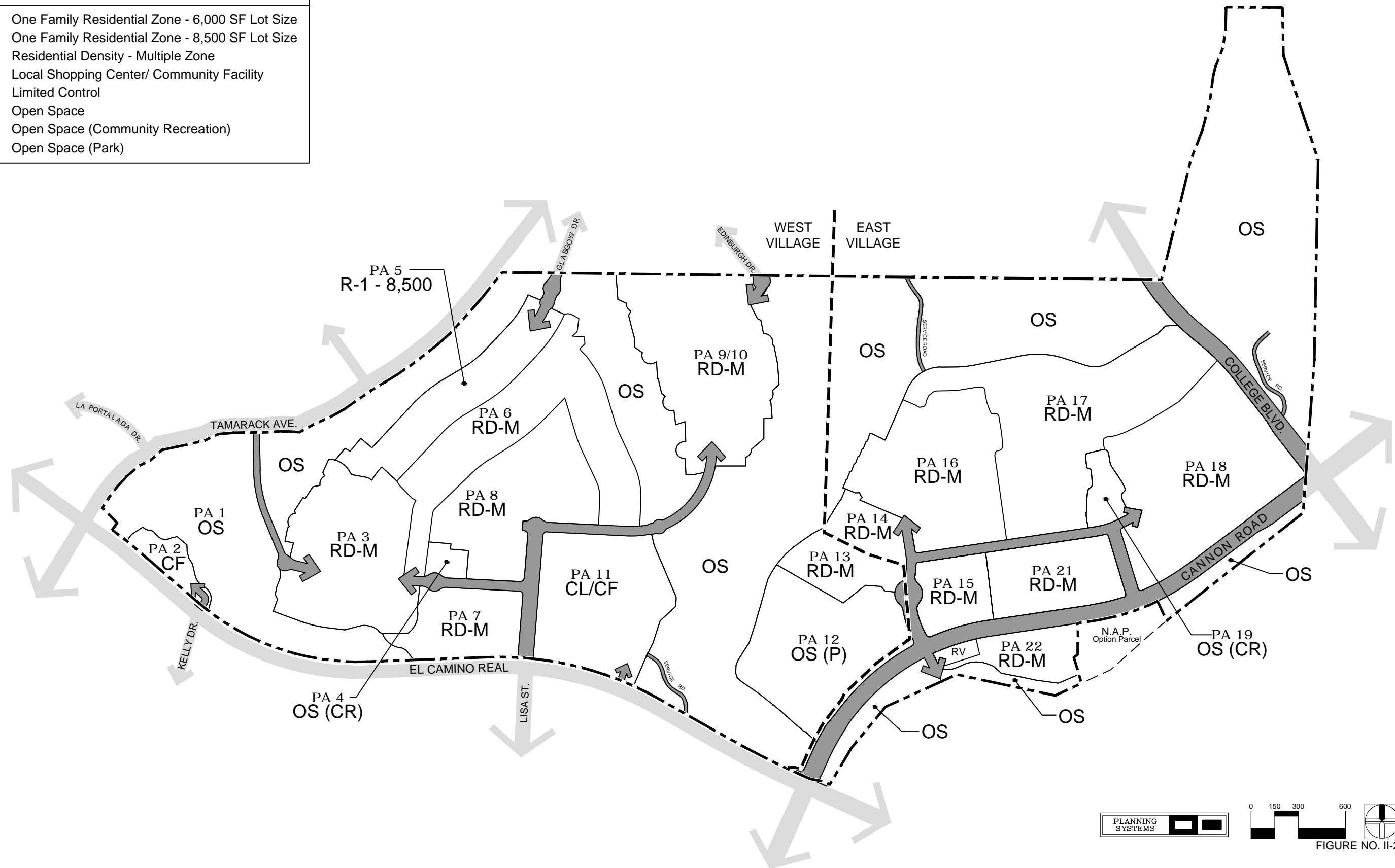
NOT TO SCALE



FIGURE NO. II-1

Robertson Ranch

LEGEND	
R-1 - 6,000	One Family Residential Zone - 6,000 SF Lot Size
R-1 - 8,500	One Family Residential Zone - 8,500 SF Lot Size
RD-M	Residential Density - Multiple Zone
CL/CF	Local Shopping Center/ Community Facility
L-C	Limited Control
OS	Open Space
OS (CR)	Open Space (Community Recreation)
OS (P)	Open Space (Park)



Robertson Ranch

Uses and development standards allowed in each Planning Area are indicated in Section III, DEVELOPMENT AND REGULATORY PROVISIONS of this Master Plan. Uses which would be allowed as conditional uses shall be permitted only upon obtaining a Conditional Use Permit processed according to the applicable provisions of the Carlsbad Municipal Code. This Master Plan has been prepared in compliance with the following four goals in Section 21.38.010 of the Planned Community Zone, in the Carlsbad Municipal Code:

1. Provide a method for and to encourage the orderly implementation of the General Plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted master plan to provide an environment of stable and desirable character;
2. Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
3. Allow for the coordination of planning efforts between developer and City to provide for the orderly development of all necessary public facilities to insure their availability concurrent with need; and
4. Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the City, provided such plans are in accordance with the approved planned community master plan.

D. Overview of Land Uses

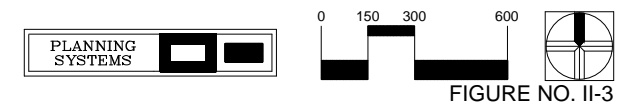
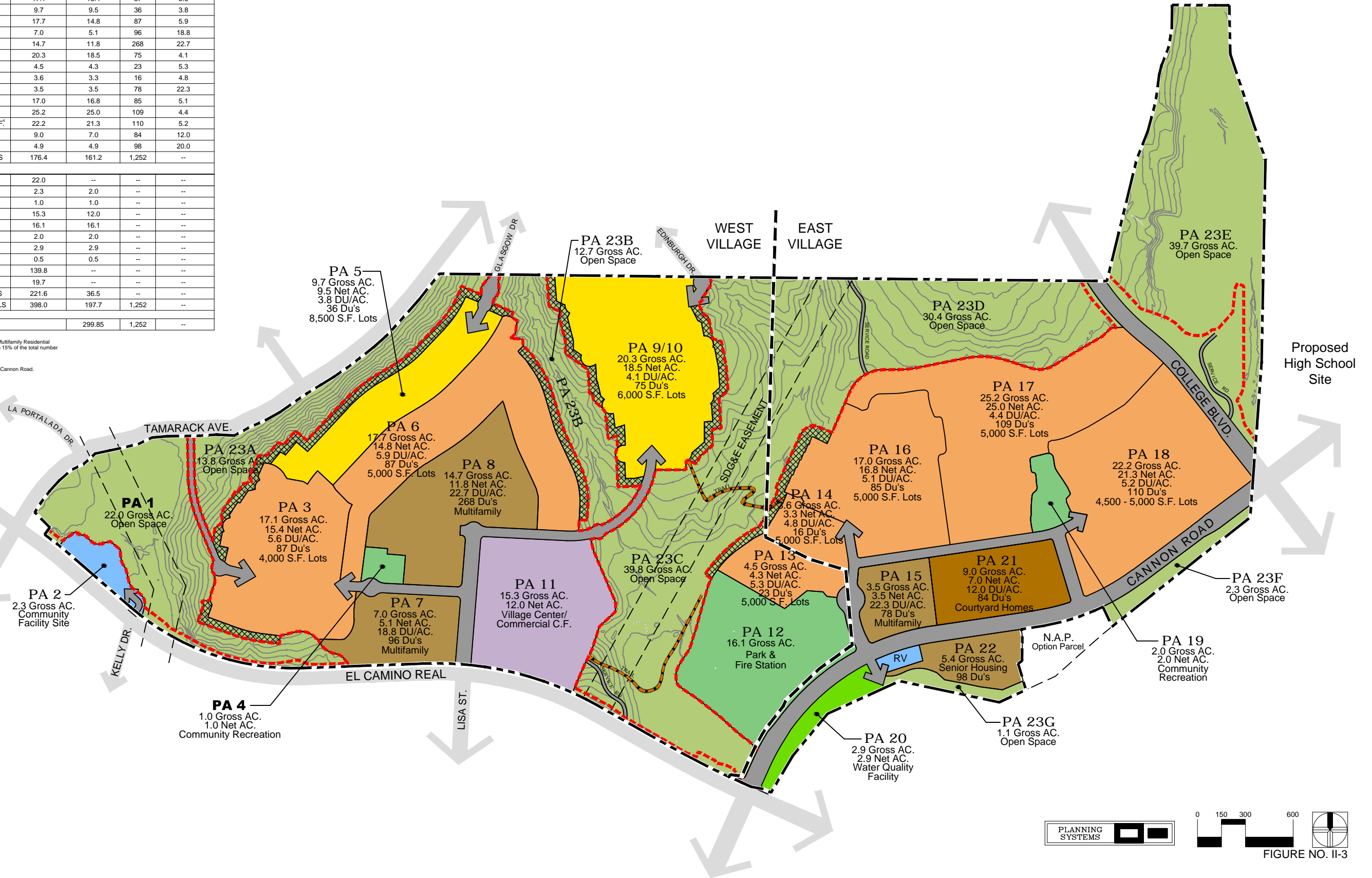
1. Overview of the Village Concept

The Robertson Ranch Master Plan consists of a variety of land uses (see Figure II-3, *Master Plan Land Use Map*, and Table II-2, *Detailed Land Use Summary*), and is envisioned as a balanced master planned community integrating residential, commercial, recreational and open space land uses. The project provides for the creation of a community composed of two villages, the “East Village” and the “West Village.” However, the entire 398.0-acre site is a single master planned community in order to ensure that adequate provisions are made for public facilities, open space, and affordable housing, as required by the City’s Growth Management Ordinance and Habitat Management Plan. This Master Plan encompasses the entire 398.0-acre site.

STATISTICAL SUMMARY					
PA	LAND USE	GROSS ACRES	NET ACRES ³	DU'S	NET DENSITY
RESIDENTIAL					
3	Single Family Residential - 4,000 S.F.	17.1	15.4	87	5.6
5	Single Family Residential - 8,500 S.F.	9.7	9.5	36	3.8
6	Single Family Residential - 5,000 S.F.	17.7	14.8	87	5.9
7	Multifamily Residential	7.0	5.1	96	18.8
8	Multifamily Residential	14.7	11.8	268	22.7
9/10	Single Family Residential - 6,000 S.F.	20.3	18.5	75	4.1
13	Single Family Residential - 5,000 S.F.	4.5	4.3	23	5.3
14	Single Family Residential - 5,000 S.F.	3.6	3.3	16	4.8
15	Multifamily Residential	3.5	3.5	78	22.3
16	Single Family Residential - 5,000 S.F.	17.0	16.8	85	5.1
17	Single Family Residential - 5,000 S.F.	25.2	25.0	109	4.4
18	Single Family Residential - 4,500 - 5,000 S.F. ⁴	22.2	21.3	110	5.2
21	Courtyard Residential	9.0	7.0	84	12.0
22	Senior Housing	4.9	4.9	98	20.0
RESIDENTIAL TOTALS		176.4	161.2	1,252	--
NON-RESIDENTIAL					
1	Open Space	22.0	--	--	--
2	Community Facility Site	2.3	2.0	--	--
4	Community Recreation	1.0	1.0	--	--
11	Village Center/Commercial	15.3	12.0	--	--
12	Park and Fire Station	16.1	16.1	--	--
19	Community Recreation	2.0	2.0	--	--
20	Water Quality Facility	2.9	2.9	--	--
22	RV Storage	0.5	0.5	--	--
23A-G	Open Space	139.8	--	--	--
	Major Roads ²	19.7	--	--	--
NON-RESIDENTIAL TOTALS		221.6	36.5	--	--
PROJECT TOTALS		398.0	197.7	1,252	--
OVERALL TOTAL⁵		299.85	1,252	--	--

1. Actual number of affordable units that will be provided within the Multifamily Residential neighborhoods of each Village of the Master Plan will be no less than 15% of the total number of units approved for each Village.
2. Includes 12.8 acres of Cannon Road and College Blvd.
3. Net acres excludes brush management.
4. Minimum lot size of 4,500 s.f. is permitted only for lots which abut Cannon Road.
5. See Zone 14 LFMP for Net Constraints Acreages.

--- Limits of Hardline Map Boundary
 Brush Management per HMP Hardline Map



Robertson Ranch

Table II-2 Detailed Land Use Summary									
Land Use Designation	Underlying Zoning	Land Use	Planning Area	Gross Acres	Net Acres	Growth Control Point	Net Density (du/ac)	GCP du's ¹	Proposed du's
WEST VILLAGE - RESIDENTIAL									
RM	RD-M	Medium Density Residential (4,000 s.f.)	3	17.1	15.4	6.0 du/ac	5.5	92.4	85
RLM	R-1-8,500	Low-Medium Density Residential (8,500 s.f.)	5	9.7	9.5	3.2 du/ac	3.8	30.4	36
RM	RD-M	Medium Density Residential (5,000 s.f.)	6	17.7	14.8	6.0 du/ac	5.9	86.4	87
RH ¹	RD-M	Multifamily	7	7.0	5.1	19.0 du/ac	22.7	96.9	116
RH ¹	RD-M	Multifamily	8	14.7	11.8	19.0 du/ac	21.0	224.2	248
RLM	R-1-6,000	Low-Medium Density Residential (6,000 s.f.)	9/10	20.3	18.5	3.2 du/ac	4.0	59.2	74
RM	RD-M	Medium Density Residential (5,000 s.f.)	13	4.5	4.3	6.0 du/ac	6.0	27.6	26
Village Total			--	91.0	79.4	--	9.7	617.1	672³
EAST VILLAGE² - RESIDENTIAL									
RM	RD-M	Medium Density Residential (5,000 s.f.)	14	3.6	3.3	6.0 du/ac	4.8	19.8	16
RH	RD-M	Multifamily	15	3.5	3.5	19.0 du/ac	22.3	66.5	78
RM	RD-M	Medium Density Residential (5,000 s.f.)	16	17.0	16.8	6.0 du/ac	5.1	100.8	85
RM	RD-M	Medium Density Residential (5,000 s.f.)	17	25.2	25.0	6.0 du/ac	4.4	150.0	109
RM	RD-M	Medium Density Residential (4,500 to 5,000 s.f.)	18 ⁴	22.2	21.3	6.0 du/ac	5.2	127.8	110
RMH	RD-M	Courtyard Residential	21	9.0	7.0	11.5 du/ac	12.4	80.5	84
R-23	RD-M	Senior Housing	22	4.9	4.9	19.0 du/ac	20.0	92.7	98
Village Total			--	85.4	81.8	--	7.1	570.5	580³
RESIDENTIAL SUBTOTAL			--	176.4	161.2	--	7.8	1,187.6	1,252³

Notes:

1 – Residential High Density may exceed 23 du/ac up to a maximum of 32 du/ac on Planning Areas 7 and 8 per the requirements of CMC Chapter 21.53.120 (Density Modification).

Table II-2 Detailed Land Use Summary (Continued)									
Land Use Designation	Underlying Zoning	Land Use	Planning Area	Gross Acres	Net Acres	Growth Control Point	Net Density (du/ac)	GCP du's	Proposed du's
WEST VILLAGE- NON-RESIDENTIAL									
CF	CF	Community Facilities	2	2.3	2.0	--	--	--	--
OS	OS-P	Community Recreation	4	1.0	1.0	--	--	--	--
CF/L	CF/L	Commercial/Community Facilities	11	15.3	12.0	--	--	--	--
OS	OS-P	City Park-Fire Station	12	16.1	16.1	--	--	--	--
OS	OS	Open Space	1, 23A – 23C	88.3	--	--	--	--	--
--	--	Roads	--	5.4	--	--	--	--	--
Village Total			--	128.4	31.1	--	--	--	--
EAST VILLAGE- NON-RESIDENTIAL									
OS	OS-P	Community Recreation	19	2.0	2.0	--	--	--	--
OS	OS	Water Quality Facility	20	2.9	2.9	--	--	--	--
R-23	RD-M	RV Storage	22	0.5	0.5	--	--	--	--
OS	OS	Open Space	23D-23G	73.5	--	--	--	--	--
--	--	Roads	--	14.3 ⁸	--	--	--	--	--
Village Total			--	93.2	5.4	--	--	--	--
NON-RESIDENTIAL SUBTOTAL			--	221.6	36.5	--	--	--	--
MASTER PLAN TOTAL			--	398.0⁹	197.7	N/A	---	1,187.6	1,252²
<ol style="list-style-type: none"> 1. GCP du's are derived by multiplying Net Acres by the Growth Management Control Point Density. 2. Affordable units will be provided in each Village, in conformance with the Inclusionary Housing Ordinance. 3. Unit distribution may change if units are transferred between Planning Areas or Villages, as described in Master Plan Section II.F. 4. Minimum lot size of 4,500 square feet is permitted for lots within Planning Area 18 which abut Cannon Road. 5. Includes 12.8 acres of Cannon Road and College Boulevard. 6. Acreage would increase to 403.7 if the Option Parcel is included in the Master Plan. 7. Master Plan Total Net Acres is based on the Zone 14 LFMP net constraints acreage and is not reflective of the net acreage values shown herein for each Planning Area. 8. Overall Master Plan Density is calculated based on the net constraints acreage, per the Zone 14 LFMP. 9. Unit distribution and/or total number of units may change if a Major Master Plan Amendment is processed and approved to include the Option Parcel within the Master Plan as a residential neighborhood, in accordance with Master Plan Sections II.F and V.E. <p>Note: Road acreages are to the edge of right-of-way. Planning Area acreages include landscape setbacks where required.</p>									

2. East Village Land Uses

Residential land uses within the East Village include a maximum of 580 dwelling units, composed of 404 single family residential dwelling units (320 single family units on 5,000 square foot lots² and 84 courtyard homes), 78 multifamily units and 98 senior housing units. Non-residential land uses in the East Village include 2.0 acres of community recreation, and 72.4 acres of natural and re-vegetated open space. An additional 0.55 acres within the East Village are reserved as an RV storage lot (i.e., Planning Area 22).

3. West Village Land Uses

Land Uses within the West Village include 672 dwelling units, composed of 364 multifamily units and 308 detached single family units. The single family units will be distributed as follows; 85 units on 4,000 square foot lots, 113 units on 5,000 square foot lots, 74 units on 6,000 square foot lots and 36 units on 8,500 square foot lots. Included within the multifamily units located on Planning Areas 7 and 8 will be approximately 100 units of senior housing within Planning Area 7. Nonresidential uses within the West Village will include 1.0 net acre of centralized community recreation uses, Village Center commercial uses, a City park and fire station, and Community Facility uses.

4. Master Plan Buildout

Upon buildout of the Master Plan, the two villages combined will provide 1,252 dwelling units, consisting of 628 single-family residential units, 84 cluster [courtyard] residential units, and 540 multifamily residential units (including the required number of affordable units). It is important to note that the total number of required affordable units within the master plan as a whole, or within the individual villages, may increase or decrease depending upon the total final number of approved dwelling units, pursuant to City requirements. The nonresidential component of the Master Plan includes a 12.0 net-acre Village Center, community recreational uses on 3.0 acres within Planning Areas 4 and 19, Community Facility site on 2.0 acres, an RV parking facility, a City park on 16.1 acres, a water quality facility on 2.9 acres, 23.7 acres of roadways, and 161.8 acres of open space, including more than 67 percent of the 71.6 acres of existing Diegan coastal sage scrub habitat, as well as riparian and wetland habitat. The actual acreage of the community facilities will be based on the Carlsbad Municipal Code (CMC) Section 21.25.070, and the actual acreage of community recreation will be based upon CMC Section 21.45.060. The overall residential density of the Master Plan is 3.7 dwelling units per acre (based on the Zone 14 LFMP Net Constraints Acreages).

² Within Planning Area 18, a minimum lot size of 4,500 s.f. is permitted for those lots which abut Cannon Road.

5. Alternative Land Uses

The Robertson Ranch Master Plan is intended to provide flexibility by permitting alternative land uses within a number of planning areas.

Planning Areas 13 and 14 – Elementary School: The Carlsbad Unified School District rejected the option to purchase Planning Area 13 and 14 as an elementary school site. A Minor Master Plan Amendment (MP 02-03(A)) was processed for Planning Area 14 to allow for the implementation of the alternative RM land uses (i.e., Residential Medium 4-8 du/ac). Additionally, the City of Carlsbad purchased 2.0 acres within Planning Area 13 (to be consolidated with the Planning Area 12 Park site) for the purpose of constructing a fire station. A Master Plan Amendment (MP 02-03(C)) was processed to change the Elementary School (E) land use designation to Open Space (OS) on the 2.0 acre City property and to RM on the remainder of PA 13. The maximum allocation of 52 dwelling units for Planning Areas 13 and 14 is based on the Growth Control Point for the original RLM designation which would allow 32 units (10 acres x 3.2 du./ac) together with a shift of 20 dwelling units from several other planning areas (PA 5 – 10 units, PA 6 – 1 unit, PA 10 – 6 units, and PA 21 – 3 units). As proposed, 26 units will be located within Planning Area 13, and 16 units will be located within Planning Area 14. These planning areas will be developed as small-lot, detached, single-family residences on minimum 5,000 s.f. lots, according to the development standards proposed for Planning Areas 16, 17, and 18. The transfer of dwelling units shall be in accordance with the requirements of Master Plan Sections II.F.3, *Transfer of Dwelling Units*, and V.E.1, *Minor Master Plan Amendment*. The alternative land uses identified for these planning areas have increased the total number of units within the East Village from 469 to 482 units, and have increased the number of units within the West Village from 653 to 672 units, thereby increasing the total number of units allowed within the Master Plan from 1,122 to 1,154, consistent with the original Master Plan approval.

E. Detailed Description of Land Uses

1. Residential

All residential development within the Master Plan shall be consistent with the policies and programs of the City of Carlsbad General Plan, including the Housing Element, and shall be consistent with any applicable sections of Title 21 of the Carlsbad Municipal Code, except as such requirements are specifically revised by this approved Master Plan.

a) Single family housing

- (1) Single-family detached housing on 8,500 square foot minimum lots in Planning Area 5.
- (2) Single-family detached housing on 6,000 square foot minimum lots in Planning Area 9/10.
- (3) Single-family detached housing on 5,000 square foot minimum lots in Planning Areas 6, 13, 14, 16, 17 and 18³.
- (4) Single-family detached housing on 4,000 square foot minimum lots in Planning Area 3.
- (5) Detached single family courtyard condominium homes are in Planning Area 21.

b) Multifamily Housing

Multifamily housing, in the form of attached products including but not limited to condominiums, townhomes, apartments, stacked flats, duplexes, triplexes, and six-plex buildings in Planning Areas 7, 8, 15 and 22. The affordable housing requirements for the Master Plan as specified in the Carlsbad Inclusionary Housing Ordinance are accommodated within these multifamily planning areas.

c) Affordable housing

- (1) **General Requirements:** The provision of “Inclusionary” or “affordable” housing in all new developments is required by the Housing Element of the City’s General Plan. The requirements applicable to locating and constructing these housing units are stipulated in the Inclusionary Housing Ordinance, City Municipal Code Chapter 21.85. Sub-section 21.85.050 indicates in part, that “the required number of lower-income Inclusionary units shall be fifteen (15%) percent of the total residential units, approved by the final decision making authority.” “Lower-income” households are defined by sub-section 21.85.020 as, “...households...whose gross income does not exceed eighty (80%) percent of the median income for San Diego County as determined annually by the U.S. Department of Housing and Urban Development.”

The Robertson Ranch Master Plan is obligated to provide a maximum of 174 dwelling units which are affordable to lower-income households (80% median income) based on the total number of allowed units within the project, as shown on Table II-3, *Lower-Income Affordable Housing Requirements*. The inclusionary housing obligation of the Robertson Ranch Master Plan is based on the total number of dwelling units. This obligation shall be adjusted in proportion to the total number of approved and constructed dwelling units within each Village. The actual number of required lower-income units will be based on the final number of dwelling units approved for each Village within

³ Within Planning Area 18, a minimum lot size of 4,500 s.f. is permitted for those lots which abut Cannon Road.

the Master Plan. Each Village will be responsible for providing their proportional share of affordable units based on the number of approved units in each village. If the required West Village senior housing units meet the affordability criteria, then those units shall meet the requirements of this Master Plan for both senior and the inclusionary requirement. Thus, senior housing units that are restricted to the appropriate lower income rates shall qualify as combined affordable/senior housing projects.

Table II-3 Lower-Income Affordable Housing Requirements

Village	Proposed Dwelling Units	Total Affordable Units Required (15%)
East	482	73
West	672	101
Total	1,154	174

In addition, and in conformance with the Ahwahnee Principles, the Robertson Ranch Master Plan will exceed the inclusionary housing obligations of Chapter 21.85 of the Municipal Code by providing additional units affordable to “moderate-income” households within the West Village of the Master Plan. Moderate-income units, for the purposes of this section, shall be defined as those units that are affordable to households whose gross income does not exceed one-hundred twenty percent (120%) of the median income for San Diego County as determined annually by the U.S. Department of Housing and Urban Development. As negotiated with the City of Carlsbad, 56 moderate-income units shall be provided within the West Village of the Master Plan. Moderate-income units may be provided as for-sale condominium units or for-rent apartments, and may be included as part of an affordable housing development. Housing for senior citizens, as defined by Municipal Code Section 21.84.030, is also required in the West Village and these senior units may contribute to satisfying the affordable housing requirements.

Therefore, the East Village shall provide a total of 73 low income (80% of the median income) affordable housing units. The West Village shall provide a total of 101 low (80% of the median income) plus 56 moderate (120% of the median income) affordable units. The West Village shall also provide the required 100 senior units; however these senior units may be accommodated within the West Village 157 (101 du + 56 du) unit affordable program. Twenty percent (20%) of the senior housing units within Planning Area 22 shall be affordable to low income residents.

- (2) Affordable Housing Agreement / Site Development Plan:
 - (a) No building permit shall be issued for any affordable housing project unless an Affordable Housing Agreement and Site Development Plan have been approved for the project. Site Development Plans shall be processed as required by Chapter 21.53.120 of the City Municipal Code. The Site Development Plan and Affordable Housing

Agreement shall be approved by the City prior to the approval of the first individual final map, as required by Section 21.85.140. The Affordable Housing Agreement shall be consistent with the requirements of the applicable sections of the Carlsbad Municipal Code. The Affordable Housing Agreement shall be recorded and the applicable terms and conditions shall be filed and recorded as a deed restriction on the individual lots or units of a property which are designated as the location for affordable housing units.

- (b) The affordable housing development shall provide a mix of unit sizes and configurations (by number of bedrooms) as required by the Affordable Housing Agreement.
 - (c) The design of the affordable housing units shall be reasonably consistent with the design of the total project in terms of physical appearance, materials, and finished quality, as required by Section 21.85.040 of the Municipal Code and the provisions of the Affordable Housing Agreement.
 - (d) The Affordable Housing Agreement shall take precedence if the requirements of the Robertson Ranch Master Plan are determined to be contrary to any affordable housing requirements of the Affordable Housing Agreement.
- (3) Location of Affordable Housing Development: The inclusionary housing obligation of the East Village of the Robertson Ranch Master Plan will be accommodated with the construction of affordable-rate housing units within Planning Area 15 or within other areas approved by the City. This location was chosen for the East Village because of its location adjacent to the public transportation available along Cannon Road and El Camino Real, and its proximity to the proposed City Park located in Planning Area 12. The actual number of affordable units will be based upon the number of approved and constructed units within the Master Plan. More units than required by the Affordable Housing Agreement, including affordable or market rate units, may be constructed within PA 15. Units in Planning Area 15 could be constructed as apartments, condominiums, duplexes, townhomes or six-plexes.

The inclusionary housing obligation of the West Village of the Robertson Ranch Master Plan will be met by the construction of the required affordable units as apartment units, townhomes, condominiums, duplexes, or six-plexes within Planning Area 7 and/or 8, and may be a combination senior/affordable residential project, and/or mixed with market rate units. Planning Areas 7 and 8 were chosen due to their proximity to public transit on El Camino Real and Cannon Road, proximity to the Village Center (Planning Area 11), and/or the primary access roads for each Village.

Affordable housing projects on Planning Areas 7 and/or 8 may be the subject of density increase and/or standards modification in accordance with the requirements of CMC Chapter 21.53.120 and/or any density bonus provisions provided by state law and CMC Chapter 21.86. As a result of such density increase that may be approved, a corresponding decrease in unit count in another location on the West Village will be required, so as to not exceed the overall total maximum unit allocation for the West Village.

- (4) **Timing of Affordable/Inclusionary Units:** The timing of the construction of the required affordable units shall be in accordance of the provisions of the Affordable Housing Agreement entered into between the City and the property owners.
- (5) **Alternate Uses:** Since Planning Areas 13 and 14 will be constructed with the alternate residential uses identified by this Master Plan; the increase in total number of units shall result in a corresponding increase in units affordable to lower-income households required for the respective village.

2. Open Space Plan

Approximately 181.8 acres or 45 percent of the total Master Plan consists of open space areas, including 161.8 acres of permanently preserved open space, a 2.9-acre water quality facility, a city park on 16.1 acres, and 3.0 acres of community recreation lands. In addition, storm water detention basin “BJB” has been constructed within Planning Area 23E. The open space provided by the Robertson Ranch Master Plan is consistent with applicable city ordinances, standards and policies, and complies with Federal and State habitat preserve policies.

The planning areas identified as open spaces are currently owned by Calavera Hills II, LLC and the Robertson Family Trust. These natural and re-vegetated open spaces will be the subject of an open space conservation easement, to be recorded in conjunction with the final maps for the affected areas. The subject open spaces shall remain in continued ownership of Calavera Hills II, LLC or Robertson Family Trust, (or successors in interest) until they are transferred via fee title or easement to a professional environmental management entity for permanent management as is required pursuant to an approved open space hardline agreement with the USFWS and the City of Carlsbad.

All open space shall be provided consistent with the City’s General Plan, Open Space and Conservation Resource Management Plan, Growth Management Plan and adopted Habitat Management Plan and the open space areas shown within the Master Plan Land Use Plan.

There are four categories of Open Space within the Robertson Ranch Master Plan: Open Space for the Preservation of Natural Resources; Open Space for Outdoor Recreation; Open Space for Public Health and Safety; and Open Space for the Managed Production of Resources (interim use of portions of Phase II, West Village).

These open space uses, with the exception of Managed Production of Resources Open Space, are depicted on Figure II-4, *Open Space and Recreation Plan*.

(a) Open Space for the Preservation of Natural Resources:

The Robertson Ranch Master Plan design is strongly driven by the City's adopted Habitat Management Plan (HMP), which identifies the site as an important component of the city's overall open space preserve system.

The City of Carlsbad is a participant in regional resource conservation planning efforts being undertaken in northern San Diego County pursuant to the California Natural Community Conservation Planning (NCCP) Act of 1991 and the California and Federal Endangered Species Acts (CESA and ESA, respectively). This sub-regional plan is identified as the Multiple Habitat Conservation Plan (MHCP). Under the umbrella-planning framework of the MHCP, the City of Carlsbad has adopted a Carlsbad Sub-area Plan (HMP) that addresses land conservation issues.

The City of Carlsbad adopted HMP identifies the Robertson Ranch Master Plan site as comprising a significant portion of "Zone 14" of the HMP. Zone 14 is considered an important component of the overall open space preserve system primarily because it contains "Link B," a critical wildlife movement corridor between the habitat located in "Core Areas" 2, 3, and 4. As indicated in Figure II-5, *HMP Focus Planning Areas*, "Link B" traverses the project site. Additionally, the site contains approximately 71.6 acres of Diegan coastal sage scrub, riparian and chaparral habitat, including habitat used by the California Gnatcatcher.

The project design preserves approximately 161.8 acres of open space on-site, including more than 67 percent of the existing 71.6 acres of Coastal sage scrub habitat, and riparian habitat, while accommodating "Link B" and conforming to a permanent *HMP Hardline Map* (Figure II-6), in accordance with U.S. Fish and Wildlife Agency requirements.

The approved HMP Hardline Map permanently establishes the north-south trending components of "Link B" in an approximate 500 to 600-foot wide corridor composed of Planning Areas 23B, 23C and portions of 23D.

Additionally, the project incorporates a 400 to 500-foot wide east-west oriented component of "Link B", along the northern portion of the East Village, which was not envisioned or included as part of the adopted HMP. This portion of "Link B," composed of Planning Areas 23D and 23E, crosses under College Boulevard utilizing an existing, expanded to 12-foot wide, 6-foot high arched culvert.

LEGEND

- Open Space
- Park
- Community Recreation
- Areas to be Developed
- Regional Trail Connection/ Trailhead
- Future City-wide Trail

Note:
Community recreation areas shall be located within each multi-family planning area where apartments are proposed and within each planning area proposed for condominiums or small-lot planned development subject to the requirements for the Master Plan.



PLANNING SYSTEMS

0 150 300 600


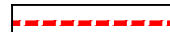
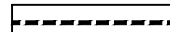







FIGURE NO. II-4

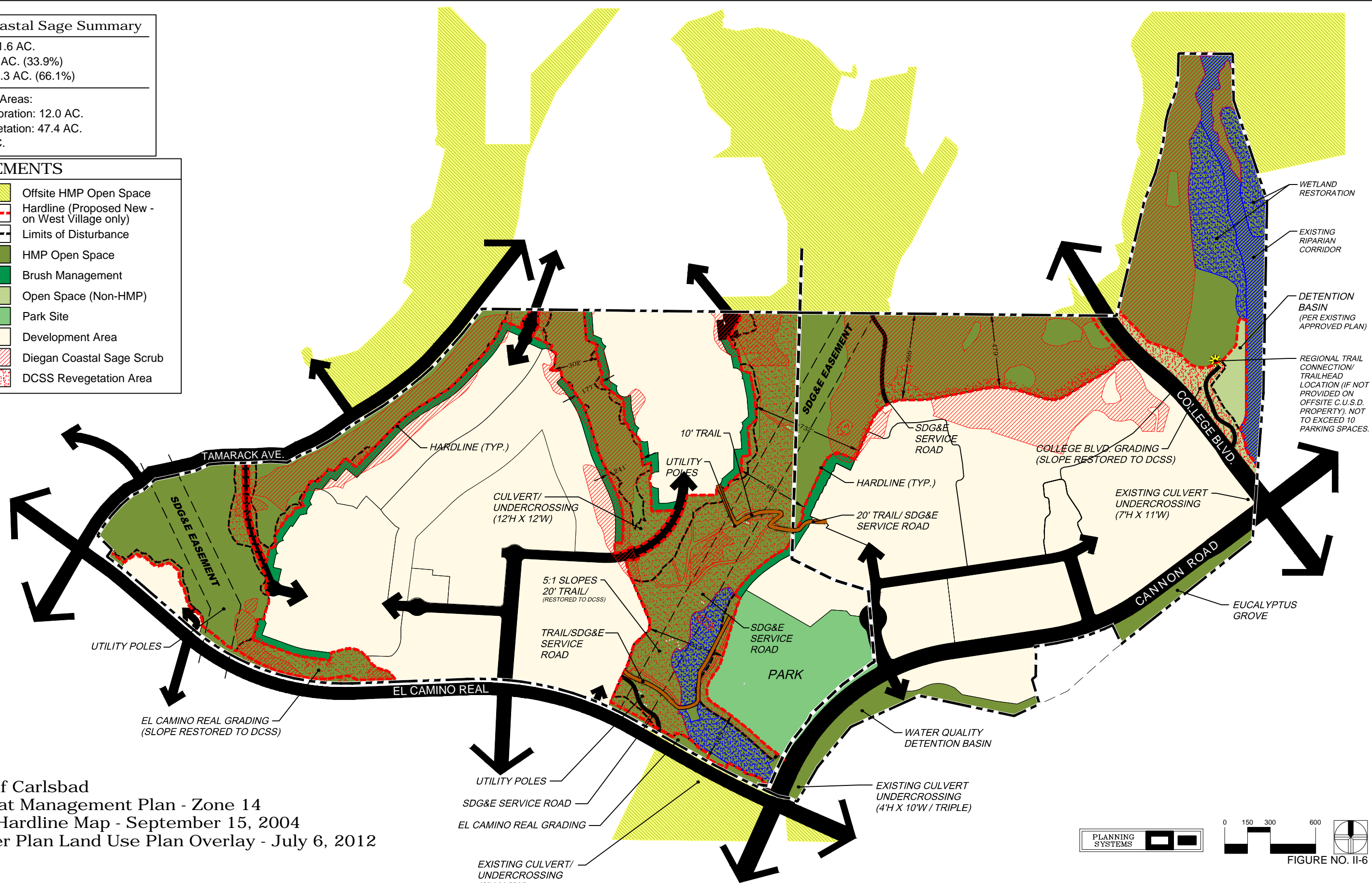
Diegan Coastal Sage Summary

Total CSS: 71.6 AC.
 Impacts: 24.3 AC. (33.9%)
 Preserved: 47.3 AC. (66.1%)

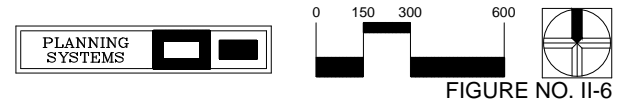
Revegetation Areas:
 Wetland Restoration: 12.0 AC.
 DCSS Revegetation: 47.4 AC.
 Total: 59.4 AC.

MAP ELEMENTS

-  Offsite HMP Open Space
-  Hardline (Proposed New - on West Village only)
-  Limits of Disturbance
-  HMP Open Space
-  Brush Management
-  Open Space (Non-HMP)
-  Park Site
-  Development Area
-  Diegan Coastal Sage Scrub
-  DCSS Revegetation Area



City of Carlsbad
 Habitat Management Plan - Zone 14
 HMP Hardline Map - September 15, 2004
 Master Plan Land Use Plan Overlay - July 6, 2012



Robertson Ranch
 MASTER PLAN

(b) Open Space for Outdoor Recreation:

The Robertson Ranch Master Plan provides for approximately 17.0 acres of outdoor recreational areas. One City park site is provided which will be developed by the City of Carlsbad. The park use proposed for Planning Area 12 is composed of approximately 16.1 gross acres. Park facilities anticipated to be developed by the City in Planning Area 12 include three soccer fields, a tot lot, passive recreation areas, and parking. As required by the Planned Development Ordinance, Chapter 21.45 of the Carlsbad Municipal Code, active and passive recreational opportunities are required in the form of pocket parks and/or common recreation areas located in all Planning Areas, a centralized community recreation facility in Planning Area 19 on the East Village, and a community recreation facility on Planning Area 4 of the West Village. The exact size and location of all of the required recreation areas shall be determined at the time of tentative map or development plan approval for each Planning Area.

A trail system consisting of both paved circulation element trails and unpaved recreation element trails, as shown in Figure III-54, *Pedestrian Circulation Plan*, winds through the project open space and residential villages, and along Cannon Road, College Boulevard and El Camino Real. Where feasible, pedestrian and bike trails also will be provided along internal roadways adjacent to the project's open space areas. The trail and sidewalk system provides access through the open space connecting to the parks, school and other land uses. The trail system is designed to limit access to the wildlife corridors while permitting future connections with adjacent off-site unpaved recreational trails, as well as circulation trails and sidewalks, in accordance with the Citywide Trails Program.

Both villages also will include a paseo system which forms the backbone of the pedestrian circulation system. These landscaped paseos will feature enhanced pedestrian walkways that are intended to minimize the conflict between pedestrians and vehicular traffic. The landscaped pathways are supported by pedestrian sidewalks that offer connectivity within each village, while a variety of unpaved trails will connect the villages to each other and to adjacent communities.

(c) Open Space for the Managed Production of Resources:

Large portions of the Master Plan area have been in agricultural production for many years. It is anticipated that portions of the West Village will continue in agricultural use until development begins on that portion of the Master Plan. Portions of the East Village will be removed from agricultural production as areas develop. The preservation of natural open space lands as well as manufactured slopes and other open areas will provide watershed areas to aid in the recharge of groundwater supplies in the area.

(d) Open Space for Public Health and Safety:

Portions of the project site are being developed as storm water detention and water quality basins. Storm water detention basin “BJB” exists within Planning Area 23E and was constructed concurrent with Cannon Road and College Boulevard as required for the Calavera Hills development to the north. Planning Area 20 shall be constructed as a water quality facility, and is intended to reduce the amount of contaminants in storm water run-off reaching natural drainage courses downstream from the project site.

Native vegetation shall be preserved and, where necessary, enhanced on major project slopes. Where required by the City Fire Marshal, a fire protection plan shall be implemented as shown in Figure III-45, *Fuel Modification Plan*. Irrigation systems placed in the major project slopes shall comply with the requirements of the City of Carlsbad Landscape Guideline Manual.

3. Village Center

In conformance with the City General Plan designation for Zone 14 and the City Growth Management Plan, the Robertson Ranch Master Plan designates Planning Area 11 as a 12.0-acre (net) site for development as a Village Center combining community facilities with commercial uses. The primary use of Planning Area 11 shall be a minimum of 8.0 acres of neighborhood commercial uses, as specified in Section 21.26.010, *Neighborhood Commercial Zone*, of the Carlsbad Municipal Code. A maximum of 175,000 square feet shall be permitted as Community Facilities/Commercial retail joint use. In addition to these uses, PA 11 may incorporate mixed-use residential units on the second story using units allocated to, but not constructed in, the West Village or elsewhere on the project site.

Community Facilities requirements for the Robertson Ranch Master Plan are based on Section 21.25.070 of the Carlsbad Municipal Code which specifies that the number of acres of Community Facilities required by master planned developments is calculated as 2.0 acres, plus 1 percent of the unconstrained acreage of the site, as depicted in the Local Facilities Management Plan (LFMP) constraints analysis for Zone 14. According to the LFMP calculations, the project site contains a total of 299.9 unconstrained acres, including the 5.7-acre Option Parcel. Therefore, the maximum requirement for Community Facilities for the Robertson Ranch Master Plan would be 1 percent of 299.9 acres (3.0) plus 2.0 acres, or a total of 5.0 acres of community facilities.

This total of 5.0 acres of Community Facilities will be provided in the West Village of the project. Up to 2.0 acres of the required 5.0 acres will be provided in Planning Area 2. The remaining 3.0 acres will be provided in Planning Area 11 and may be adjacent to the commercial uses, integrated horizontally into the commercial project, or an equivalent square footage can be integrated vertically into the commercial project. Development of community facilities shall include child daycare, and may include an amphitheater, a church or place of worship, charitable services, social clubs, community garden, urban farm, farmer's market or other community facility uses conditionally permitted under Section 21.25 of the Carlsbad Municipal Code or as listed in the regulatory provisions for Planning Area 11. The community facilities also may include the relocation of the Robertson Ranch House and creation of a museum or similar public-oriented use as may be approved by the City.

The consolidation of community facilities and neighborhood commercial uses within a single planning area is intended to reflect the Ahwahnee Principles, which encourage the establishment of a "center focus" that combines commercial, civic, and cultural uses. Also in conformance with the Ahwahnee Principles, this center focus will encourage the attention and presence of people, and will be located within easy walking distance of transit stops and the residences it will serve. As indicated above, a mixed-use residential component is a permitted use for Planning Area 11. Smart growth techniques and Ahwahnee Principles both encourage a mixture of residential, commercial, and community facilities uses in order to promote walkability and to provide for increased activity at the community focal point. In order to promote Planning Area 11 as a center focus within the West Village, a variety of innovative design techniques will be encouraged, such as the vertical integration of the commercial and community facilities components.

The Robertson Ranch Master Plan also promotes flexibility in interpreting the required minimum area for each use, such that the area requirements for each use will be calculated separately. For example, where neighborhood commercial and community facilities uses occupy the same building, the calculation of area shall be based on the amount of square footage within the building that is dedicated to each use. Approximately 37 percent of the floor area would be dedicated to community facilities uses, unless community facilities uses are provided in other alternative Planning Areas, as provided for by the Master Plan. Additionally, credit for shared parking facilities or other common areas shall be applied to both the commercial and community facilities components in determining compliance with the minimum area required for each use. This flexibility will permit the Robertson Ranch Master Plan to achieve a creative integration of uses which could not be accomplished if separate planning areas were created for the commercial and community facilities components.

4. Public Parks and Community Facilities

In conformance with the City General Plan designation for Zone 14 and the City Growth Management Plan, the Robertson Ranch Master Plan designates a Community Park site within Planning Area 12 to be developed by the City. Planning Area 12 is composed of 16.1 gross acres and is located near the intersection of Cannon Road and El Camino Real. Additionally, the City of Carlsbad purchased 2.0 acres within the Planning Area 12 Park site for the purpose of constructing a fire station.

5. Community Recreation

In addition to the community park, Chapter 21.45 of the Carlsbad Municipal Code also requires the provision of a minimum of 200 square feet (net) of community recreation facilities for each courtyard residential and single-family residential lot that measures less than 7,500 square feet in size. Chapter 21.45 of the City's Zoning Code requires that the required community recreation facilities be provided in the form of common passive recreation areas, and active facilities such as tennis courts, horseshoe pits, or a children's playground equipment area. Multifamily planning areas also are subject to community recreation requirements as specified by this Master Plan, including a requirement for 100 square feet of passive and active recreation areas per unit to be provided on-site within the planning area. If constructed as condominiums, an additional 50 square feet per unit shall be required and may be provided either on-site within the planning area or off-site within the centralized recreation facilities in Planning Areas 4 or 19.

In addition, and in accordance with the Ahwahnee Principles, centralized recreation facility measuring no less than 1.0 net acre will be provided for each Village within Planning Areas 4 and 19. Any area provided in Planning Areas 4 and 19 in excess of 1.0 net acres may be credited toward the community recreation requirement of any Planning Area within the respective Village, provided no less than 10,000 net square feet (total net square footage may be achieved through a consolidation of several smaller recreation areas within a single planning area) of community recreation area is provided within each single-family and courtyard residential Planning Area and no less than 100 square feet per unit is provided within each multifamily Planning Area. Table II-4, *Community Recreation Requirements*, depicts the amount of community recreation facilities required for each village of the Master Plan. One exception to the on-site 10,000 square foot minimum is Planning Area 13, which will provide a minimum 5,200 square feet of recreation area due credit given to its adjacency to the PA 12 Community Park.

The East Village contains a 2.0-acre community recreation facility within Planning Area 19. In addition, minimum 10,000 net square foot community recreation areas will be provided within each single-family and courtyard residential Planning Area that is subject to the Planned Development Ordinance (PDO), and no less than 100 square feet per unit of community recreation area will be provided within the multifamily neighborhood (PA 15). As indicated in Table II-4, the maximum 3.06 net acres required within the East Village exceeds the community recreation requirements of Section 21.45 of the Carlsbad Municipal Code. The 2.0-acre centralized community recreation area provided within Planning Area 19 will serve all residential neighborhoods of East Village, and will include both active and passive recreation facilities which could include a recreational building, patio veranda for gatherings, swimming pool, spa, tennis court, tot lot, basketball court, shuttle board, horse shoes, and parking. The common recreation areas within each of the East Village planning areas will serve the Robertson Ranch Master Plan residents located in the East Village and may include active recreation facilities as well as passive recreation areas, including open turf play area, basketball court, shuttle board, horse shoes, barbeque area, picnic tables, bench seating, and a periphery decomposed granite trail.

Community recreation facilities as required by the Planned Development Ordinance also will be provided within the West Village of the Master Plan. As indicated in Table II-4, the West Village of the Master Plan will exceed the community recreation requirements for the neighborhoods within the West Village with the provision of up to 3.37 net acres of community recreation facilities. Community recreation facilities within the West Village include a minimum 1.0 net acre community recreation facility within Planning Area 4. In addition, at least 10,000 square feet of community recreation area will be provided within each single-family Planning Area that is subject to the PDO, while no less than 100 square feet per unit of community recreation area will be provided within each multifamily neighborhood, with the exceptions as listed above. The community recreation facilities within Planning Area 4 shall include passive and active facilities and shall include tables and benches and/or outdoor seating areas. The exact size and location of all of the required recreation areas shall be determined at the time of tentative map or development plan approval for each Planning Area.

6. RV Storage

Section 21.45.060 of the Carlsbad Municipal Code (General Requirements for Planned Development) requires that a minimum of 20 square feet of RV Storage Area be provided for each dwelling unit in a planned development (note that rental apartment units are not included in the RV Storage Calculation). Of the total project dwelling units, a maximum of 320 of the dwelling units located in the East Village and 272 of the units on the West Village of the Robertson Ranch Master Plan are subject to Section 21.45.060, which results in a total maximum requirement of approximately 0.27 acre, excluding drive lanes, for the Master Plan.

Planning Area 22 located in the East Village, is intended to accommodate the entire RV storage obligation for the Master Plan area. The Planning Area 22 RV storage lot shall be made available to residents of Robertson Ranch and shall be managed by the East Village HOA or their designate.

RV storage shall be subject to the development standards of the Carlsbad Municipal Code Sec. 21.42.140.B.120. RV Storage shall be provided concurrent with the occupancy for residential (for sale) neighborhoods.

7. Water Quality Facility

Planning Area 20 is designated as a 2.9-acre Water Quality Facility designed to control storm water runoff volume and quality. Storm water traversing Planning Areas 14, 15, 16, 17, 18, 19, 21, and 22 will be directed to Planning Area 20, where the water will be bio-treated in accordance with best management practices for storm water management. Landscaped biological water quality treatment swales for the West Village may be provided within the low-lying El Camino Real setback area on Planning Areas 7 and 8. The unloaded parking lane of single-loaded streets may also be modified to accommodate linear biological swales for water quality treatment.

8. Roadways

The Robertson Ranch Master Plan requires the construction of approximately 8.0 acres of roadways to provide access within the community. An additional 12.8 acres of roadways within the Robertson Ranch Master Plan boundaries (Cannon Road and College Boulevard) have been completed pursuant to the development requirements of the approved *Calavera Hills Master Plan* located adjacent to the north. The Robertson Ranch Master Plan will be responsible for completing the construction of the outside lanes, medians and final landscaping for these two General Plan roadways. The on-site project network of roadways will account for less than 3 percent of the total project area. The on-site traffic will be conveyed by a hierarchical circulation system, which ranges in right-of-way widths from 96 feet (Street "Z") to 56 feet (cul-de-sacs), and shall be designed to comply with City Standards. The precise design and alignment of project roadways will be delineated by tentative tract maps, which shall be subject to review and approval by the City of Carlsbad.

Improvements to El Camino Real shall be made as part of the Robertson Ranch Master Plan West Village development, including a third lane and right turn pocket onto Tamarack Avenue. Outside lanes, medians and final landscaping shall be constructed on Cannon Road and College Boulevard as part of East and West Village development.

Table II-4 Community Recreation Requirements

PLANNING AREA	DWELLING UNITS	TOTAL COMMUNITY RECREATION REQUIRED	ANTICIPATED ON-SITE COMMUNITY RECREATION AREA	REMAINING COMMUNITY RECREATION REQUIREMENT	TOTAL COMMUNITY RECREATION AREA REQUIRED BY MASTER PLAN
WEST VILLAGE					
3	85	17,000 s.f.	17,000 s.f.	0 s.f.	17,000 s.f.
4	--	--	N/A	N/A	43,560 s.f. ⁵
6	87	17,400 s.f.	17,400 s.f.	0 s.f.	17,400 s.f.
7	116	11,600 s.f.	11,600 s.f. ⁷	0 s.f.	11,600 s.f.
8	248	37,200 s.f.	37,200 s.f. ⁷	0 s.f.	37,200 s.f.
9/10	74	14,800 s.f.	14,800 s.f.	0 s.f.	14,800 s.f.
13	26	5,200 s.f.	5,200 s.f.	0 s.f.	5,200 s.f.
Total West Village	636	103,200 net s.f. (2.37 net acres)	103,200 net s.f. (2.37 net acres)	0 net s.f. (0.0 net acres)	146,760 net s.f. (3.37 net acres)
EAST VILLAGE					
14	16	3,200 s.f.	0 (Credit for PA 19)	0 (Credit for PA 19)	0 (Credit for PA 19)
15	78	11,700 s.f.	7,800 s.f.	3,900 s.f.	11,700 s.f.
16	85	17,000 s.f.	10,000 s.f.	7,000 s.f.	17,000 s.f.
17	109	21,800 s.f.	10,000 s.f.	11,800 s.f.	21,800 s.f.
18	110	22,000 s.f.	10,000 s.f.	12,000 s.f.	22,000 s.f.
19	--	--	N/A	N/A	43,560 s.f. ⁵
21	84	16,800 s.f.	10,000 s.f.	7,400 s.f.	17,400 s.f.
Total East Village	482	92,500 net s.f. (2.12 net acres)	47,800 net s.f. (1.10 net acres)	42,100 net s.f. (0.97 net acres)	133,460 net s.f. (3.06 net acres)

NOTES:

1. Dwelling Units shown reflect those Planning Areas subject to community recreation requirements.
2. Values depicted on this table are net square footage, as required by the Planned Development Ordinance, based on 200 square feet/unit for single-family and courtyard residential Planning Areas and 150 sf//unit for multifamily Planning Areas. Apartment project are required at 100 square feet per unit.
3. A minimum of 75% of the total community recreation requirement shall be provided as active recreation areas.
4. With the exceptions of Planning Area 13, no community recreation area shall be less than 10,000 square feet within any courtyard residential or single-family Planning Area subject to the PDO, nor shall less than 100 square feet of community recreation space per dwelling unit be provided within any multifamily Planning Area. The minimum 10,000 square feet can be achieved as a combination of smaller recreation areas.
5. Any area provided in Planning Areas 4 or 19 in excess of the Base Master Plan Community Recreation Requirement of 1.0 net acre per Village may be applied toward the Remaining Community Recreation Requirement. Alternatively, the Remaining Community Recreation Requirement may be met on-site within the Planning Area.
7. This table assumes all units within these planning areas will be for-sale units and will be subject to the PDO (except where modified by this Master Plan). However, Multifamily rental units are not subject to the PDO and for multifamily rental units, the Minimum On-Site Community Recreation Area Requirement (i.e., 100 square feet per unit) shall apply.
8. In the event that the Common On-Site Recreation Area in any particular West Village Planning Area is less than that shown above, in the Anticipated column, then Planning Area 4 facilities shall be increased in size by a corresponding amount.

F. General Provisions

1. Growth Management

The Robertson Ranch Master Plan shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The Master Plan developer or the developer of any portion of the Master Plan, by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plan (LFMP) and the Finance Plan, agrees that all of the dedication and other public facility requirements imposed as a condition of the Zone 14 LFMP and the Finance Plan, are reasonably necessary to serve the needs of the development for which the building permits are required.

The Growth Management Ordinance provides “Growth Management Control Points” which determine the maximum number of dwelling units permitted for a given area. Pursuant to the LFMP for Zone 14 and the Growth Management Ordinance, a constraints analysis was performed for the Robertson Ranch Master Plan which determined that, based on the Growth Control Points for LFMP Zone 14 and the amount of unconstrained lands on-site, the maximum number of units permitted within the Master Plan is 983. Of these units, 476.5 are allocated to the East Village and 506.5 are allocated to the West Village, although the number of units allocated to each Village may change if units are transferred between Villages.

However, 171 units have been allocated to the Master Plan from the City’s Excess Dwelling Unit Bank per the Alternative Use scenario. Any additional requirements for affordable units, restrictions, or conditions associated with the provision of these 171 units shall be applied only to the Village in which the units are to be constructed. Additional requirements for 56 moderate-priced units shall be required in the West Village, pursuant to an affordable housing agreement however these units are included in the 203 unit calculation from the Excess Dwelling Unit Bank.

2. Maximum Number of Dwelling Units

As discussed above, the number of dwelling units permitted within the Robertson Ranch Master Plan shall be 1,154 units, based on the Growth Control Points and constraints analysis established by the LFMP for Zone 14 and the provision of additional units pursuant to Section 21.90.045 of the Carlsbad Municipal Code. The land use change associated with the 2015 General Plan Update may increase the total unit count by 98 senior housing units. These residential uses shall be distributed within the Master Plan area as shown in Table II-2, *Detailed Land Use Summary*.

3. Transfer of Dwelling Units

Density transfers within the Master Plan are permitted, but are subject to the following conditions:

- Units may be transferred between Villages or between residential planning areas within a village, provided however: a) that the transfer of units was addressed within the adopted Master Plan as an alternative use for the Planning Area(s) proposed to increase in density; b) the transfer does not result in the net density of any Planning Area being increased greater than 10 percent of the density stated in the Master Plan; and c) the transfer does not result in the density of a Planning Area to fall below the density range of its General Plan land use designation. The overall unit count of the project shall not exceed the maximum number of units provided for by this Master Plan regardless of the above density transfer provisions except as otherwise provided by Chapter 21.86 of the Carlsbad Municipal Code.
- Only those Planning Areas that are designated for residential use by this Master Plan may receive transferred units, including Planning Area 11.
- If units are transferred between Villages, then the affordable housing obligation and recreation requirements for each Village shall be revised accordingly.
- As discussed in Section V, MASTER PLAN IMPLEMENTATION MEASURES, a Minor Master Plan Amendment shall be required for each proposed transfer of density of 10 percent or less within the Master Plan and a Major Master Plan Amendment shall be required for density transfers exceeding 10 percent.

4. Option Parcel – Not a Part (N.A.P.)

Approximately 5.7 acres of land located between Planning Areas 22 and 23F is shown on the Master Plan exhibits as being Not a Part and is identified as the Option Parcel. Ownership of this Option Parcel was transferred to the Rancho Carlsbad Home Owners Association (RCHOA) in 2011 and the area has been designated Open Space.

5. Unplanned Area

Planning Area 22 was designated in the original Master Plan approvals as an “Unplanned Area” with the intent that final Land Use designations would be determined upon the completion of a comprehensive land use study for Planning Area 22 and the adjacent “Option Parcel.” This work was accomplished in 2010, and revised in 2015. Planning Area 22 has been officially decreased in size (a portion designated as open space Planning Area 23G) and designated in the Master Plan for senior housing residential and RV Storage land uses.

6. Recordation

Notice of the approval of the Robertson Ranch Master Plan by the City Council of the City of Carlsbad shall be recorded with the County of San Diego Recorders Office.

7. Non-Vesting of Rights

Master development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time said plans are before the Planning Commission and the City Council for approval. Pursuant to Section 21.38.030(d), where a conflict in development standards or regulation occurs, the provisions of this Master Plan shall take precedence. With the exception of the rights inherent in an approved Vesting Tentative Map or an approved Development Agreement, approval and construction of a part of the development pursuant to this Master Plan shall not vest any rights in the balance of the Master Plan nor create any vested rights for the approval of any subsequent developments.

8. Mitigation Monitoring

All mitigation measures specified in the Robertson Ranch Master Plan EIR (EIR 03-03) and Mitigated Negative Declaration for the Robertson Ranch Master Plan West Village Update, and in the approving resolutions shall be complied with in their entirety at the appropriate time of implementation. A mitigation monitoring program shall be included as an attachment to the resolution certifying the Robertson Ranch Master Plan EIR. Mitigation measures shall be identified, required and implemented based on the Village (East or West) in which the mitigation is required.

9. Condition Validity

If any condition for construction of any public improvements or facilities, or the payment of any fees in lieu thereof, imposed by this approval or imposed by law on this project are challenged, this approval shall be suspended as provided in Government Code Section 66020(c). If any such condition is determined to be invalid this approval shall be invalid unless the City Council determines that the project without the condition complies with all requirements of law.

10. Dedications

All land/or easements required by ordinance for this Master Plan for public streets, open space, recreational purposes and public facility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances, subject to the limits set forth in State Law. Except that land dedicated for public parks in excess of the parkland dedication requirement may require fair market compensation by public agencies, or as specified in a Parkland Dedication Agreement.

11. Availability of Public Services

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the developer's timetable for construction. Availability of public services will be evaluated in the context of subsequent individual approvals.

12. Grading/Hillside Development Ordinance

All development within the Robertson Ranch Master Plan shall comply with the standards contained within the City's Hillside Development Regulations (Chapter 21.95 in the City's Municipal Code), unless modifications to the provisions of Section 21.95.120 have been approved in accordance with Section 21.95.140, "Modifications to the development and design standards." Accordingly, prior to development on portions of the property with existing slopes of 15 percent or more and an elevation differential greater than 15 feet, a Hillside Development Permit is required and shall be obtained in conjunction with the development entitlements package for the particular Planning Area or areas. A slope analysis has been performed for the project site and Figure II-7, *Steep Slope Map*, indicates the locations of steep slopes on the site. As indicated on Figure II-8, *Conceptual Grading Plan*, no grading or development is proposed on slopes no associated with a roadway which comprise a prominent landform with a gradient of over 40 percent which is more than 15 feet high or more than 10,000 square feet in size. Additionally, when submitted, final grading plans will conform to the approved Tentative Map which shall be in compliance with the Hillside Development and Design Standards, Section 21.95.120 (B), (C) and (D) of the Zoning Code. A detailed analysis of the Master Plan's compliance with the Hillside Development Ordinance is contained in the FEIR for the Robertson Ranch Master Plan, and a summarized analysis is provided in Appendix C, *Robertson Ranch Master Plan Hillside Development Consistency Analysis*, of the Master Plan.

The following guidelines are intended to ensure appropriate grading designs for the grading and development of the individual planning areas within the Master Plan.

- a) Grading plans shall conform to the requirements of Chapter 15.16 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Mass and precise grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.
- b) Grading shall be in compliance with the policies of the City's Hillside Development Ordinance, Chapter 21.95 of the Carlsbad Municipal Code unless modified in accordance with Section 21.95.140. Landscape screening, landform plantings, perimeter slope edge building setbacks and hillside development architectural guidelines shall apply in locations of high visibility, and where otherwise not excluded pursuant to Chapter 21.95.
- c) As a requirement of the grading permits and subject to the approval of the City Engineer, fills in cut slopes shall be stabilized consistent with recommendations included in the geotechnical report. Over-excavation may be required, below the depth of the lowest utility line for street areas exposing hard rock. Grading and blasting activities, if required, (specifically, ripping and blasting of boulders) shall conform to the recommendations outline in the geotechnical study, City of Carlsbad Grading Ordinance and San Diego County Blasting Ordinance as they apply.

- d) General Construction Activity Storm Water Permits shall be obtained from the State Water Resources Control Board (SWRCB) prior to project implementation. Such permits are required for specific (or a series of related) construction activities which exceed one acre in size and include provisions to eliminate or reduce off-site discharges through implementation of a Storm Water Pollution Prevention Plan (SWPPP).
- e) Specific SWPPP provisions include requirements for erosion and sediment control, as well as monitoring requirements both during and after construction. Pollution control measures also require the use of best available technology, best conventional pollutant control technology, and/or best management practices to prevent or reduce pollutant discharge (pursuant to SWRCB definitions and direction).
- f) Post-construction erosion control measures shall be implemented where proposed disturbance is adjacent to or encroaches within existing drainage courses and project runoff velocities exceed 6 fps.
- g) Final project design shall incorporate all applicable BMPs contained in the City and State Best Management Practices to be considered in the Development of Urban Stormwater Management Plan. Specifically, these may include measures such as the use of detention facilities, retention structures, infiltration facilities, permeable pavements, vegetation controls, discharge controls, maintenance (e.g., street sweeping), and erosion controls. Landscaped biological water quality treatment swales may be provided within setback areas if approved by the City Engineer. The unloaded parking lane of single-loaded streets may also be modified to accommodate linear biological swales for water quality treatment.
- h) Surface drainage shall be designed to collect in pollution control facilities and discharge runoff into natural stream channels or drainage structures. All project-related drainage structures shall be adequately sized to accommodate 100-year flood events (or other storm events pursuant to direction from the City Engineer).
- i) Grading for the portion of Planning Area 23C adjacent to Planning Area 11 shall consist of a 5:1 re-vegetated manufactured slope, consistent with the *Conceptual Grading Plan*, as depicted on Figure II-8, and the *Landscape Guidelines* presented in Section III.B.4 of this Master Plan. Grading for this slope may occur prior to the transition of the West Village to its final land use designation.

13. Location of Improvements

The location of street, utilities, and other land use related improvements should be considered conceptual and approximate on all map contained within the Master Plan document. The precise location of all improvements will be established through the approval of the Tentative Map and Site Development Plans. These precise locations shall be consistent with the generalized locations shown on the exhibits in the Master Plan.

14. Landscaping

A conceptual or preliminary landscape and irrigation plan shall be approved with the Tentative Tract Map. A Final Landscape Plan shall be approved by the Planning Director prior to approval of the final map, or the issuance of grading or building permits for each Planning Area, whichever occurs first. The detailed landscape plans shall be consistent with the Final Map, the grading permit, and the landscape concept plan approved in conjunction with the Planning Area discretionary approval.

15. Noise

A noise study shall be provided for all future residential projects fronting on arterial roadways per the requirement of the Carlsbad Noise Policy, Planning Division Policy No. 17 and consistent with the requirements of the Robertson Ranch Master Plan EIR 03-03. All future residential units subject to the policy shall be buffered from noise per the requirements of this policy, the recommendations of the noise study prepared in conjunction with the EIR, and noise studies completed for each project that fronts on or is adjacent to an arterial roadway.

16. Homeowners' Association

a) Master Homeowners' Association

The developers of each of the two Villages shall establish a Master Homeowners' Association (Master HOA) and corresponding covenants, conditions and restrictions (CC&Rs) for each village. The Master HOA shall include representation from all neighborhood areas within the respective Village. The Master HOAs for each Village may be combined at some time in the future, but it is not a requirement of this Master Plan. Said Master HOA CC&Rs shall be submitted to and approved by the City Planner prior to approval for the first final map for each respective Village. Prior to the first certificate of occupancy, the State will require establishment of the Master Homeowners' Association. The Master HOA shall have the authority to implement the Master CC&Rs. These CC&Rs shall control the private uses, design maintenance and development standards for the areas common to the Village community. The Master CC&Rs shall state expressly that the property is subject to the provisions of the Master Plan. It shall also indicate that the City shall have the right but not the obligation to enforce the provisions of this Master Plan through normal, enforcement procedures if the City Council

determines such enforcement is necessary to protect the public welfare and may assess homeowners for the costs incurred therein.

The Master CC&Rs shall prohibit the storage or parking of recreational vehicles within any of the neighborhoods having a minimum lot size of less than 7,500 square feet, except in the approved RV storage area.

The Master HOA or Sub-Association(s) shall control the operation and maintenance of the entry features, common slopes, arterial parkways and other common features identified in the Master Plan. The Master HOA shall also be responsible for the maintenance of the open space and trail system, except as may be maintained by the conservancy manager or the City. Fire suppression zones within open spaces shall be located within separate Master HOA or Sub-Association maintained open space lots.

A separate HOA, other entity, or either Master HOA, shall control the operation and maintenance of the Recreational Vehicle (RV) Storage Area as identified in the Master Plan. This HOA or entity shall be responsible for the security, daily operation, and routine maintenance of the RV Storage Area. The developer of this RV Storage Area shall prepare CC&Rs or other operating agreement. Said CC&Rs or other operating agreement shall be submitted to and approved by the Planning Director prior to issuance of a grading permit for the RV storage area. This homeowners' association or entity shall be responsible for the maintenance of common facilities only within the limits of this RV Storage Area.

b) Homeowners' Sub-Associations

In addition to being members of the Master HOA, all residentially developed properties within the Master Plan boundaries that include attached multifamily units/condominiums may be members of a Homeowners' Sub-Association and subject to CC&Rs for the Sub-Homeowners' Association.

Said CC&Rs shall be submitted to and approved by the Planning Director prior to Final Map approval. The sub-area homeowners' association shall be responsible for the maintenance of common facilities only within the limits of this residential condominium project. If apartment projects are developed in Planning Areas 7, 8 and/or 15, they will be managed by the project owner and do not require a sub-HOA and need not be covered by the Master CC&Rs.

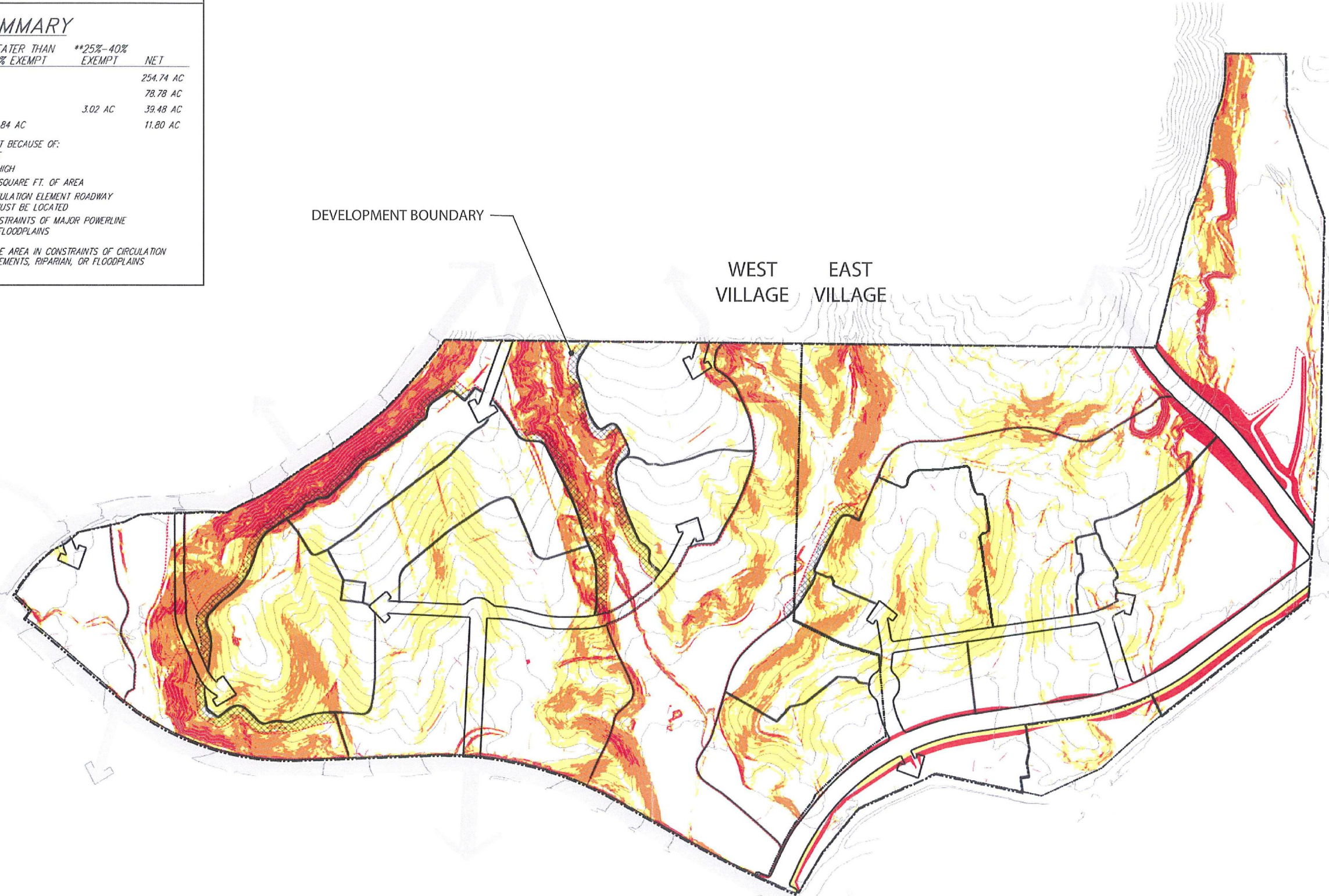
LEGEND

SLOPE SUMMARY

SHADE	SLOPE	TOTAL AREA	*GREATER THAN 40% EXEMPT	**25%-40% EXEMPT	NET
	<15%	254.74 AC			254.74 AC
	15-25%	78.78 AC			78.78 AC
	25-40%	42.50 AC		3.02 AC	39.48 AC
	>40%	27.64 AC	15.84 AC		11.80 AC

*GREATER THAN 40% SLOPE EXEMPT BECAUSE OF:
 A) PREVIOUSLY GRADED SLOPE
 B) SLOPE LESS THAN 15 FT. HIGH
 C) SLOPE LESS THAN 10,000 SQUARE FT. OF AREA
 D) HILLSIDE AREA WHERE CIRCULATION ELEMENT ROADWAY OR A COLLECTOR STREET MUST BE LOCATED
 E) HILLSIDE AREA IN THE CONSTRAINTS OF MAJOR POWERLINE EASEMENTS, RIPARIAN, OR FLOODPLAINS

**25%-40% SLOPE EXEMPT BECAUSE AREA IN CONSTRAINTS OF CIRCULATION ROADS, MAJOR POWERLINE EASEMENTS, RIPARIAN, OR FLOODPLAINS



Source: O'Day Consultants

PLANNING SYSTEMS

FIGURE NO. II-7

Robertson Ranch

MASTER PLAN

STEEP SLOPE MAP

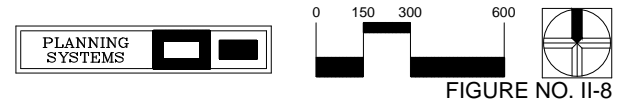
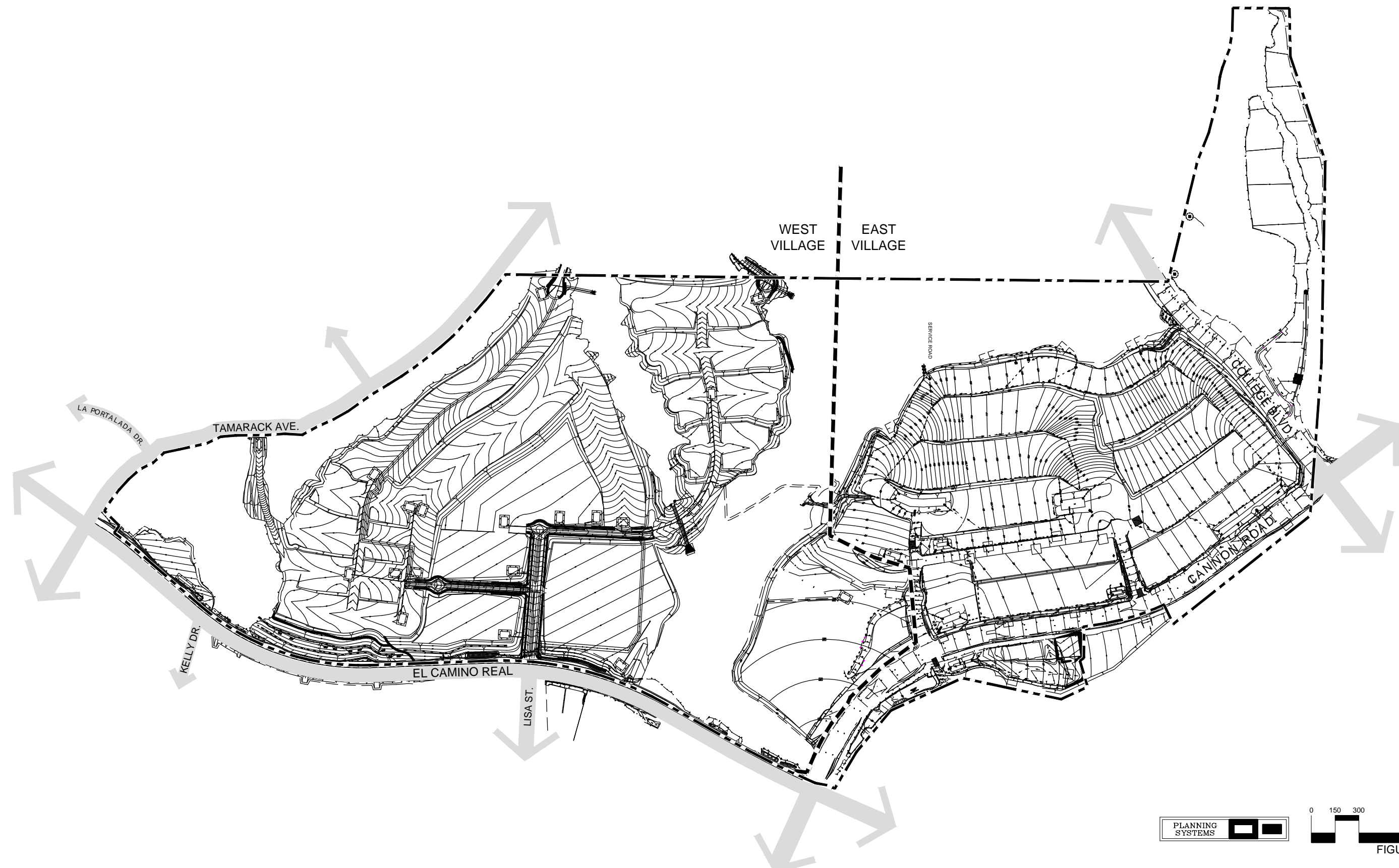


FIGURE NO. II-8

Robertson Ranch

MASTER PLAN

WEST VILLAGE UPDATE CONCEPTUAL GRADING PLAN

c) General Provisions Applicable to All Associations

(1) The master developer of each Village and the developer of any of the aforementioned residential planning areas shall provide the Planning Division with a recorded copy of the official CC&Rs that have been approved by the Department of Real Estate prior to the issuance of the first Certificate of Occupancy within the affected planning area. This requirement shall not apply to models occupied as sales offices and model homes.

(2) Architectural Review Board. The Master HOA shall establish a Village Architectural Review Board or a series of Neighborhood Architectural Review Boards. Sub-Associations may also establish Architectural Review Boards. Each Architectural Review Board shall be responsible for the review and approval of all room additions, patio covers, decks, patios and other structure requiring a building permit within the Village, with appropriate exceptions for the developer and master developer. No plans will be reviewed by the City unless they have first been approved by the Architectural Review Board. The appeal process for Architectural Review Board decisions shall be described in the Master CC&Rs.

III. DEVELOPMENT AND REGULATORY PROVISIONS

A. Development Standards and Land Use Regulations

1. Purpose and Applicability of Standards

The purpose of the development standards is to support the goals and objectives of the Robertson Ranch Master Plan project by describing the design elements that will be shared and interpreted by the two villages within the project, including basic grading, architectural and landscape concepts, site design criteria, fencing, signage, and lighting concepts. Each of these elements will have an integral part in providing a sense of continuity throughout the Master Plan community. These elements establish the overall character of the community and are described in detail below.

2. Development Standards

a) Planning Area 1 - Open Space - Site Zoning Regulations and Criteria (see Figure III-1, *Planning Areas 1 and 2*)

Description

Planning Area 1 consists of approximately 22.0 gross acres, which will be maintained as protected open space along the western edge of the West Village. Planning Area 1 is situated between Street "Y" on the east, and the Tamarack Avenue and El Camino Real frontage along the west and south.

The land within Planning Area 1 is intended to be maintained consistent with the requirements of the adopted Carlsbad Habitat Management Plan, in a manner which is consistent with the maintenance and management of Planning Areas 23A, 23B and 23C within the West Village.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to provide conservation of vegetated open space for the western area of the project.

Final Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation: O-S (Open Space)

Allowed Uses

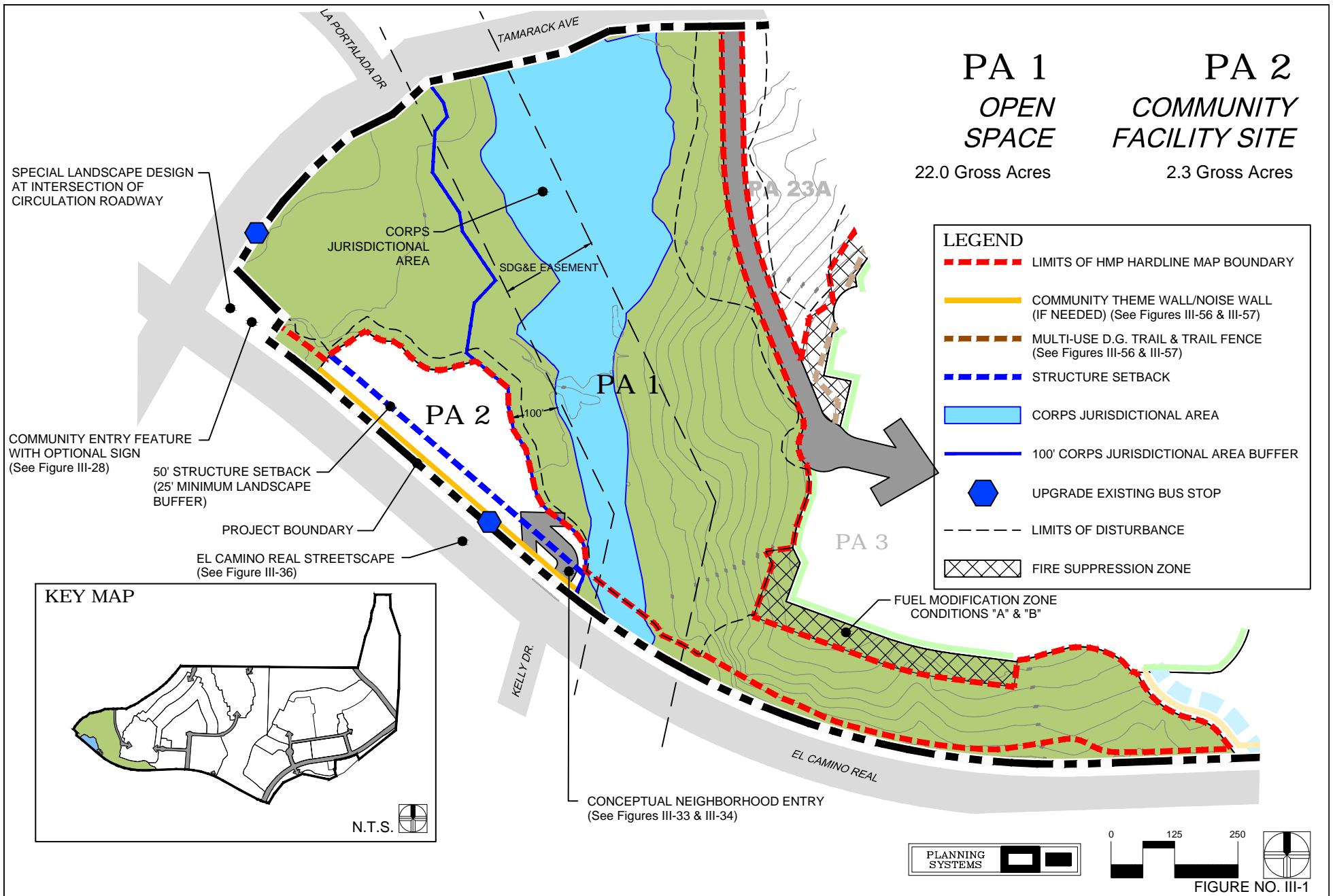
- Agricultural uses, as defined by Chapter 21.07 of the Carlsbad Municipal Code, are permitted, subject to the requirements of Chapter 21.07. This Master Plan does not allow any other development within these Planning Areas other than slope grading for adjacent development, roads, trails, and public utilities within designated utility corridors.
- Natural and Revegetated Open Space
- Trails and maintenance roads
- Native landscape revegetation
- Water Quality basins as required by the City of Carlsbad
- Crib and retaining walls as necessary along the frontage of El Camino Real and as needed to remediate geotechnical issues and to avoid grading into areas of sensitive biology
- Storm drains and other public and private infrastructure

Development Standards

- Planning Area 1 shall be maintained as open space. Grading is allowed as necessary in order to construct the necessary roadway improvements at Street "Y" (Tamarack Connection) and El Camino Real. A crib wall and other related structures related to slope construction and slope drainage are allowed along the El Camino Real frontage.
- Disturbance into Planning Area 1 arising from construction activities required to support development of adjacent Planning Areas shall be avoided to the degree possible, except as indicated for the improvements identified in this chapter.
- Restoration with native vegetation of areas disturbed by grading or construction, or enhancement of ruderal or agricultural areas is encouraged. Restoration plans for open space areas within the HMP Hardline shall be subject to review by the appropriate wildlife agencies. Restoration programs may include coastal sage scrub, freshwater marsh or wetland habitats. To the degree possible, the revegetation shall mimic the adjacent native habitats.
- The fill slope supporting the west side of Street "Y" shall be revegetated with coastal sage scrub habitat.
- The retaining or crib wall to be constructed along the El Camino Real frontage within Planning Area 1 shall be constructed of natural-appearing rock face materials, or alternatively shall be a "crib" design, revegetated with natural upland habitats.
- Development areas adjacent to the Planning Area 1 open space shall address the adjacency standards of the Carlsbad Habitat Management Plan, including; fire management, erosion control, landscaping restrictions, fencing, signs and lighting, and predator and exotic species control, as necessary.
- Erosion control shall be employed on all graded areas within Planning Area 1.
- Revegetation shall prohibit the use of non-native, invasive plant species in the landscape palette. This shall include both container stock and hydroseed material.

Special Design Criteria

1. Maintenance of the open space within Planning Area 1 shall be the responsibility of an organization with expertise in the management of natural open space preserves.
2. A water quality basin shall be constructed within Planning Area 1 however effort shall be made to avoid impacts to jurisdictional waters of the U.S to the degree feasible.
3. If retaining walls in excess of 3-feet in height are required along El Camino Real, such walls shall be designed to resemble natural rock or bluff face.



Robertson Ranch

MASTER PLAN

WEST VILLAGE UPDATE
PLANNING AREA 1 & 2

PAGE III-5

Planning Area 2 – Community Facilities - Site Zoning Regulations and Criteria, (see Figure III-1; Planning Areas 1 and 2.

b) Description

Planning Area 2 will be developed as a Community Facilities (CF) site and will be accessed from the signalized intersection at Kelly Drive and El Camino Real. The total gross acreage provided for Planning Area 2 is 2.3 acres. The Community Facilities may be subject to the approval of a Special Use Permit or a Conditional Use Permit, depending upon the actual development proposed. Community Facilities requirements for the Robertson Ranch Master Plan are based on Section 21.25.070 of the Carlsbad Municipal Code (CMC) but are modified per this Master Plan.

Up to 2.0 acres of the required 5.0 acres of Community Facilities will be provided in Planning Area 2. Development of community facilities within Planning Area 2 may include child daycare, a church or place of worship, charitable services, social clubs, a community garden, urban farm, farmer's market or other community facility uses conditionally permitted under Section 21.25.040 of the Carlsbad Municipal Code or as listed in this Master Plan.

Implementation of Master Plan Vision and Goals

The purpose of this Planning Area is to provide for Community Facilities which benefit the community of Robertson Ranch as a whole by satisfying social, human, service needs.

Final Land Use Regulations

- General Plan Land Use Designation: CF (Community Facilities)
- Underlying Zone Designation: C-F (Community Facilities)

Product Type

Not Applicable.

Required Development Permits

Special Use Permit (El Camino Real Scenic Corridor)

Minor Conditional Use Permit unless specified as a Major CUP for uses listed in Table A in CMC Chapter 21.25.

Development Standards.

Planning Area 2 shall be developed as a Community Facilities site, which will provide community-oriented uses, consistent with those allowed per CMC Chapter 21.25. The community facilities designation shall be subject to the requirements and time frames stipulated in Section 21.25.030 of the Carlsbad Municipal Code.

No building in the C-F zone shall exceed a height of thirty-five feet and three levels if a minimum roof pitch of 3:12 is provided or twenty-four feet and two levels if a roof pitch less steep than 3:12 is provided. Architectural projections may be allowed pursuant to Section 21.46.020 of the Carlsbad Municipal Code. Development standards for this planning area shall be in accordance with the requirements of CMC Chapter 21.25.

Allowed Uses	<ul style="list-style-type: none">• Child daycare (Required Use)• Adult and/or Senior daycare• Church• Social club• Dog park• Community garden.• Urban farm/Vegetable stand• Farmers Market• Uses listed in Table A in CMC Section 21.25
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Setbacks

- A 50-foot structural setback shall be provided along El Camino Real. Parking may be located within the rear 25 feet of the setback.
- A minimum of 50 percent of the required setback that is located closest to El Camino Real shall be landscaped to enhance the street scene. Project perimeter walls shall not be located in the landscaped buffer. The setback shall be commonly owned and maintained by the Master HOA.

Special Design Criteria

1. Landscaping in areas adjacent to open space (Planning Area 23A) shall be compatible with adjacent vegetation.
2. Lighting adjacent to Planning Area 23A shall be selectively placed, shielded, and directed away from adjacent land uses.
3. Signage may be provided in the areas depicted on Figure III-27; *Key to Entries, Signs and Edge Conditions*, pursuant to the Carlsbad Municipal Code Section 21.41.

- c) **Planning Area 3– Single Family – Site Zoning Regulations and Criteria** (see Figure III-2, *Planning Area 3*)

Description

Planning Area 3 consists of approximately 17.1 gross acres and is allocated 87 single-family homes on minimum 4,000 square foot lots. Access to Planning Area 3 will be provided from Street “Y” (Tamarack Connection) to the west, and a collector road extending from Street “Z” to the south and east. A perimeter road shall be provided along the west and south sides of the planning area adjacent to the open space, which will serve as the fuel modification zone for this Planning Area.

Development of Planning Area 3 will require approval of a Planned Development Permit pursuant to the procedures identified in the City’s Planned Development Ordinance, Carlsbad Municipal Code Chapter 21.45. Development standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Chapter 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements results in hazards to the health and safety of residents, guests or other persons.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to provide for a unique small lot single-family neighborhood that will create a sense of place within the Robertson Ranch Master Plan. Planning Area 3 will provide single family homes on 4,000 square foot lots that will be connected by pedestrian and bicycle trails.

The Ahwahnee Principles have been incorporated into the design of this Master Plan. Housing, jobs, daily needs and other activities are all within the Master Plan and are an easy walking/biking distance from this planning area. Transit stops are also located close by on El Camino Real. In order to help promote the Master Plan’s goal of pedestrian connectivity, a pedestrian trail will be provided within Planning Area 3. It is envisioned that this Planning Area’s recreation facilities will be integrated into the pedestrian trail system and sited to take advantage of the views. This Planning Area will have a well-defined open space edge, consistent with the Ahwahnee Principles.

Final Land Use Regulations

- General Plan Land Use Designation: RM (Medium Density, 4-8 du/ac)
- Dwelling Unit Allocation: 87 Units
- Density: 5.5 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Single-family dwellings on minimum 4,000 square foot lots
- Common recreation areas, including, but not limited to pocket parks and tot lots.
- Typical single-family residence accessory uses.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (if required)

Development Standards

- Planning Area 3 shall provide a minimum 60-foot fire suppression along the west and south sides of the Planning Area. Up to 10-feet of this fire suppression zone may be situated within the residential lot (with the remaining 50-feet on the open space lot) subject to approval of the Fire Marshal.
- Development in Planning Area 3 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M (CMC Chapter 21.24), the Planned Development Ordinance (CMC Chapter 21.45), and the intent of City Council Policies 44 and 66, except as modified by the Robertson Ranch Master Plan.

Community Recreational Space	<p>A minimum 200 square feet per unit of community recreation area shall be provided.</p> <p>The required passive and active recreation facilities within PA 3 shall include an approximate 17,000 square foot recreation area (exact amount totaling 200 sf per unit). The recreation area may take the form of a neighborhood park, plaza, dog park, or similar facility and shall include tables and benches and/or outdoor seating areas. The portions of the park designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p> <p>Planning Area 3 may satisfy a portion of its common recreation facilities through an enlargement of PA 4 (Community recreation site) in excess of the base 1.0 acre required per the Master Plan.</p>
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<p>Maximum Lot Coverage</p>	<p>Single story and modified single story home design lot coverage shall cover no more than 60% of the net pad area. For modified single-story, the livable space on the second floor shall not exceed 40% of the first floor lot coverage, as defined above.</p> <p>Two-story home design lot coverage shall cover no more than 45% of the net pad area. This coverage shall include balconies and second-story decks.</p> <p>Porches or covered entry ways with no livable space above the porch or entry way are exempt from lot coverage requirements regardless of size or dimensions.</p>
<p>Minimum Front Yard Setback</p>	<p>Front-loaded garage products shall maintain a minimum 20 feet to garage door measured from the property line and a minimum 15 feet setback from property line to habitable space shall be provided. A minimum 10 feet setback to a side-loaded garage or porch or a covered entry is required.</p>
<p>Minimum Rear Yard Setback</p>	<p>1) 10 feet measured from property line. OR 2) 5 feet measured from property line for not more than 50% of the rear lot width for single story building components in combination with a minimum 450 square foot contiguous private open recreation space on single-story or modified single-story home lots (minimum dimension of 15 feet), or a minimum 540 square foot contiguous private open recreation space on two-story home lots (minimum dimension of 18 feet).</p> <p>A minimum 20 foot separation shall be provided between rear yard building planes on opposing lots.</p> <p>Attached solid/lattice patio covers and decks/balconies, subject to lot coverage requirements, may project into the private open recreation space with a 5 foot side yard setback and 10 foot rear yard setback to the support posts. A two foot overhang is permitted.</p>
<p>Minimum Side Yard Setback</p>	<p>5 feet measured from property line. Freestanding side yard fences or walls may be permitted at the property line. In locations where side yard retaining walls are provided, retaining walls may be combined with the freestanding fence or wall as long as the combination retaining/freestanding fence/wall does not exceed 8-feet in height as viewed from the downhill side. In locations where the grade is such that the combination fence/wall would exceed 8-feet, this shall be remedied (if specifically approved by the Planning Commission) by separation of the retaining and freestanding fence or wall by a minimum of 2 horizontal feet of landscaped area, such that a minimum of 3-feet</p>

	of clear space continues to be provided between the retaining wall and the residential structure. Permitted intrusions into required building setbacks are allowed as specified in Zoning Code Section 21.46.120, as long as a minimum of 3-foot clear space is maintained between wall or fence (retaining or privacy) and structure.
Private Rear or Side Yard	Minimum 15 feet X 15 feet of useable rear or side yard for single-story or modified single-story homes. Minimum 18 feet X 18 feet of useable rear or side yard for two-story homes.
Building Height	Maximum building heights shall be up to 35-feet in accordance with those indicated in the appropriate underlying zone, with the additional architectural roofline stipulations articulated in the Special Design Criteria for this planning area.

Minimum Lot Size

- The minimum lot size shall be 4,000 square feet.

Minimum Lot Dimensions

- Minimum lot width at the front setback line (measured at 10-feet from right-of-way (ROW) shall be 50 feet, except along cul de sacs where the minimum lot width shall be 35 feet, measured at the ROW..
- Minimum lot depth shall be 80 feet as measured pursuant to Section 21.04.225 of the Carlsbad Municipal Code.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance and shall be as provided for in Master Plan Section II.E.5.

Affordable Housing

The Inclusionary Housing requirement for Planning Area 3 shall be provided in Planning Area 7 and/or 8, concurrent with the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria

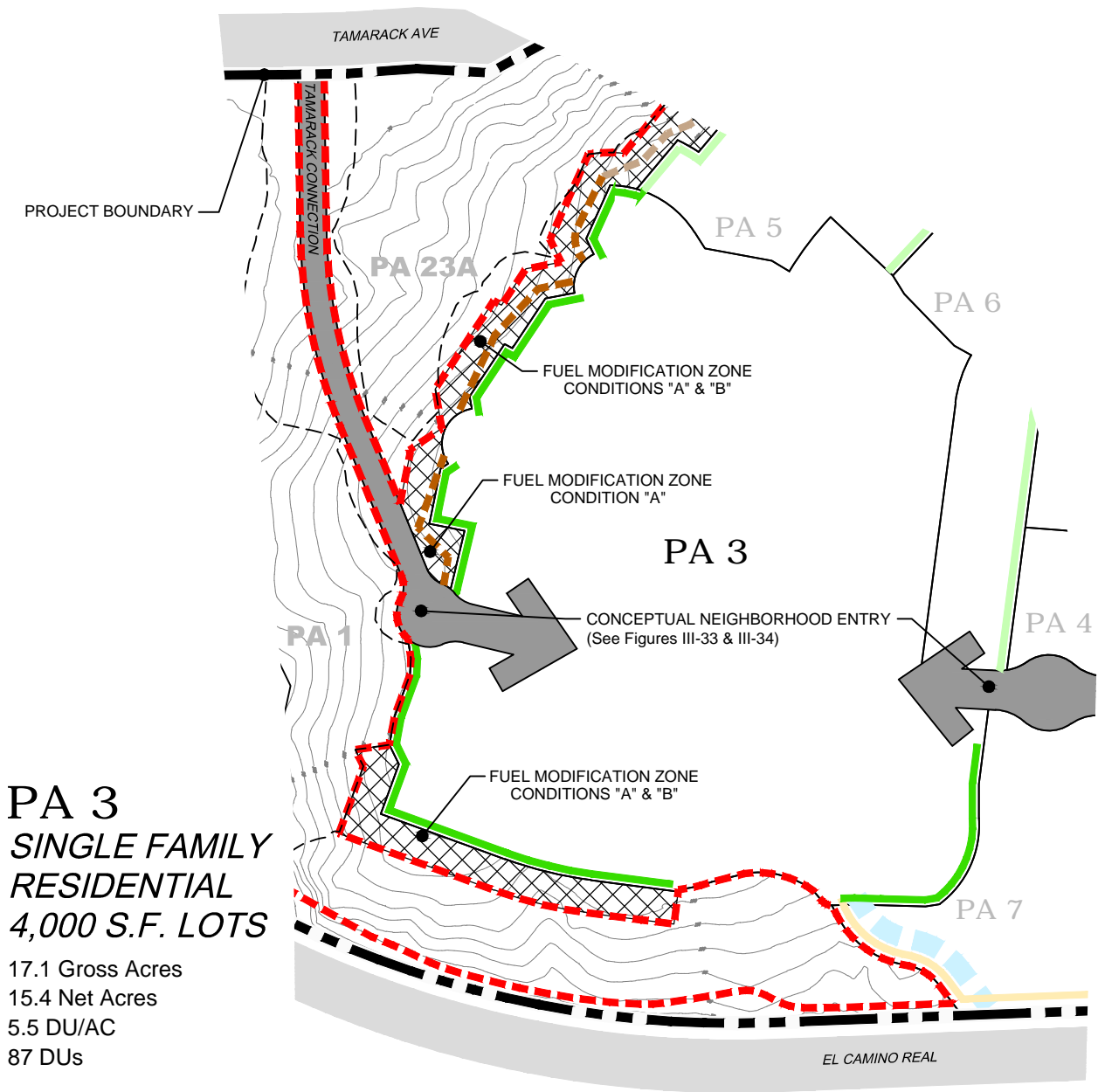
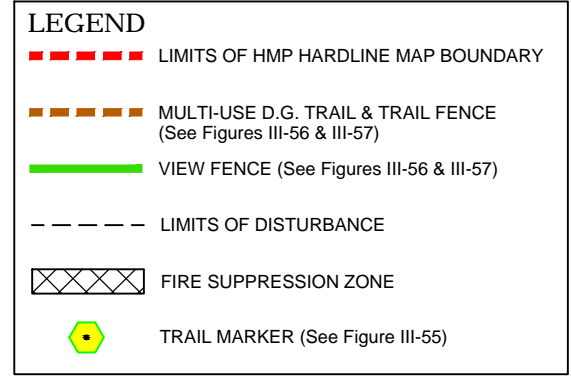
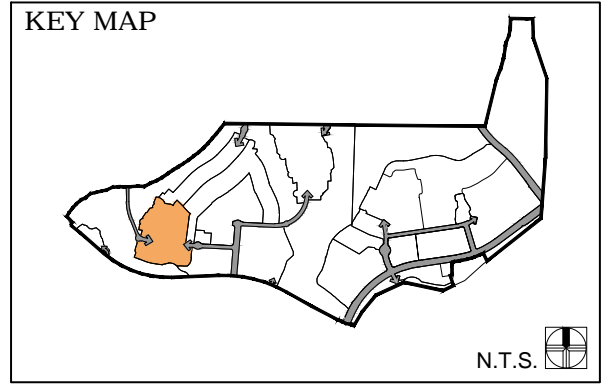
1. Twenty percent (20%) of the homes in the initial development of this planning area shall be designed as single-story. Single story is defined as a maximum plate-line of 15 feet and a maximum building height of 20 feet. Lofts are permitted subject to CMC Section 21.04.330. Alternatively, a minimum of 25 percent of the homes in Planning Area 3 shall be designed as either single-story or modified single story homes, provided that no fewer than 15 percent of the

homes in the planning area are designed as single-story homes. Homes designed as modified single story homes shall conform to the following criteria:

- Modified Single-Story. To qualify as a Modified Single-Story home, the structure must comply with the following criteria: A minimum of 60 percent of the area of the roof shall be single story. A two-story element shall be placed generally in the central portion of the front and rear elevation, allowing some flexibility in placement for achieving good design, and the livable space on the second floor shall not exceed 40 percent of the first floor lot coverage.
 - The single story or Modified Single-Story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
 3. Porches shall have a minimum depth of 6 feet, and a minimum width of 10 feet.
 4. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
 5. Side-loaded garages are encouraged to vary the street theme.
 6. Three-in-a-row car garages that directly face the street shall not be allowed.
 7. At least one elevation/plan shall include a two-car garage with two separate garage doors facing the street.
 8. Single-story and modified single-story homes shall be considered as two separate floor plans.
 9. A trail is required adjacent to the open space. A trail connecting from the perimeter roadway to El Camino Real shall also be provided.
 10. Recreation facilities shall be integrated into the trail system for Planning Area 3 and should be sited to take advantage of views where feasible.
 11. Pedestrian connections shall be included to facilitate access to the bus stop on El Camino Real and adjoining neighborhoods. The connection may include stairs.
 12. Traffic calming elements shall be incorporated into the design of internal streets within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections,

“T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).

13. A 5-foot wide landscape buffer area shall be provided between side or rear fences and adjacent roadways.
14. Landscaped focal points should be provided at the end of cul-de-sac streets and at “T” intersections.
15. Optional entry treatments, as depicted on Figure III-27 *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance to Planning Area 3 from Street “Y” and/or the east-west oriented collector road extending from Street “Z.”
16. The public road alignment of Planning Area 3 shall be designed to provide adequate access to the project and adjacent planning areas. Multiple points of access will be required to serve future residents.
17. The Master HOA shall maintain landscaping within the parkways and recreation areas, and fuel modification zones.
18. A Fire Protection Zone, as defined and illustrated in Section III.B.4.(e) (Figure III-45, *Fuel Modification Plan*) of this Master Plan shall be provided.
19. Landscaping in areas adjacent to open space areas (Planning Areas 1 and 23A) shall be compatible with preserved native vegetation where appropriate.
20. Lighting adjacent to the Open Space areas (Planning Areas 1 and 23A) shall be selectively placed, shielded, and directed away from conserved habitat.
21. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.



PA 3
SINGLE FAMILY
RESIDENTIAL
4,000 S.F. LOTS
 17.1 Gross Acres
 15.4 Net Acres
 5.5 DU/AC
 87 DUs

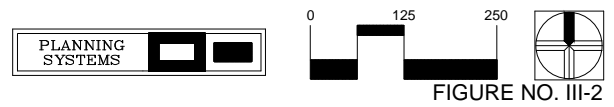


FIGURE NO. III-2

Robertson Ranch

WEST VILLAGE UPDATE PLANNING AREA 3

b) **Planning Area 4 – Community Recreation – Site Zoning Regulations and Criteria** (see Figure III-3, *Planning Area 4*)

Description

Planning Area 4 is approximately 1.0 gross acres (1.0 net acre) and will be developed with community recreation facilities that will be available to serve all residents within the West Village. Access to Planning Area 4 will be provided from Street “Z.” Pedestrian connections shall also be provided to link the surrounding neighborhoods to the community recreation site.

In order to provide for the recreational needs of the community, this Master Plan provides specific requirements for recreation area, depending on the type of unit to be constructed. For single-family residential and courtyard residential land uses, a minimum of 200 square feet of recreation area per unit shall be provided, of which 75 percent shall be allocated for active facilities. In no case shall less than 10,000 square feet of centralized common recreation area be provided on-site within each planning area with the exception of Planning Area 13, which is situated directly adjacent to the City public Community Park. Any additional recreation area requirement above 10,000 square feet may be provided either within the planning area, or as an enlargement of the community recreation facility site in PA 4.

For multifamily residential land uses, no less than 100 square feet of recreation area shall be provided on-site. In addition, if the multifamily units are constructed as for-sale condominium units, an additional 50 square feet per unit (150 square feet total) shall be required. The additional 50 square feet per unit requirement may be provided either on-site within the planning area, or as an enlargement of the community recreation facility site in PA 4. In all cases, no less than 75 percent of the required community recreation area shall be allocated for active facilities.

Planning Area 4 contains 1.0 net acre for active recreation facilities for the West Village and will be provided in the central vicinity of the West Village, adjacent to Planning Area 8. This base provision of 1.0 net acre does not satisfy any individual planning area’s recreation requirement. The final recreation size requirement for the West Village planning areas will be determined with the respective Tentative Map and Planned Development applications. The exact location and boundaries of Planning Area 4 will be determined at the individual tentative map for the first West Village residential neighborhood.

Implementation of the Master Plan Vision and Goals

Planning Area 4 is the main recreational focal point of the West Village and incorporates the Ahwahnee Principles through its provision of active recreational facilities, its central location to the majority of homes in the village and its pedestrian and bicycle connections. Planning Area 4 also will be linked to the community core via richly landscaped pedestrian paths. Active recreation facilities shall be provided in Planning Area 4. The vision of this planning area is to provide the residents of the

West Village a variety of recreational activities within walking and biking distance to their homes that would otherwise not be found within the community recreation areas of the individual planning areas.

Final Land Use Regulations

- General Plan Land Use Designation: OS - Open Space
- Underlying Zone Designation: OS (Open Space)
- The permitted uses shall include active and passive facilities. The recreation facilities to be provided shall be determined as part of the Site Development Plan.

Required Development Permits

- A Site Development Plan (SDP) for Planning Area 4 shall be processed concurrently or prior to the Tentative Map and Planned Development Permits for Planning Areas 3, 6, or 10, and/or Planning Areas 7 and 8 if proposed as “for-sale” units, whichever is proposed first. Phasing for the development of Planning Area 4 shall be addressed as part of the SDP process.

Development Standards

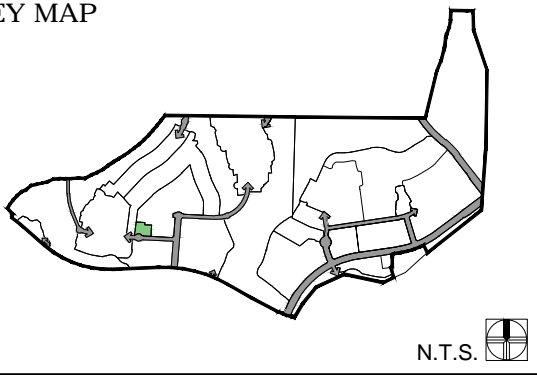
- Development in Planning Area 4 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code, including the Planned Development Standards, except as modified by the Robertson Ranch Master Plan.

Special Design Criteria

1. The following recreational facilities may be located within this planning area: swimming pool (solar-heated), spa, clubhouse, tennis courts, volleyball courts, children’s tot lots, play structures, grassy open play area, outdoor basketball courts, seating areas, benches, tables, or other facilities as deemed appropriate.
2. Site planning shall minimize, to the greatest extent possible, light and noise impacts to adjacent residences.
3. Building structures and facilities shall be integrated such that the overall architectural design themes for the Robertson Ranch Master Plan are consistent and are oriented and related to a pedestrian scale.
4. Building elevations facing public streets shall have detailing equal to the level of detailing on the front elevation of the buildings.
5. Screening walls for storage spaces and equipment areas shall be architecturally integrated with the surrounding buildings and design.

6. Building placement shall be designed to create opportunities for plazas and other landscaped open space areas within the Planning Area.
7. Pedestrian access shall be provided from Planning Areas 3, 5, 6, 7, 8, 9 and 10 to Planning Area 4.
8. Bike racks shall be provided to encourage alternative means of transportation.
9. If public streets are provided, on-street parking immediately adjacent to the site may satisfy a portion of or all of the recreation facility parking requirements.
10. Traffic calming measures shall be incorporated into the design of the circulation system surrounding the community recreation site.
11. The Master HOA shall maintain landscaping within the community recreation area.

KEY MAP



PA 4

COMMUNITY RECREATION

1.0 Gross Acres

1.0 Net Acres

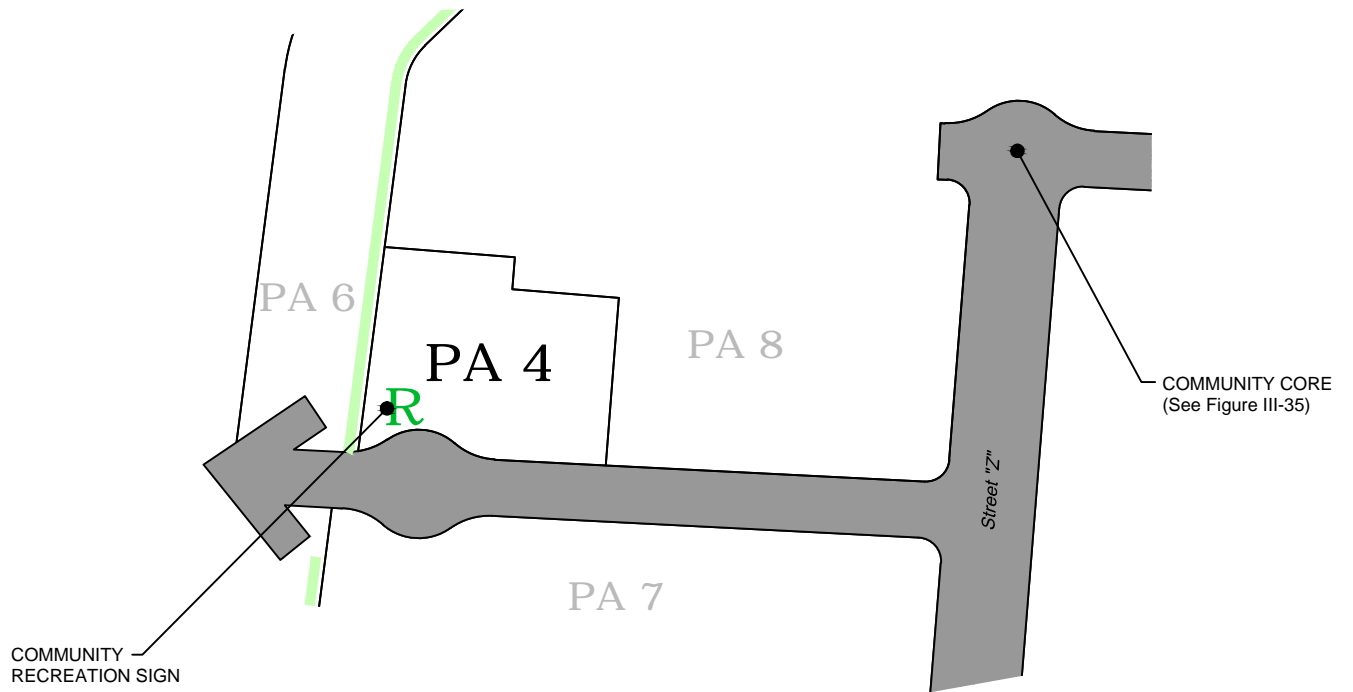


FIGURE NO. III-3

Robertson Ranch

WEST VILLAGE UPDATE PLANNING AREA 4

- c) **Planning Area 5 – Single Family – Site Zoning Regulations and Criteria** (see Figure III-4, *Planning Area 5*)

Description

Planning Area 5 consists of approximately 9.7 gross acres and will be allocated 36 single-family homes on minimum 8,500 square foot lots. Access to Planning Area 5 is provided via Glasgow Drive to the north and collector/local streets connecting through Planning Areas 3 and 6 and Street "Z" to the south. Planning Area 5 shall be designed as a gated community. Planning Area 5 shall be generally designed as a standard, double loaded single family subdivision of minimum 8,500 square foot lots.

Implementation of the Master Plan Vision and Goals

This planning area provides a unique, larger lot single-family neighborhood within the Robertson Ranch Master Plan. Planning Area 5 provides single-family homes on 8,500 square foot lots that are connected by pedestrian and bicycle trails to the remainder of the community. The trail provides an opportunity for public views to the open space and results in a well-defined open space edge.

The Ahwahnee Principles are incorporated into the design of this plan. Housing, jobs, daily needs and other activities are all available within the West Village and are located within easy walking/biking distance from this planning area. In addition, the Community Recreation Area in Planning Area 4 will serve residents of Planning Area 5.

Final Land Use Regulations

- Uses in this Planning Area shall be one-family dwellings and buildings accessory to the one-family dwelling.
- General Plan Land Use Designation: RLM (Low Density, 0-4 du/ac)
- Dwelling Unit Allocation: 36 Units
- Density: 3.8 du/ac
- Underlying Zone Designation: R-1 (One-Family Residential).

Product Type

- Single-family dwellings on minimum 8,500 square foot lots
- Uses normally considered accessory to a single-family dwelling

Required Development Permits

- Tentative Subdivision Map
- Hillside Development Permit (if required)
- Planned Development Permit (Private street and gates)

Development Standards

- Development in Planning Area 5 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code, including R-1 and the intent of City Council Policies 44 and 66, except as modified by the Robertson Ranch Master Plan.
- Planning Area 5 shall provide a minimum 60-foot fire suppression zone along the west side of the Planning Area adjacent to the open space. Up to 10-feet of this fire suppression zone may be situated within the residential lot (with the remaining 50-feet on the open space lot) subject to approval of the Fire Marshal.
- Panhandle lots shall be permitted pursuant to CMC 21.10.
- No building in Planning Area 5 shall exceed a height of 32-feet and two stories if a minimum roof pitch of 3:12 is provided or twenty-four feet and two stories if less than a 3:12 pitch is provided.
- Planning Area 5 is anticipated to be developed as a standard, double-loaded single family subdivision.

Minimum Front Yard Setback	The minimum front yard setbacks shall be: 20 feet from property line to a street facing garage door; 15 feet to habitable space; and 10 feet to a side-loaded garage, porch or covered entry.
Minimum Rear Yard Setback	1) 20% of lot width OR 2) 8 feet measured from property line for not more than 50% of the rear lot width for single-story building components in combination with a minimum 880 square foot contiguous private open recreation space (minimum dimension of 18 feet). Attached solid/lattice patio covers and decks/balconies, subject to lot coverage requirements, may project into the private open recreation space with a 10% of lot width side yard setback and 20% of lot width rear yard setback to the support posts. A two foot overhang is permitted.
Lot Coverage	Lot coverage shall not exceed 50% of the lot area for single story homes. Two story homes shall not exceed 40% lot coverage.

Minimum Lot Size

- The minimum lot size shall be 8,500 square feet, exclusive of panhandle.

Minimum Lot Dimensions

- The minimum lot width shall be 75-feet measured at the ROW.

Affordable Housing

The Inclusionary Housing requirement for Planning Area 5 shall be provided in Planning Areas 7 and/or 8 concurrent with the schedule established by an Affordable Housing Agreement for the West Village.




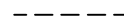



Special Design Criteria

1. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
2. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet.
3. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
4. A 60-foot fire suppression zone shall be provided adjacent to the open space slope on the northwest of the planning area. Up to 10-feet of this fire suppression zone may be situated within the residential lot (with the remaining 50-feet on the open space lot) subject to approval of the Fire Marshal.
5. A trail shall be located along the western side of the residential lots and will tie into the Master Plan trail system, as shown on Figure III-54, *Pedestrian Circulation Plan*.
6. Pedestrian connections shall be included to facilitate access to bus stops and adjoining neighborhoods.
7. A 5-foot wide landscape buffer area shall be provided between side or rear fences and adjacent roadways.
8. The Master HOA shall maintain landscaping within the parkways and fuel modification zones.
9. A Fire Protection Zone, as defined in Section III.B.4.(e) (Figure III-45, *Fuel Modification Plan*) of this Master Plan shall be provided. The specific design of the Fire Protection Zone adjacent to Planning Area 5 shall be approved by the Carlsbad Fire Marshal.
10. Landscaping in areas adjacent to open space areas (Planning Areas 23A and 23B) shall be compatible with preserved native vegetation.
11. Lighting adjacent to the Open Space areas (Planning Areas 23A and 23B) shall be selectively placed, shielded, and directed away from conserved habitat.
12. An optional entry treatment, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and

Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance to Planning Area 5 from Glasgow Drive.

13. Planning Area 5 shall be designed as a gated community. The gate facilities shall be provided on both ends of the main, double-loaded residential street serving the planning area.
14. Vehicular gates and wildlife warning signage shall be provided along the portion of Glasgow Drive which abuts the boundary between Planning Area 23A and Planning Area 23B in order to minimize wildlife mortality.
15. In addition to the standards listed above, the Design Guidelines provided in Section III.B this Master Plan also shall apply.
16. Vista points shall be provided for the community trail.

LEGEND

-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  MULTI-USE D.G. TRAIL & TRAIL FENCE (See Figures III-56 & III-57)
-  VIEW FENCE (See Figures III-56 & III-57)
-  LIMITS OF DISTURBANCE
-  FIRE SUPPRESSION ZONE
-  TRAIL MARKER (See Figure III-55)
-  UPGRADE EXISTING BUS STOP

WILDLIFE SIGNAGE REQUIRED ON THIS STRETCH OF ROAD TO MINIMIZE WILDLIFE MORTALITY

CONCEPTUAL NEIGHBORHOOD ENTRY PRIVACY GATE ACCESS (VEHICLES) (See Figures III-33 & III-34)

FUEL MODIFICATION ZONE CONDITIONS "A" & "B"

PROJECT BOUNDARY

FUEL MODIFICATION ZONE CONDITIONS "A" & "B"

FUEL MODIFICATION ZONE CONDITIONS "A" & "B"

PA 5
SINGLE FAMILY RESIDENTIAL
8,500 S.F. LOTS

9.7 Gross Acres
 9.5 Net Acres
 3.8 DU/AC
 36 DUs

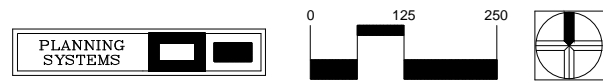
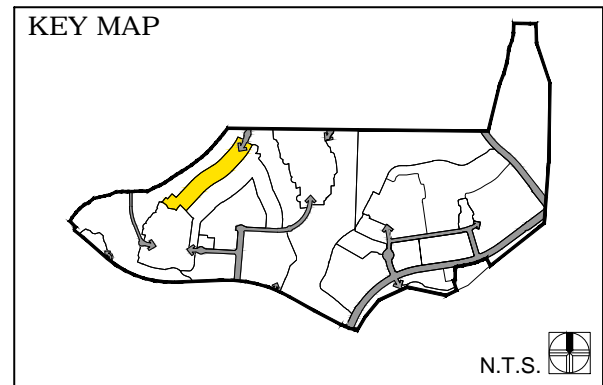
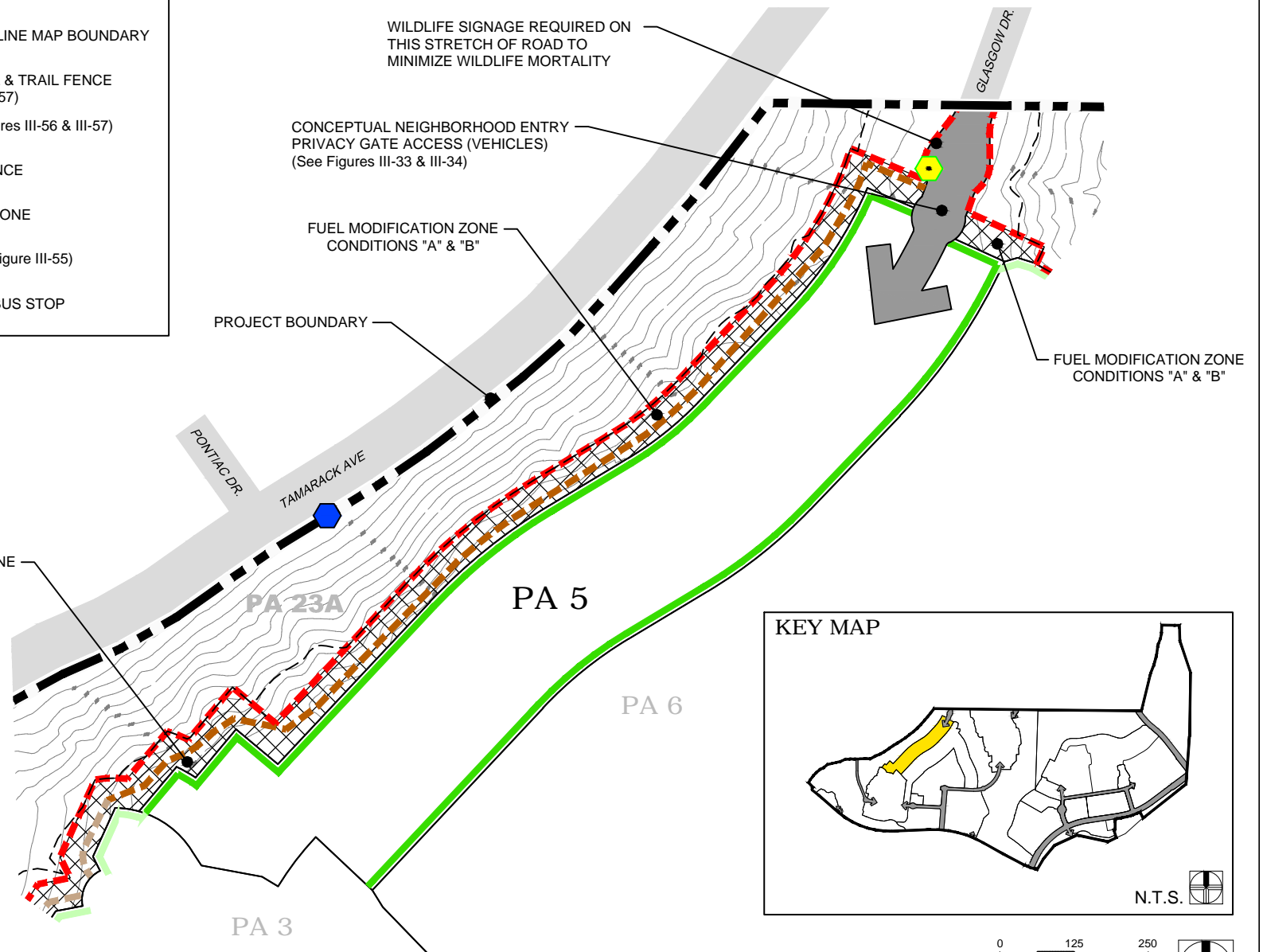


FIGURE NO. III-4

Robertson Ranch

- d) **Planning Area 6 – Single Family – Site Zoning Regulations and Criteria** (see Figure III-5, *Planning Area 6*)

Description

Planning Area 6 consists of approximately 17.7 gross acres and is allocated 87 single-family homes on minimum 5,000 square foot lots. Access to Planning Area 6 will be provided from “Street Z,” to the south and Street “Y” (Tamarack Connection) from the west.

Development of Planning Area 6 will require approval of a Planned Development Permit pursuant to the procedures identified in the City’s Planned Development Ordinance, Carlsbad Municipal Code Chapter 21.45. Development standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Chapter 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements results in hazards to the health and safety of residents, guests or other persons.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a unique small lot, single-family neighborhood within the Robertson Ranch Master Plan. Planning Area 6 will provide single family homes on 5,000 square foot lots that will be connected by trails.

The Ahwahnee Principles will be incorporated into the design of this plan. Housing, jobs, daily needs and other activities are all within the Master Plan and are an easy walking/biking distance from this planning area. Trail connections to adjoining Planning Areas will be provided to encourage pedestrian and bicycle use through the community.

Final Land Use Regulations

- General Plan Land Use Designation: RM (Medium Density, 4-8 du/ac)
- Dwelling Unit Allocation: 87 Units
- Density: 5.9 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Single-family dwellings on 5,000 square foot lots
- Common recreation areas, including, but not limited to pocket parks and tot lots.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit
- Hillside Development Permit (if required)

Development Standards

- Development in Planning Area 6 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC) including the RD-M (CMC Chapter 21.24), Planned Development Standards (CMC Chapter 21.45), and the intent of City Council Polices 44 and 66, except as modified by the Robertson Ranch Master Plan.

Community Recreational Space	<p>A minimum 200 square feet per unit of community recreation area shall be provided.</p> <p>The required passive and active recreation facilities within PA 6 shall include an approximate 17,400 square foot recreation area (exact amount totaling 200 sf per unit). The recreation area may take the form of a neighborhood park, plaza, dog park, or similar facility and shall include tables and benches and/or outdoor seating areas. The portions of the park designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p> <p>Planning Area 6 may satisfy a portion of its common recreation facilities through an enlargement of PA 4 (Community recreation site) in excess of the base 1.0 acre required per the Master Plan.</p>
Maximum Lot Coverage	<p>Single-story and modified single-story home design lot coverage shall cover no more than 60% of the net pad area. For modified single-story, the livable space on the second floor shall not exceed 40% of the first floor lot coverage, as defined above.</p> <p>Two-story home design lot coverage shall cover no more than 45% of the net pad area. This coverage shall include balconies and second-story decks.</p> <p>Porches or covered entry ways with no livable space above the porch or entry way are exempt from lot coverage requirements regardless of size or dimensions.</p>
Minimum Front Yard Setback	<p>Front-loaded garage products shall maintain a minimum 20 feet to garage door measured from the property line and a minimum 15 feet setback from property line to habitable space shall be provided. A minimum 10 feet setback to a side-loaded garage or porch or a covered entry is required.</p>
Minimum Rear Yard Setback	<p>1) 10 feet measured from the property line. OR 2) 5 feet measured from property line for not more than 50% of the rear lot width for single story building components in combination with a minimum 450 square foot contiguous private open recreation space on single-story or modified single-story</p>

	<p>home lots (minimum dimension of 15 feet), or a minimum 540 square foot contiguous private open recreation space on two-story home lots (minimum dimension of 18 feet).</p> <p>A minimum 20 foot separation shall be provided between rear yard building planes on opposing lots.</p> <p>Attached solid/lattice patio covers and decks/balconies, subject to lot coverage requirements, may project into the private open recreation space with a 5 foot side yard setback and 10 foot rear yard setback to the support posts. A two foot overhang is permitted.</p>
Minimum Side Yard Setback	<p>5 feet measured from property line. Freestanding side yard fences or walls may be permitted at the property line. In locations where side yard retaining walls are provided, retaining walls may be combined with the freestanding fence or wall as long as the combination retaining/freestanding fence/wall does not exceed 8-feet in height as viewed from the downhill side. In locations where the grade is such that the combination fence/wall would exceed 8-feet, this shall be remedied (if specifically approved by the Planning Commission) by separation of the retaining and freestanding fence or wall by a minimum of 2 horizontal feet of landscaped area, such that a minimum of 3-feet of clear space continues to be provided between the retaining wall and the residential structure. Permitted intrusions into required building setbacks are allowed as specified in Zoning Code Section 21.46.120, as long as a minimum of 3-foot clear space is maintained between wall or fence (retaining or privacy) and structure.</p>
Private Rear or Side Yard	<p>Minimum 15 feet X 15 feet of useable rear or side yard for single-story or modified single-story homes.</p> <p>Minimum 18 feet X 18 feet of useable rear or side yard for two-story homes.</p>
Building Height	<p>Maximum building heights shall be up to 35-feet in accordance with those indicated in the appropriate underlying zone, with the additional architectural roofline stipulations articulated in the Special Design Criteria for this planning area.</p>

Minimum Lot Size

- The minimum lot size shall be 5,000 square feet.

Minimum Lot Dimensions

- Minimum lot width at the front setback line (measured at 10-feet from right-of-way (ROW) shall be 50 feet, except along cul-de-sacs where the minimum lot width shall be 35 feet, measured at the ROW.
- Minimum lot depth shall be 90 feet as measured pursuant to section 21.04.225 of the Carlsbad Municipal Code.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance and shall be provided as provided for in Master Plan Section II.E.5.

Affordable Housing

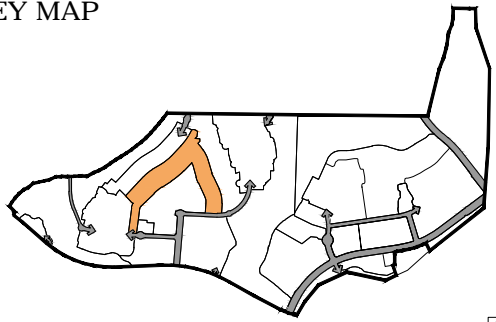
The Inclusionary Housing requirement for Planning Area 6 shall be provided in Planning Area 7 and/or 8 concurrent with the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria

1. Twenty percent (20%) of the homes in the initial development of this planning area shall be designed as single-story. Single story is defined as a maximum plate-line of 15 feet and a maximum building height of 20 feet. Lofts are permitted subject to CMC Section 21.04.330. Alternatively, a minimum of 25 percent of the homes in Planning Area 6 shall be designed as either single-story or modified single story homes, provided that no fewer than 15 percent of the homes in the planning area are designed as single-story homes. Homes designed as modified single story homes shall conform to the following criteria:
 - Modified Single-Story. To qualify as a Modified Single-Story home, the structure must comply with the following criteria: A minimum of 60 percent of the area of the roof shall be single story. A two-story element shall be placed generally in the central portion of the front and rear elevation, allowing some flexibility in placement for achieving good design, and the livable space on the second floor shall not exceed 40 percent of the first floor lot coverage.
 - The single story or Modified Single-Story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
3. Porches shall have a minimum depth of 6 feet, and a minimum width of 10 feet.





4. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
5. Side-loaded garages are encouraged to vary the street theme.
6. Three-in-a-row car garages that directly face the street shall not be allowed.
7. At least one elevation/plan shall include a two-car garage with two separate garage doors facing the street.
8. Single-story and modified single-story homes shall be considered as two separate floor plans.
9. Planning Area 6 shall provide opportunities for trail connections to adjacent Planning Areas to encourage pedestrian and bicycle use through the community.
10. Recreation facilities shall be integrated into the trail system for Planning Area 6 and should be sited to take advantage of views where feasible.
11. Pedestrian connections shall be included to facilitate access to bus stops and adjoining neighborhoods.
12. A 5-foot wide landscape buffer area shall be provided between side or rear fences and adjacent roadways.
13. Traffic calming elements shall be incorporated into the design of internal streets within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections, "T" intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings.
14. Landscaped focal points should be provided at the end of cul-de-sac streets and at "T" intersections.
15. The Master HOA shall maintain landscaping within the parkways and recreation areas, and fuel modification zones.
16. A Fire Protection Zone, as defined and illustrated in Section III.B.4(e) (Figure III-45, *Fuel Modification Plan*) of this Master Plan shall be provided along the area adjacent to Planning Area 23B.
17. Landscaping in areas adjacent to open space area (Planning Area 23B) shall be compatible with preserved native vegetation where appropriate.
18. Lighting adjacent to the Open Space areas (Planning Area 23B) shall be selectively placed, shielded, and directed away from conserved habitat.

KEY MAP



N.T.S.

LEGEND

-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  VIEW FENCE (See Figures III-56 & III-57)
-  LIMITS OF DISTURBANCE
-  FIRE SUPPRESSION ZONE

PA 6
SINGLE FAMILY
RESIDENTIAL
5,000 S.F. LOTS

17.7 Gross Acres
 14.8 Net Acres
 5.9 DU/AC
 87 DUs

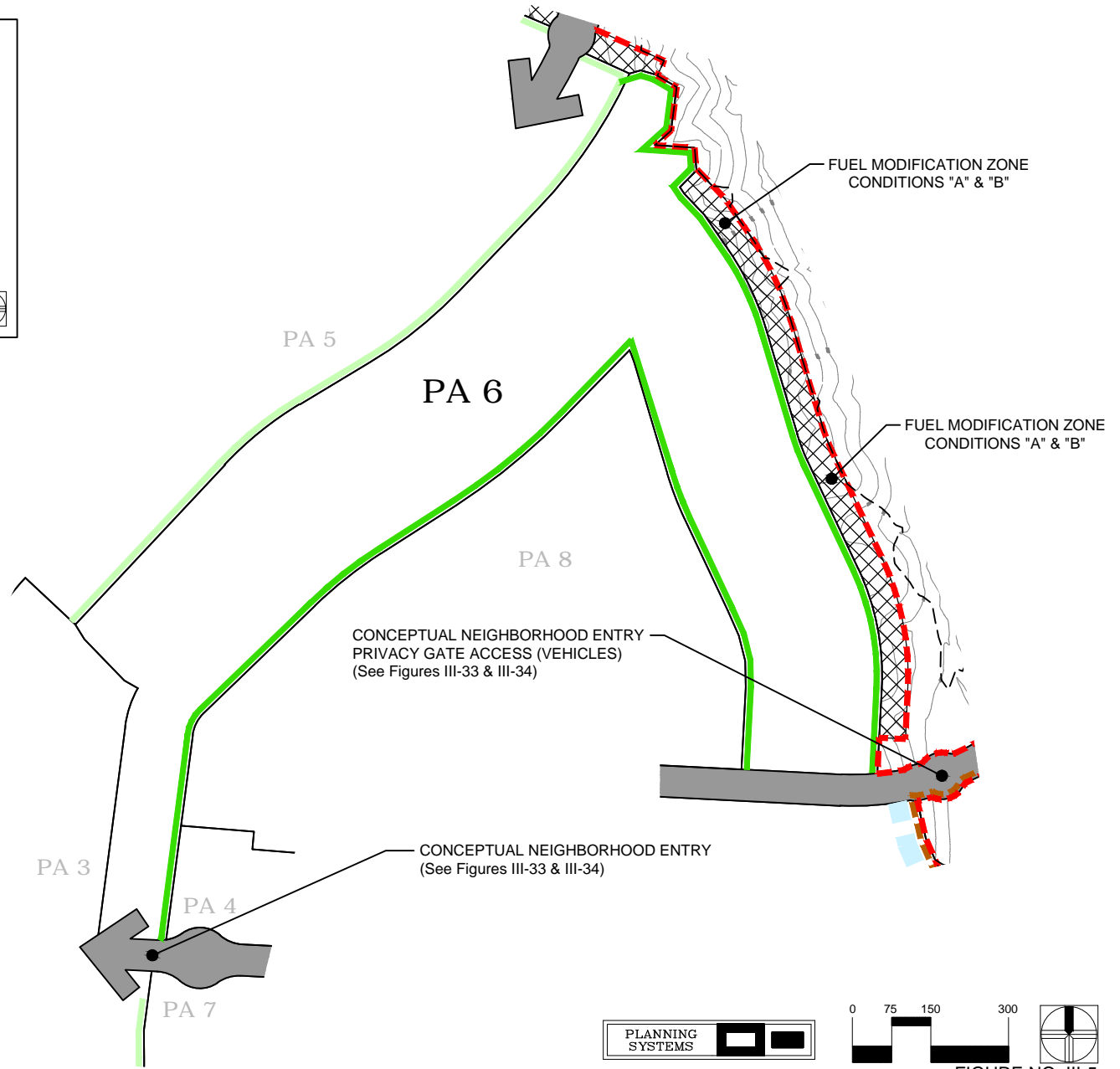


FIGURE NO. III-5

Robertson Ranch

WEST VILLAGE UPDATE
 PLANNING AREA 6

- e) **Planning Area 7 – Multifamily Development - Site Zoning Regulations and Criteria** (see Figure III-6, *Planning Area 7*)

Discussion

Planning Area 7 is approximately 7.0 gross acres and is located at the northwest intersection of El Camino Real and Street “Z” (Lisa Street) in the West Village of the Master Plan area. Planning Area 7 will include approximately 96 multifamily units. The Inclusionary (Affordable) Housing requirement for the West Village may be met with affordable units in Planning Area 7 and/or Planning Area 8. A minimum of 100 units of the total units constructed within Planning Area 7 or 8 shall be developed as housing for senior citizens, as defined in Chapter 21.84 of the Carlsbad Municipal Code. Senior housing units that are restricted to the appropriate lower income rates may qualify as combined affordable/senior housing projects. Access to Planning Area 7 will be provided via the West Village main entry road (Street “Z”) and a connecting local street. The overall net density of development within Planning Areas 7 and 8 together shall be a minimum of 20 du/ac.

Common recreation areas shall be provided within Planning Area 7. Additionally, residents of Planning Area 7 shall have access to the recreational facilities located in Planning Area 4. The actual area and components of community recreation facilities required for Planning Area 7 will be determined at the time of discretionary review and shall be based on the final number of residential units constructed within the Planning Area in accordance with the provisions of Chapter 21.45 of the Carlsbad Municipal Code and this Master Plan.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a unique multifamily neighborhood which creates a sense of place within the Robertson Ranch Master Plan. Planning Area 7 provides for multifamily homes which are connected to other portions of the Master Plan not only by automobile, but also by pedestrian and bicycle trails. This Planning Area may be developed with more than one product type to allow more flexibility in site design and to allow for a transition of housing types from higher densities near the commercial center to lower densities at the transitions to the surrounding single-family neighborhoods.

Planning Area 7 has been designed to incorporate the Ahwahnee Principles as appropriate. The proximity of Planning Area 7 to El Camino Real ensures a short walking distance to transit stops, and the high-density nature of the planning area increases the diversity of housing types available within the community. Planning Area 7 includes common recreation areas to serve as local gathering places for residents. Housing, jobs, daily needs and other activities are provided within the Village Center, located across the entry road from Planning Area 7 to the east. The close proximity of the Village Center ensures that these services are located within easy walking and biking distance of residences in Planning Area 7. Finally, the Village Center features commercial retail and community facility components which in turn provide jobs and shopping opportunities for community residents.

Land Use Regulations

- General Plan Land Use Designation: RH (High Density, 15-23 du/ac)
- Dwelling Unit Allocation: 96 units (May be increased pursuant to the affordable housing requirements indicated below.)
- Density: The minimum density shall be no less than 20.0 du/ac. Underlying Zone Designation: RD-M (Residential Density – Multiple) (May be increased pursuant to the affordable housing requirements indicated below.)

Product Type

- Multifamily homes including, but not limited to, the following types: town homes, condominiums, apartments, stacked flats, duplexes, triplexes, six-plexes.

Required Development Permits

- Tentative Subdivision Map (if developed as “for-sale” units)
- Planned Development Permit (if developed as “for-sale” units)
- Site Development Plan (for senior housing, affordable housing and/or apartments)
- Special Use Permit (El Camino Real Scenic Corridor)
- Hillside Development Permit (if required)

Development Standards

- Development in Planning Area 7 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including zoning standards for the RD-M zone (CMC Chapter 21.24), the Planned Development Ordinance (CMC Chapter 21.45), and City Council Policy 66, except as modified by the Robertson Ranch Master Plan.
- Notwithstanding that internal portions of PA 7 may calculate individually over or under 20 du/ac, the overall net density of development within Planning Areas 7 and 8 together shall be constructed at a minimum of 20 du/ac.
- The density can be increased for affordable housing products (and/or senior housing with affordable component) subject to the findings required and provisions provided pursuant to Carlsbad Municipal Code Chapter 21.53.120 (Density Modification) or 21.86 (Density Bonus). Any product density above 23 du/ac shall be evaluated through one of these processes. Compliance with Density Modification or Bonus criteria will be evaluated at the site plan review stage of the development process. As a result of such density bonus that may be approved, a corresponding decrease in unit count (density transfer) in another location on the West Village will be required, so as to not exceed the overall total maximum unit allocation for the West Village.

- An applicant for development of Senior and/or Inclusionary Housing may apply for standards modifications pursuant to the allowances identified in Carlsbad Municipal Code Chapter 21.86. Requirements and modifications for senior/affordable projects shall be articulated and approved through implementation of the required Affordable Housing Agreement.
- Apartment rental units are not subject to the Planned Development Ordinance.
- A minimum of 100 square feet of Community Recreation Facilities per dwelling unit shall be provided on-site within Planning Area 7 (for apartments). Recreation area for condominiums shall be provided at 150 square feet per unit.
- Community recreational space shall be provided as both passive and active recreational facilities for a variety of age groups.
- Community recreational space shall be centrally located in relationship to all project units. Credit for indoor recreation facilities shall not exceed 25 percent of the required centralized community recreation areas. Required community recreation areas shall not be located in any required front yard and may not include any streets, drive-aisles, driveways, parking areas, walkways, storage areas, or any slopes of 5 percent or greater.
- Apartments and/or senior housing shall comply with the requirements of Chapter 21.24 and 21.84, respectively, of the Carlsbad Zoning Code.
- Condominium uses, if implemented within Planning Area 7, shall comply with CMC Chapter 21.45., with the following exceptions:

Minimum Building Setbacks, Private or Public Streets*	<ul style="list-style-type: none"> • To front porch: 10 feet. • To residential structure: 10 feet • To street side yard: 10 feet • To side entry garage: 10 feet • To direct entry garage: 20 feet
Minimum Building Setbacks, Driveway or Motor Court	<ul style="list-style-type: none"> • Residence: 5 feet at first floor with 0-foot setback on the second floor. • Garage: 3 feet from roadway to garage door.
Minimum Building Separation	<ul style="list-style-type: none"> • Minimum 10 feet between buildings • The front faces of buildings shall be a minimum of 20 feet apart. • Entries, stairs, and balconies may encroach up to 6 feet within these setbacks, provided a minimum 10-foot separation between the encroaching element and opposing structure (including opposing encroaching elements) is maintained. Patios may encroach within these setbacks without restriction, provided a 10-foot separation between structures is maintained. • Minimum 30 feet between opposing garage doors

Resident Parking	<ul style="list-style-type: none"> • Two-car resident parking required, may be in the form of the following: <ul style="list-style-type: none"> • 1-car covered garage at 12 feet x 20 feet (min.) and one designated uncovered space; • Two separate one car garages (min. 12 feet x 20 feet each); • 2-car covered tandem garage at 12 feet x 40 feet (min.); or • 2-car covered side by side garage at 20 feet x 20 feet (min.) • Parking for senior housing shall be pursuant to the requirements of Carlsbad Municipal Code Chapter 21.84, <i>Housing for Senior Citizens</i>, except that the applicant may apply for standards modifications, including requested parking reductions, pursuant to applicable City codes. • One covered parking space per senior dwelling unit is required.
Private Recreational Space	<p>Each unit shall include a patio or balcony, subject to the following minimum area requirements:</p> <ul style="list-style-type: none"> • Patio: 100 square feet (min. dimension of 8 feet) • Balcony: 60 square feet (min. dimension of 6 feet)

*Setbacks shall be measured from the right-of-way, back of landscape buffer, back of sidewalk, or 10 feet from the face of curb, whichever is greater.

Minimum Lot Size

Not Applicable

Minimum Lot Dimensions

Not Applicable

Setbacks

- A 50-foot structural setback shall be provided along El Camino Real.
- A minimum of 50 percent of the required setback that is located closest to El Camino Real shall be landscaped to enhance the street scene and buffer the homes from traffic on adjacent arterials. Project perimeter walls shall not be located in the landscaped buffer. The landscaped setback shall be commonly owned and maintained by the HOA.
- All other setbacks for condominiums shall be pursuant to Chapter 21.45 (Planned Development Ordinance) unless modified by the Master Plan.
- All other setbacks for apartments shall be pursuant to CMC Chapter 21.24 (RD-M zone).

Building Height

- Maximum of three stories and 40 feet to the roof ridgeline with a minimum roof pitch of 3:12.
- Maximum of 35 feet for structures with a roof pitch less than 3:12.
- For two-story duplex dwellings with a minimum roof pitch of 3:12 the maximum height shall be 30 feet.
- For two-story duplex dwellings with a roof pitch less than 3:12 the maximum height shall be 24 feet.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance as provided for in Master Plan Section II.E.5. RV parking is not required for portions of the Planning Area that are developed with rental apartments and/or senior housing.

Affordable Housing

The Inclusionary Housing requirement for Planning Area 7 shall be provided in Planning Area 7 and/or Planning Area 8 as approved by the City of Carlsbad, in accordance with the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria

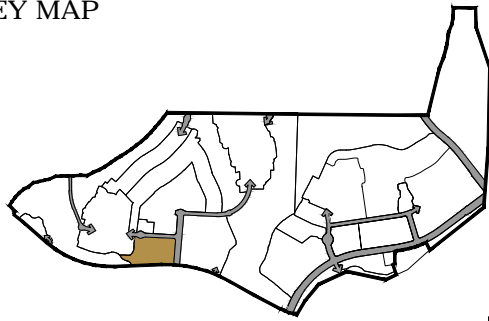
1. A supplemental acoustical analysis shall be submitted with the discretionary applications demonstrating compliance with the City's Noise Guidelines Manual for interior (and exterior, if required) noise levels.
2. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
3. Units should be designed to front on Street "Z" and the east-west oriented Collector Road or should face onto the community recreation areas to the extent possible.
4. A 10-foot landscape buffer shall be provided on Street "Z" and the east-west collector road. These landscape buffers are intended to provide an enhanced landscaped pedestrian link between El Camino Real, the community core, and recreation facilities in Planning Area 4.
5. Where a slope is facing the Collector Road, terraced front yard areas/porches may be appropriate, if practical.
6. Avoid the use of walls at the perimeter of the project, unless needed for screening of vehicles or noise abatement.

7. Entries which face onto a motorcourt or drive aisle serving garages are discouraged.
8. Carports or garages shall not be directly accessed from Street “Z” or the east-west oriented Collector Road.
9. Parking areas shall be screened from public or private streets with a combination of low walls, berms, or landscaping.
10. Development shall be screened to the extent practical from circulation element roadways through the use of decorative walls, berms, mounding, and heavy landscaping.
11. Buildings visible from Circulation Element roadways shall feature enhanced elevations.
12. If common area refuse collection is proposed, a refuse collection area will be provided in accordance with section III.B.3.(k) of this Master Plan. A refuse collection area shall not be required if individual unit refuse collection is proposed.
13. Bicycle storage lockers shall be provided for residential units.
14. Pedestrian connections shall be included to facilitate access to bus stops, adjoining neighborhood trails, and the Village commercial center. A bus stop trail may include stairs.
15. Pedestrian and bicycle connections shall be provided between Planning Area 7 and the Community Core, as depicted on Figure III-54, *Pedestrian Circulation Plan*.
16. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections, “T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).
17. An optional Community Core, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, and Figure III-35, *Conceptual Community Core Plan*, may be provided at the intersection of Street “Z” and the east-west oriented collector roadway that serves this Planning Area.
18. An optional Neighborhood Entry, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*,

and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance into Planning Area 7 from Street “Z.”






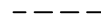


19. Special monumentation may be provided at the intersection of El Camino Real and Street “Z,” as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-31, *Conceptual West Village Entry Elevation*, and Figure III-32, *Conceptual West Village Entry Plan*.
20. A Fire Protection Zone, as defined in Section III.B.4.e (Figure III-45 *Fuel Modification Plan*) of this Master Plan shall be provided, adjacent to open spaces.
21. Fencing within 60 feet of open space areas shall be composed of non-combustible materials.
22. Landscaping in areas adjacent to open space areas (Planning Area 1) shall be compatible with preserved native vegetation.
23. Lighting adjacent to the Open Space areas (Planning Area 1) shall be selectively placed, shielded, and directed away from conserved habitat.
24. This planning area, or portion thereof, is designated as a location for the provision of on-site affordable housing, which per the Housing Element and Carlsbad Municipal Code, may allow for modifications to the Carlsbad Zoning Ordinance, Planning Division Policies, and this Master Plan.
25. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

KEY MAP



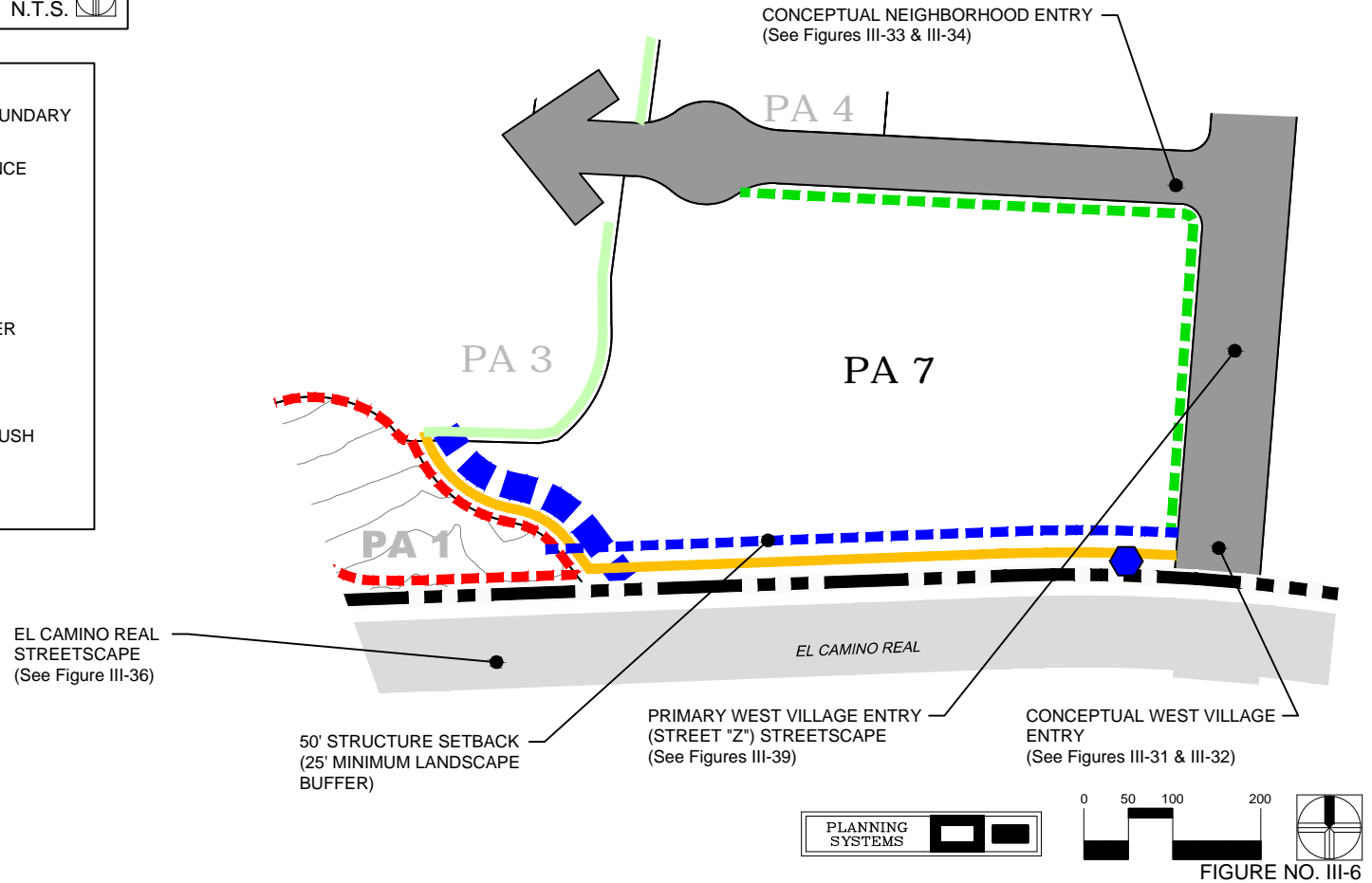
N.T.S. 

LEGEND

-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  MULTI-USE D.G. TRAIL & TRAIL FENCE
(See Figures III-56 & III-57)
-  COMMUNITY THEME WALL
(See Figures III-56 & III-57)
-  STRUCTURE SETBACK
-  ENHANCED 10' LANDSCAPE BUFFER
-  LIMITS OF DISTURBANCE
-  BUILDING SETBACK SATISFIES BRUSH MANAGEMENT REQUIREMENT
-  UPGRADE EXISTING BUS STOP

PA 7 MULTIFAMILY RESIDENTIAL

7.0 Gross Acres
5.1 Net Acres
22.7 DU/AC
96 DUs



Robertson Ranch

f) **Planning Area 8 – Multifamily Development - Site Zoning Regulations and Criteria** (see *Figure III-7, Planning Area 8*)

Planning Area 8 is approximately 14.7 gross acres and is located northerly of the intersection of Street “Z” (Lisa Street) and the east-west oriented collector roadway in the West Village of the Master Plan area. Planning Area 8 will include a maximum of 268 multifamily units. The Inclusionary (Affordable) Housing requirement for the West Village will be met with affordable units in Planning Areas 7 or 8. A minimum of 100 units of the total units constructed within Planning Areas 7 and/or 8 shall be developed as housing for senior citizens, as defined in Chapter 21.84 of the Carlsbad Municipal Code. Senior housing units that are restricted to the appropriate lower income rates may qualify as combined affordable/senior housing projects. Access to Planning Area 8 will be provided via the West Village main entry road (Street “Z”) and a local street. The overall net density of development within Planning Areas 7 and 8 together shall be a minimum of 20 du/ac.

Common recreation areas shall be provided in Planning Area 8. Additionally, residents of Planning Area 8 shall have access to the recreational facilities located in Planning Area 4. The actual area and components of community recreation facilities required for Planning Area 8 will be determined at the time of discretionary review and shall be based on the final number and type of residential units constructed within the Planning Area in accordance with the provisions of Chapter 21.45 of the Carlsbad Municipal Code and this Master Plan.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a unique multifamily neighborhood that will create a sense of place within the Robertson Ranch Master Plan. Planning Area 8 will provide multifamily homes that will be connected not only by automobile, but also by pedestrian and bicycle trails. This Planning Area may be developed with more than one product type to allow more flexibility in site design and to allow for a transition of housing types from higher densities near the commercial center to lower densities at the transitions to the surrounding single-family neighborhoods.

The Ahwahnee Principles are incorporated into the design of this Master Plan. Housing, jobs, daily needs and other activities are all within the Master Plan Village and are an easy walking/biking distance from this planning area. Planning Area 8 is just north of the proposed Village Center where commercial retail and community facilities will be located. This connectivity is in line with the Ahwahnee Principles. Within the planning area, common recreation areas will be provided in accordance with the Master Plan. These common recreation areas will serve as the planning areas public gathering spaces in compliance with the Ahwahnee Principles. Planning Area 8 residents will also have access to the Community Recreation Facilities located in Planning Area 4. Transit stops are located close by on El Camino Real and the

planning area will be served by pedestrian and bicycle access from both Street Z and local connector streets within the community.

Land Use Regulations

- General Plan Land Use Designation: RH (High Density, 15-23 du/ac)
- Dwelling Unit Allocation: 268 units (May be increased pursuant to the affordable housing requirements indicated below.)
- Density: 20.0 du/ac (Overall minimum density of PA 7 and 8 together shall be no less than 20.0 du/ac) (May be increased pursuant to the affordable housing requirements indicated below.)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multifamily homes including, but not limited to, the following types: town homes, condominiums, apartments, stacked flats, duplexes, triplexes, six-plexes.

Required Development Permits

- Tentative Subdivision Map (if developed as “for-sale” units)
- Planned Development Permit (if developed as “for-sale” units)
- Site Development Plan (for affordable housing and/or apartments)
- Hillside Development Permit (if required)

Development Standards

- Notwithstanding that internal portions of PA 8 may calculate individually over or under 20 du/ac, the overall net density of development within Planning Areas 7 and 8 together shall be constructed at a minimum of 20 du/ac.
- The density can be increased for affordable housing products (and/or senior housing with affordable component) subject to the findings required and provisions provided pursuant to Carlsbad Municipal Code Section 21.53.120 (Density Modification) or Chapter 21.86 (Density Bonus). Any product density above 23 du/ac shall be evaluated through one of these processes. Compliance with Density Modification or Bonus criteria will be evaluated at the site plan review stage of the development process. As a result of such density increase that may be approved, a corresponding decrease in unit count (density transfer) in another location on the West Village will be required, so as to not exceed the overall total maximum unit allocation for the West Village.
- An applicant for development of Senior and/or Affordable Housing may apply for standards modifications pursuant to the allowances identified in Carlsbad Municipal Code Section 21.53.120 and/or Chapter 21.86. Requirements and modifications for senior/affordable projects shall be articulated and approved through implementation of the required Affordable Housing Agreement.

- Development in Planning Area 8 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including zoning standards for the RD-M zone (CMC Chapter 21.24) [if apartments], the Planned Development Ordinance (CMC Chapter 21.45.060) Table C, *General Development Standards Applicable to All Planned Developments*, and Table E, *Multiple Dwelling Development Standards*, [if condominiums] and Council Policy 66, except as modified by the Robertson Ranch Master Plan.
- Planning Area 8 development may include either or both rental apartments and/or for sale condominium products. Apartment rental units are not subject to the Planned Development Ordinance.
- A minimum of 100 square feet of Community Recreation Facilities per dwelling unit shall be provided on-site within Planning Area 8 (for apartments). A minimum of 150 square feet of Recreation Facilities shall be provided for condominium projects.
- Community recreational space shall be provided as both passive and active recreational facilities for a variety of age groups (a minimum of 75 percent of the area allocated for active facilities).
- Community recreational space shall be centrally located in relationship to all project units. Credit for indoor recreation facilities shall not exceed 25 percent of the required centralized community recreation areas. Required community recreation areas shall not be located in any required front yards and may not include any streets, drive-aisles, driveways, parking areas, walkways, storage areas, or any slopes of 5 percent or greater.
- Apartments and/or senior housing shall comply with the requirements of Chapter 21.24 and 21.84, respectively, of the Carlsbad Zoning Code.
- Condominium uses, if implemented within Planning Area 8, shall comply with CMC Chapter 21.45., with the following exceptions:

Community Recreation Space	No less than 100 square feet per unit (150 sf if condominiums) shall be provided in a common recreation location(s) on-site.
Minimum Building Setbacks, Private or Public Streets*	<ul style="list-style-type: none"> • To front porch: 10 feet. • To residential structure: 10 feet • To street side yard: 10 feet • To side entry garage: 10 feet • To direct entry garage: 20 feet
Minimum Building Setbacks, Driveway or Motor Court	<ul style="list-style-type: none"> • Residence: 5 feet at first floor with 0-foot setback on the second floor. • Garage: 3 feet from roadway to garage door.

<p>Minimum Building Separation</p>	<ul style="list-style-type: none"> • Minimum 10 feet between buildings • The front faces of buildings shall be a minimum of 20 feet apart. • Entries, stairs, and balconies may encroach up to 6 feet within these setbacks, provided a minimum 10-foot separation between the encroaching element and opposing structure (including opposing elements) is maintained. Patios may encroach within these setbacks without restriction, provided a 10-foot separation between structures is maintained. • Minimum 30 feet between opposing garage doors
<p>Resident Parking</p>	<ul style="list-style-type: none"> • Two-car resident parking required, may be in the form of the following: <ul style="list-style-type: none"> • 1-car covered garage at 12 feet x 20 feet (min.) and one designated uncovered space; • Two separate one car garages (min. 12 feet x 20 feet each); • 2-car covered tandem garage at 12 feet x 40 feet (min.); or • 2-car covered side by side garage at 20 feet x 20 feet (min.) • Parking for senior housing shall be pursuant to the requirements of Carlsbad Municipal Code Chapter 21.84, <i>Housing for Senior Citizens</i>, except that the applicant may apply for standards modifications, including requested parking reductions, pursuant to applicable City codes. • One covered parking space per senior dwelling unit is required.
<p>Private Recreational Space</p>	<p>Each unit shall include a patio or balcony, subject to the following minimum area requirements:</p> <ul style="list-style-type: none"> • Patio: 100 square feet (min. dimension of 8 feet) • Balcony: 60 square feet (min. dimension of 6 feet)

*Setbacks shall be measured from the right-of-way, back of landscape buffer, back of sidewalk, or 10 feet from face of curb (whichever is greater).

Minimum Lot Size

Not Applicable

Minimum Lot Dimensions

Not Applicable

Setbacks

- Setbacks for condominiums shall be pursuant to Chapter 21.45 (Planned Development Ordinance), unless modified by the Master Plan.
- Setbacks for apartments shall be pursuant to CMC Chapter 21.24.

Building Height

- Maximum of three stories and 40 feet to the roof ridgeline with a minimum roof pitch of 3:12.
- Maximum of 35 feet for structures with a roof pitch less than 3:12.
- For two-story duplex dwellings with a minimum roof pitch of 3:12 the maximum height shall be 30 feet. For two-story duplex dwellings with a roof pitch less than 3:12 the maximum height shall be 24 feet.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance as provided for in Master Plan Section II.E.5. RV parking is not required for portions of the Planning Area that are developed with rental apartments.

Affordable Housing

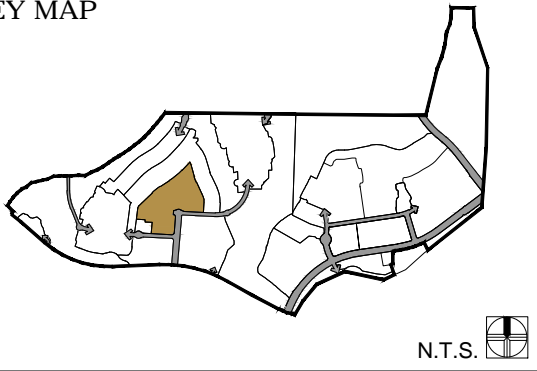
The Inclusionary Housing requirement for Planning Area 8 shall be provided in Planning Area 7 and/or Planning Area 8 as approved by the City of Carlsbad, in accordance with the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria

1. Units should be designed to front on the east-west oriented Collector Road or should face onto the community recreation areas to the extent possible.
2. A 10-foot landscape buffer shall be provided on the east-west collector road. This landscape buffer is intended to provide an enhanced landscaped pedestrian link between the community core and recreation facilities in Planning Area 4.
3. Where a slope is facing the Collector Road, terraced front yard areas/porches may be appropriate, if practical.
4. Avoid the use of walls at the perimeter of the project, unless needed for screening of vehicles or noise abatement.
5. Entries which face onto a motorcourt or drive aisle serving garages are discouraged.
6. Carports or garages shall not be directly accessed from the east-west oriented Collector Road.

7. Parking areas shall be screened from public or private streets with a combination of low walls, berms, or landscaping.
8. Single-story elements shall be incorporated into the building design, where feasible, to create a pedestrian-scale environment.
9. If common area is proposed, a refuse collection area will be provided in accordance with section III.B.3.(k) of this Master Plan. A refuse collection area shall not be required if individual unit refuse collection is proposed.
10. Bicycle storage lockers shall be provided for residential units.
11. Pedestrian connections shall be included to facilitate access to bus stops, adjoining neighborhood trails, and the Village commercial center.
12. Pedestrian and bicycle connections shall be provided between Planning Area 8 and Community Core, as depicted on Figure III-54, *Pedestrian Circulation Plan*.
13. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections, “T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).
14. An optional Community Core, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, and Figure III-35, *Conceptual Community Core Plan*, may be provided at the intersection of Street “Z” and the east-west oriented collector road that serves this Planning Area.
15. An optional entry treatment, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and, Figure III-34 *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance into Planning Area 8 from the east-west oriented collector extending from Street “Z.”
16. This planning area, or portion thereof, is designated as a location for the provision of on-site affordable housing, which per the Housing Element and Carlsbad Municipal Code, may allow for modifications to the Carlsbad Zoning Ordinance, Planning Division Policies, and this Master Plan.
17. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

KEY MAP



N.T.S. 

LEGEND

 ENHANCED 10' LANDSCAPE BUFFER

PA 8 MULTIFAMILY RESIDENTIAL

14.7 Gross Acres
11.8 Net Acres
21.0 DU/AC
268 DUs

CONCEPTUAL COMMUNITY CORE
(See Figures III-35)

PA 6

PA 8

CONCEPTUAL COLLECTOR
ROAD STREETSCAPE
(See Figure III-43)

PA 11

CONCEPTUAL NEIGHBORHOOD
ENTRY
(See Figure III-33 & III-34)

PA 4

PA 7



FIGURE NO. III-7

Robertson Ranch

WEST VILLAGE UPDATE PLANNING AREA 8

- g) **Planning Area 9 has been deleted and incorporated into Planning Area 9/10.**

- h) **Planning Area 9/10 – Single Family – Site Zoning Regulations and Criteria** (see Figure III-8, *Planning Area 9/10*)

Description

Planning Area 10 consists of approximately 20.3 gross acres and is allocated 75 single-family homes on minimum 6,000 square foot lots. Access to Planning Area 9/10 will be provided via an extension of Edinburgh Drive from the north and from a collector/local road extending from Street “Z” to the south. Planning Area 9/10 shall be designed as a gated community.

Development of Planning Area 9/10 will require approval of a Planned Development Permit pursuant to the procedures identified in the City’s Planned Development Ordinance, Carlsbad Municipal Code Chapter 21.45. Development standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Chapter 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements result in hazards to the health and safety of residents, guests or other persons.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a unique small lot, single-family neighborhood that will create a sense of place within the Robertson Ranch Master Plan. Planning Area 9/10 will provide single family homes on minimum 6,000 square foot lots that will be connected by pedestrian and bicycle trails.

The Ahwahnee Principles will be incorporated into the design of this plan. Housing, jobs, daily needs and other activities are all within the Master Plan Village and are an easy walking/biking distance from the planning area. Planning Area 10 includes a trail connection along the east side of the planning area to be used by residents for enjoyment and access to other planning areas. This results in a well-defined open space edge consistent with the Ahwahnee Principles.

Final Land Use Regulations

- General Plan Land Use Designation: RLM (Low Medium Density, 0-4 du/ac)
- Dwelling Unit Allocation: 75 units
- Density: 4.0 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Single-family dwellings on 6,000 square foot lots
- Common recreation areas, including, but not limited to pocket parks and tot lots.

Required Development Permits

- Tentative Subdivision Map
- Planned Unit Development Permit
- Hillside Development Permit (if required)

Development Standards

- Planning Area 9/10 shall provide a minimum 60-foot fire suppression zone along the east side of the Planning Area adjacent to the open space which serves as part of the Planning Area's Fuel Modification Zone. Up to 10-feet of this fire suppression zone may be situated within the residential lot (with the remaining 50-feet on the open space lot) subject to approval of the Fire Marshal.
- Development in Planning Area 9/10 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including RD-M (CMC Chapter 21.24), Planned Development Standards (CMC Chapter 21.45), and the intent of City Council Policies 44 and 66, except as modified by the Robertson Ranch Master Plan.
- Accessory uses as permitted by Carlsbad Municipal Code Section 21.45.090 are allowed in this Planning Area.
- Uses within Planning Area 9/10 shall comply with CMC Chapter 21.45., with the following exceptions:

Community Recreational Space	<p>A minimum 200 square feet per unit of community recreation area shall be provided.</p> <p>The required passive and active recreation facilities within PA 9/10 shall include an approximate 14,800 square foot recreation area (exact amount totaling 200 sf per unit). The recreation area may take the form of a neighborhood park, plaza, dog park, or similar facility and shall include tables and benches and/or outdoor seating areas. The portions of the park designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p> <p>Planning Area 9/10 may satisfy a portion of its community recreation facilities through an enlargement of PA 4 (Community recreation site) in excess of the base 1.0 acre required.</p>
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<p>Maximum Lot Coverage</p>	<p>Single-story and modified single-story home design lot coverage shall cover no more than 60% of the net pad area. For modified single-story, the livable space on the second floor shall not exceed 40% of the first floor lot coverage, as defined above.</p> <p>Two-story home design lot coverage shall cover no more than 45% of the net pad area. This coverage shall include balconies and second-story decks. Porches or covered entry ways with no livable space above the porch or entry way are exempt from lot coverage requirements regardless of size or dimensions.</p>
<p>Minimum Front Yard Setback</p>	<p>Front-loaded garage products shall maintain a minimum 20 feet to garage door measured from the property line and a minimum 15 feet setback from property line to habitable space shall be provided. A minimum 10 feet setback to a side-loaded garage or porch or a covered entry is required.</p>
<p>Minimum Rear Yard Setback</p>	<p>1) 10 feet measured from the property line. OR 2) 5 feet measured from property line for not more than 50% of the rear lot width for single story building components in combination with a minimum 525 square foot contiguous private open recreation space on single-story or modified single-story home lots (minimum dimension of 15 feet), or a minimum 630 square foot contiguous private open recreation space on two-story home lots (minimum dimension of 18 feet).</p> <p>A minimum 20 foot building separation shall be provided between rear yard building planes on opposing lots.</p> <p>Attached solid/lattice patio covers and decks/balconies, subject to lot coverage requirements, may project into the private open recreation space with a 5 foot side yard setback and 10 foot rear yard setback to the support posts. A two foot overhang is permitted.</p>
<p>Minimum Interior Side Yard Setback</p>	<p>5 feet measured from property line. Freestanding side yard fences or walls may be permitted at the property line. In locations where side yard retaining walls are provided, retaining walls may be combined with the freestanding fence or wall as long as the combination retaining/freestanding fence/wall does not exceed 8-feet in height as viewed from the downhill side. In locations where the grade is such that the combination fence/wall would exceed 8-feet, this shall be remedied (if specifically approved by the Planning Commission) by separation of the retaining and freestanding fence or wall by a minimum of 2 horizontal feet of landscaped area, such that a minimum of 3-feet of clear space continues to be provided between the retaining wall and the residential structure. Permitted intrusions into required building setbacks are allowed as specified in Zoning Code Section</p>

	21.46.120, as long as a minimum of 3-foot clear space is maintained between wall or fence (retaining or privacy) and structure.
Private Recreation Space	Minimum 15 feet X 15 feet of useable rear or side yard for single-story or modified single-story homes. Minimum 18 feet X 18 feet of useable rear or side yard for two-story homes.

Minimum Lot Size

- The minimum lot size shall be 6,000 square feet.

Minimum Lot Dimensions

- Minimum lot width at the front setback line (10-feet) shall be 60 feet, except along cul de sacs where the minimum lot width shall be 35 feet, measured at the ROW.
- Minimum lot depth shall be 80 feet as measured pursuant to section 21.04.225 of the Carlsbad Municipal Code.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance as indicated in Master Plan Section II.E.5.

Affordable Housing

The Inclusionary Housing requirement for Planning Area 9/10 shall be provided in Planning Area 7 and/or 8 in accordance with the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria









1. Twenty percent (20%) of the homes in the initial development of this planning area shall be designed as single-story. Single story is defined as a maximum plate-line of 15 feet and a maximum building height of 20 feet. Lofts are permitted subject to CMC Section 21.04.330. Alternatively, a minimum of 25 percent of the homes in Planning Area 9/10 shall be designed as either single-story or modified single story homes, provided that no fewer than 15 percent of the homes in the planning area are designed as single-story homes. Homes designed as modified single story homes shall conform to the following criteria:
 - Modified Single-Story. To qualify as a Modified Single-Story home, the structure must comply with the following criteria: A minimum of 60 percent of the area of the roof shall be single story. A two-story element shall be placed generally in the central portion of the front and rear elevation, allowing some flexibility in placement for achieving good design, and the livable space on the

second floor shall not exceed 40 percent of the first floor lot coverage.

- The Single Story or modified single-story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.
2. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
 3. Porches shall have a minimum depth of 6 feet, and a minimum width of 10 feet.
 4. Buildings visible from surrounding roadways shall feature enhanced elevations.
 5. Side-loaded garages are encouraged to vary the street theme.
 6. Three-in-a-row car garages that directly face the street shall not be allowed.
 7. At least one elevation/plan shall include a two-car garage with two separate garage doors facing the street.
 8. Single-story and modified single-story homes shall be considered as two separate floor plans.
 9. A trail is required along the side of the planning area adjacent to Planning Area 23C.
 10. Recreation facilities shall be integrated into the trail system for Planning Area 9/10 and should be sited to take advantage of views where feasible.
 11. Pedestrian connections shall be included to facilitate access to adjoining neighborhoods.
 12. Traffic calming elements shall be incorporated into the design of the internal street within this planning area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of roundabouts at intersections, “T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings.
 13. A 5-foot wide landscape buffer area shall be provided between side or rear fences and adjacent roadways.
 14. Landscaped focal points should be provided at the end of cul-de-sac streets and at “T” intersections.

15. An optional entry treatment, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance to Planning Area 9/10 from the south.
16. The Master HOA shall maintain landscaping within the parkways, recreation areas, and fuel modification zones.
17. A Fire Protection Zone, as defined and illustrated in Section III.B.4.(e) (Figure III-45 *Fuel Modification Plan*) of this Master Plan shall be provided.
18. Landscaping in areas adjacent to open space areas (Planning Areas 23B and 23C) shall be compatible with preserved native vegetation.
19. Lighting adjacent to the Open Space areas (Planning Areas 23B and 23C) shall be selectively placed, shielded, and directed away from conserved habitat.
20. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.
21. Planning Area 9/10 shall be designed as a gated community. Vehicular gates shall be provided at both the north and south entries to the project.
22. The height of landscaping on the back slope adjacent to the northerly property line shall respect and preserve views from the adjacent residences in The Colony to the degree feasible.

LEGEND

-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  MULTI-USE D.G. TRAIL & TRAIL FENCE (See Figures III-56 & III-57)
-  VIEW FENCE (See Figures III-56 & III-57)
-  COMMUNITY THEME WALL/NOISE WALL (IF NEEDED) (See Figures III-56 & III-57)
-  LIMITS OF DISTURBANCE
-  FIRE SUPPRESSION ZONE
-  FUEL MODIFICATION ZONE CONDITION "E" (See Figure III-47)
-  TRAIL MARKER (See Figure III-55)

PA 9/10
SINGLE FAMILY
RESIDENTIAL
6,000 S.F.

20.3 Gross Acres
 18.5 Net Acres
 4.0 DU/AC
 75 DUs

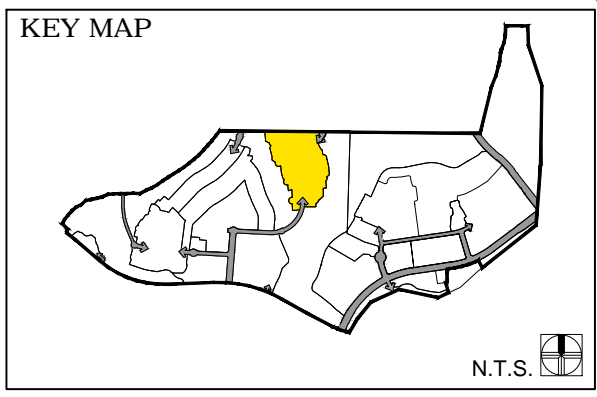
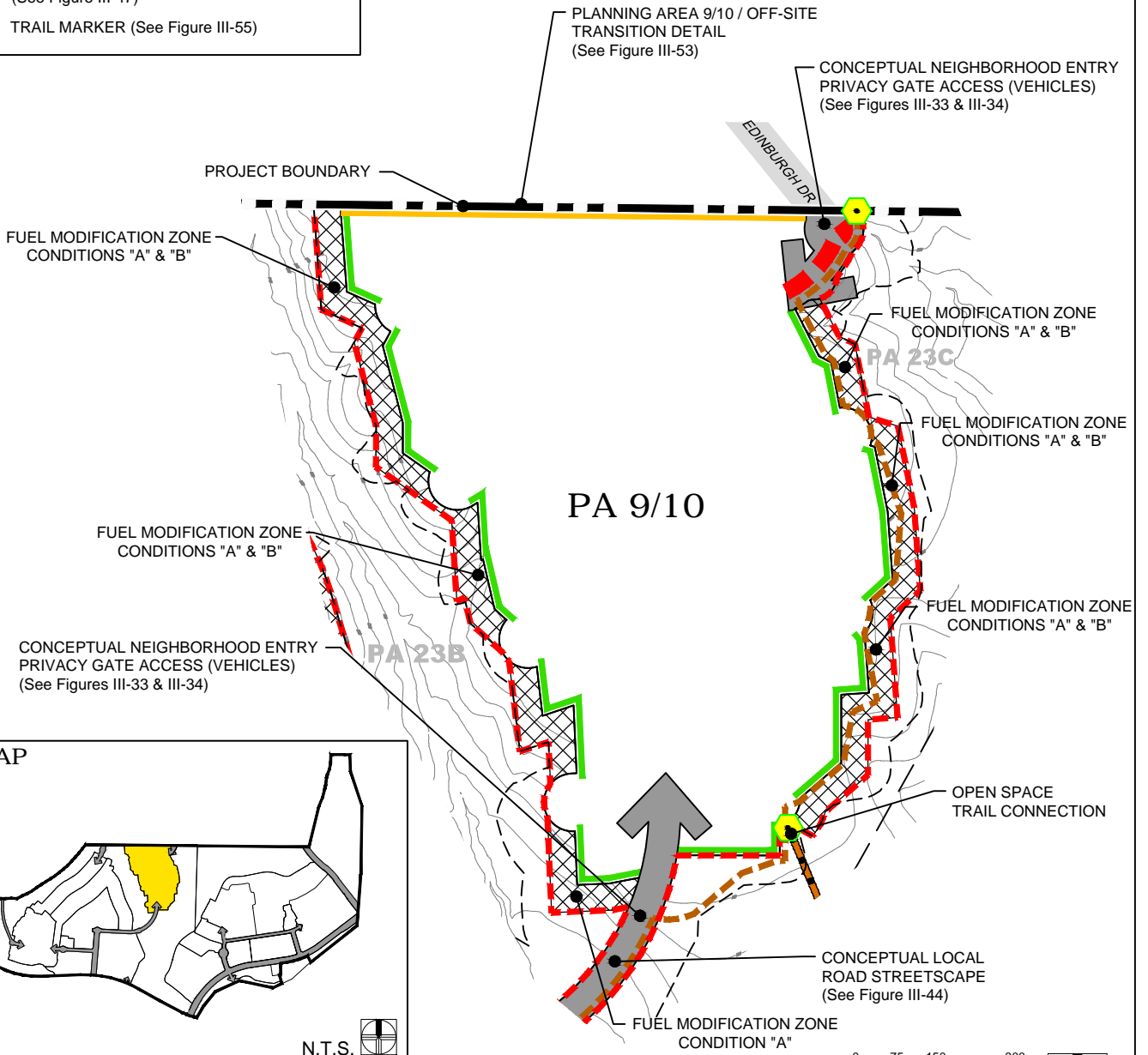


FIGURE NO. III-8

Robertson Ranch

MASTER PLAN

WEST VILLAGE UPDATE
PLANNING AREAS 9/10

- i) **Planning Area 11 – Village Center - Site Zoning Regulations and Criteria** (see Figure III-9, Planning Area 11)

Description

Planning Area 11 (approximately 15.3 gross acres) shall be developed as a Village Center which will combine the Community Facilities requirements of the Master Plan with retail shopping opportunities. This Planning Area may also provide an urbanized residential lifestyle alternative for those who seek to live in a more mixed-use setting, by permitting residential uses on the second story above the commercial retail uses. Additionally, the Robertson Ranch House may be relocated to this site for Community Facilities uses.

As mentioned in Section II, DETAILED PLAN DESCRIPTION, the Robertson Ranch Master Plan is required to provide a minimum of 5.0 acres of Community Facilities uses, pursuant to Section 21.25.070 of the Carlsbad Municipal Code. These 5.0 acres are calculated based on the project's 299.9 "unconstrained acres," identified by the Local Facilities Management Plan constraints analysis for Zone 14. The Community Facilities uses shall be provided with Planning Area 2 (2.0 acres) and Planning Area 11 (3.0 acres).

The 3.0-acre Planning Area 11 community facility requirement shall be provided concurrent with the development of PA 11, and in accordance with Carlsbad Municipal Code Section 21.25.060. Shared access and parking between the Commercial and Community Facilities uses may be allowed subject to the approval of appropriate findings pursuant to Carlsbad Municipal Code Section 21.44.080. A total of 3.0 acres of Community Facilities will be provided in Planning Area 11 and may be adjacent to the commercial uses, integrated horizontally into the commercial project, or an equivalent square footage can be integrated vertically into the commercial project. The 3.0 acre total may be calculated to include building area, parking, related landscaping and public and pedestrian circulation areas related to the Community Facilities uses. The Community Facilities may involve a number of smaller areas, and is not required to be located as a single, contiguous area.

In addition, and in conformance with the City General Plan designation for Zone 14 and the City Growth Management Plan, the Robertson Ranch Master Plan will accommodate the commercial shopping needs of the community within Planning Area 11. A minimum of 8.0 acres within Planning Area 11 shall be dedicated to neighborhood commercial uses, as defined in Chapter 21.31 (C-L Zone) of the Carlsbad Municipal Code.

Implementation of Master Plan Vision and Goals

Planning Area 11 promotes a mixture of uses that identify this planning area as a focal point within the community. In conformance with the Ahwahnee Principles, the proposed mix of uses promotes a "human scale" for the development wherein a

variety of activities are accessible within a short walking distance of each other. In order to accommodate this mixture of uses, flexibility is provided in the calculation of the minimum area devoted to each use. This flexibility accommodates a variety of innovative design alternatives, such as the vertical integration of uses, shared parking facilities, and the provision of common areas which serve both uses. Residential uses mixed with commercial retail and community facility uses also are encouraged by the Ahwahnee Principles. By incorporating these compatible uses, the space becomes more livable, offering interaction on the streets during various times of the day, and also offering residents an alternative, more urban lifestyle.

Land Use Regulations

- General Plan Land Use Designation: CF/L (Community Facilities/Local Shopping Center)
- Dwelling Unit Allocation: Determined at SDP review.
- Density: Determined at SDP review.
- Underlying Zone Designation: CF/CL (Community Facilities/Local Shopping Center)
- Those uses listed in Sections 21.25.040 and 21.31.030, of the Carlsbad Municipal Code shall be permitted in this Planning Area. An amphitheater, farmers market and other community uses acceptable to the City of Carlsbad are additional allowed community facilities use, subject to the City making the necessary findings of benefit to the community and issuance of a CUP.
- Second story residential may be permitted above commercial retail uses.

Product Type

- Neighborhood commercial and community facilities.
- Residential uses permitted above the first story.

Required Development Permits

- Site Development Plan (SDP) for stand-alone daycare, subject to Carlsbad Municipal Code Sec. 21.83 design criteria.
- SDP for Commercial uses.¹
- Conditional Use Permit as required for community facilities uses pursuant to the Carlsbad Municipal Code Chapters 21.25 and 21.31.
- Special Use Permit (El Camino Real Scenic Corridor). SUP findings may be over-ridden by the findings and standards of this Master Plan.
- Hillside Development Permit (if required)
- Tentative Subdivision Map and Nonresidential Planned Unit Development (PUD), as required.

¹ The City Council is the final decision-making body for development of new local shopping centers pursuant to CMC Section 21.31.

Development Standards

Development in Planning Area 11 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code, including the CF and CL zones, except as modified by the Robertson Ranch Master Plan.

Calculation of Required Facilities

A minimum of 8.0 acres of commercial uses shall be provided and a minimum of 3.0 net acres of Community Facilities (calculated to include building area, parking, related landscaping and public and pedestrian circulation areas related to the Community Facilities uses) is required within Planning Area 11; as follows:

- That portion of Planning Area 11 that is solely devoted to either Neighborhood Commercial or Community Facilities uses shall be credited towards the total area for the respective use.
- Planning Area 11 shall be designed with a secondary access driveway (right-in/right-out at El Camino Real).
- Where Community Facilities and Neighborhood Commercial uses occupy the same building, area shall be calculated as the total square footage of the building devoted to each respective use, such that the combined total area within a single building may exceed the gross area of the building's footprint. That portion of Planning Area 11 devoted to parking facilities and/or common areas that serve both uses shall be credited towards the required area for both the Neighborhood Commercial and Community Facilities components.
- As a result of the flexibility afforded by this Master Plan in calculating the required area for each use, the sum of area devoted to Neighborhood Commercial and Community Facilities uses may exceed the size of the planning area.
- For combined Community Facilities and commercial uses, a maximum of 175,000 square feet shall be allowed for buildings in Planning Area 11.
- If the site is developed in stages, an area equal to the required acreage for the use not being developed shall be reserved.
- The addition of residential uses to this planning area shall not reduce the acreage requirement for Community Facilities (CF) and Neighborhood Commercial uses.
- The 3.0-acre Planning Area 11 CF requirement may be reduced if CF uses have been constructed within another Planning Area as an alternative use so that the amount of acreage within Robertson Ranch devoted to Community Facilities totals 5.0 acres. The RV storage facility is not considered to satisfy the community facility requirement.

Building Setback Requirements

- Structures shall be setback a minimum of 50 feet from El Camino Real. This setback area shall include the required 25-foot landscape setback and an additional 25 feet building setback which may contain parking areas.
- Minimum 20 foot setback from the curb of internal private roads or driveways.
- All combustible structures or facilities shall be setback a minimum of 60 feet from the eastern boundary of the village center.
- Setbacks shall be pursuant to Carlsbad Municipal Code (CMC) Chapter 21.31 unless modified by the Master Plan. Setbacks shall be measured from the right-of-way or back of landscape buffer, whichever is greater.
- Water quality bio-retention basins shall be allowed within the setbacks in locations approved by the City.

Building Height

- No building shall exceed a height of 35 feet or 3 stories with a minimum roof pitch of 3:12. Allowed height protrusions as described in Section 21.46.020 of the Carlsbad Municipal Code shall not exceed 45 feet.

Parking

- Parking shall be subject to Carlsbad Municipal Code Chapter 21.44.
- Required parking facilities for commercial and CF uses may be reduced up to a maximum of 15 percent pursuant to CMC Chapter 21.44. for *Common Facilities*.

Affordable Housing

If residential uses are proposed within Planning Area 11, the Inclusionary Housing requirement may be provided in Planning Area 7 and/or Planning Area 8 pursuant to the schedule established by an Affordable Housing Agreement for the West Village.

Special Design Criteria

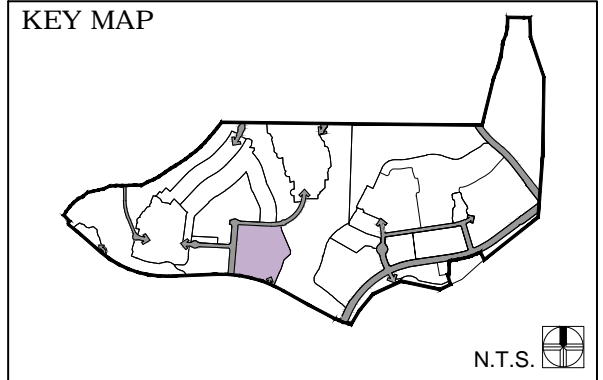
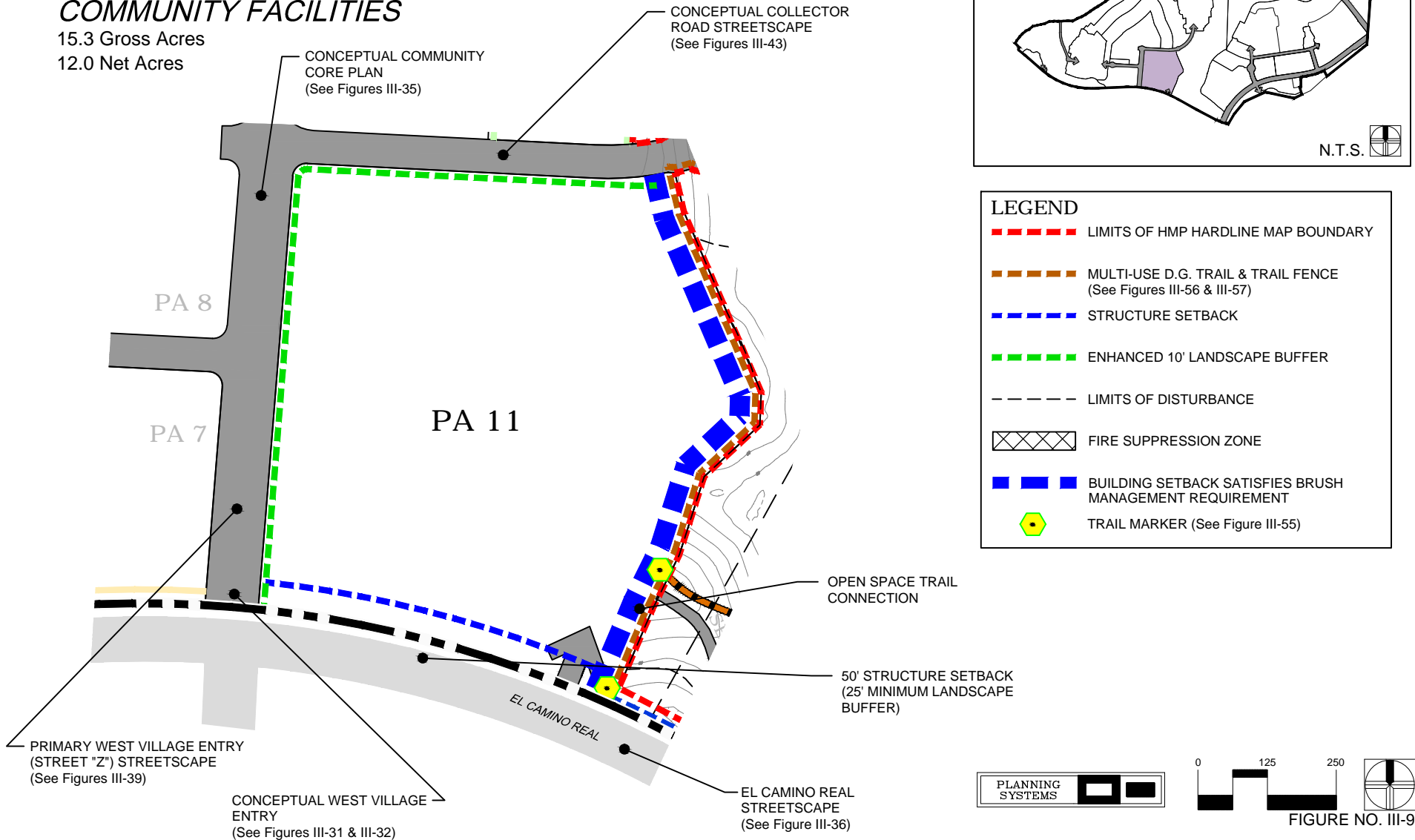
1. In the event that a daycare use is proposed within the 65 dBA noise contour of El Camino Real, the applicant design shall demonstrate compliance with the interior noise standards of the City of Carlsbad Noise Guidelines Manual, prior to approval of the use.
2. The landscape setback along El Camino Real shall incorporate a landscape berm, low screen wall and/or plantings of sufficient height to shield headlight shining from the parking lot towards El Camino Real.
3. Special Architectural treatments shall be provided for all building facades that are visible from the open space corridor and adjacent roadways, including El Camino Real.

4. Anchor buildings should be designed with smaller commercial businesses along the frontage to create a more interesting façade and to encourage pedestrian activity within the village center.
5. Buildings may incorporate tower structures to accommodate the stealth installation of future Wireless Communication Facilities.
6. Opportunities for outdoor eating shall be included in the design of the Village Center.
7. An outdoor plaza for public gathering space shall be included in the design of the Village Center.
8. Design elements should include a mixture of fountains, enhanced paving, rich architectural detailing, seating opportunities, etc.
9. The use of enhanced paving at street crossing and within the Village Center shall be encouraged.
10. Loading areas, parking areas, and interior drives shall be screened from view from El Camino Real.
11. A minimum of 5 feet of landscaping (excluding car overhang areas) shall be provided between a public or private street or driveway and any adjacent parking areas.
12. Bicycle racks shall be provided within the development to encourage alternative means of transportation.
13. Traffic calming elements shall be incorporated into and adjacent to this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of roundabouts at intersections, “T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).

14. Special monumentation may be provided at the intersection of El Camino Real and Street “Z,” as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33 *Conceptual West Village Entry Elevation*, and Figure III-34, *Conceptual West Village Entry Plan*. This monument signage shall identify the commercial center in accordance with the requirements of a special sign program prepared pursuant to Section 21.41 of the Carlsbad Municipal Code.
15. Lighting shall be selectively placed, shielded, and directed away from conserved habitat and surrounding residential neighborhoods.
16. Signage is subject to a special sign program which will be prepared in conjunction with the SDP proposed for Planning Area 11, pursuant to the Carlsbad Municipal Code 21.41. Signage along El Camino Real may include a freestanding monument subject to the restrictions of CMC Chapter 21.41, and shall be restricted to reverse channel letters with halo lighting.
17. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

PA 11 VILLAGE CENTER/ COMMERCIAL/ COMMUNITY FACILITIES

15.3 Gross Acres
12.0 Net Acres



LEGEND

- - - - - LIMITS OF HMP HARDLINE MAP BOUNDARY
- - - - - MULTI-USE D.G. TRAIL & TRAIL FENCE (See Figures III-56 & III-57)
- - - - - STRUCTURE SETBACK
- - - - - ENHANCED 10' LANDSCAPE BUFFER
- - - - - LIMITS OF DISTURBANCE
- X X X X FIRE SUPPRESSION ZONE
- BUILDING SETBACK SATISFIES BRUSH MANAGEMENT REQUIREMENT
- TRAIL MARKER (See Figure III-55)

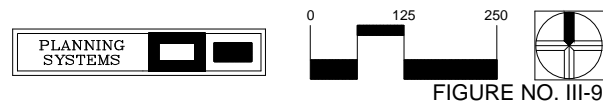


FIGURE NO. III-9

Robertson Ranch

WEST VILLAGE UPDATE PLANNING AREA 11

- j) **Planning Area 12 – Park - Site Zoning Regulations and Criteria** (see Figure III-10, *Planning Area 12*)

Description

Planning Area 12 (approximately 16.1 gross acres) is located in the West Village of the Master Plan area and is intended to be developed by the City as a park. Approximately 2 acres will accommodate a fire station. Access to Planning Area 12 will be provided via a public street off the traffic circle at Street “A.” This public access roadway shall also provide access to the single family home neighborhood on adjacent residential Planning Area 13.

Implementation of Master Plan Vision and Goals

The Ahwahnee Principles are incorporated into this Planning Area through locating this park area adjacent to the multifamily homes. This higher concentration of homes and activity will ensure the park facilities and open space are utilized by the community. Also, the park is located within easy access of Cannon Road for nearby community use as well.

Land Use Regulations

- Uses permitted in this zone shall be all those uses allowed under Chapter 21.33 of the Carlsbad Municipal Code. The site will be developed by the City with sports fields and associated lighting, parking, and other recreational uses.

Product Type

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation: OS (Open Space)

Required Development Permits

- Conditional Use Permit

Development Standards

- The Development standards shall be set by the City of Carlsbad Municipal Code, Chapter 21.33 for use as a City park site unless otherwise modified by the Master Plan.

Lot Coverage

- Pursuant to City development.

Setbacks

- A 60-foot setback shall be provided from native vegetation to combustible structures.

- A minimum 10-foot setback shall be provided between Street “A” and any parking area.
- A minimum 40-foot structural setback from the right-of-way of Cannon Road shall be maintained.

Special Design Criteria

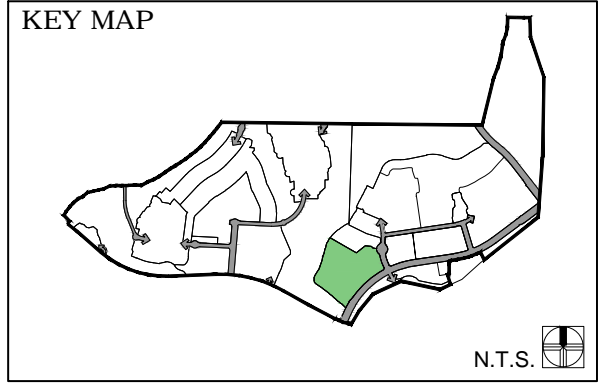
1. Lighting for the fields and facilities shall, to the greatest extent feasible, be selectively placed, shielded, and directed away from conserved habitat, the Cannon Road ROW and the surrounding residential neighborhood.
2. Special monumentation may be provided at the intersection of Street “A” and Cannon Road, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual East Village Entry Elevation*, and Figure III-34, *Conceptual East Village Entry Plan*.
3. An entry monument may be provided in the southwest corner of PA 12. This monument shall match the thematic style and materials of the Robertson Ranch Master Plan East Village Monuments.
4. A trail from the Planning Area 23C open space shall connect to the adjacent parking lot area.
5. A trail node may be located on the park site.
6. Pedestrian connections shall be included to facilitate access to bus stops.
7. Parking areas adjacent to Street “A” shall be screened from view by landscaping or screen walls.
8. Planning Area 12 shall comply with Architectural and Landscape Design Guidelines of the Master Plan, unless the guidelines conflict with the functional purpose of the park site. Any deviations shall be reviewed as part of the Conditional Use Permit.
9. Along the northern portion of Cannon Road adjacent to Planning Area 12, a 5-foot enhanced landscape buffer shall be provided immediately behind the right-of-way of Cannon Road. A five- to six-foot sidewalk shall meander within the right-of-way and the 5-foot enhanced landscape buffer provided outside the right-of-way.

10. Maintenance of landscaping adjacent to Planning Area 12 along Cannon Road and Street “A” shall be the responsibility of the Master Homeowners’ Association.

11. Planning Area 12 shall be designed with a single, shared access roadway with Planning Area 13.

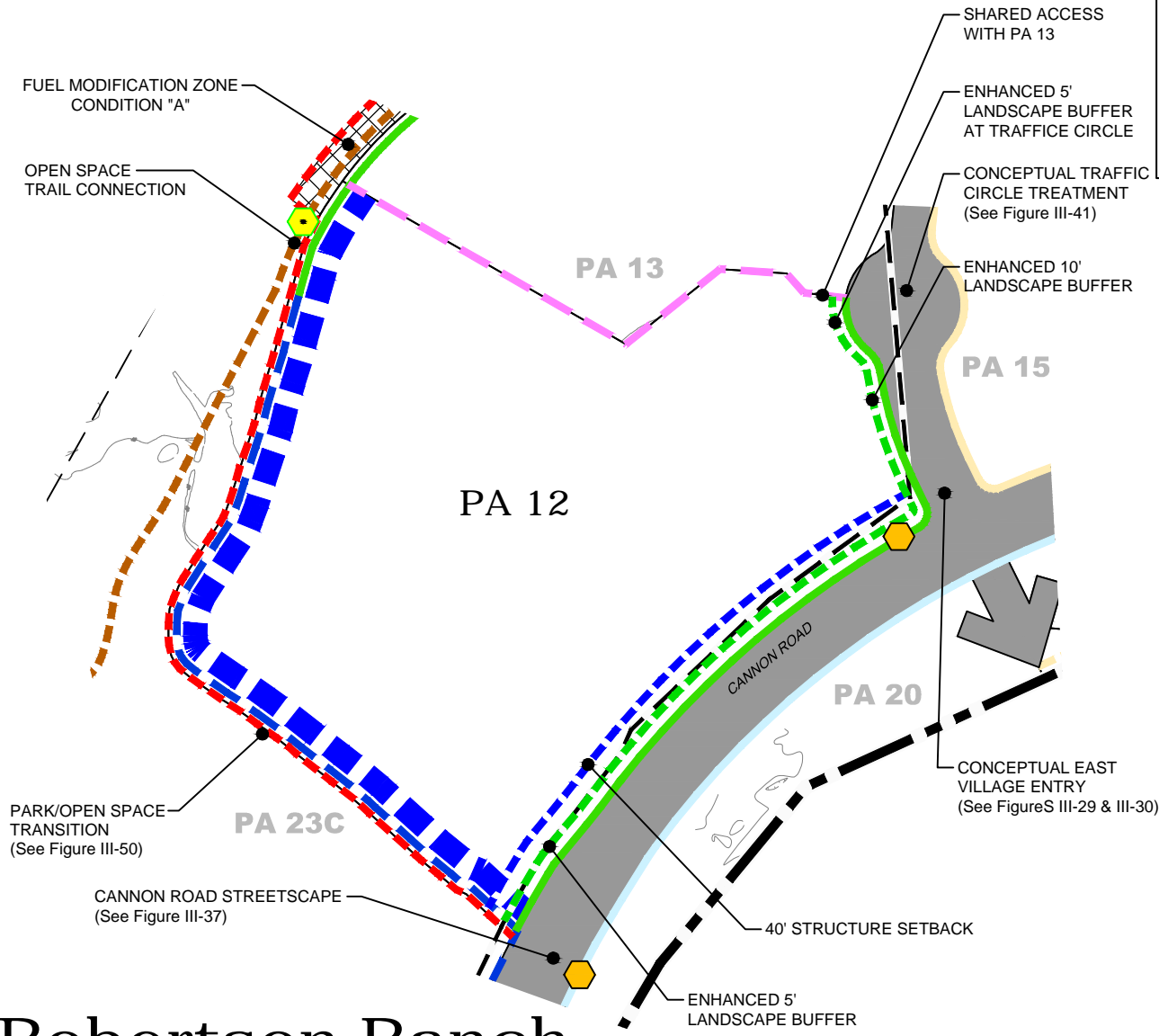
PA 12 PARK & FIRE STATION

16.1 Gross Acres



LEGEND

- - - - - LIMITS OF HMP HARDLINE MAP BOUNDARY
- VIEW FENCE (See Figures III-56 & III-57)
- - - - - VIEW FENCE OR BLACK VINYL-COATED CHAIN-LINK FENCE (See Figures III-56 & III-57)
- - - - - VIEW FENCE OR SOLID BLOCK WALL (See Figures III-56 & III-57)
- - - - - MULTI-USE D.G. TRAIL & TRAIL FENCE (See Figures III-56 & III-57)
- - - - - STRUCTURE SETBACK
- - - - - ENHANCED 5' & 10' LANDSCAPE BUFFER
- - - - - LIMITS OF DISTURBANCE
- X X X X FIRE SUPPRESSION ZONE
- BUILDING SETBACK SATISFIES BRUSH MANAGEMENT REQUIREMENT
- TRAIL MARKER (See Figure III-55)
- NEW BUS STOP



PLANNING SYSTEMS

0 125 250

FIGURE NO. III-10

k) **Planning Area 13 – and Planning Area 14 – Single Family - Site Zoning Regulations and Criteria** (see Figure III-11, *Planning Areas 13 and 14*)

Planning Area 13 is approximately 4.5 gross (4.3 net) acres and is located along the western edge of Street “A” in the West Village of the Master Plan Area. Access to Planning Area 13 is provided from the east via Street “A.” Planning Area 13 will be developed with up to 23 single family homes.

Planning Area 14 is approximately 3.6 gross (3.3 net) acres and is located along the western edge of Street “A” in the East Village of the Master Plan Area. Planning Area 14 may be developed with 16 detached, single family dwelling units. Access to Planning Area 14 is provided from the east via Street “A.”

Both Planning Area 13 and Planning Area 14 will require approval of a Planned Development Permit pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Chapter 21.45. Development Standards shall be pursuant to the Planned Development Ordinance and the intent of City Council Policy 66, unless modified by the Master Plan. Where there are conflicts between the requirements specified in Chapter 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements results in hazards to the health and safety of residents, guests or other persons.

Implementation of Master Plan Vision and Goals

The purpose of these two planning areas is to provide for small lot single family neighborhoods that will create a sense of place within the Robertson Ranch Master Plan. These Planning Areas will be connected not only by automobile, but also by pedestrian and bicycle trails to the rest of the community.

Alternative Uses

As a result of the fact that CUSD has declined purchase of these planning areas for an Elementary School site, the Alternative Uses adopted in the original Master Plan shall be used for these planning areas. They are as follows:

Land Use Regulations

- General Plan Land Use Designation: RM (Medium Density, 4-8 du/ac)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)
- Density: 6.0 du/ac

PLANNING AREA 13

A total of 23 units may be constructed in Planning Area 13.

Product Type

- Single family dwellings on minimum 5,000 square foot lots.
- Common recreation areas, including, but not limited to pocket parks and tot lots
- Accessory uses as permitted by Carlsbad Municipal Code Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Development Permit

Development Standards

- Development of Planning Area 13 shall comply with the development standards identified for Planning Area 6 of this Master Plan, plus the zoning standards for the RD-M zone, except as modified by this Master Plan.

Maximum Lot Coverage	Single story and modified single story home design lot coverage shall cover no more than 60% of the net pad area. For modified single story, the livable space on the second floor shall not exceed 40% of the first floor lot coverage.
Minimum Rear Yard Setback	<p>1) 10 feet measured from property line. OR 2) 5 feet measured from property line for not more than 50% of the rear lot width for single story building components in combination with a minimum 450 square foot contiguous private open recreation space on single-story or modified single-story home lots (minimum dimension of 15 feet), or a minimum 540 square foot contiguous private open recreation space on two-story home lots (minimum dimension of 18 feet).</p> <p>A minimum 20 foot building separation shall be provided between rear yard building planes on opposing lots.</p> <p>Attached solid/lattice patio covers and decks/balconies, subject to lot coverage requirements, may project into the private open recreation space with a 5 foot side yard setback and 10 foot rear yard setback to the support posts. A two foot overhang is permitted.</p>

Affordable Housing

The Inclusionary Housing requirement for Planning Area 13 shall be provided in Planning Area 7 or Planning Area 8 concurrent with the schedule established by an Affordable Housing Agreement for the West Village.

Building Height

No structure shall exceed 30 feet in height measured from the final grade. Exceptions may be granted by the Planning Commission at the specific request and need of an educational institution.

Passive and Active Recreation Facilities

A minimum of 6,000 square feet of community recreation area shall be provided for within Planning Area 13.

Special Design Criteria

1. Twenty percent (20%) of the homes in the initial development of this planning area shall be designed as single-story. Single story is defined as a maximum plate-line of 15 feet and a maximum building height of 20 feet. Lofts are permitted subject to CMC Section 21.04.330. Alternatively, a minimum of 25 percent of the homes in Planning Area 6 shall be designed as either single-story or modified single story homes, provided that no fewer than 15 percent of the homes in the planning area are designed as single-story homes. Homes designed as modified single story homes shall conform to the following criteria:
 - **Modified Single-Story.** To qualify as a Modified Single-Story home, the structure must comply with the following criteria: A minimum of 60 percent of the area of the roof shall be single story. A two-story element shall be placed generally in the central portion of the front and rear elevation, allowing some flexibility in placement for achieving good design, and the livable space on the second floor shall not exceed 40 percent of the first floor lot coverage.
 - The single story or Modified Single-Story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.
2. An optional entry treatment, as depicted on Figure III-27, *Key to Conceptual Community Entries, Recreational Amenities, and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the intersection of Street “A” and a local street extending from Street “A.”
3. A trail shall be provided along the west edge of Planning Area 13, and shall be maintained by the City or Master HOA.
4. All combustible structures or facilities shall be setback from natural open space areas in accordance with the *Fuel Modification Plan* (Figure III-45).

5. Parking areas adjacent to Street “A” shall be screened from view by landscaping or screen walls.
6. A 5-foot landscape buffer shall be provided on Street “A”.
7. The Fire Protection Zone provided for Planning Area 13, shall be 60-feet in depth, however up to 10-feet of this zone may be situated within the residential lot (with the remaining 50-feet on the open space lot) subject to approval of the Fire Marshal.
8. Planning Area 13 shall be designed with a single, shared access roadway with Planning Area 12.
9. Planning Area 13 shall incorporate the Adjacency Standards as identified in the Carlsbad HMP. Such standards shall include lighting, fencing and other criteria intended to minimize the impact upon the revegetated open spaces provided in Planning Area 23C.
10. Landscaping adjacent to the open space area (PA 23C) shall be compatible with preserved native vegetation.
11. Lighting adjacent to Planning Area 23C shall be shielded away from adjacent open spaces.
12. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.
13. Planning Area 13 shall be designed with a single, shared access roadway with Planning Area 12.

PLANNING AREA 14

A maximum of 16 single family dwelling units may be permitted within Planning Area 14.

For Planning Area 14, the development standards, special design criteria, and development permits required shall be the same as those indicated for PAs 16, 17, and 18.

Planning Area 14 shall be incorporated into PA 16 and shall utilize the same architectural design. No additional pocket parks are required for PA 14. However, the project is required to demonstrate that the required recreation area for PA 14 (200 sf/unit) has been included as an enlargement of PA 19.

Homeowners Association

Planning Area 14 may be annexed into the East Village HOA so that the residents have access to the Community Recreation area within Planning Area 19.

Special Design Criteria

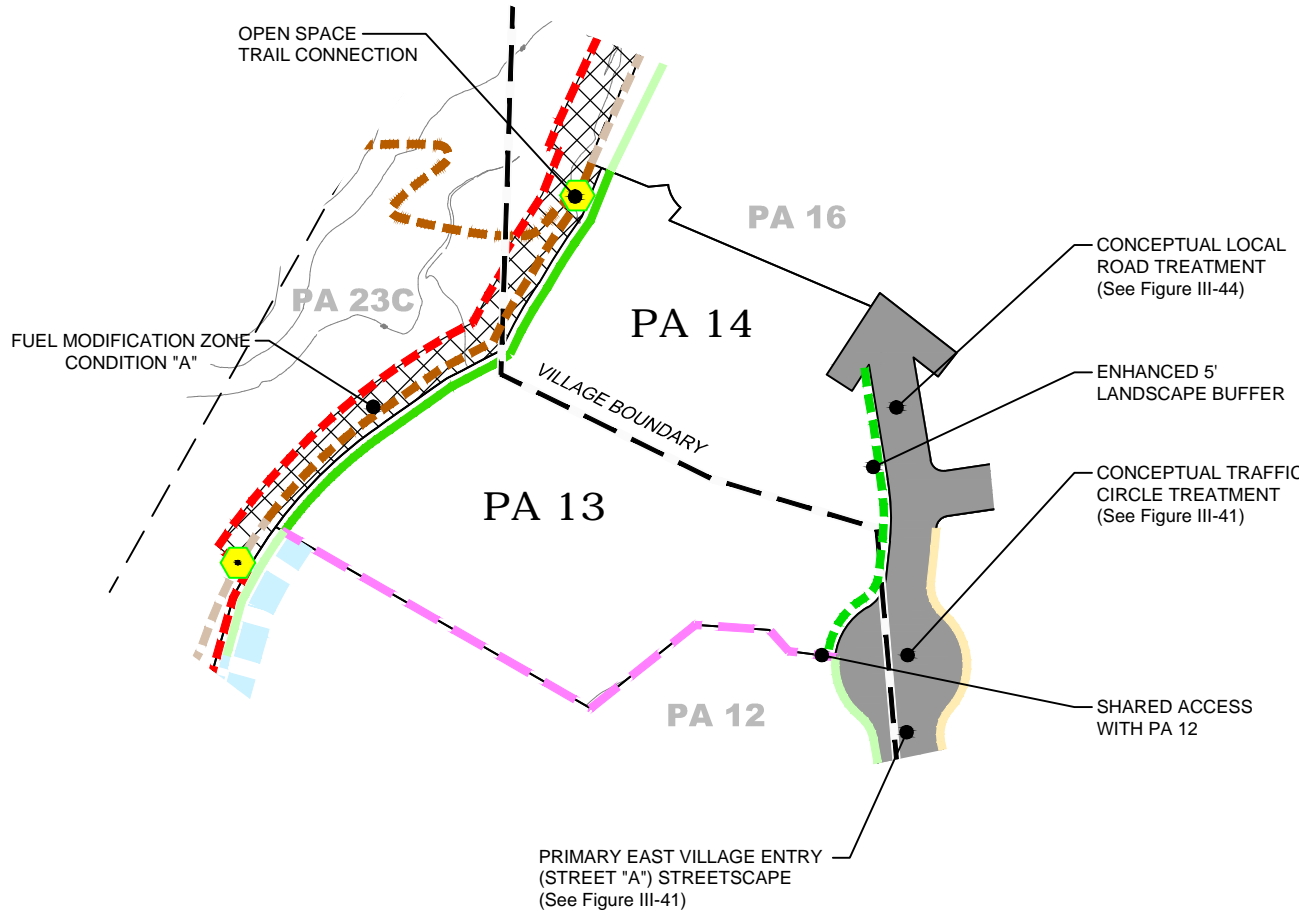
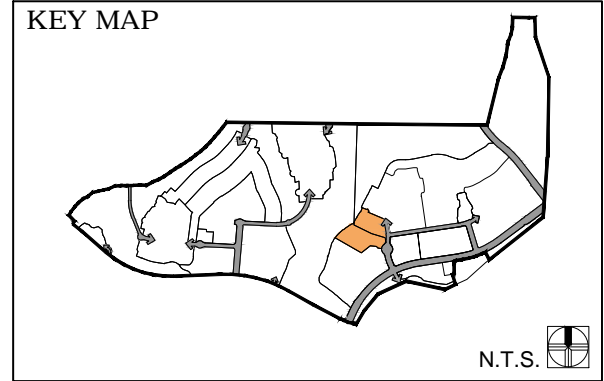
1. Planning Areas 14 shall maintain the same residential unit development standards and design requirements as adjacent Planning Area 16, including the required elements per Carlsbad Municipal Code Chapter 21.45, and the exclusions identified in this Master Plan.
2. Single-story elements shall be incorporated into the building design, where feasible, to create a pedestrian oriented environment and to articulate the mass of the buildings.
3. Building elevations visible from the surrounding roadways and sidewalks/trails shall feature enhanced elevations.
4. Pedestrian connections shall be included to facilitate access to adjoining neighborhoods.
5. A Homeowners' Association shall maintain landscaping within the parkways, paseos, pocket parks, and perimeter slopes.
6. A Fire Protection Zone, as discussed and illustrated in Section III.B.4(e) of this Master Plan, shall be provided. The Fire Protection Zone provided for Planning Area 14 shall be 60-feet in depth into adjacent Planning Area 23C.
7. Landscaping adjacent to the open space area (PA 23C) shall be compatible with preserved native vegetation.
8. Lighting adjacent to Planning Area 23C shall be shielded away from adjacent open spaces.
9. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.
10. Planning Area 14 shall incorporate the Adjacency Standards as identified in the Carlsbad HMP. Such standards shall include lighting, fencing and other criteria intended to minimize the impact upon the revegetated open spaces provided in Planning Area 23C.
11. A trail shall be provided along the west edge of Planning Area 14, and shall be maintained by the City or Master HOA.
12. A trail node may be located on PA 14.

PA 13
SINGLE FAMILY RESIDENTIAL
5,000 S.F. LOTS

4.5 Gross Acres
 4.3 Net Acres
 6.0 DU/AC
 23 DUs

PA 14
SINGLE FAMILY RESIDENTIAL
5,000 S.F. LOTS

3.6 Gross Acres
 3.3 Net Acres
 4.8 DU/AC
 16 DUs



LEGEND

- - - - - LIMITS OF HMP HARDLINE MAP BOUNDARY
- VIEW FENCE (See Figures III-56 & III-57)
- - - - - VIEW FENCE OR SOLID BLOCK WALL (See Figures III-56 & III-57)
- - - - - MULTI-USE D.G. TRAIL & TRAIL FENCE (See Figures III-56 & III-57)
- - - - - STRUCTURE SETBACK
- - - - - ENHANCED 5' & 10' LANDSCAPE BUFFER
- - - - - LIMITS OF DISTURBANCE
- X X X X FIRE SUPPRESSION ZONE
- TRAIL MARKER (See Figure III-55)

PLANNING SYSTEMS

0 125 250

FIGURE NO. III-11

Robertson Ranch

WEST VILLAGE UPDATE PLANNING AREAS 13 & 14

- l) **Planning Area 15 - Multifamily - Site Zoning Regulations and Criteria** (see Figure III-12, *Planning Area 15*)

Description

Planning Area 15 (approximately 3.5 acres) may be developed with up to 78 multifamily attached homes, which could include apartments or for-sale condominiums. The units in this Planning Area are intended to satisfy the Inclusionary (Affordable) Housing requirement (in whole or in part) for the East Village, although market rate units may also be developed here. In no case shall the affordable obligation for the East Village be less than 15 percent of the total number units constructed in the East Village. Access to Planning Area 15 will be provided from the project's main entry into the East Village (Street "A") and a local collector road extending from Street "A," while secondary access will be provided from a local street extending from Planning Area 21.

Common recreation areas shall be provided within Planning Area 15. Additionally, residents of Planning Area 15 shall have access to the recreational facilities area located in Planning Area 19. The actual area and components of community recreation facilities required for Planning Area 15 will be determined at the time of discretionary review and shall be based on the final number of residential units constructed within the Planning Area in accordance with the provisions of Chapter 21.45 of the Carlsbad Municipal Code and this Master Plan.

Implementation of Master Plan Vision and Goals

The purpose of this planning area is to allow for a unique multifamily neighborhood which creates a sense of place within the Robertson Ranch Master Plan. Planning Area 15 provides for multifamily homes which are connected to other portions of the Master Plan not only by automobile, but also by pedestrian and bicycle trails.

Planning Area 15 has been designed to incorporate the Ahwahnee Principles as appropriate. The proximity of Planning Area 15 to Cannon Road ensures a short walking distance to transit stops, and the high-density nature of the planning area increases the diversity of housing types available within the community. Planning Area 15 includes common recreation areas to serve as local gathering places for residents. Housing, jobs, daily needs and other activities are provided within the Village Center, located a short walking or biking distance across the park and open space from Planning Area 15 to the west. Also, a City park will be adjacent to Planning Area 15 and can easily be accessed by walking and biking.

Land Use Regulations

- General Plan Land Use Designation: RH (High Density, 15-23 du/ac)
- Dwelling Unit Allocation: 78 units
- Density: 22.3 du/ac (Minimum density shall be no less than 20.0 du/ac)
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Multifamily homes including, but not limited to, the following types: town homes, condominiums, apartments, stacked flats, duplexes, triplexes, six-plexes.

Required Development Permits

- Tentative Subdivision Map (if developed as “for-sale” units)
- Planned Unit Development Permit or Condominium Permit (if developed as “for-sale” units)
- Site Development Plan (for Affordable Housing and/or Apartments)
- Hillside Development Permit (if required)

Development Standards

- Development in Planning Area 15 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including zoning standards for the RD-M zone (CMC Chapter 21.24), the Planned Development Ordinance (CMC Chapter 21.45.060) Table C, *General Development Standards Applicable to All Planned Developments*, and Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Robertson Ranch Master Plan.
- Apartment rental units are not subject to the Planned Development Ordinance.
- A minimum of 100 square feet of Community Recreation Facilities per dwelling unit shall be provided on-site within Planning Area 15 (for apartments or condominiums).
- Community recreational space shall be provided as both passive and active recreational facilities for a variety of age groups (a minimum of 75 percent of the area allocated for active facilities).
- Community recreational space shall be centrally located in relationship to all project units. Credit for indoor recreation facilities shall not exceed 25 percent of the required centralized community recreation areas. Required community recreation areas shall not be located in any required front yards and may not include any streets, drive-aisles, driveways, parking areas, walkways, storage areas, or any slopes of 5 percent or greater.
- Condominium uses, if implemented within Planning Area 15, shall comply with CMC Section 21.45.060, General Development Standards, with the following exceptions:

Community Recreation Space	For condominiums, 150 square feet per unit of passive and active recreational area must be provided overall. As much as 33% of this required space may be provided in PA 19. No less than 100 square feet per unit to be provided on-site.
Recreation Area Parking	In addition to required resident and visitor parking, recreation area parking shall be provided as follows: one space for each 15 residential units, or fraction thereof, for units located more than 1000 feet from a centralized community recreation area. The location of recreation area parking shall be subject to the same location requirements as for visitor parking, except that required recreation area parking shall not be located within a driveway(s).
Storage Space	Required storage space may include the space within the garage.

- Condominium uses, if implemented within Planning Area 15, shall comply with CMC Section 21.45.080, Multiple-Dwelling Development Standards, with the following exceptions:

Minimum Building Setbacks, Private or Public Streets*	<ul style="list-style-type: none"> • To front porch: 10 feet. • To residential structure: 10 feet. • To street side yard: 10 feet. • To side entry garage: 10 feet • To direct entry garage: 20 feet.
Minimum Building Setbacks, Driveway or Motor Court	<ul style="list-style-type: none"> • Residence: 5 feet at first floor with 0-foot setback on the second floor. • Garage: 3 feet from roadway to garage door.
Minimum Building Separation	<ul style="list-style-type: none"> • Minimum 10 feet between buildings • The front faces of buildings shall be a minimum of 20 feet apart. • Entries, stairs, and balconies may encroach up to 6 feet within these setbacks, provided a minimum 10-foot separation between structures is maintained. Patios may encroach within these setbacks without restriction, provided a 10-foot separation between structures is maintained. • Minimum 30 feet between opposing garage doors.

Resident Parking	<ul style="list-style-type: none"> • Two-car resident parking required, may be in the form of the following: <ul style="list-style-type: none"> • 1-car covered garage at 12 feet x 20 feet (min.) and one designated uncovered space; • Two separate one car garages (min. 12 feet x 20 feet each), • 2-car covered tandem garage at 12 feet x 40 feet (min.); or • 2-car covered side by side garage at 20 feet x 20 feet (min.)
Private Recreational Space	<p>Each unit shall include a patio or balcony, subject to the following minimum area requirements:</p> <ul style="list-style-type: none"> • Patio: 100 square feet (min. dimension of 8 feet) • Balcony: 60 square feet (min. dimension of 6 feet)

*Setbacks shall be measured from the right-of-way, back of landscape buffer, back of sidewalk, or 10 feet from the face of curb, whichever is greater.

Minimum Lot Size

Not Applicable

Minimum Lot Dimensions

Not Applicable

Setbacks

- A 40-foot structural setback shall be provided from Cannon Road.
- A minimum of 75 percent of the required setback that is located closest to Cannon Road shall be landscaped to enhance the street scene and buffer the homes from traffic on adjacent arterials. Project perimeter walls shall not be located in the landscape buffer. The landscape setback shall be commonly owned and maintained by the HOA.
- Setbacks for condominiums shall be pursuant to Chapter 21.45 (Planned Development Ordinance) Table E for multiple dwelling units or Table D for two-family units, unless modified by the Master Plan.
- Setbacks for apartments shall be pursuant to CMC Section 21.24 (RD-M zone).

Building Height

- Maximum of three stories and 40 feet to the roof ridgeline with a minimum roof pitch of 3:12.
- Maximum of 35 feet for structures with a roof pitch less than 3:12.
- For two-story duplex dwellings with a minimum roof pitch of 3:12 the maximum height shall be 30 feet.

- For two-story duplex dwellings with a roof pitch less than 3:12 the maximum height shall be 24 feet.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance and shall be provided in Planning Area 2 or as provided for in Master Plan Section II.E.5. RV parking is not required for portions of the Planning Area that is developed with rental apartments.

Affordable Housing

The Inclusionary Housing requirement for Planning Area 15 shall be provided pursuant to the schedule established by an Affordable Housing Agreement for the East Village.

Special Design Criteria

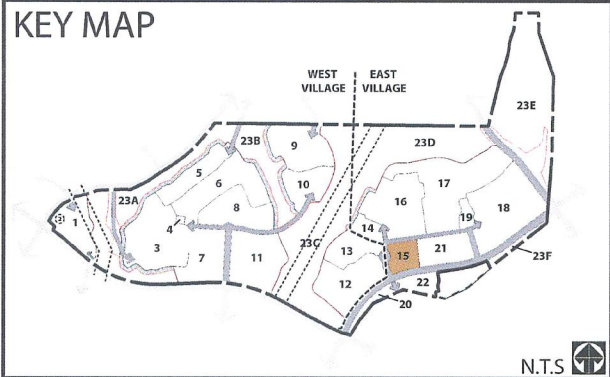
1. A supplemental acoustical analysis shall be submitted with the discretionary applications demonstrating compliance with the City's Noise Guidelines Manual for interior (and exterior, if required) noise levels.
2. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
3. Units should be designed to front on Street "A" and the east-west oriented Collector Road or should face onto the community recreation areas to the extent possible.
4. A 10-foot landscape buffer shall be provided on Street "A" and a 10-foot landscape buffer shall be provided on the east-west collector road. These landscape buffers are intended to provide an enhanced pedestrian link from the project entrance to the recreation facilities in PA 19.
5. Where a slope is facing the Collector Road, terraced front yard areas/porches may be appropriate, if practical.
6. Avoid the use of walls at the perimeter of the project which are adjacent to roadways, unless needed for screening of vehicles or noise abatement.
7. Entries which face onto a motorcourt or drive aisle serving garages are discouraged.
8. Carports or garages shall not be directly accessed from Street "A" or the east-west oriented Collector Road.
9. Parking areas shall be screened from public or private streets with a combination of low walls, berms, or landscaping.

10. Development shall be screened to the extent practical from circulation element roadways through the use of decorative walls, berms, mounding, and heavy landscaping.
11. Buildings facing Circulation Element roadways shall feature enhanced elevations.
12. Single-story elements shall be incorporated into the building design, where feasible, to create a pedestrian-scale environment.
13. If common area refuse collection is proposed, a refuse collection area will be provided in accordance with section III.B.3.(k) of this Master Plan. A refuse collection area shall not be required if individual unit refuse collection is proposed.
14. Bicycle storage lockers shall be provided for residential units.
15. Pedestrian connections shall be included to facilitate access to bus stops, adjoining neighborhoods, trails, and the park site.
16. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections, "T" intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).
17. An optional entry treatment, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-29, *Conceptual East Village Entry Elevation*, and Figure III-30, *Conceptual East Village Entry Plan*, may be provided at the intersection of Cannon Road and Street "A."
18. An optional entry treatment, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, Figure III-33, *Conceptual Neighborhood Entry Plan*, and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance into Planning Area 15 from the east-west oriented local roadway extending from Street "A."
19. The 20 feet behind the face of curb on the north side of Cannon Road is designated as a pipe zone for the 84-inch storm drain and no planting of trees is allowed. However, the planting of shrubs and the placement of the meandering sidewalk and an increase of grade of 2 feet above the top of curb will be allowed in the pipe zone. The project wall along the north side of Cannon Road is to be placed at 40 feet from the face of curb (30 feet from the right-of-way) and trees are allowed in the 20- to 40-foot zone behind the face of curb.

20. This planning area, or portion thereof, is designated as a location for the provision of on-site affordable housing, which per the Housing Element and Carlsbad Municipal Code, may allow for modifications to the Carlsbad Zoning Ordinance, Planning Division Policies, and this Master Plan.

21. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

KEY MAP



N.T.S.

LEGEND

- COMMUNITY THEME WALL/NOISE WALL (See Figures III-56 & III-57)
- OPTIONAL COMMUNITY THEME WALL/NOISE WALL (See Figures III-56 & III-57)
- STRUCTURE SETBACK
- ENHANCED 10' LANDSCAPE BUFFER
- NEW BUS STOP (See Figure III-55)

PA 15
MULTIFAMILY RESIDENTIAL
 3.5 Gross Acres
 3.5 Net Acres
 22.3 DU/AC
 78 DUs

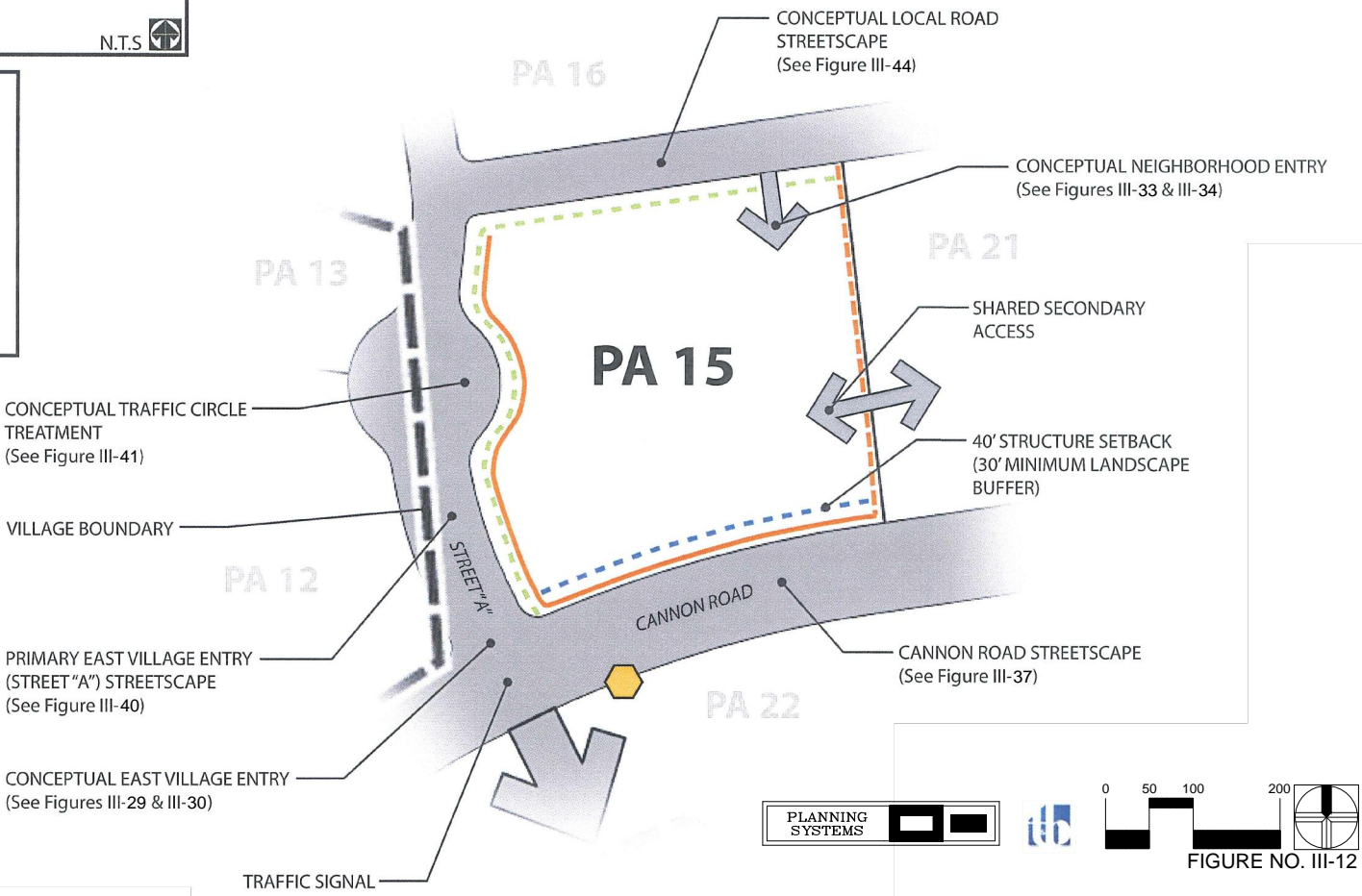


FIGURE NO. III-12

- m) **Planning Areas 16, 17, and 18 – Single Family - Site Zoning Regulations and Criteria** (see Figure III-13, *Planning Areas 16, 17, and 18*)

Description

The following site zoning regulations are applicable to Planning Areas 16 (17.0 acres), 17 (25.2 acres), and 18 (22.2 acres) within the East Village of the Robertson Ranch Master Plan. Planning Area 16 is allocated 85 single-family homes on minimum 5,000 square foot lots. Planning Area 17 is allocated 109 single-family homes on minimum 5,000 square foot lots, and Planning Area 18 is allocated 110 single-family homes on minimum lot sizes ranging from 4,500 to 5,000 square feet². Planning Areas 16 and 17 are bounded by preserved open space to the north and west (Planning Area 23D).

Access to Planning Areas 16, 17, and 18 is provided from the main entry road into the East Village (Street “A”), from Street “O”, and from local streets which extend from these entry roads. A perimeter road shall be provided along the north and west side of Planning Area 17 adjacent to the open space which will serve as part of the fuel modification for this planning area.

Development of Planning Areas 16, 17, and 18 will require approval of individual Planned Unit Development Permits pursuant to the procedures identified in the City’s Planned Development Ordinance (C.M.C. Section 21.45). Development standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements result in hazards to the health and safety of residents, guests or other persons.

Implementation of the Master Plan Vision and Goals

The purpose of these planning areas is to allow for unique small lot, single-family neighborhoods which create a sense of place within the Robertson Ranch Master Plan. These planning areas will provide single-family homes on 4,500 to 5,000 square foot lots². These planning areas are linked together by a trail system that connects to the community recreation area in PA 19, which serves as a primary public gathering space for the East Village.

Planning Areas 16, 17 and 18 have been designed to incorporate the Ahwahnee Principles. Housing, jobs, daily needs and other activities are all within an easy walking/biking distance from these planning areas. Transit stops located on Cannon Road and College Boulevard are within close proximity to community residents of these planning areas. Within each planning area a 10,000 square foot park is provided to help meet the recreational needs of the community. These pocket parks also serve

² The minimum lot size for lots within Planning Area 18 that abut Cannon Road is 4,500 square feet. The minimum lot size for lots within Planning Area 18 that do not abut Cannon Road is 5,000 square feet.

as public gathering places, as encouraged by the Ahwahnee Principles. Planning Areas 16, 17 and 18 are served by pedestrian and bicycle access from both Cannon Road and College Boulevard, and are connected to the West Village via several trails that traverse open space areas. These open space areas form a well-defined edge between the residences and natural areas, as recommended by the Ahwahnee Principles.

Land Use Regulations

- General Plan Land Use Designation: RM (Medium Density, 4-8 du/ac)
- Dwelling Unit Allocation: PA 16 - 85 units maximum
PA 17 - 109 units maximum
PA 18 - 110 units maximum
- Density: PA 16 - 5.1 du/ac
PA 17 - 4.4 du/ac
PA 18 - 5.2 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Single-family dwellings on 4,500 to 5,000 square foot lots³
- Common recreation areas, including, but not limited to pocket parks and tot lots.
- Accessory uses as permitted by Carlsbad Municipal Code Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Planned Unit Development Permit (required for each Planning Area)
- Hillside Development Permit (if required)

Development Standards

- Development in Planning Areas 16, 17 and 18 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including RD-M (CMC Chapter 21.24), Planned Development Ordinance (CMC Chapter 21.45), and City Council Policies 44 and 66, except as modified by the Robertson Ranch Master Plan.
- Planning Areas 16, 17, and 18 shall comply with CMC Section 21.45.060 General Development Standards, with the following exceptions:

³ The minimum lot size for lots within Planning Area 18 which abut Cannon Road is 4,500 square feet. The minimum lot size for lots within Planning Area 18 that do not abut Cannon Road is 5,000 square feet.

Community Recreational Space	<p>A minimum 200 square feet per unit of community recreation area shall be provided.</p> <p>The required passive and active recreation facilities within PAs 16, 17, and 18 shall include a minimum 10,000 square foot recreation area in each planning area. The recreation area may take the form of a neighborhood park, plaza, dog park, or similar facility and shall include tables and benches and/or outdoor seating areas. The portions of the park designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p> <p>Planning Areas 16, 17, and 18 may satisfy a portion of the community recreation facilities requirement through an enlargement of PA 19 (Community Recreation site) in excess of the base 1.0 acre required per the Master Plan.</p>
Storage Space	Required storage space may include the space within the garage.

- Planning Areas 16, 17, and 18 shall comply with Section 21.45.070 Small-lot, single family and two-family dwelling development standards, with the following exceptions:

Maximum Lot Coverage	<p>Single-story and modified single-story home design lot coverage shall cover no more than 60% of the net pad area. For modified single-story, the livable space on the second floor shall not exceed 25% of the first floor lot coverage, as defined above.</p> <p>Two-story home design lot coverage shall cover no more than 45% of the net pad area. This lot coverage shall include balconies and second-story decks.</p> <p>Porches or covered entry ways with no livable space above the porch or entry way are exempt from lot coverage requirements regardless of size or dimensions.</p>
Minimum Rear Yard Setback	10 feet.
Minimum Side Yard Setback	5 feet.
Private Rear Yard	<p>Minimum 15 feet X 15 feet of useable rear yard for single story or modified single story homes.</p> <p>Minimum 18 feet X 18 feet of useable rear yard for two story homes.</p>

Minimum Lot Size

- The minimum lot size shall be 5,000 square feet, except for lots within Planning Area 18 which abut Cannon Road where a minimum lot size of 4,500 square feet shall be permitted.

Minimum Lot Dimensions

- Minimum lot width at the front setback line shall be 50 feet, except along cul de sacs where the minimum lot width shall be 35 feet, measured at the curb.
- Minimum lot depth shall be 90 feet as measured pursuant to section 21.04.225 of the Carlsbad Municipal Code.

Setbacks

- A 40-foot structural setback shall be provided from the right-of-way on Cannon Road.
- A 40-foot structural setback shall be provided from the right-of-way on College Boulevard.
- A minimum of 75 percent of the required setback that is located closest to Cannon Road and 50 percent of the required setback that is located closest to College Boulevard shall be landscaped to enhance the street scene and buffer the homes from traffic on adjacent arterials. Project perimeter walls shall not be located in the landscaped buffer.

RV Parking

- RV Parking shall be provided concurrent with development as required by the Planned Development Ordinance and shall be provided in Planning Area 22.

Affordable Housing

The Inclusionary Housing requirements for Planning Areas 16, 17 and 18 shall be provided in Planning Area 15, or in any other Planning Area approved by the City of Carlsbad, concurrent with the schedule established by an Affordable Housing Agreement for the East Village.

Special Design Criteria

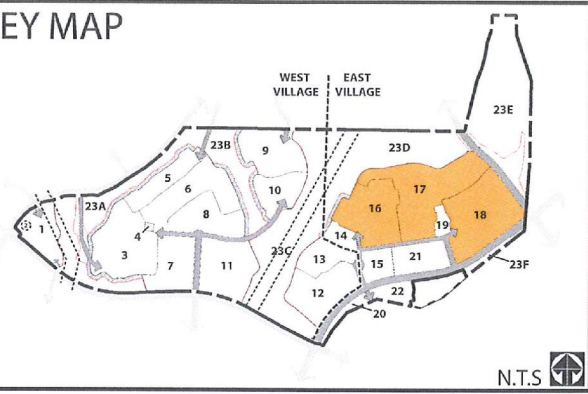
1. Planning Areas 17 and 18: A supplemental acoustical analysis shall be provided with the discretionary applications demonstrating compliance with the City's Noise Guidelines Manual for Interior and Exterior Noise Levels.
2. Each planning area shall have a separate Planned Unit Development Permit and shall be designed with unique floor plans and architectural design.

3. At least 20 percent of the homes in these planning areas shall be designed as single-story. Single story is defined as a maximum plate-line of 15 feet and a maximum building height of 20 feet. Lofts are permitted subject to Carlsbad Municipal Code Section 21.04.330. Alternatively, a total of 25 percent of the homes in each neighborhood shall be designed as either single-story or modified single story homes, provided that no fewer than 10 percent of the homes in the planning area are designed as single-story homes. Homes designed as modified single story homes shall conform to the following criteria:
 - Modified Single-Story. To qualify as a Modified Single-Story home, the structure must comply with the following criteria: A minimum of 60 percent of the area of the roof shall be single story. A two-story element may be added in the central portion of the front and rear elevation. For modified single-story, the livable space on the second floor shall not exceed 25 percent of the first floor lot coverage.
 - The single story or Modified Single-Story units are intended to be strategically located in the lotting scheme, and distributed throughout the village.
4. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
5. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet.
6. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
7. Side-loaded garages are encouraged to vary the street theme.
8. Three-in-a-row car garages that directly face the street shall not be allowed.
9. At least one elevation/plan shall include a two-car garage with two separate garage doors facing the street.
10. Single-story and modified single-story homes shall be considered as two separate floor plans.
11. The use of perimeter roadways which form a buffer between residential and open space land uses shall be encouraged. Where this situation occurs, a pedestrian trail is recommended along the open space side of the roadway.
12. Recreation facilities shall be integrated into the trail system and should be sited to take advantage of views where feasible.

13. Pedestrian connections shall be included to facilitate access to bus stops and adjoining neighborhoods.
14. Traffic calming elements shall be incorporated into the design of internal drives within this Planning Area in order to reduce the speed of through traffic and enhance pedestrian safety. Examples of traffic calming elements that are appropriate for this planning area include the use of traffic circles at intersections, “T” intersections, reduced-width streets, and/or the incorporation of medians, enhanced paving, and/or landscape elements at pedestrian crossings (Figures IV-4 and IV-5, *Traffic Calming Details*).
15. A 5-foot wide landscape buffer area shall be provided between side or rear fences and adjacent roadways.
16. Planning Area 18: An enhanced 10-foot landscape buffer shall be provided along the east side of Street “O”. This area shall be designed as a primary community sidewalk/trail for pedestrian use and will provide a connection between Street “O” and the Community Recreation area in PA 19. Building setbacks shall be measured from the edge of the landscape buffer closest to the residences.
17. Landscape focal points should be provided at the end of cul-de-sac streets and “T” intersections.
18. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
19. Optional entry treatments, as depicted on Figure III-33, *Conceptual Neighborhood Entry Plan*, and Figure III-34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrances into Planning Areas 16, 17 and 18, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*.
20. Special monumentation may be provided at the intersection of Cannon Road and College Boulevard and/or at the northeastern corner of Planning Area 17, as depicted on Figure III-27, *Key to Entries, Signs and Edge Conditions*, and Figure III-28, *Community Entry Feature*.
21. The Master HOA shall maintain landscaping within the parkways, recreation areas, and fuel modification zones.
22. A Fire Protection Zone, as defined in Section III.B.4.(e), *Fuel Modification Plan*) of this Master Plan shall be provided.
23. Landscaping in areas adjacent to open space areas (Planning Area 23D) shall be compatible with preserved native vegetation.
24. Lighting adjacent to the Open Space areas (Planning Area 23D) shall be selectively placed, shielded, and directed away from conserved habitat.

25. The 20 feet behind the face of curb on the north side of Cannon Road is designated as a pipe zone for the 84-inch storm drain and no planting of trees is allowed. However, the planting of shrubs and the placement of the meandering sidewalk and an increase of grade of 2 feet above the top of curb will be allowed in the pipe zone. The project wall along the north side of Cannon Road is to be placed at 40 feet from the face of curb (30 feet from the right-of-way) and trees are allowed in the 20- to 40-foot zone behind the face of curb.
26. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

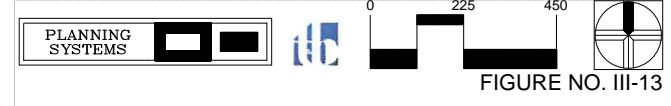
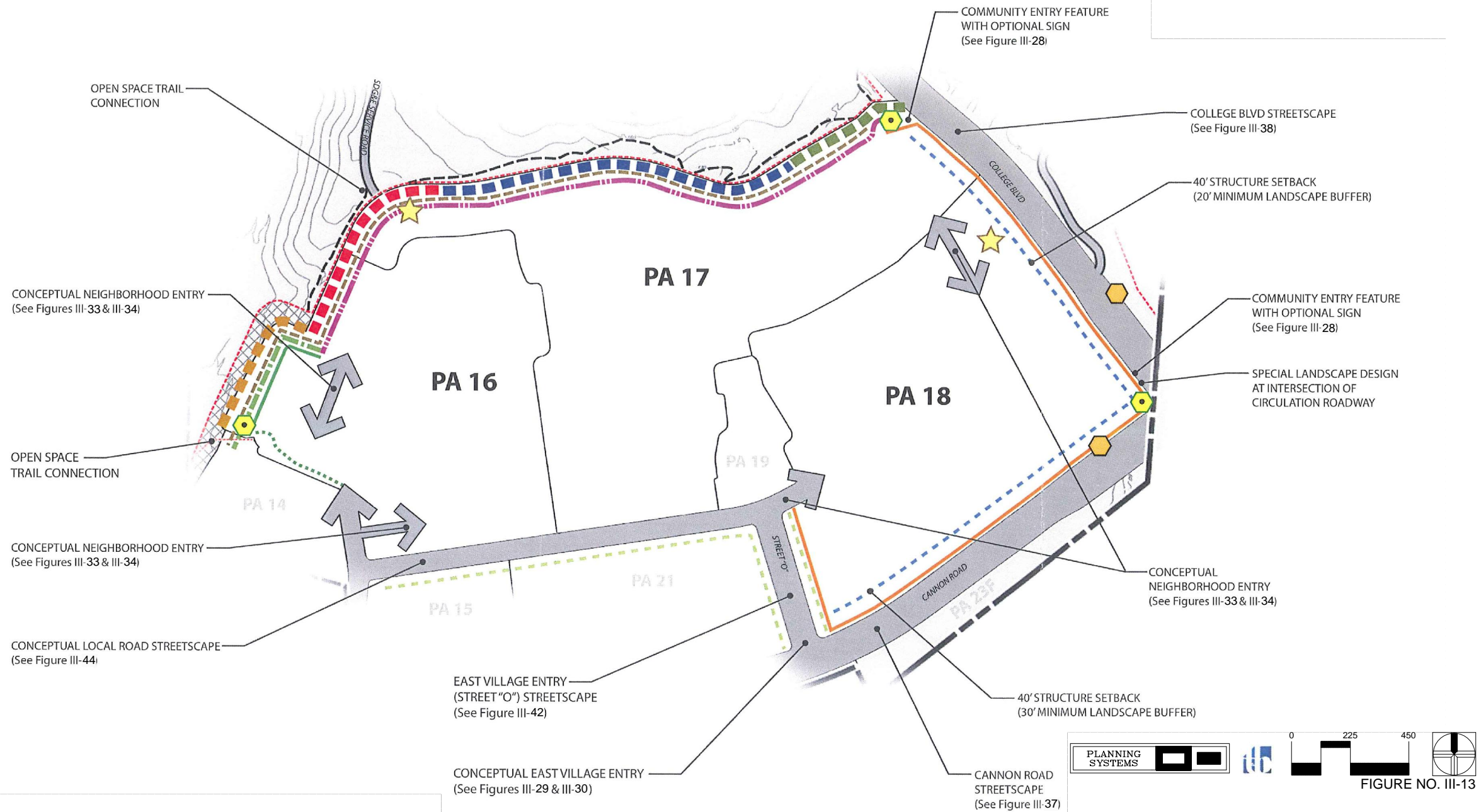
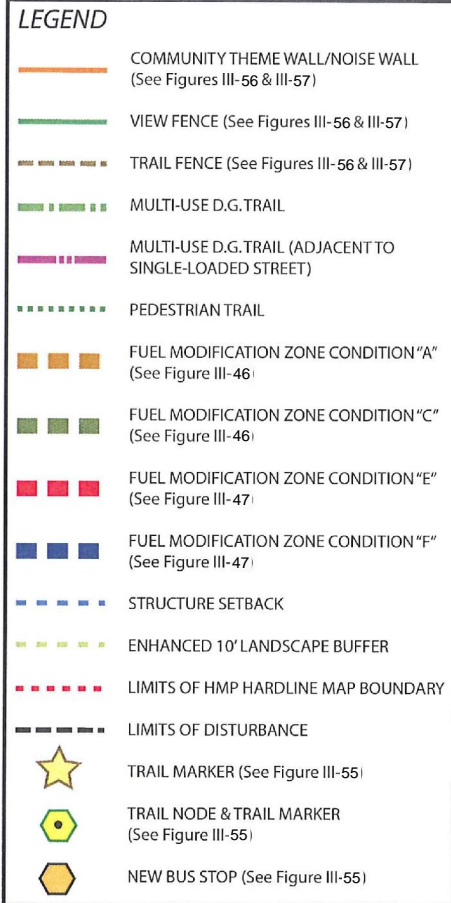
KEY MAP



PA 16
SINGLE FAMILY RESIDENTIAL
5,000 S.F. MINIMUM LOT SIZE
 17.0 Gross Acres
 16.8 Net Acres
 5.1 DU/AC
 85 DUs

PA 17
SINGLE FAMILY RESIDENTIAL
5,000 S.F. MINIMUM LOT SIZE
 25.2 Gross Acres
 25.0 Net Acres
 4.4 DU/AC
 109 DUs

PA 18
SINGLE FAMILY RESIDENTIAL
4,000 - 5,000 S.F. MINIMUM LOT SIZE
 22.2 Gross Acres
 21.3 Net Acres
 5.2 DU/AC
 110 DUs



- n) **Planning Area 19 - Community Recreation - Site Zoning Regulations and Criteria** (see Figure III-14, Planning Area 19)

Description

Planning Area 19 is approximately 2.0 acres and will be developed with community recreation facilities that will be available to serve all residents within the East Village. Access to Planning Area 19 will be provided from Street “O” and a local street. Pedestrian connections shall also be provided to link the surrounding neighborhoods to the community recreation site.

In order to provide for the recreational needs of the community, this Master Plan provides specific requirements for recreation area, depending on the type of unit to be constructed. For single-family residential and courtyard residential land uses, a minimum of 200 square feet of recreation area per unit shall be provided, of which 75 percent shall be allocated for active facilities. In no case shall less than 10,000 square feet of centralized common recreation area be provided on-site within the planning area. Any additional recreation area requirement above 10,000 square feet may be provided either within the planning area, or as an enlargement of the community recreation facility site in PA 19.

For multifamily residential land uses, no less than 100 square feet of recreation area shall be provided on-site. In addition, if the multifamily units are constructed as for-sale condominium units, an additional 50 square feet per unit (150 square feet total) shall be required. The additional 50 square feet per unit requirement may be provided either on-site within the planning area, or as an enlargement of the community recreation facility site in PA 19. In all cases, no less than 75 percent of the required community recreation area shall be allocated for active facilities.

Planning Area 19 contains 2.0 net acres for active recreation facilities. This represents a base provision of 1.0 net acre, plus an additional 1.0 acre, which may be used to satisfy a portion of the active recreation requirement for the East Village planned developments. The final recreation requirement for the East Village planning areas will be determined with the respective Tentative Map and Planned Development applications.

Implementation of Master Plan Vision and Goals

Planning Area 19 provides active recreation for the East Village. Intended as the central node of the community, it supports residents surrounding it by providing a safe, fun and interactive place where community residents and visitors can gather and participate in activities. The location also serves as a focal point in the community by providing a scenic view from the Street “O” connection. Planning Area 19 will serve to unite the community in common experiences.

Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation: OS(CR) – Open Space (Community Recreation)
- The permitted uses shall be those specified in Table C of Chapter 21.45 of the Carlsbad Municipal Code, including active and passive facilities. The recreation facilities to be provided shall be determined as part of the Site Development Plan.

Required Development Permits

- A Site Development Plan (SDP) for Planning Area 19 shall be provided concurrently or prior to the Tentative Map and Planned Unit Development Permits for Planning Areas 16, 17, 18, 21 and 14 (if residential), and/or Planning Area 15 if proposed as “for-sale” units, whichever is proposed first. Phasing for the development of Planning Area 19 shall be addressed as part of the SDP process.

Development Standards

Development in Planning Area 19 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code including Planned Development Standards, except as modified by the Robertson Ranch Master Plan.

Special Design Criteria

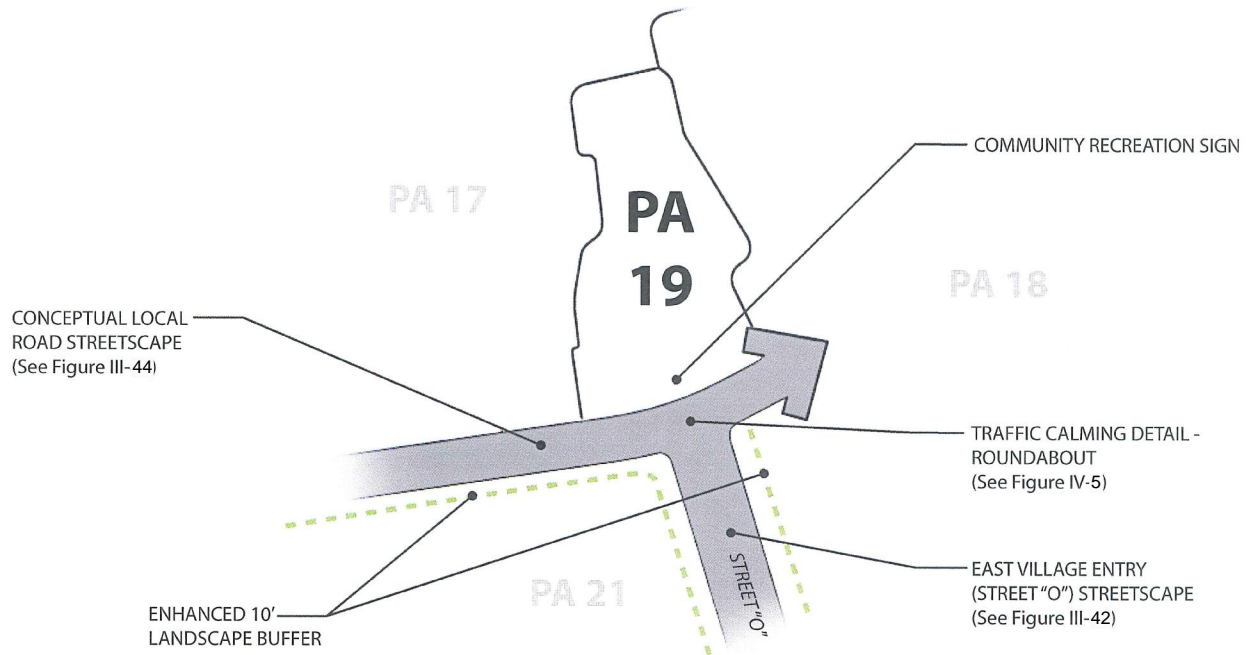
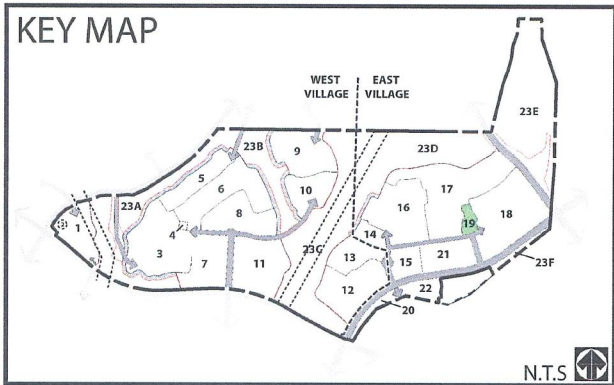
1. The following recreational facilities may be located within this area: swimming pool (solar-heated), spa, clubhouse, tennis courts, volleyball courts, children’s tot lots, play structures, grassy open play area, outdoor basketball courts, seating areas, benches, tables, or other facilities as deemed appropriate.
2. Site planning for this area shall minimize, to the greatest extent possible, light and noise impacts to adjacent residences.
3. Building structures and facilities shall be architecturally integrated with the overall architectural design themes for the Robertson Ranch Master Plan and shall be oriented and related to a pedestrian scale.
4. Building elevations facing public streets shall have detailing equal to the level of detailing on the front elevation of the buildings.
5. Screening walls for storage spaces and equipment areas shall be architecturally integrated with the surrounding buildings and design.
6. Building placement shall be designed to create opportunities for plazas and other landscaped open space areas within the Planning Area.

7. Pedestrian access shall be provided from Planning Areas 14 (if residential), 15, 16, 17, 18, and 21 to Planning Area 19.
8. Bike racks shall be provided to encourage alternative means of transportation.
9. If public streets are provided, on-street parking immediately adjacent to the Planning Area may satisfy a portion of or all of the recreation facility parking requirements.
10. On street parking is discouraged on the south-facing frontage of the recreation area since this area serves as a primary focal point and dual-primary entrance into the community.
11. Traffic calming measures shall be incorporated into the design of the circulation system surrounding the community recreation site.
12. The Master HOA shall maintain landscaping within the community recreation area.

PA 19

COMMUNITY RECREATION

2.0 Gross Acres
2.0 Net Acres



Robertson Ranch

- o) **Planning Area 20 – Water Quality Facility - Site Zoning Regulations and Criteria** (see Figure III-15, *Planning Area 20*)

Description

Planning Area 20 is designated as a 2.9-acre water quality facility area. Storm water traversing Planning Areas 13, 14, 15, 16, 17, 18, 19, 21, and 22 will be directed to the detention area through underground facilities, where the water will be bio-treated in accordance with storm water best management practices.

Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation: OS (Open Space)
- Storm water detention, conveyance and bio-treatment facilities. Maintenance structures and facilities as required.

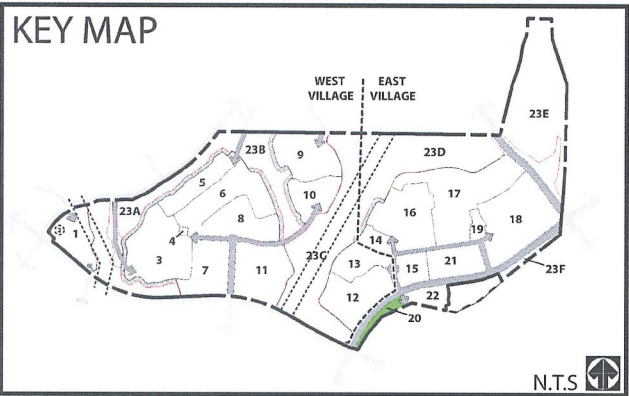
Required Development Permits

- PA 20 will be reviewed with the Master Tentative Map for the East Village.
- Special Use Permit (flood plain)








Special Design Criteria

1. A landscaped focal point shall be provided at the intersection of College and Cannon Roads within this site pursuant to the City requirements.
2. An access road shall be provided to the water quality facility in Planning Area 20 to facilitate access to and maintenance of the facility by the HOA, as depicted on Figure III-15.

KEY MAP



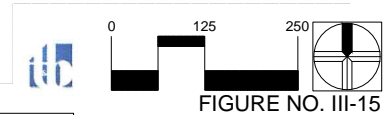
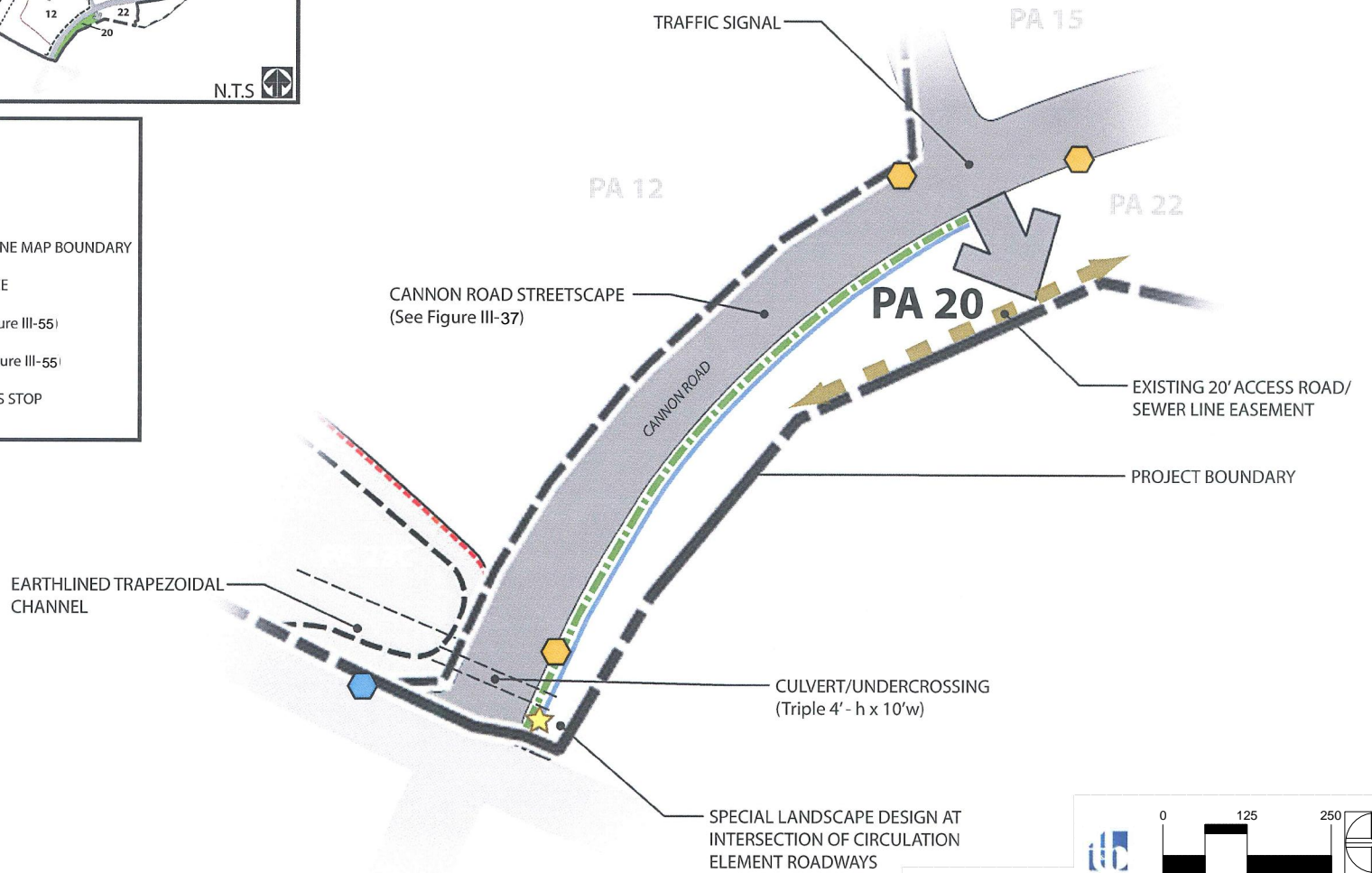
LEGEND

-  EXISTING BLOCK WALL
-  MULTI-USE D.G. TRAIL
-  LIMITS OF HMP HARDLINE MAP BOUNDARY
-  LIMITS OF DISTURBANCE
-  TRAIL MARKER (See Figure III-55)
-  NEW BUS STOP (See Figure III-55)
-  UPGRADE EXISTING BUS STOP (See Figure III-55)

PA 20

WATER QUALITY FACILITY

2.9 Gross Acres
2.9 Net Acres



Robertson Ranch

p) **Planning Area 21– Detached Single Family Courtyard Homes - Site Zoning Regulations and Criteria** (see Figure III-16, *Planning Area 21*)

Description

Planning Area 21 consists of approximately 9.0 gross acres and is allocated 84 single-family detached courtyard homes. Access to Planning Area 21 will be provided via a local street which extends between Street “A” and Street “O”. The design concept for Planning Area 21 is intended to separate pedestrian and vehicular access by providing homes facing on a centralized pedestrian-oriented paseo, while restricting vehicular access and garage locations to a separate motor court common to several units.

Development of Planning Area 21 will require approval of a Condominium Permit pursuant to the procedures identified in the City’s Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Development Standards shall be pursuant to the Planned Development Ordinance unless modified by the Master Plan. Where there are conflicts between the requirements specified in Section 21.45 and the requirements of this Master Plan, the Master Plan requirements shall prevail, unless implementation of those requirements results in hazards to the health and safety of residents, guests or other persons.

Implementation of Master Plan Vision and Goals

The detached courtyard homes proposed for Planning Area 21 are unique in terms of their design characteristics and are intended to enhance the diversity of housing opportunities available within the community by providing a medium-high density detached housing alternative to the more traditional attached housing products. It is anticipated that these courtyard homes will be ideal for first-time homebuyers, small families, and single parent households. The development standards provided for Planning Area 21 have been created to maximize the livability of the courtyard homes. Additionally, the courtyard homes in Planning Area 21 will be ideally situated in close proximity to the active recreation opportunities available in both Planning Areas 12 (park) and 19 (community recreation).

Land Use Regulations

- General Plan Land Use Designation: RMH (Medium-High Density, 8-15 du/ac)
- Dwelling Unit Allocation: 84
- Density: 12.4 du/ac
- Underlying Zone Designation: RD-M (Residential Density – Multiple)

Product Type

- Courtyard residential (single family detached).
- Multiple-family attached.

- Common recreation areas, including, but not limited to pocket parks and tot lots as specifically permitted accessory uses.
- Accessory uses as permitted by Section 21.45.090.

Required Development Permits

- Tentative Subdivision Map
- Condominium Permit
- Hillside Development Permit (if required)

Development Standards

- Development in Planning Area 21 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code (CMC), including the RD-M zone (Chapter 21.24) and Planned Development Ordinance (Chapter 21.45.060), Table C, *General Development Standards Applicable to All Planned Developments*, Table E, *Multiple Dwelling Development Standards*, and City Council Policy 66, except as modified by the Robertson Ranch Master Plan. These standards shall apply for either detached courtyard homes or attached Multiple-Family dwellings.
- Multifamily attached or detached courtyard condominium homes shall comply with Section 21.45.060 General Development Standards, with the following exceptions:

Driveway (Project)	Parkways/sidewalks will not be required in motor courts which provide access to garages.
Community Recreation Space	<p>A minimum of 200 square feet per unit of community recreation area shall be provided.</p> <p>The required passive and active recreation facilities within PA 21 shall have a minimum width and depth of 50 feet and will be located as needed to ensure convenient accessibility to residents. Community recreation space shall be provided as both passive and active recreation facilities for a variety of age groups (a minimum of 75% of the area allocated for active facilities). The portions of the recreation area designed for passive and active uses shall be counted towards the common recreation area requirements pursuant to the Planned Development Ordinance.</p> <p>A portion of the community recreation requirements for PA 21 may be satisfied within PA 19; however, a minimum of 10,000 square feet of community recreation area shall be provided on-site.</p>
Storage Space	Required storage space may include the space within the garage.

- Multifamily attached or detached courtyard condominium homes shall comply with Section 21.45.080 Multiple-Dwelling Development Standards, with the following exceptions:

Building Height	<ul style="list-style-type: none"> • Detached Courtyard Condominiums or Two-Family Units: 30 feet and two stories with a minimum roof pitch of 3:12. • Multiple Family Attached Dwellings: 35 feet and three stories with a minimum roof pitch of 3:12
Minimum Building Setbacks, Private or Public Street*	<ul style="list-style-type: none"> • To front porch: 10 feet. • To residential structure: 10 feet. • To street side yard: 10 feet. • To side entry garage: 10 feet. • To direct entry garage: standard shall not apply (no direct access from street to garage).
Minimum Building Setbacks, Driveway or Motorcourt	<ul style="list-style-type: none"> • Residence: 5 feet from motorcourt or driveway at first floor with a zero foot setback at second floor. • Garage: 3 feet from motorcourt or driveway to garage door.
Minimum Bldg Separation	<ul style="list-style-type: none"> • Minimum 25 feet between buildings on paseos (porches from each building may encroach up to 6 feet into this separation for a total of 12 feet). • Minimum 10 feet between structures. • Garage: 30 feet between opposing garage doors.
Resident Parking	<ul style="list-style-type: none"> • Two-car garage per unit (min. 20 feet x 20 feet).
Private Recreational Space	<ul style="list-style-type: none"> • Projects of more than 10 dwelling units: 6 feet x 10 feet covered porches or front patios will be provided.
Exclusive Use Areas	<ul style="list-style-type: none"> • At least 100 square feet of exclusive use areas shall be provided abutting each dwelling unit with a minimum dimension of 10 feet in any direction.

*Setbacks shall be measured from the right-of-way, back of landscape buffer, back of sidewalk, or 10 feet from the face of curb (whichever is greater).

Minimum Lot Size

Not Applicable

Minimum Lot Dimensions

Not Applicable

Setbacks

- A 40-foot structural setback shall be provided from the right-of-way on Cannon Road.

- A minimum of 75 percent of the required setback that is located closest to Cannon Road shall be landscaped to enhance the street scene and buffer the homes from traffic on adjacent arterials. Project perimeter walls shall not be located in the landscaped buffer.

RV Parking

- RV parking shall be provided concurrent with development as required by the Planned Development Ordinance and shall be provided in Planning Area 22.

Affordable Housing

The Inclusionary Housing requirements for Planning Area 21 shall be provided in Planning Area 15, or in any other Planning Area approved by the City of Carlsbad, concurrent with the schedule established by an Affordable Housing Agreement for the East Village.

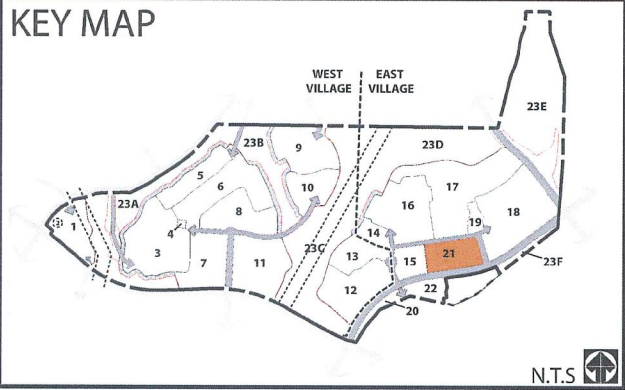
Special Design Criteria

1. A supplemental acoustical analysis shall be submitted with the discretionary applications demonstrating compliance with the City's Noise Guidelines Manual for Interior and Exterior Noise Levels.
2. When noise walls over 6 feet high are required, a combination of berm and maximum 6-foot high noise wall shall be used to mitigate noise impacts.
3. Doors, porches, balconies and walkways should face the streets, to the extent possible, to promote social interaction along the streetscape.
4. Porches shall have a minimum depth of 6 feet and a minimum width of 10 feet.
5. Garages shall not be directly accessed from Street "O."
6. Garages shall be located so that the garage openings do not face public or private streets.
7. Development shall be screened from circulation element roadways through the use of berms, mounding and heavy landscaping.
8. Single-story elements shall be incorporated into the building design, where feasible, to create a pedestrian oriented environment and to articulate the mass of the buildings.
9. Building elevations visible from the surrounding roadways shall feature enhanced elevations.
10. Avoid the use of walls at the perimeter of the project unless needed for screening of vehicles or noise abatement.

11. If courtyard homes are constructed, a landscaped buffer shall be provided between the driveway or auto court and the living area of the residential structure.
12. If courtyard homes are constructed, motor courts shall be landscaped and accented with enhanced paving.
13. A 10-foot landscape buffer shall be provided on the west side of Street “O” and on the south side of the east-west collector road between Streets “A” and “O.” Building setbacks shall be measured from the edge of the landscape buffer closest to the residential lot.
14. An optional entry treatment, as depicted on Figure 27, *Key to Entries, Signs and Edge Conditions*, Figure 29, *Conceptual East Village Entry Elevation*, and Figure 30, *Conceptual East Village Entry Plan*, may be provided at the intersection of Cannon Road and Street “O.”
15. An optional entry treatment, as depicted on Figure 27, *Key to Entries, Signs and Edge Conditions*, Figure 33, *Conceptual Neighborhood Entry Plan*, and Figure 34, *Conceptual Neighborhood Entry Elevation*, may be provided at the entrance into Planning Area 21 from the east-west oriented local roadway extending from Street “O.”
16. A Homeowners’ Association shall maintain landscaping within the parkways, paseos, pocket parks, and perimeter slopes.
17. Landscaped focal points should be provided at the end of cul-de-sac streets and “T” intersections.
18. Pedestrian connections shall be included to facilitate access to bus stops and adjoining neighborhoods.
19. If developed as multifamily attached units, a refuse collection area may be provided in accordance with section III.B.3.(k) of this Master Plan. A refuse collection area shall not be required if individual unit refuse collection is proposed.
20. The 20 feet behind the face of curb on the north side of Cannon Road is designated as a pipe zone for the 84-inch storm drain and no planting of trees is allowed. However, the planting of shrubs and the placement of the meandering sidewalk and an increase of grade of 2 feet above the top of curb will be allowed in the pipe zone. The project wall along the north side of Cannon Road is to be placed at 40 feet from the face of curb (30 feet from the right-of-way) and trees are allowed in the 20- to 40-foot zone behind the face of curb.

21. In addition to the standards listed above, the Design Guidelines provided in Section III.B of this Master Plan also shall apply.

KEY MAP



PA 21 COURTYARD HOMES

9.0 Gross Acres
7.0 Net Acres
12.4 DU/AC
84 DUs

LEGEND

- COMMUNITY THEME WALL/NOISE WALL WHERE REQUIRED (See Figures III-56 & III-57)
- OPTIONAL COMMUNITY THEME WALL AT PROPERTY LINE (See Figures III-56 & III-57)
- STRUCTURE SETBACK
- ENHANCED 10' LANDSCAPE SETACK
- NEW BUS STOP (See Figure III-55)

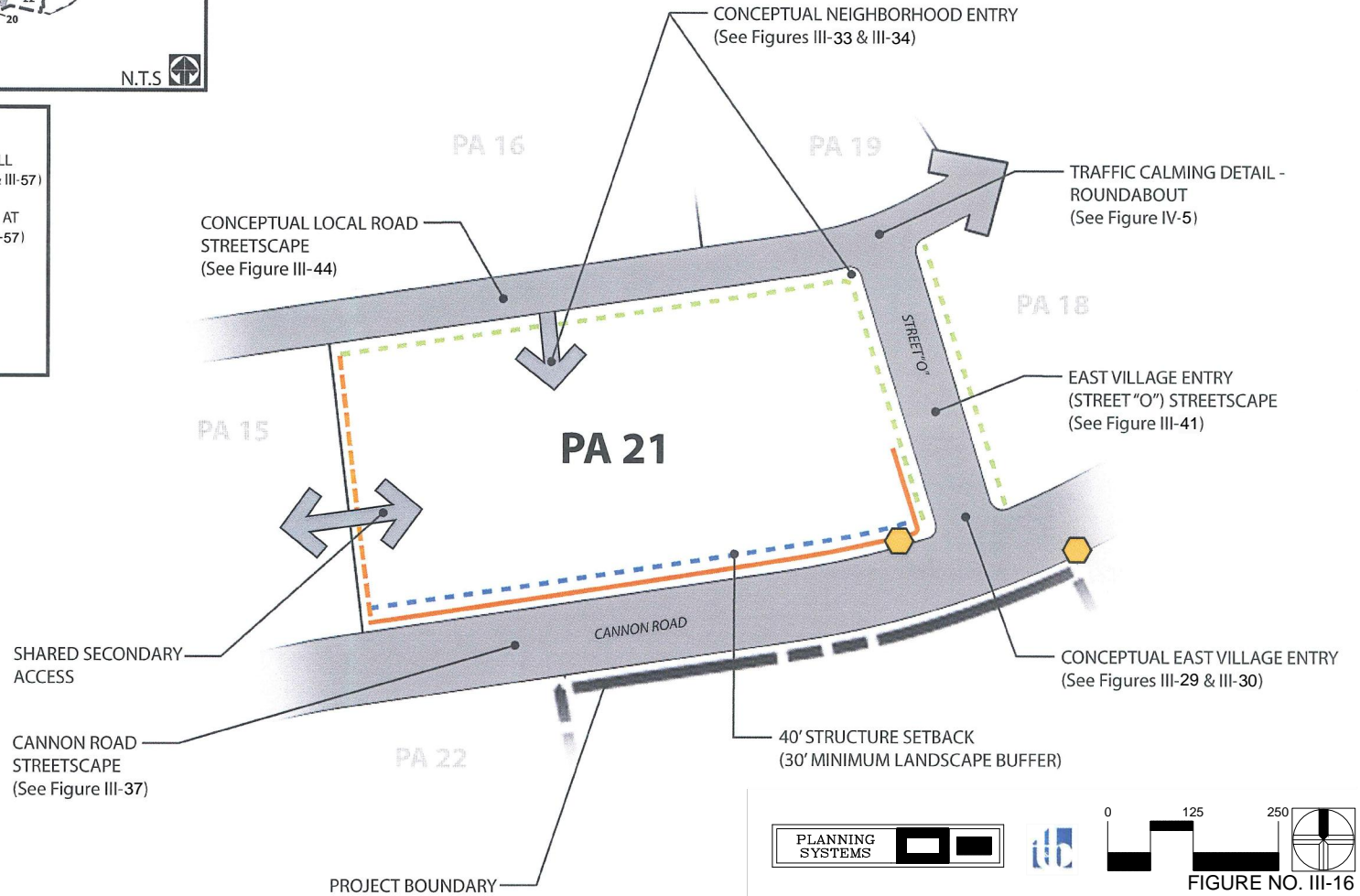


FIGURE NO. III-16

Robertson Ranch

- q) **Planning Area 22– Senior Housing and RV Storage - Site Zoning Regulations and Criteria (see Figure III-17, *Planning Area 22*)**

Description

Planning Area 22 consists of approximately 5.4 gross acres and is provided access via a local street or driveway extending from the intersection of Street "A" and Cannon Road. Planning Area 22 is designated for Senior Housing and RV storage lot uses.

Implementation of Master Plan Vision and Goals

Planning Area 22 shall be designed in a manner consistent with the Master Plan Vision and Goals and the Ahwahnee Principles.

Planning Area 22 shall accommodate all of the RV storage required for the Master Plan as required pursuant to the requirements of this Master Plan.

Land Use Regulations

- General Plan Land Use Designation: R-23 (Residential 15-23 du/ac)
- Underlying Zone Designation: RD-M (Residential Density-Multiple. Development standards (C.M.C. Chapter 21.24) and Housing for Senior Citizens (Chapter 21.84)
- Dwelling Unit Allocation: 98 senior housing units
- Density: The minimum density shall be no less than 20.0 du/ac.

Required Development Permits

- Site Development Plan permit for site plan approval.
- Conditional Use Permit for senior housing
- Any other discretionary permit deemed necessary based on the proposed use.

Development Standards

- Development of PA 22 shall comply with all applicable regulations and development standards of the Carlsbad Municipal Code, including zoning standards for Chapter 21.24 and 21.84 except as modified by the Robertson Ranch Master Plan.
- Allowed protrusions above height limits subject to Carlsbad Municipal Code Section 21.46.020.
- Development of PA 22 shall take into consideration the following:
 - Line of sight from Rancho Carlsbad to the proposed development;
 - Hours of operation of any proposed uses;
 - Noise and light mitigation from the proposed project; and
 - Site designs that reduce landform alteration, where feasible, and reduce the removal of healthy mature trees.

- RV Storage shall be subject to the development standards of the Carlsbad Municipal Code Sec. 21.42.140.B.120.
- The RV Storage facility will be developed in accordance with the Planned Development Ordinance requirements (Carlsbad Municipal Code Section 21.45.060). The following table is a breakdown of all Planning Areas that will be provided with RV Storage facilities, as well as the maximum amount of storage required for each area.

RV Storage Facility Requirements

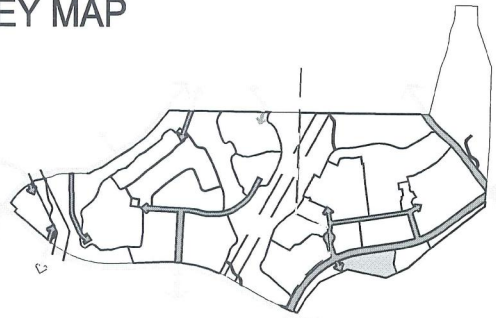
West Village			East Village		
Planning Area	Units	20 sf per Unit	Planning Area	Units	20 sf per Unit
3	85	1700	16	85	1700
6	87	1740	17	109	2180
9/10	74	1480	18	110	2200
13	26	520			
TOTAL	272	5440		320	6400

GRAND TOTAL UNITS	592
GRAND TOTAL RV STORAGE AREA	11,840

Special Design Criteria

1. The existing grove of sycamore trees shall be preserved.
2. A minimum wetland buffer of 100 feet shall be provided from all identified wetland areas unless a reduced buffer is agreed to by the Wildlife Agencies.

KEY MAP



N.T.S.

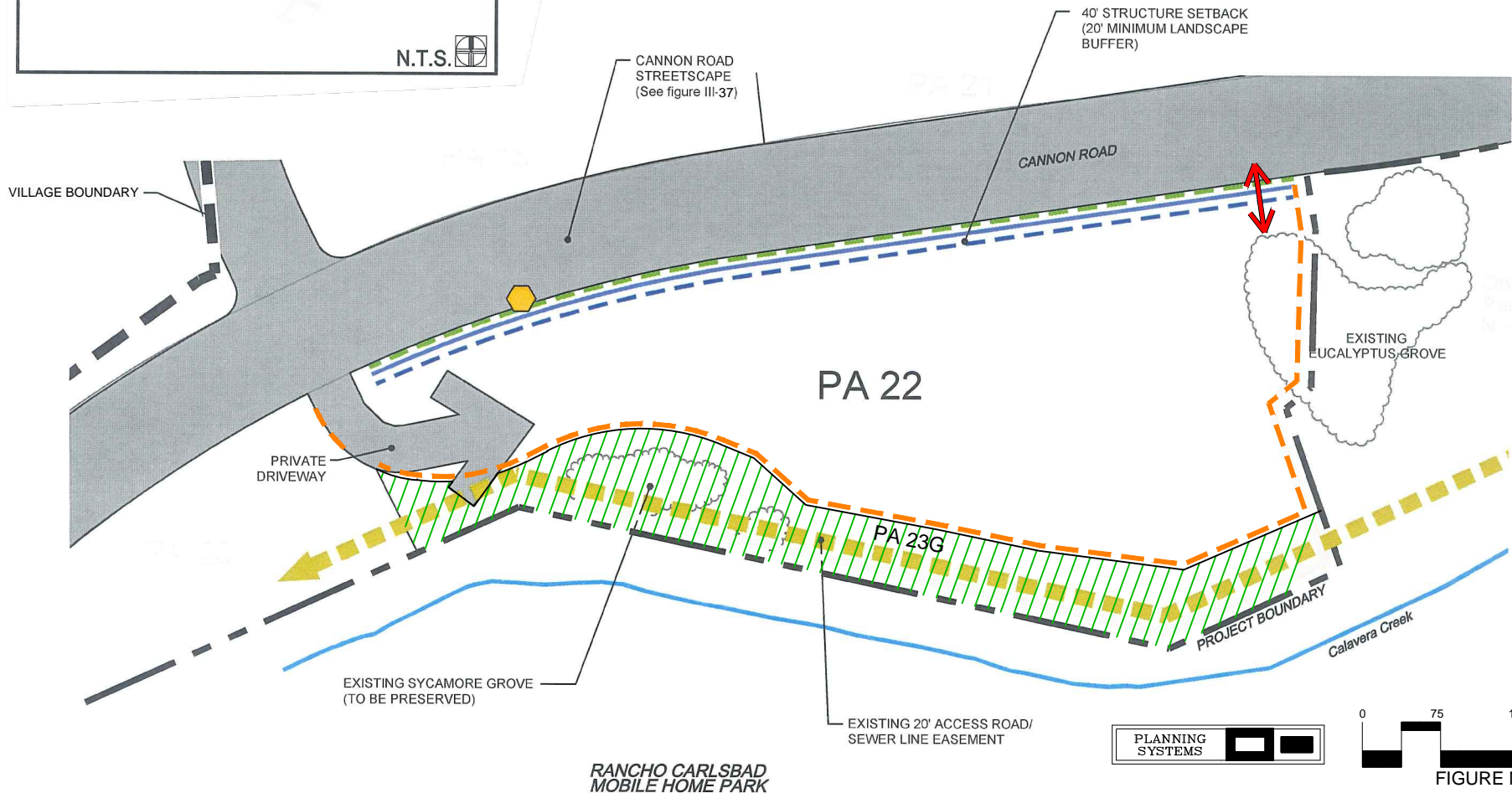
LEGEND

- OPTIONAL COMMUNITY THEME WALL/ NOISE WALL (See figures III-56 & III-57)
- EXISTING BLOCK WALL
- MULTI-USE D.G. TRAIL
- STRUCTURE SETBACK
- NEW BUS STOP (See figure III-55)
- OPEN SPACE - PLANNING AREA 23G
- EMERGENCY ACCESS

PA 22

SENIOR HOUSING & R.V. STORAGE

5.4 Gross Acres



RANCHO CARLSBAD MOBILE HOME PARK

Robertson Ranch

PLANNING AREA 22

- r) **Planning Areas 23A – 23G Site – Open Space - Zoning Regulations and Criteria**
(see Figure 18, *Planning Areas 23A – 23G*)

Description

A total of approximately 139.8 acres are designated as open space within Planning Areas 23A through 23G which, except for Planning Areas 23F (2.3 acres) and 23G (1.1 acres), would be preserved within the HMP Open Space Preserve Area. This figure does not include the preserved open space in Planning Area 1 (additional 22.0 acres). Due to the historic agricultural use, the project site currently consists of a mixture of vegetation types with predominantly agricultural, ornamental or native vegetation. Areas of preserved natural vegetation will consist of a minimum of 67 percent of the site's Diegan coastal sage scrub along the higher elevations and canyon sides with riparian habitat preserved along Calavera Creek and within the canyon bottoms. Portions of Planning Area 23E have been re-vegetated and restored as wetland habitat as part of the mitigation plan for the College Boulevard and Cannon Road construction. PA 23E may, in the future, also contain a Regional Trail Connection Trailhead and parking area, if implemented by the City. In addition to preserved open space areas, Planning Areas 23 A-E will contain re-vegetated manufactured slopes. No Fuel Modification areas are included within the hardline inside Planning Area 23 A -F. Where required, Fuel Modification areas are always located outside the hardline.

Implementation of Master Plan Vision and Goals

The open space provided by the Robertson Ranch Master Plan implements the Linkage "B" wildlife corridor envisioned by the City of Carlsbad adopted Habitat Management Plan (HMP). The project applicant has negotiated an HMP "hardline" preserve design (Figure II-8, *HMP Hardline Map*) with the Wildlife Agencies. In accordance with the adopted HMP goals and planning standards, this "Hardline Map" will preserve, enhance, or revegetate a minimum of 67 percent of the site's native Diegan coastal sage scrub habitat.

Within limited portions of the open space areas, a trail system (illustrated in Figure III-54, *Pedestrian Circulation Plan*) links the open space with the residential, commercial, and recreational components of the community. The trail system accommodates pedestrians and bicyclists. However, access to the natural open space areas shall be restricted through trail design. The trail system includes decomposed granite trails located adjacent to the preserved open space along the edge of perimeter roads which will allow for future connections with adjacent off-site trails, as indicated in the City's Master trails plan. Where trails are adjacent to these open space areas, non-combustible fencing will be used. Fencing types for use on project trails are illustrated in Figure III-56, *Conceptual Theme Walls and Fence Detail*, and Figure 57, *Fence and Wall Plan*.

Interim Land Use Regulations (Planning Area 23C Only)

- Agricultural uses, as defined by Chapter 21.07 of the Carlsbad Municipal Code, are permitted, subject to the requirements of Chapter 21.07. This Master Plan does not allow any other development within these Planning Areas other than slope grading for adjacent development, roads, trails, and public utilities within designated utility corridors.





Final Land Use Regulations

- General Plan Land Use Designation: OS (Open Space)
- Underlying Zone Designation OS (Open Space)
- Natural and Re-vegetated Open Space
- Trails and maintenance roads

Special Design Criteria

1. Disturbance into these Planning Areas arising from construction activities required to support development of adjacent Planning Areas shall be avoided to the maximum extent possible during and after construction.
2. Restoration plans for Open Space Areas within the HMP Hardline shall be subject to review by the appropriate wildlife agencies.
3. Grading for the portion of Planning Area 23C adjacent to Planning Area 11 shall consist of a 5:1 re-vegetated manufactured slope, consistent with the *Conceptual Grading Plan*, as depicted on Figure II-10, and the *Landscape Guidelines* presented in Section III.B of this Master Plan. Pedestrian trails shall be constructed concurrently with the grading and restoration of Planning Area 23C.
4. Planning Area 23E: The Regional Trailhead (which shall be developed by the City and is not a part of this Master Plan) shall be located within PA 23E only if it is determined by the City not be feasible to locate a Regional Trailhead within the Carlsbad Unified School District lands adjacent to the northeast. In the event the Regional Trailhead is located within PA 23E, the trailhead would have the following limitations:
 - Be designed for no more than ten cars;
 - Be located at least 100 feet from riparian/wetland vegetation;
 - Be at least 500 feet away from the wetland mitigation area;
 - Fenced, gated, and posted with usage restrictions;
 - Unpaved with no lighting;
 - Constructed of a temporary design which could be moved to another location should such a location become available, as on the CUSD property;
 - The detention basin will not be maintained, vegetation in the detention basin will be maximized, and the inlet will be cleaned as needed; and

- Mitigation for impacts from the parking lot will occur on-site. The creek crossing would impact less than 0.25 acre of land and would entail a bridge that spans the 100-year flood level.
5. Maintenance of open space areas shall be the responsibility of the following:
- Open Space within the boundaries of the Hardline Areas shall be the responsibility of an organization with expertise in the management of natural open space preserves;
 - Open space within the boundaries of Planning Area 23F shall be the responsibility of the Rancho Carlsbad Homeowner's Association (RCHOA);
 - The Regional Trailhead, if constructed, shall be maintained by the City of Carlsbad.
 - Maintenance of trails within PA 23 open space shall be as shown on Figure III-54, *Pedestrian Circulation Plan*.
 - Maintenance of PA 23G shall be the responsibility of the owner of PA 22, unless otherwise approved by the City of Carlsbad.

LEGEND	
	LIMITS OF HMP HARDLINE MAP BOUNDARY
	BRUSH MANAGEMENT PER HMP HARDLINE
	60' SETBACK FROM NATIVE AREAS TO COMBUSTIBLE STRUCTURES ¹
	LIMITS OF DISTURBANCE

Note:
1. Fuel modification is provided by sufficient building setback.

PA 23A
OPEN SPACE
 13.8 Gross Acres

PA 23D
OPEN SPACE
 30.4 Gross Acres

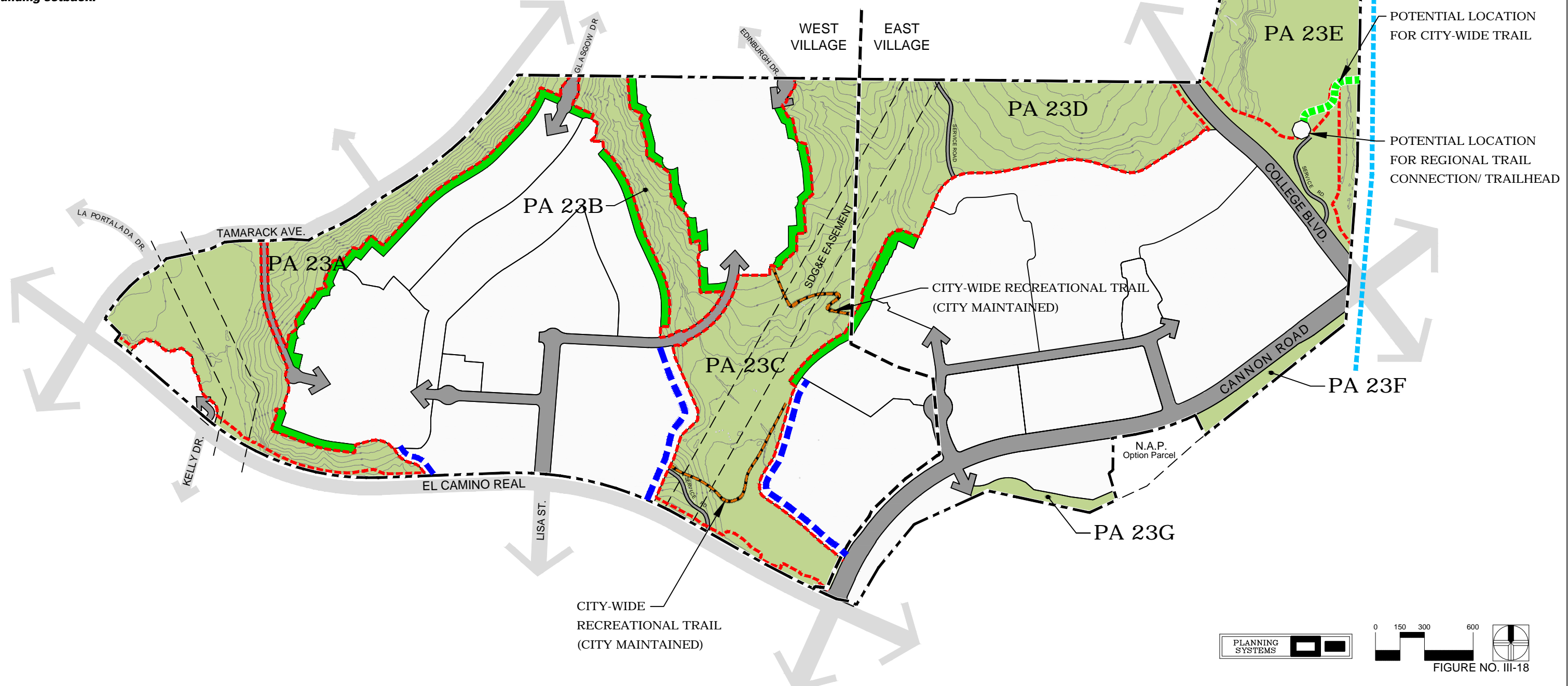
PA 23G
OPEN SPACE
 1.1 Gross Acres

PA 23B
OPEN SPACE
 12.7 Gross Acres

PA 23E
OPEN SPACE
 39.7 Gross Acres

PA 23C
OPEN SPACE
 39.8 Gross Acres

PA 23F
OPEN SPACE
 2.3 Gross Acres



3. Grading Concepts

The conceptual grading plan for the Master Plan area is included as Figure II-10, *Conceptual Grading Plan* in Section II, DETAILED PLAN DESCRIPTION, which provides a generalized description of the proposed grading activities for the overall site. While grading plans are preliminary in nature at this level of detail, they demonstrate essential concepts and generally indicate the areas where grading will take place and the areas which will not be graded. The Robertson Ranch Master Plan grading has been designed so that the East and West Villages balance on site; however, precise grading plans shall be submitted for review with each tentative subdivision map or use permit. All grading proposed by this Master Plan shall conform to the following City of Carlsbad ordinances, policies, and/or guidelines:

- Excavation and Grading Ordinance (Chapter 15.06, Carlsbad Municipal Code);
- Hillside Development Regulations (Chapter 21.95, Carlsbad Municipal Code);
- City of Carlsbad Hillside Development and Design Guidelines;
- City of Carlsbad Landscape Manual;
- City of Carlsbad Master Drainage Plan.
- Scenic Corridor Guidelines
- El Camino Real Corridor Development Standards

Additionally, Special Design Criteria is included to ensure that the grading design reinforces the community character envisioned for the Robertson Ranch Master Plan.

Special Design Criteria

1. The grading shall have a natural appearance through the use of mounds and berms along roadways.
2. Landscaping setbacks along circulation element roadways shall be graded relatively level with the street when there are down-slopes so that the sidewalk or trail can meander within the Right-of-Way and the landscape setback.
3. Berms, landscaping and walls shall be used to screen parking areas.
4. In the commercial areas, slopes with dense landscape shall used to screen development from El Camino Real.
5. When noise barriers over 6 feet high are required, a combination of 6-foot high sound wall and berm shall be used to mitigate noise impacts.

B. Design Guidelines

These Design Guidelines are intended to establish standards for the quality of development and ensure a high quality, aesthetically pleasing environment for the residents of the Robertson Ranch Master Plan community.

More specifically, the objectives of the Design Guidelines are to:

- Provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals during the implementation and construction phase of development of the project.
- Provide a framework for the preparation of Covenants, Conditions and Restrictions.
- Provide guidance in formulating precise development plans for the community facility, commercial and residential components of the project.
- Provide the City of Carlsbad with the necessary assurances that the Robertson Ranch Master Plan will be developed in accordance with the quality and character proposed in this document.

These Design Guidelines are intended to be flexible and are, therefore, illustrative in nature. As a flexible document these Guidelines are intended to accommodate changes in lifestyles; buyers' tastes; economic conditions; community desires and the marketplace.

Written summaries and graphic exhibits address the design of specific and typical community elements within the Robertson Ranch Master Plan. Specifically addressed are: community entries, community streetscapes, community edges, community facilities, community recreation facilities, parks (community and pocket), walls/fencing and lighting.

Plant Material Guidelines address the proper plant materials for certain community settings such as entries, streetscapes and open space areas. The Landscape Standards and Guidelines present the following: general information relative to seasonal planting and climate constraints and horticultural soils test requirements; and general requirements relative to planting and irrigation installation and landscape maintenance.

These guidelines are intended to establish standards which will ensure the quality of development of the community landscape and its character. Some sections are purposefully and inevitably generic to allow creative implementation of the guidelines based on the specific circumstance being addressed. In these circumstances, it is anticipated that when more in-depth marketing studies have been completed for individual neighborhoods or facilities, the final landscape designs of the generic sections will respond to the market conditions existing at the time of construction. Landscape development refinement may include such features as: street and entry tree selection, entry monument design, and community theme wall design.

1. Project Design Theme

The architectural and landscape design themes for the Robertson Ranch Master Plan are created by integrating the historically rural agricultural setting of the Robertson Ranch site with the rich and varied architectural forms and styles associated with traditional European and early California design. This broad projectwide theme provides a related, yet varied palette of architectural styles intended to allow the East and West Villages to each establish an identity, while remaining consistent with the overall project concept. Similarly, the landscape theme is intended to complement the architectural themes and provide a consistent background canvas for architectural variety. Together, the Architectural Design Guidelines and the Landscape Design Guidelines are intended to form a distinctive community offering a high quality environment and clear identity.

2. Architectural Design Guidelines

Introduction: The intent of these Architectural Design Guidelines is to establish general guidelines that facilitate residential projects which exhibit excellence in design and provide a variety of housing opportunities. It is envisioned that the architecture for the villages will be created through consideration of the project's overall theme and the constraints, opportunities and characteristics of each neighborhood within each of the villages. Each neighborhood enclave should provide diversity in design through architectural character and floor plan livability. Architectural diversity within each neighborhood should be created by varying building materials, colors and textures in conjunction with architectural features (for example, roofs, windows, doors, fascias and trim), rather than by designing buildings that vary greatly in architectural styles (although a diversity of architectural styles may also occur). All architecture shall enhance and enrich the community theme. Development within the Master Plan requires the submittal and approval of development plans in accordance with requirements discussed in Section V, MASTER PLAN IMPLEMENTATION MEASURES, of this Master Plan document and as identified for each Planning Area.

Village Architectural Themes: Five architectural themes have been chosen for the Master Plan. These themes were selected to provide varied yet harmonious architectural styles. The selection of a broad projectwide architectural concept provides the East and West Villages the opportunity to choose Village-wide architectural themes consistent with the overall project theme. Each Village theme should be internally consistent and provide sufficient architectural variation to create thematically related, yet interesting, neighborhood architectural concepts. This process will ensure that each of the two Villages will have a strong, coherent internal identity resulting in two related yet distinct architecturally pleasing communities. The architectural styles proposed are discussed below.

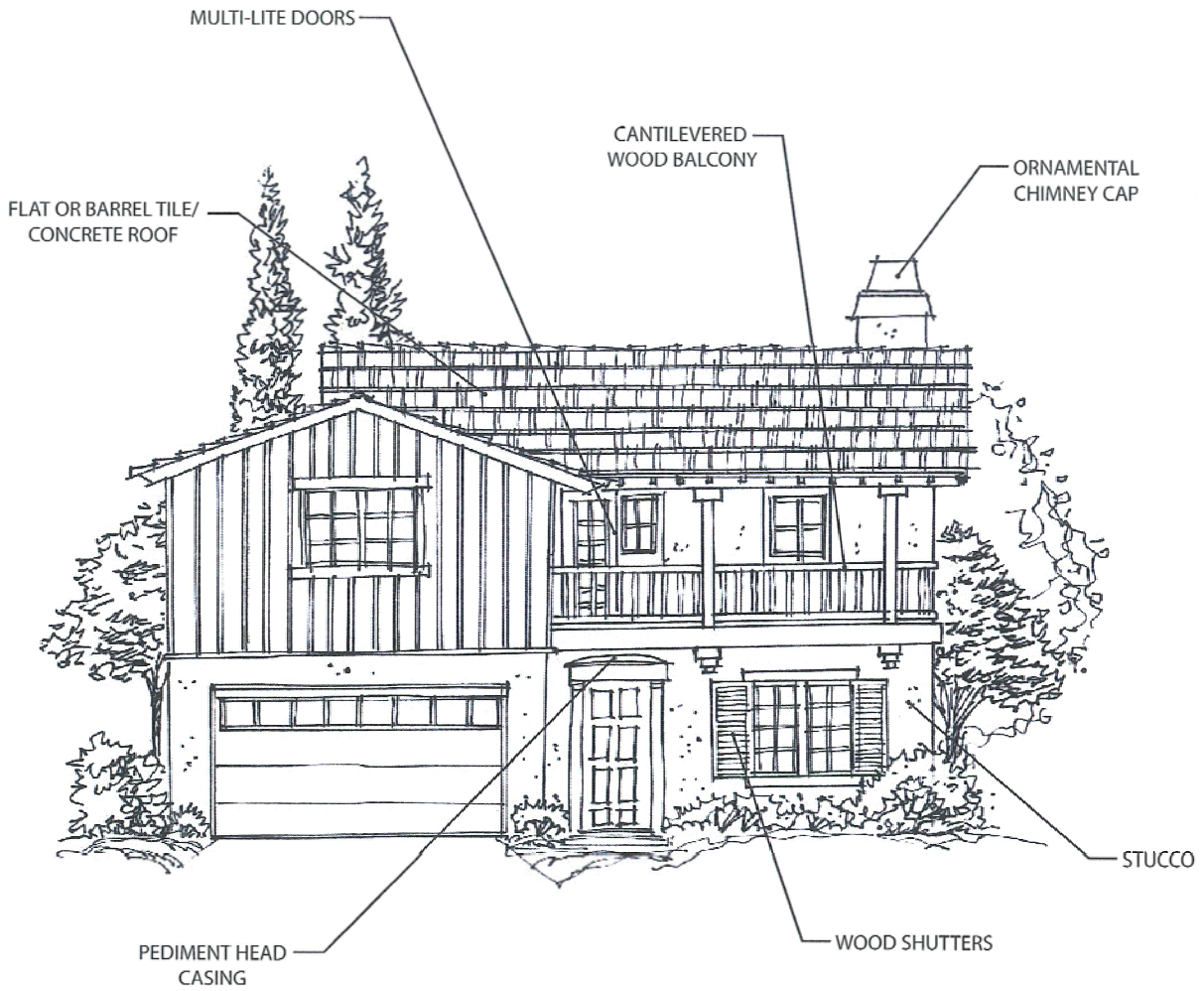
Conceptual illustrations of architectural styles consistent with the overall project theme are provided by Figures III-19 through III-25. It is important to note that these illustrations are conceptual only, and are intended to provide a starting point and direction for project architecture, which should be the result of a creative interpretation of the architectural

vernacular of each of these styles. The five proposed architectural styles are described below.

- a) **California Monterey:** This style is a combination of the Spanish Adobe Ranchos of early California with the Eastern Seaboard detailing imported by the early settlers of Monterey. This free revival of the Anglo-influenced Spanish Colonial houses of northern California is shown in elevation on Figure III-19.
- b) **California Bungalow:** Characterized by rustic exterior and sheltered-feeling interiors, bungalows were most successful in the growing suburbs of Southern California. The first California house dubbed a bungalow was designed by the San Francisco architect A. Page Brown for J.D. Grant in the early 1890s. A typical adaptation is depicted on Figure III-20.
- c) **English Country:** This eclectic style was derived from the English and French country houses which were popularized in the United States during the 1920s and 1930s. The design features were adapted to the climate and terrain of southern California. A typical example of the English Country style is provided on Figure III-21.
- d) **Italian Tuscany:** This style is a more formal and ornate adaptation of the Mediterranean vernacular, with details derived from the houses and villas of the Italian region of Tuscany. An elevation typifying the Italian Tuscany architectural style is shown on Figure III-22.
- e) **Mission Style:** The Mission style originated in southern California and was the first style to diffuse eastward from the West. The style was considered the "California counterpart" to the Georgian-inspired Colonial Revival popular in Northeast. Most famously, the style was adopted by both the Southern Pacific and Santa Fe Railways for train stations, resort hotels, and other rail corridor buildings, essentially as an effort to "theme" the Southwest for eastern travelers. A typical example of the Mission style of architecture is depicted on Figure III-23.

3. Architectural Design Standards and Requirements

- a) **Building Materials:** Building materials and colors should complement the natural, climatic and architectural environment of the Robertson Ranch Master Plan. When appropriate for the architecture or application, construction materials may be left in their natural state and allowed to weather and blend into the natural environment. All materials should be durable and require little maintenance. Large expanses of flat, windowless wall planes that are not articulated by materials should be avoided. Contrasting materials may be employed in areas in which special emphasis is desired, such as building entrances and patios. Masonry and brick may be used to provide vertical and horizontal accents, such as chimneys and architectural banding, on buildings.



Note: Conceptual only. Subject to additional review at Plan Development Permit (PUD) or Site Development Plan (SDP) review.

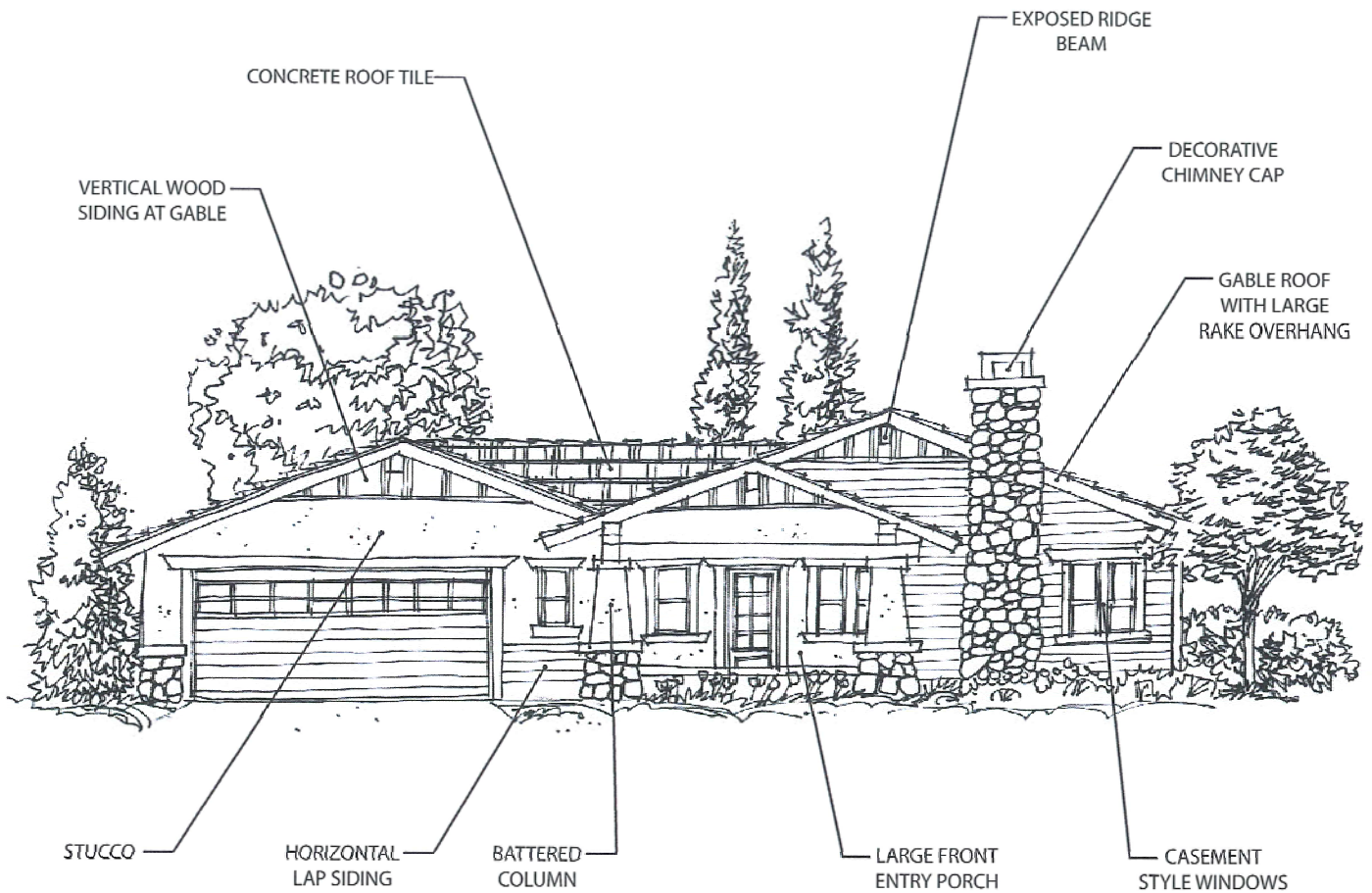


NOT TO SCALE

FIGURE NO. III-19

Robertson Ranch

CONCEPTUAL RESIDENTIAL ELEVATION, CALIFORNIA MONTERREY



Note: Conceptual only. Subject to additional review at Plan Development Permit (PUD) or Site Development Plan (SDP) review.

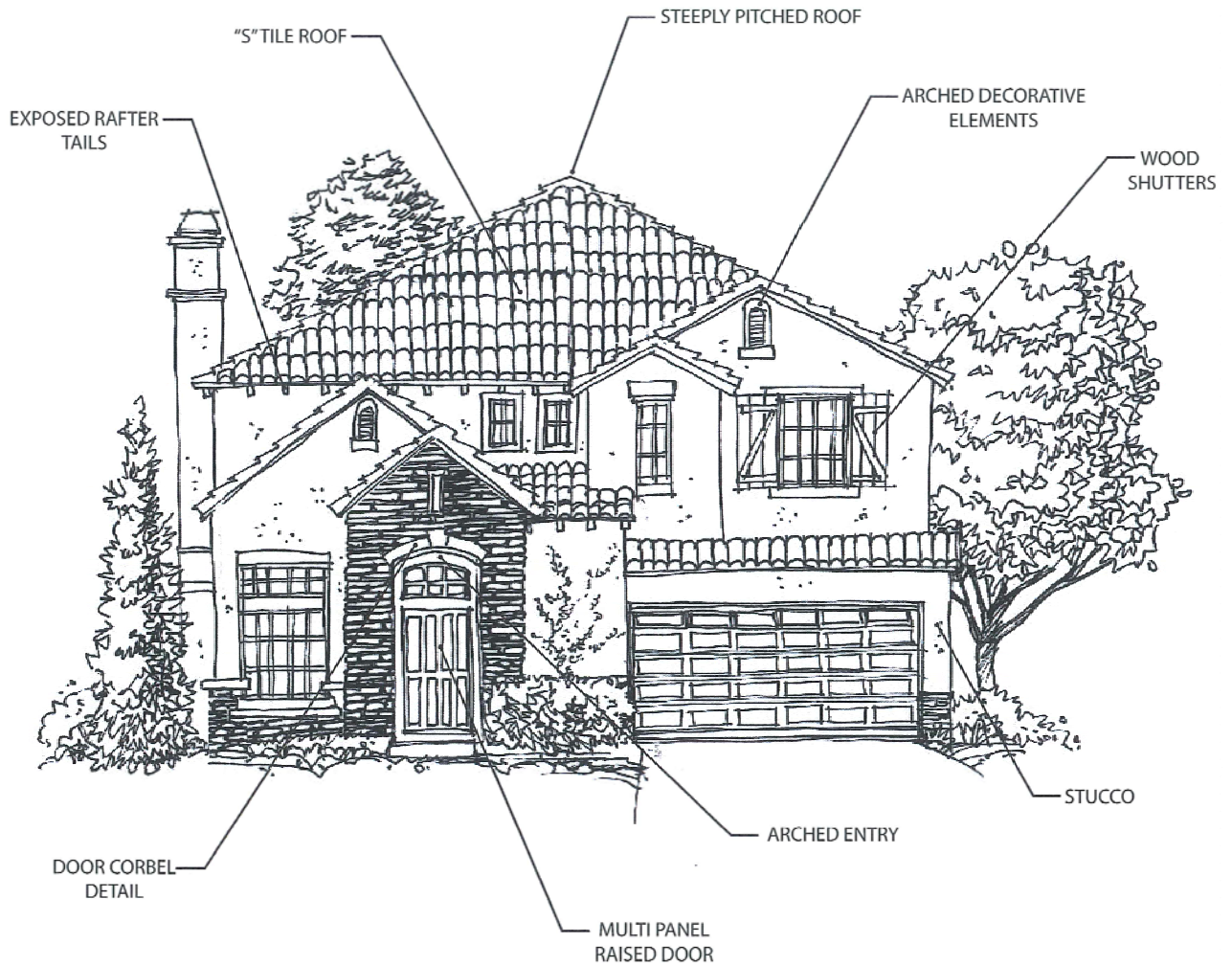


NOT TO SCALE

FIGURE NO. III-20

Robertson Ranch

CONCEPTUAL RESIDENTIAL ELEVATION, CALIFORNIA BUNGALOW



Note: Conceptual only. Subject to additional review at Plan Development Permit (PUD) or Site Development Plan (SDP) review.

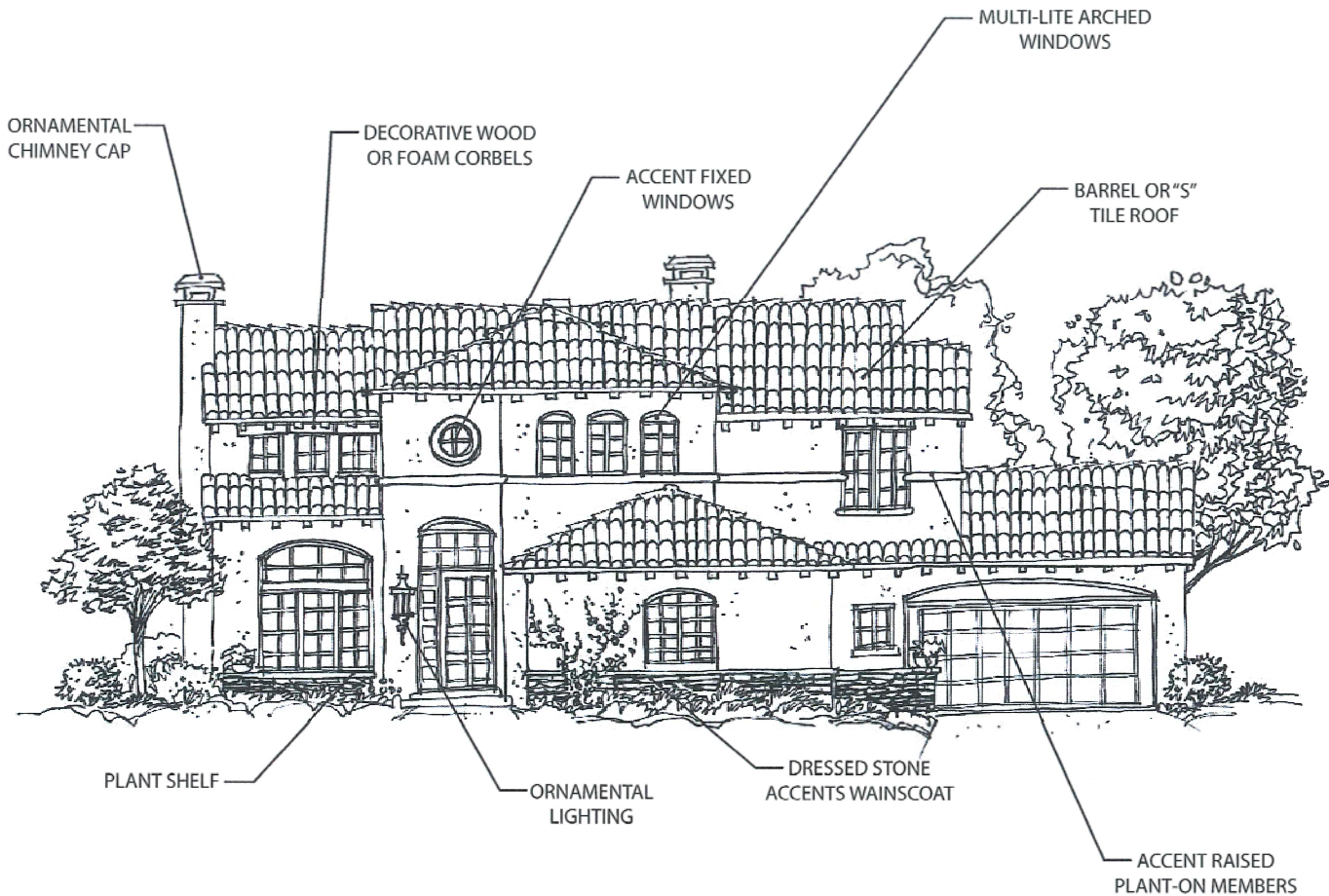


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FIGURE NO. III-21

Robertson Ranch

CONCEPTUAL RESIDENTIAL ELEVATION, ENGLISH COUNTRY



Note: Conceptual only. Subject to additional review at Plan Development Permit (PUD) or Site Development Plan (SDP) review.

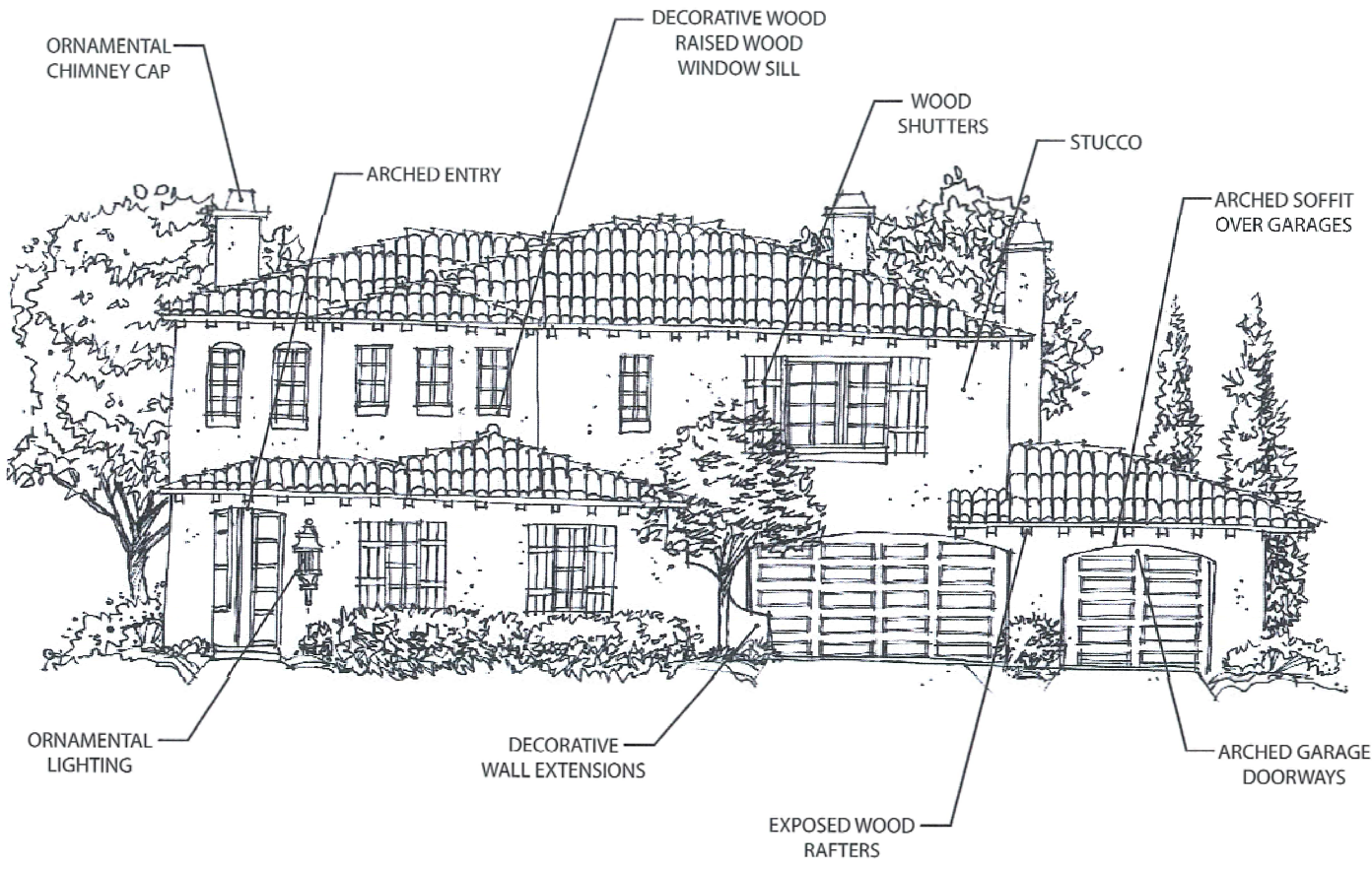


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FIGURE NO. III-22

Robertson Ranch

CONCEPTUAL RESIDENTIAL ELEVATION, ITALIAN TUSCANY



Note: Conceptual only. Subject to additional review at Plan Development Permit (PUD) or Site Development Plan (SDP) review.

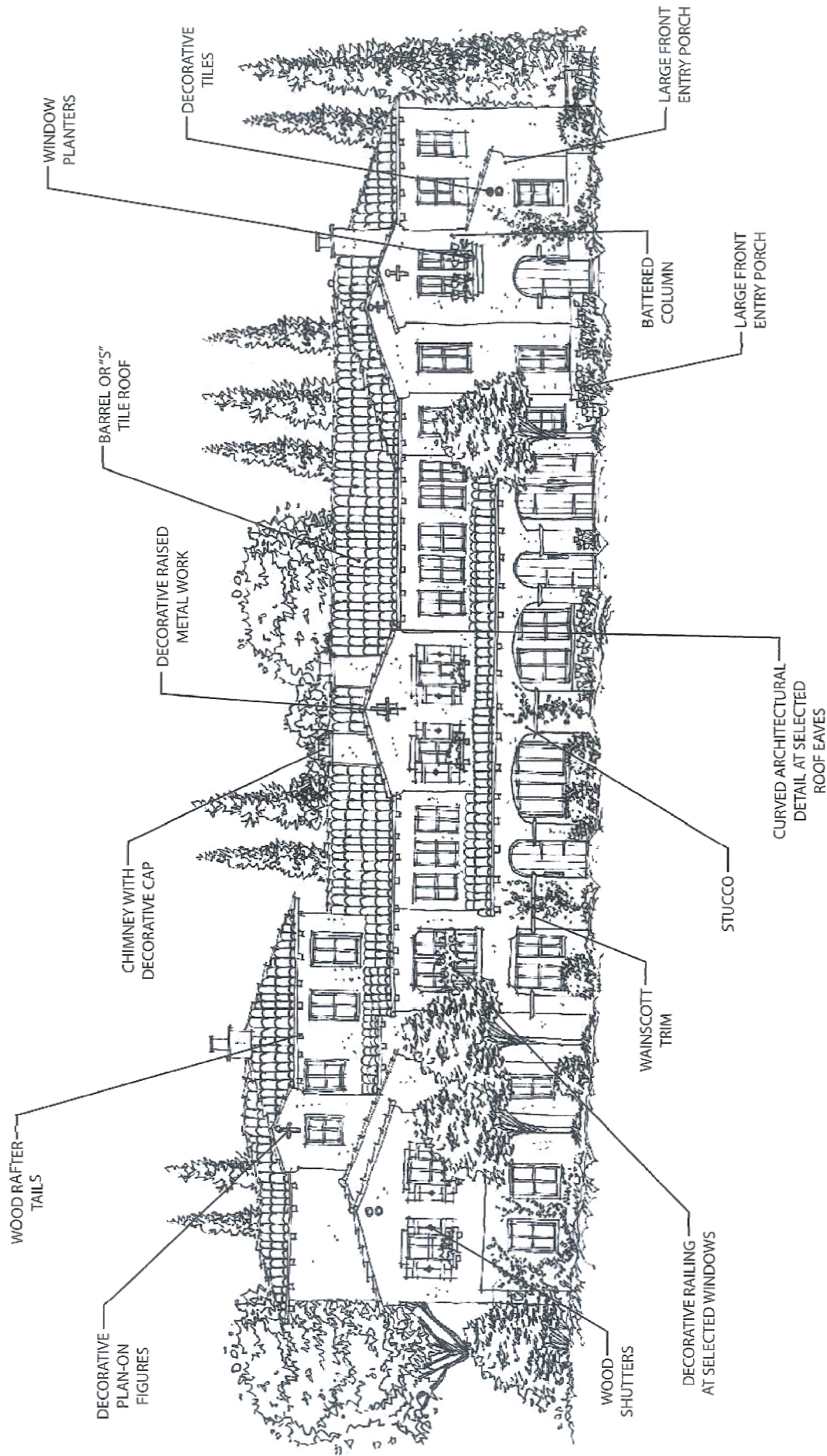


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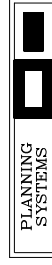
FIGURE NO. III-23

Robertson Ranch

CONCEPTUAL RESIDENTIAL ELEVATION, MISSION STYLE



Note: Conceptual only. Subject to additional review at Site Development Plan (SDP) review.



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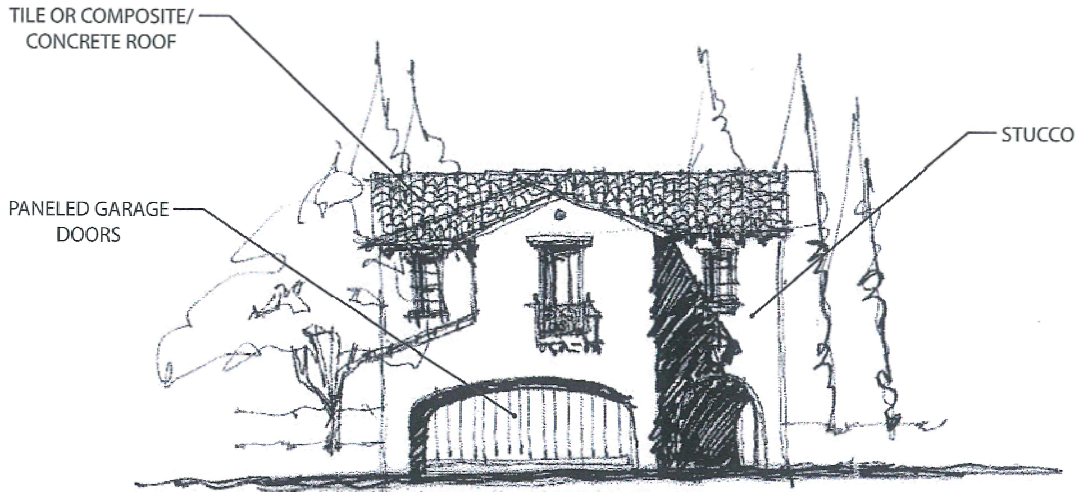
FIGURE NO. III-24

Robertson Ranch

MASTER PLAN

CONCEPTUAL MULTIFAMILY RESIDENTIAL ELEVATION

PAGE III-115



(A) PLAN 1: COURTYARD SIDE



(B) PLAN 2: STREET SIDE

Note: Conceptual only. Subject to additional review at Condominium Permit (CP) or Site Development Plan (SDP) review.

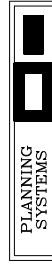
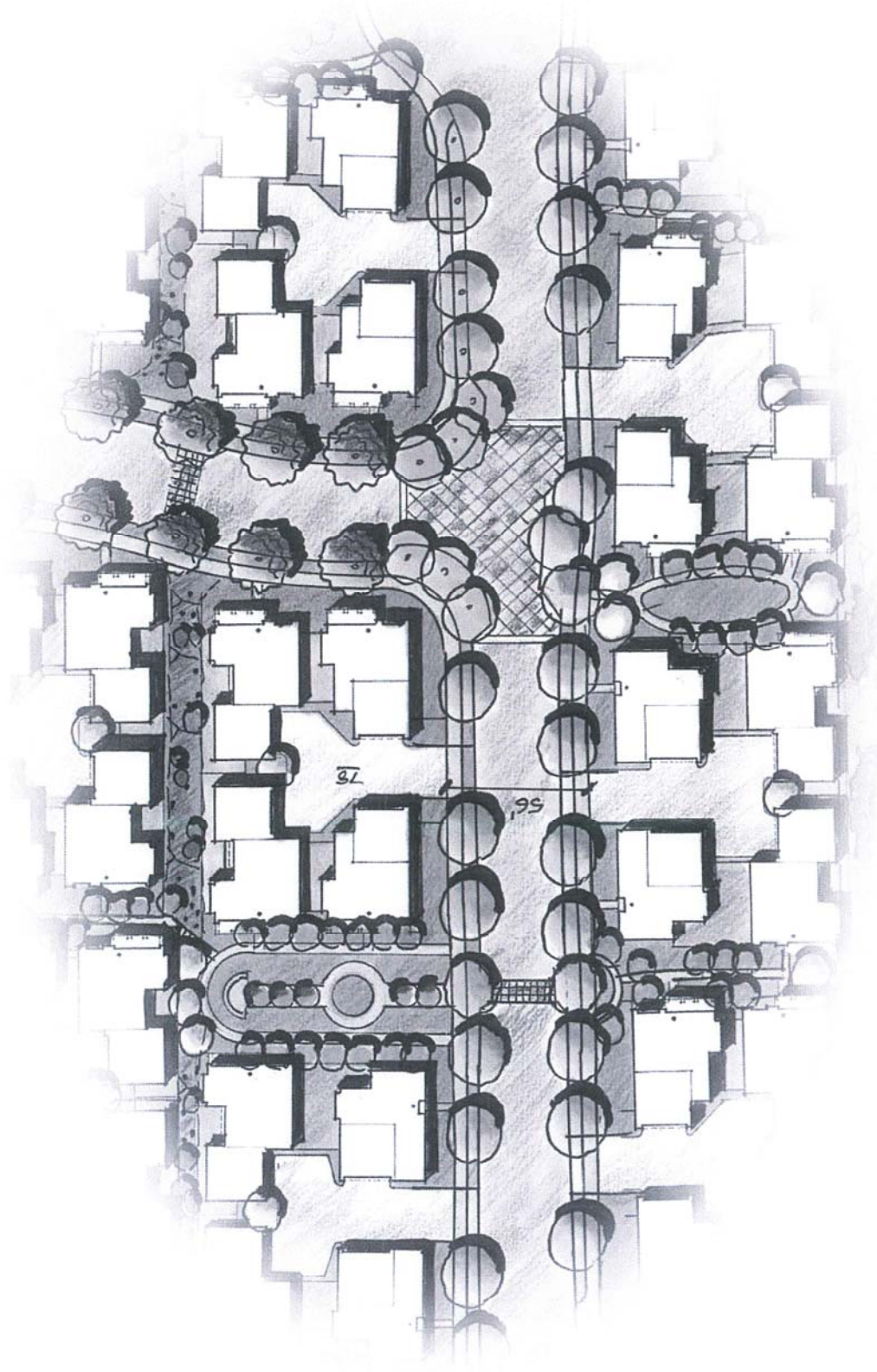


NOT TO SCALE

FIGURE NO. III-25

Robertson Ranch

CONCEPTUAL COURTYARD HOMES ELEVATION



NOT TO SCALE

FIGURE NO. III-26

CONCEPTUAL COURTYARD HOMES, CLUSTER SITE PLAN

Robertson Ranch

MASTER PLAN

PAGE III-117

Acceptable building materials include, but are not limited to:

- Wood siding, including rough sawn wood or shake siding
- Board and batten
- Concrete, including tinted and stamped concrete
- Concrete tile roofing
- Varying textures of stucco or plaster finish
- Stucco-covered block, including masonry walls
- Painted concrete block slump block walls
- Rock and stone (including veneers)
- Mission-tile roofing
- Brick and used brick, in natural browns, tans, beiges and subdued shades of red.

Discouraged materials including the following:

- Blue or green tile roofs
- Brightly painted steel roofs, excepting painted, steel accent trim, which is permitted
- Galvanized
- Fiberglass
- Painted brick and stone
- Aluminum or vinyl/plastic siding
- Asphalt shingle roofing

- b) **Colors:** Paints and stains should be subdued and limited primarily to soft pastels, neutral colors, grays and light to medium earth tones and should be appropriate for the architectural style. Selected contemporary accent colors and pure hues are encouraged when limited to moldings, doors, window frames, fascias, awnings, shutters, cornices and accent rim. Contrasting materials, textures and colors may be used to add emphasis to entry areas and significant architectural features. Wood may be treated with transparent stains or paints.
- c) **Building Mass, Form and Scale:** Residential buildings in the Robertson Ranch Master Plan, including attached multifamily and affordable housing units, should be designed low to the ground and blend in with their surroundings. The apparent mass of buildings can be reduced through the implementation of one or more of the following techniques:
- On rear elevations, offsetting planes shall be provided. These offsetting planes shall be a minimum of eighteen inches (18”) in depth between the forward most plane and the back plane.
 - Seventy-five percent (75 percent) of the homes must have a front door that is clearly visible from a street or courtyard.

- Use patio walls and balconies to break-up the monotony of exterior walls.
- Utilize projections and recesses to provide shadow and relief at exterior walls and roof areas.
- Combine one- and two-story architectural elements within facades. For mid-rise multifamily attached product types, distinction in levels through elevational changes, roofline variances, step-backs and other architectural relief is encouraged.
- Use two story elements in multifamily planning areas where practical.
- Utilize a variety of floor plans to create variations in elevations and rooflines.
- Use handcrafted details such as exposed rafter tails, knee-braces, columns, and multi-paned windows where appropriate to the architectural style.
- Provide overhead structures (porches, trellises, pergolas, etc.) at entries.
- Use varied roof forms, provide interest by jogging the roof lines, varying plate lines and roof heights, including pop outs and gabled roof forms. Use a variety of roof colors in each neighborhood.
- Maintain a strong indoor/outdoor relationship.
- Details should be carried throughout all building elevations.
- Recess windows and doors to provide depth. Accent trim and color- divided window lights and raised panels are examples of detailing that provide individuality and interest. Awnings are permitted, if they are consistent with the overall architectural style of the building. Metal awnings are prohibited.
- Fully integrate garage doors into the design of the architecture. They should be simple in design and recessed from adjacent walls. Accent colors may be used to complement the architecture and provide visual variety along streetscapes. Windows in garage doors are encouraged for a portion of each neighborhood. Recessed garages and side-entry garages are encouraged to further vary the streetscape.

- Use balconies to break up wall masses and to take advantage of views of the surrounding open space, ocean views and hillside areas. Materials should match those used on the main buildings.
 - Keep private walls and fences consistent with community wall themes and compatible with the architectural style of the buildings. Foreground plantings, vines, and espaliers are strongly encouraged to soften long stretches of walls and fencing.
 - Screen from public view mechanical equipment, such as air conditioning equipment, soft water tanks, gas meters and electric meters.
 - Where possible, conceal gutters and downspouts with architectural features. Gutters and downspouts should not be located in walls. If they must be exposed, they should be designed as a continuous architectural feature, painted to match the adjacent building surface. All flashing, sheet metal, vent stacks and pipes should be painted or colored to match the adjacent building surface.
 - When used, skylights should be designed as an integral part of the roof. Their location and color should be related to the building.
 - Solar panels are encouraged and should be integrated into the roof design, flush with roof slopes. Frames should be colored to complement the roof. Support solar equipment should be enclosed and screened from view.
 - Solar heating shall be used for pools in recreation areas.
 - Use patio trellises, pergolas and other exterior structures to soften building masses, provide shade and define spaces. As with main buildings, clean forms are encouraged, using materials and colors complementary to building architecture and project design themes.
- d) **Building Elevations:** Buildings facing streets, project entries, auto courts, and major open spaces will be seen from numerous angles. Therefore, they should be well-detailed and distinctively articulated. Special priority including architectural enhancements and articulation such as balconies, shutters, banding and window trim are recommended on rear and side building facades that can be seen above community walls adjacent to major public streets. Likewise, major rear and side building entrances on commercial and community facility structures, should receive treatment similar to front or main building entrances. In addition, long stretches of unbroken exterior walls are discouraged in favor of articulated elevations

with projections, recesses, windows, doors, and specialized architectural detailing.

- e) **Roofs:** Roofs should serve as major structural and architectural design elements. A variety of roof types are permitted and encouraged within the project. Roofs should be consistent with the neighborhood or product-type architectural concept and the style, materials and scale of the building. Roof overhangs are encouraged, as are solar panels and skylights, provided that they are designed as an integral part of the roof form.

As it relates to styles, a variety of roofs shall be permitted and encouraged, including hip, gable and shed roofs. Roof pitches of 3:12 to 6:12 are permitted. Mansard, Gambrel and flat roofs are not permitted on single family construction, except as accent elements where appropriate for the architectural style. Mansard roofs and small areas of flat roofs may be permitted on single family homes, multifamily construction, commercial, community recreation or community facility construction, provided that the use of a flat roof style is consistent with the architectural style of the building, and the majority of the roof includes a sloping condition consistent with the chosen architectural style. Flat roof areas should have a roof surface material colored to match the primary roofing material.

Roof heights and planes should vary to create interplay between the roof and the walls of the structure.

Acceptable roofing materials include, but are not limited to; clay, tile, and concrete tile and synthetic shakes. Tile shapes include S-Tile, Barrel, Flat, Slate, Italian and Low Profile. Unacceptable roofing materials include wood shakes and composite asphalt shingles.

Accessory structures should have roofs similar to or compatible with the primary or major structure they support. There is no minimum roof pitch required for accessory structures. Flat roofs on accessory structures are permitted.

Roofing trim materials should be of similar materials and complementary colors. Acceptable materials include clay and concrete tile. Composition, plastic and wood roofing materials are prohibited for aesthetic and fire safety reasons.

Roof vents and appurtenances should be painted to match the roof color.

All roof-mounted mechanical equipment shall be screened from view by parapets or architectural features.

- f) **Chimneys:** Chimneys and spark arrestors should act as major thematic forms and vertical elements in the architecture. Caps on chimneys should have low profiles; they should not be visually distracting. Acceptable building materials include stone veneer, brick (including used brick), stucco and wood.
- g) **Doors and Windows:** By varying the spacing, sizes, shapes, and locations of door and window openings in building facades, structures may be made more visually interesting and attractive. It is especially important to vary the placement of doors and windows on buildings located in close proximity to each other in the same development. In addition, windows and doors may be recessed into or projected out of structures to emphasize important areas of the building.

To further enhance the individual identity of each structure, pot shelves, window boxes and built-in planters may be utilized. However, all such containers must be easily accessible for plant maintenance.

Windows, frames, mullions and door frames shall be color coordinated with the rest of the building. Windows with divided light patterns shall be carried through on all building elevations, and a variety of divided light patterns should be used in each neighborhood as appropriate to the architectural style. Doors may be somewhat ornate and include inset panels, carvings and/or window panes.

- h) **Garages:** In order to de-emphasize the role of the garage in front elevations, side-entries, detached garages, and other “neo-traditional” treatments are encouraged. Garages set at rear of lots or use of an alley also is permitted. Garages should be constructed of materials compatible with the architectural style of the adjacent primary structure.
- i) **Porches, Arcades and Entryways:** Entrances to buildings should be clear and easily recognizable. Covered entrances, porches and arcades are desirable, because they serve to identify entrances and provide front-yard and side-yard elevational differences. Front entrances should be designed as significant architectural features. Porches and entryways may be used to visually break up large, monolithic buildings into smaller units, more in keeping with the desired human scale. Porches may be used on buildings of two or more stories as a transition from nearby one or two story structures. Porches may be constructed of wood, stucco, stone, brick and other similar materials. Decorative wrought iron railings are permitted and acceptable. Porches for single family residences shall have a depth of six feet and a minimum width of ten feet.

- j) **Balconies and Overhangs:** Balconies and overhangs are desirable elements of a building, because they provide architectural interest even when not serving a practical purpose. Balconies also are encouraged in multifamily units, because they provide residents with necessary outdoor areas and spaces. Balconies and overhangs add visually to a structure by breaking-up wall masses, offsetting floors and creating a sense of human scale. Balcony railings may be constructed of wood, masonry, decorative metal and/or stucco. Balcony railings may be solid, if desired. Accent tile may be used in moderate amounts. Pipe railings should not be used. In all cases, balconies, overhangs and arcades should be designed such that detailing, form, color and materials are similar and /or compatible to the main structure.

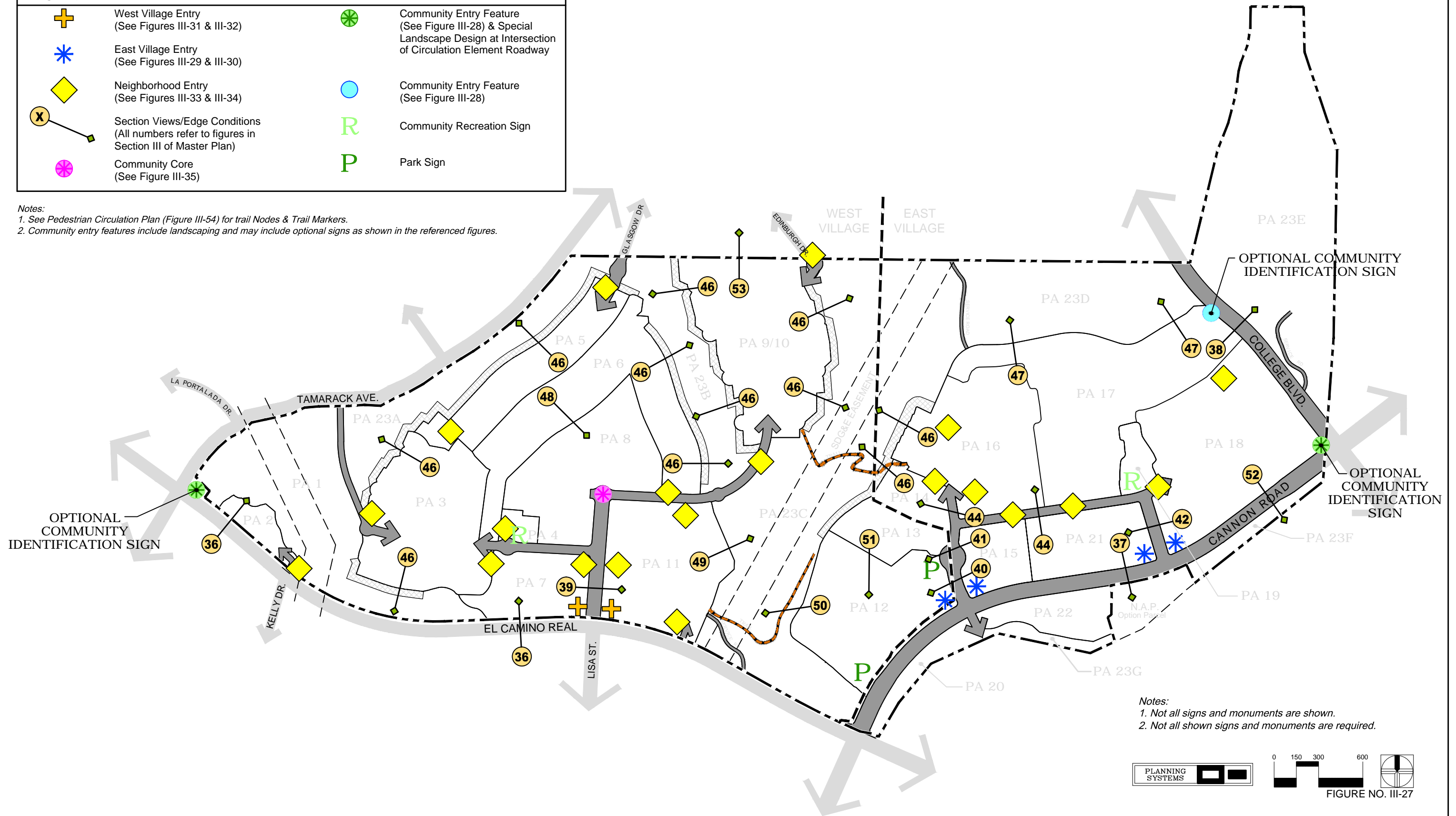
No balcony should protrude more than 8 feet on the front or side elevation and no above grade deck should protrude more than ten (10) feet from any rear wall of a residential structure.

- k) **Refuse Collection Areas:** Trash enclosures should be harmonious with the overall design theme or concept of the development. All trash enclosures should be constructed in an architectural style similar to adjacent structures and of compatible materials. The following provisions shall apply to all refuse collection areas and trash enclosures within the village.

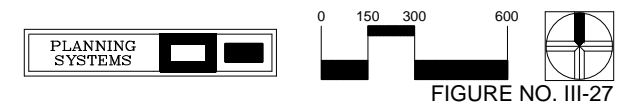
- Refuse collection areas or trash enclosures shall not be located within any required setback areas and shall be screened from off-site views by structures, solid walls or fences and/or landscaping. Refuse collections should be screened from views from any public street or adjacent residential areas.
- Refuse collection areas or trash enclosures should be conveniently accessible to the units/buildings they are designed to serve.
- Refuse collection areas in parks shall be screened by landscaping, walls, fences or other architectural features in such a manner as not to be visible from any public street or adjacent residential building.
- Refuse collection areas in residential neighborhoods should be screened with a five-foot high decorative solid fence or wall and have an opaque gate.
- The number of refuse collection bins provided shall meet all of the City of Carlsbad policies and codes.
- A trellis element should be used to screen views from second and third stories to trash areas.

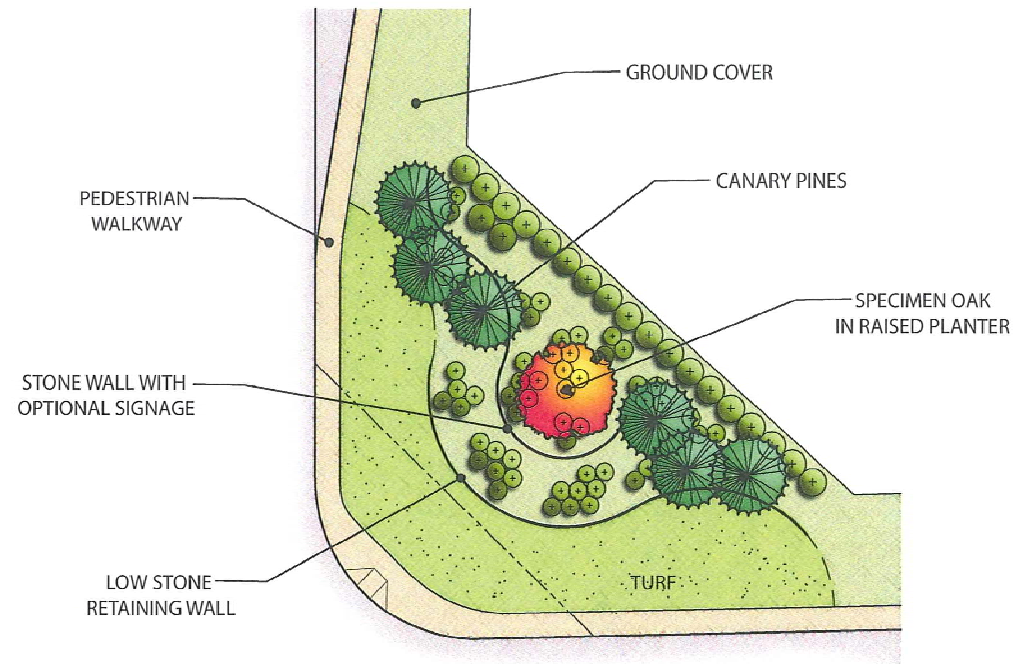
LEGEND	
	West Village Entry (See Figures III-31 & III-32)
	East Village Entry (See Figures III-29 & III-30)
	Neighborhood Entry (See Figures III-33 & III-34)
	Section Views/Edge Conditions (All numbers refer to figures in Section III of Master Plan)
	Community Core (See Figure III-35)
	Community Entry Feature (See Figure III-28) & Special Landscape Design at Intersection of Circulation Element Roadway
	Community Entry Feature (See Figure III-28)
	Community Recreation Sign
	Park Sign

Notes:
 1. See Pedestrian Circulation Plan (Figure III-54) for trail Nodes & Trail Markers.
 2. Community entry features include landscaping and may include optional signs as shown in the referenced figures.

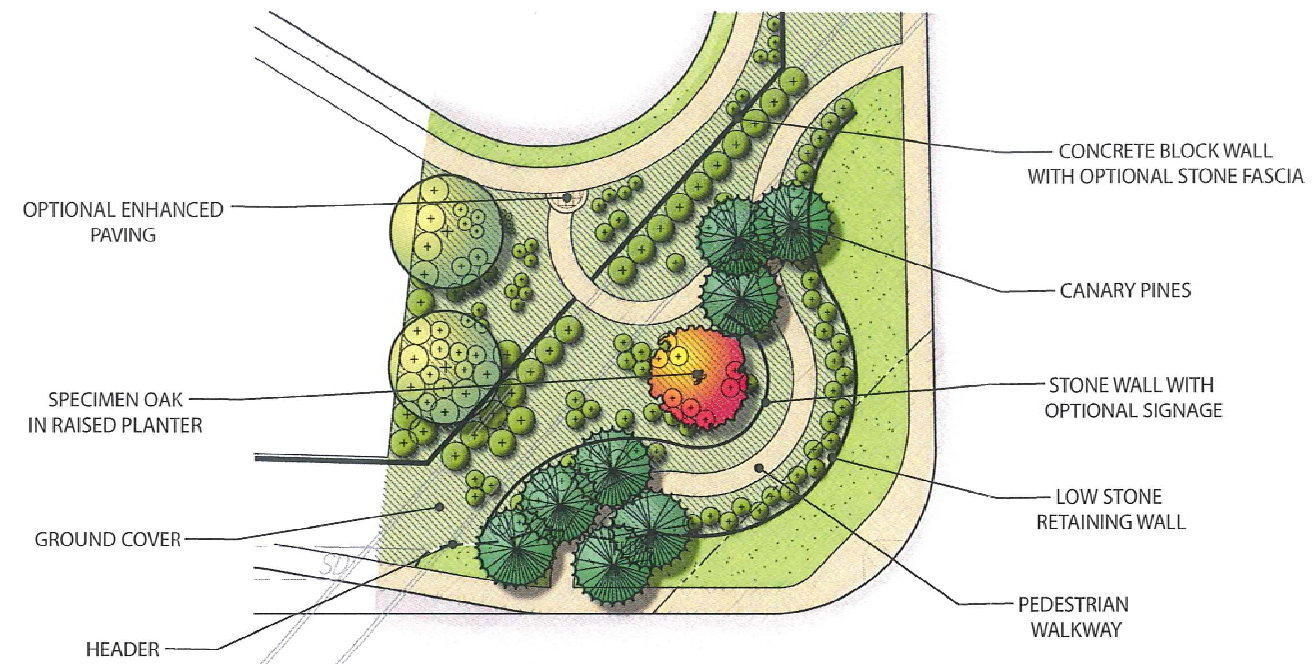


Notes:
 1. Not all signs and monuments are shown.
 2. Not all shown signs and monuments are required.

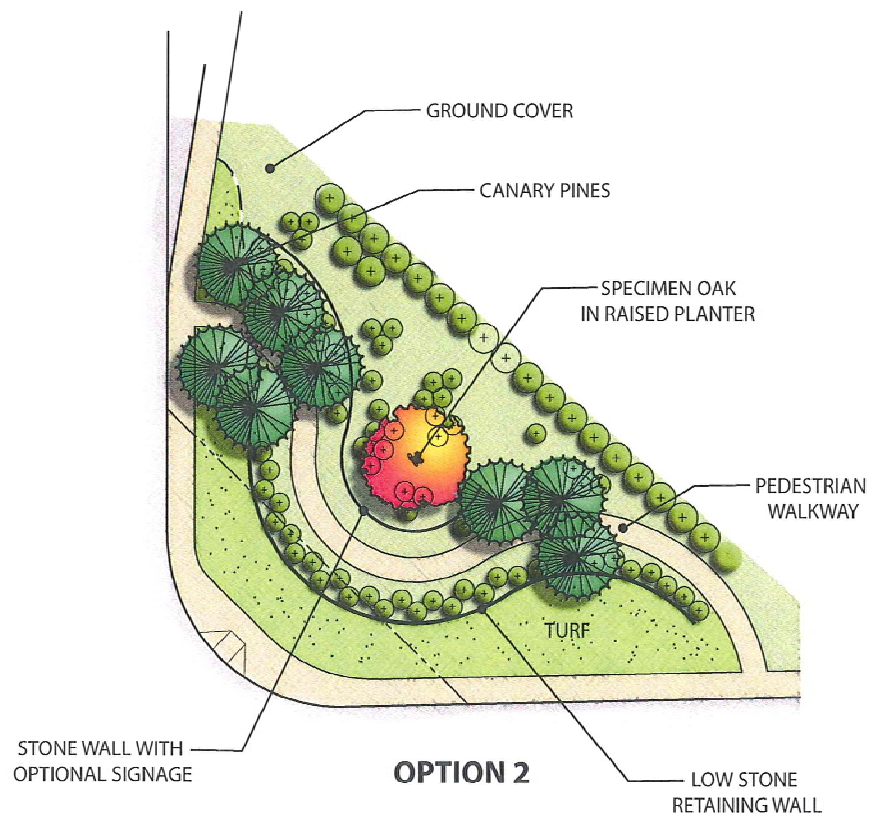




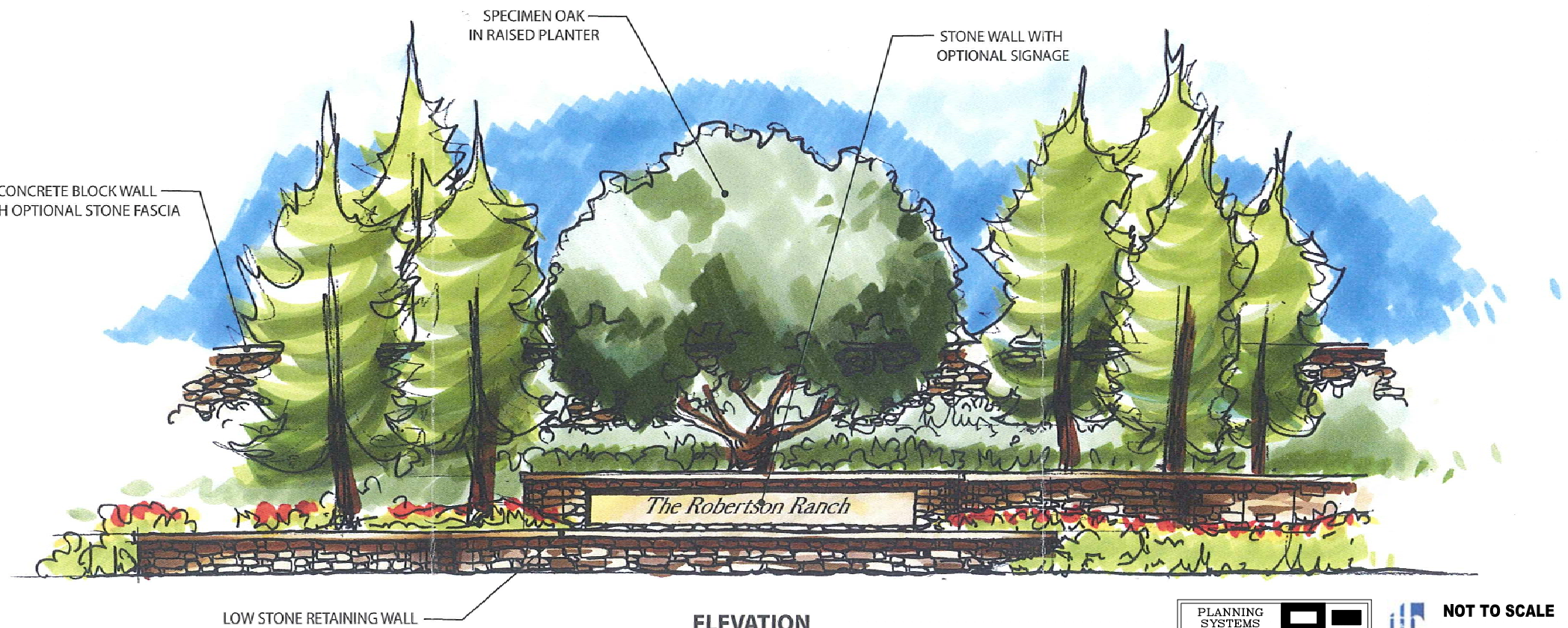
OPTION 1



CANNON ROAD & COLLEGE BLVD



OPTION 2



ELEVATION

Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-28

Robertson Ranch

MASTER PLAN

COMMUNITY ENTRY FEATURE

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4. Landscape Guidelines

a) Introduction

The Architectural Design Guidelines allow for the creation of two thematically related, yet distinct villages, through its palette of permitted architectural styles. Similarly, the *Key to Entries, Signs and Edge Conditions* (Figure III-27), *Community Entry Feature* (Figure III-28), and these Landscape Guidelines create a coordinated design theme for the project by utilizing consistent plant and hardscape material for both the East and West Villages.

The intent of the landscape design theme is to incorporate a mountain resort character into the various landscaping components throughout the community. Through careful integration of hardscape and landscape elements, visitors and residents alike will enjoy the luxurious ambience and picturesque surroundings afforded by the natural open spaces that surround and help define the community. Upon buildout of the community, it is intended that the Robertson Ranch Master Plan will symbolize the spirit of adventure and recreation of an elegant mountain town.

The Landscape Guidelines are intended to be flexible enough to allow each village and each neighborhood within a village to express its individual personality. These Landscape Guidelines provide the blueprint for the implementation of the project's landscape design concept, which in turn, creates the primary thematic linkage between the East Village and the West Villages of the Robertson Ranch Master Plan.

Preliminary or Conceptual landscape plans shall be submitted for each planning area concurrent with applications for discretionary development approvals for that planning area. All landscape plans shall be prepared in accordance with the City's Landscape Manual unless specified otherwise in this chapter or as required by the design criteria specified in this Master Plan as reviewed and approved through the City's Landscape Plan review and approval process. All new construction shall be landscaped in accordance with the City approved Landscape Plan for that planning area and shall be subject to City inspection of adequate maintenance levels.

Trees, along with walls and fences are the dominant thematic elements used to create a logical sense of order, continuity and contrast throughout the community. Trees will be pre-selected to provide the necessary guidance to the various parties responsible for implementing and administering the landscape program. Additional species may be included in final landscaping plans.

b) Landscape Design Elements

The following is a list of landscape elements of the Master Plan. These elements shall be detailed at the submittal of tentative map, site development plan or other discretionary permit for each planning area. The Landscape Design is based on the vision, goals and objectives of the Robertson Ranch Master Plan.

1) Streets (dominant and accent trees): Landscaping of streets will provide continuity throughout the community and create the appropriate link with adjacent areas. Street trees within the Robertson Ranch Master Plan area will reflect the “community design theme” of an informal landscape design and clusters of trees and be selected from the appropriate tree list.

Street tree placement and design may include a single street tree used along all the streets in a neighborhood, or may include a dominant street tree along with accent street trees used at strategic points along the street, such as clustered at intersections or at curves to break up long uninterrupted lines.

- El Camino Real will continue the existing tree patterns established by the City of Carlsbad. The street tree species selection for El Camino Real shall be as approved by the Planning Division.
- Within the Robertson Ranch Master Plan boundaries, Cannon Road and College Boulevard shall be completed and landscaped according to this section.
- Tamarack Avenue is fully landscaped within the Right of Way and slopes. Additional landscaping will be limited to the buffer areas designed to screen Planning Area 1 and the RV Storage facility.

2) Planning area (theme trees): Each planning area may have its own distinctive theme trees reflective of its plant community and location.

3) Entries (accent trees)

Entries are in three categories:

- East and West Village Project Entry
- Neighborhood Entry
- Community Entries which occur at the intersections of Circulation Element Roadways

All entries will be anchored by specimen accent trees arranged in informal groves or clusters. Accent trees will be used to contrast with designated street trees. East and West Village Project Entry accent trees and Community Entry trees will be pre-selected. The neighborhood entry trees will be selected by the developer from an approved list included in Section III.B.4.(d) of the Master Plan (subject to approval by the City).

4) Focal accent points: Flowering accent trees may be used at focal points, such as neighborhood entries, recreation areas and outdoor gathering spots to provide distinctive contrast.

5) Slopes: Permanent landscaping for slopes will be designed to soften the appearance of the slope and to visually soften the transition between slope and pad areas. Erosion control shall be provided as applicable and required by the City's Landscape Manual. Plantings shall be chosen from the appropriate landscape zone while complementing the applicable plant community and maintaining view opportunities.

6) Planting Along the North side of Cannon Road: An 84-inch storm drain is proposed along the north side of Cannon Road, approximately 0.75 feet north of the Right of Way. In order to prevent a conflict between landscaping elements and the storm drain, planting of trees within the first 10 feet north of the right-of-way is prohibited. The remaining area between 10-foot restricted zone and the property line may be landscaped with trees, shrubs and groundcovers, in accordance with the landscape planting palette.

7) Landscape Adjacent to Open Space: Only non-invasive species shall be used as landscaping adjacent to Open Space elements. A Fire Fuel Modification Zone consisting of drought-tolerant, fire resistant plants will be implemented adjacent to the open space edges along with re-vegetated native species such as coastal sage scrub. Clusters of trees and boulders, and rural natural landscaping techniques shall be used for transition areas, while maintaining a refined appearance.

c) **Entries and Monumentation**

Entry monuments and features serve several important purposes, and careful consideration has been given to the design of Community, Village, and Neighborhood entries. The intent of conceptual project monumentation is to create visual identification of the project, establish a hierarchical order within the community and provide unifying design accents within the community. The actual location and design of all project entries, walls, and fencing shall be established through the conceptual landscape plans of the appropriate tentative maps, site development plans or other discretionary applications. The *Key to Entries, Signs and Edge Conditions*, Figure III-27, shows conceptual locations of Community Entry Features for the project, Village Entries for the East and West Villages and Neighborhood Entries for the individual planning areas within the Master Plan. Some or all of the entry monumentation shown may not be constructed, or may be constructed in locations other than those shown. The final locations of entry statements shall be indicated on the preliminary or conceptual landscape plans prepared as part of a Tentative Map, Planned Unit Development Permit, or Site Development Plan approval process required for each Planning Area. Allowable sign area shall be pursuant to CMC Section 21.41.095.

Described below are the landscape and hardscape design components envisioned for each type of entry within the Master Plan. The design and architectural elements of all entries shall be compatible and consistent with the Master Plan's overall thematic elements. Each entry statement consists of a combination of signage, lighting and

landscaping. Detailed descriptions of the signage and lighting standards are located in Sections k (*Signs*) and l (*Lighting*), of this Chapter.

(1) *Community Entry Features*

Community Entry Features occur at the intersections of Circulation Element roadways. Community Entry Features consist of enhanced landscaping and optional signage which create identifiable and visually pleasing intersections where scenic corridors cross or at key locations along the boundaries of the Master Plan. Community Entry Features may occur at four locations within the Master Plan: 1) at the intersection of El Camino Real and Cannon Road; 2) at the intersection of El Camino Real and Tamarack Avenue; 3) at the intersection of College Boulevard and Cannon Road, and along Cannon Road at the northeast corner of the East Village. Community Entry Features will enhance the overall community design concept by incorporating a combination of stone wall, and an informal planting of specimen and theme trees. Except at the intersection of Cannon and El Camino Real, the Community Entry Feature may include an optional decorative sign designed as an integral part of the stone wall.

(2) *Village Entries:*

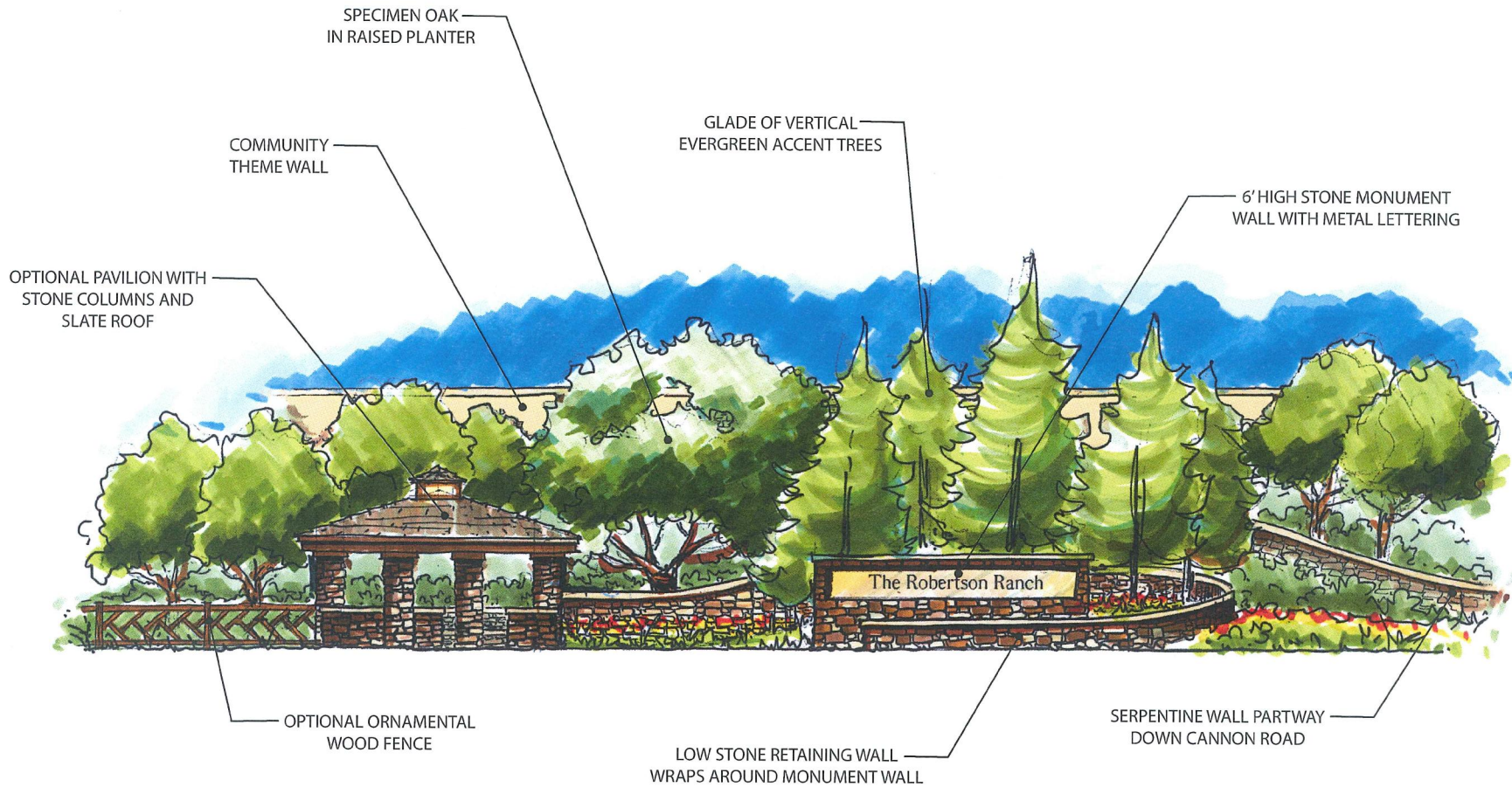
The Robertson Ranch Master Plan provides each of the two villages with optional Village Entry statements as well as the opportunity for additional Neighborhood Entry statements. Each Village Entry is intended to utilize plant palettes and hardscape materials which enhance the implementation of the landscape design theme of the associated village.

East Village Entry:

The East Village Entries may be located at the intersection of Street “A”, and at Street “O” and Cannon Road. The East Village Entry is illustrated on Figure 29, *Conceptual East Village Entry Elevation* and Figure III-30, *Conceptual East Village Entry Plan*. In addition to the East Village Entry features, Streets “A” and “O” also will include landscaped boulevards which will terminate at a traffic circle designed to enhance the aesthetic experience of visitors to the community. These components identify Streets “A” and “O” as focal points within the East Village, and enhance the pedestrian orientation of the Master Plan.

West Village Entry:

The West Village Entry is located at the intersection of El Camino Real and Street “Z” (between Planning Areas 7 and 11), and is conceptually illustrated on Figure III-31, *Conceptual West Village Entry Elevation*, and Figure III-32, *Conceptual West Village Entry Plan*, respectively.



Source: Howard & Associates

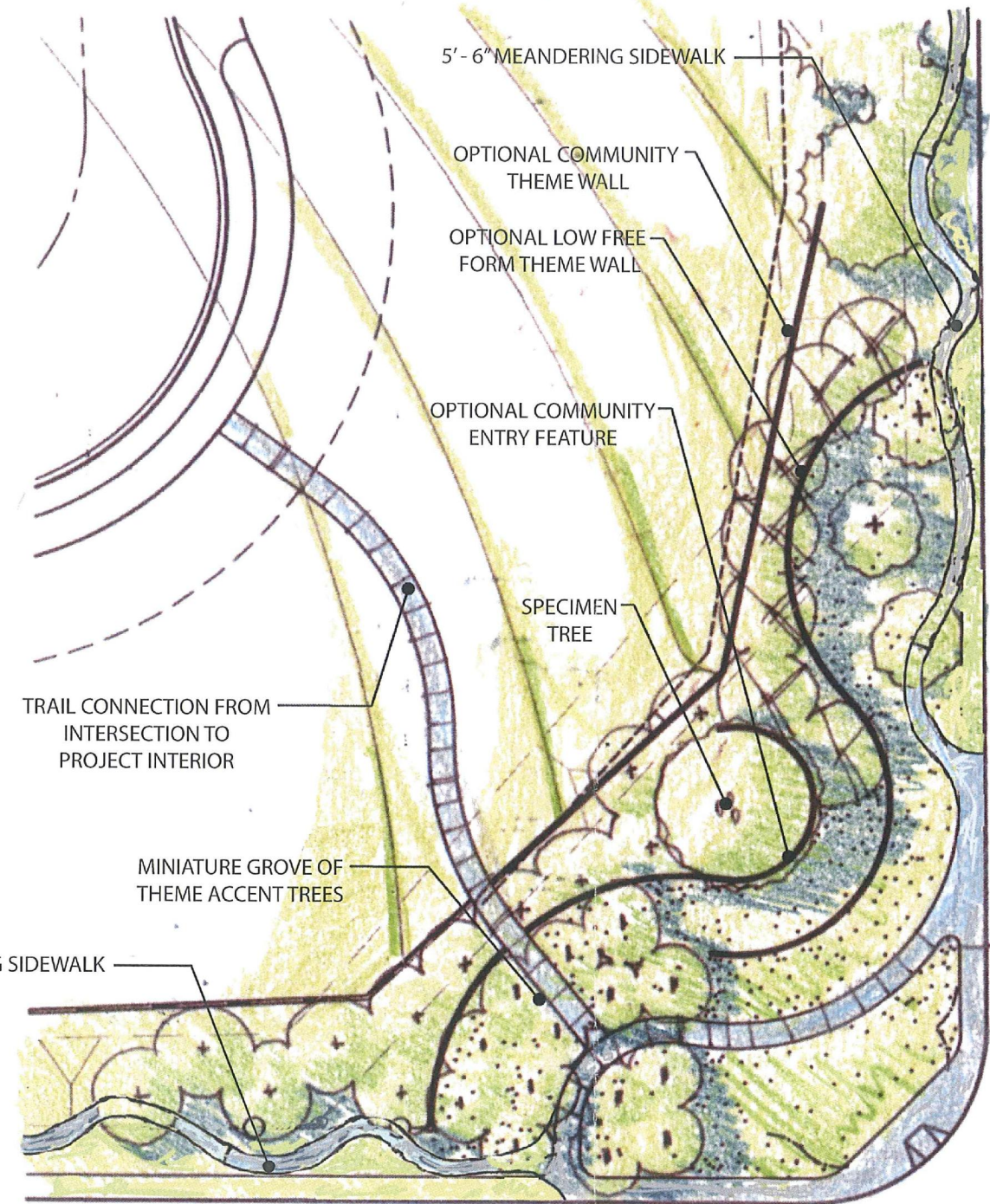
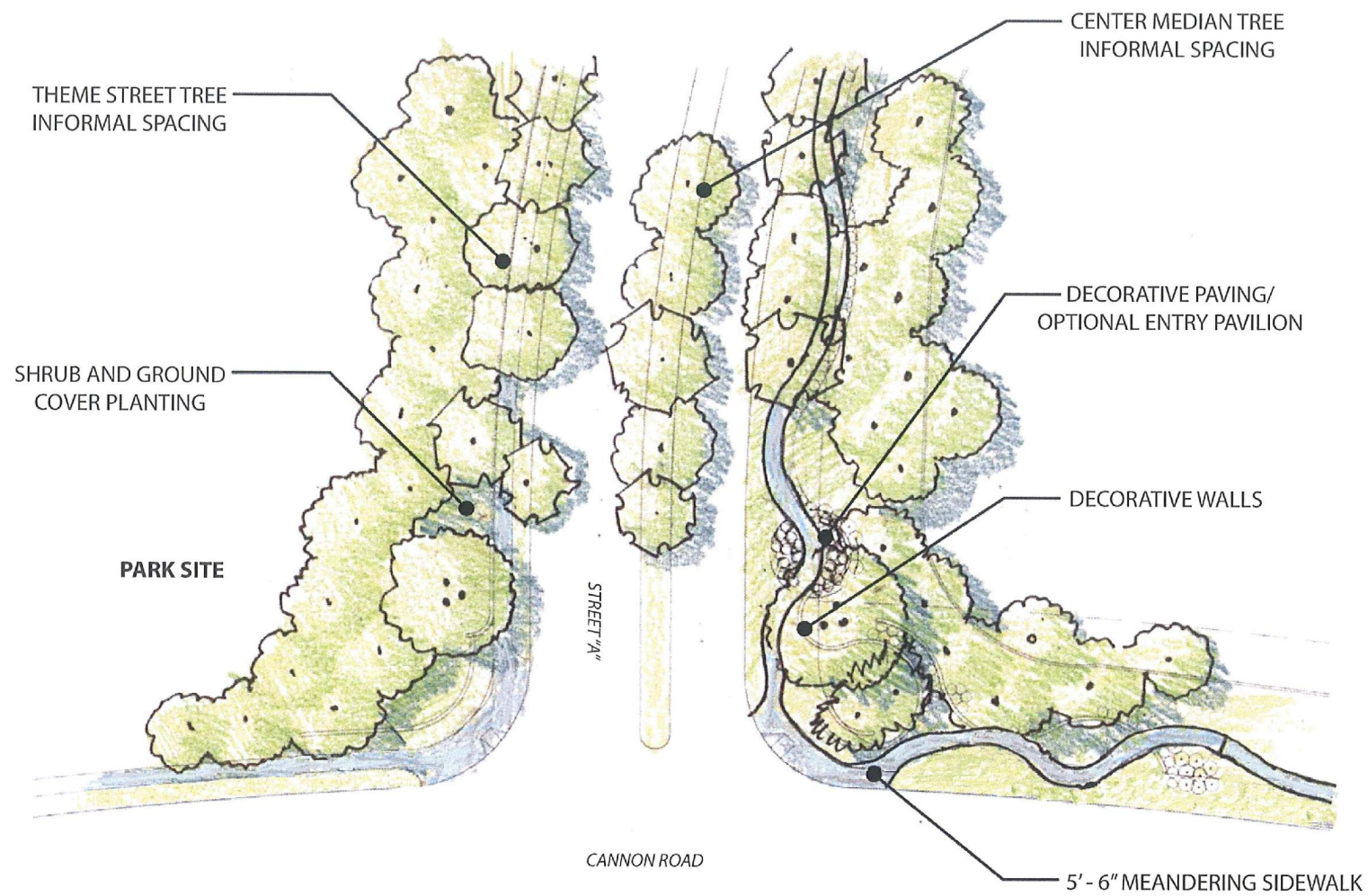


NOT TO SCALE

FIGURE NO. III-29

Robertson Ranch

CONCEPTUAL EAST VILLAGE ENTRY ELEVATION



Source: Howard & Associates



NOT TO SCALE

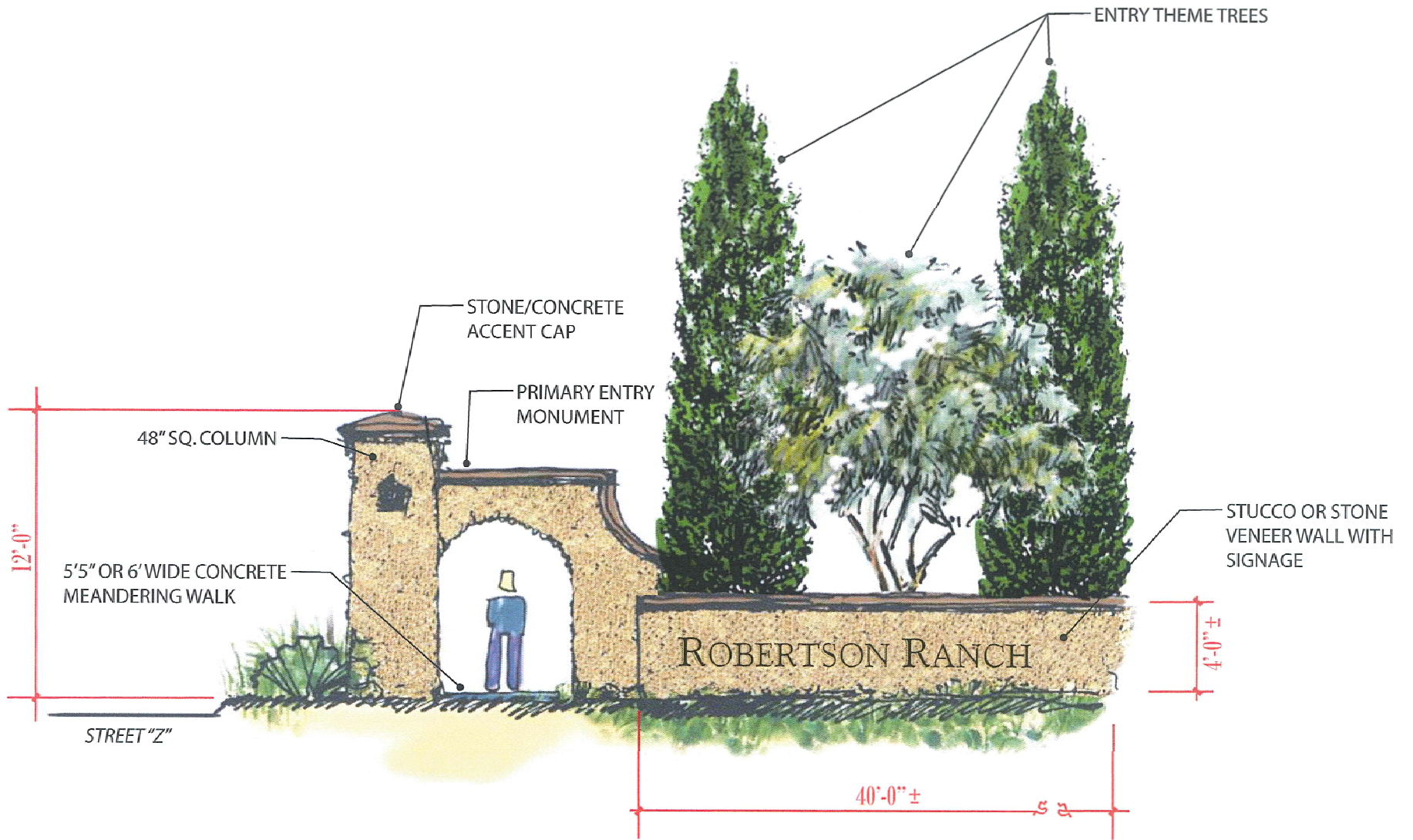
FIGURE NO. III-30

Robertson Ranch

MASTER PLAN

CONCEPTUAL EAST VILLAGE ENTRY PLAN

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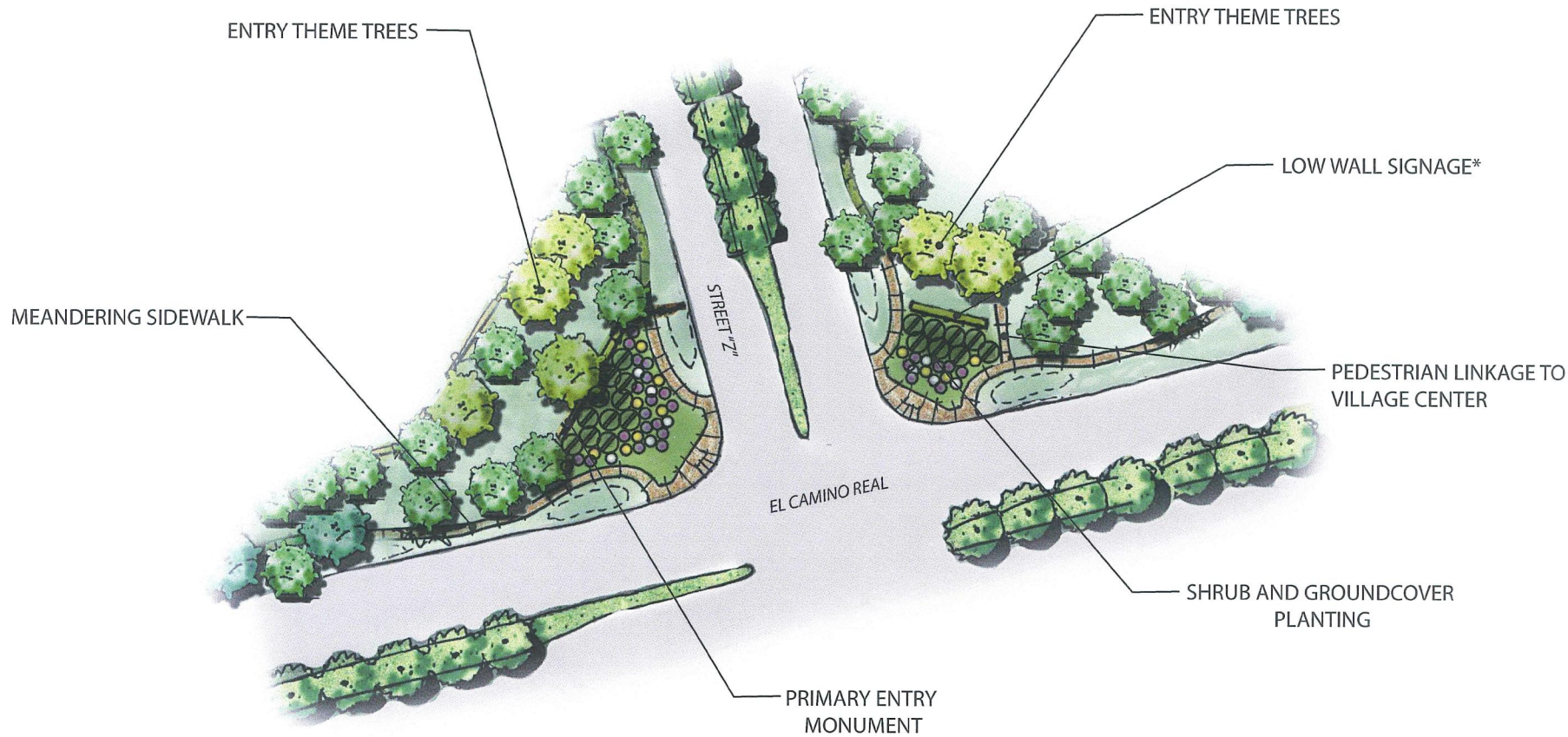


NOT TO SCALE

FIGURE NO. III-31

Robertson Ranch

CONCEPTUAL WEST VILLAGE ENTRY ELEVATION



**Note: Commercial signage may be provided in accordance with a commercial signage program which shall be provided at the time of development applications for Planning Area 11.*

Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-32

Robertson Ranch

MASTER PLAN

CONCEPTUAL WEST VILLAGE
ENTRY PLAN

PAGE III-133

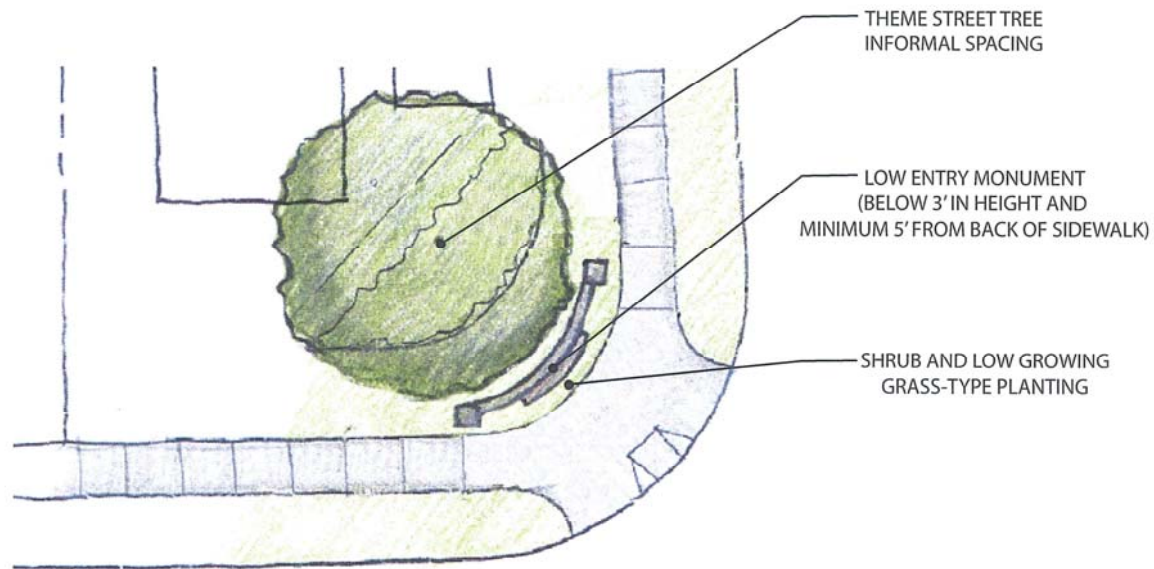
(3) *Neighborhood Entries:*

Neighborhood Entry statements may be provided where they can be utilized to identify a related grouping of streets and homes. Neighborhood Entries should convey the overall Village theme and a coherent community identity by selectively repeating, at a less intense scale, the Village Entry elements. The walls of the Neighborhood Entry statements will connect to privacy, view or combination walls at the sides or back of residential lots, as appropriate and necessary. The foreground will be planted with colorful shrubs and ground cover. (Figure III-33, *Conceptual Neighborhood Entry Plan* and Figure III-34, *Conceptual Neighborhood Entry Elevation*, provide illustrations of the optional Neighborhood Entries. Neighborhood Entry statements, when proposed, shall be incorporated into a Planning Area's required landscape plan and would be provided by the developer of the affected Planning Area. Grading plans shall also show these walls to accommodate sight distance considerations. Each residential Planning Area may have Neighborhood Entries at the primary entrance point(s) into the development.

Neighborhood Entries for the West Village may be provided at the entrances into the community via Kelly Drive, La Portalada Drive, Glasgow Drive, and Edinburgh Drive. In addition, Neighborhood Entries also may be provided at the entries into the individual neighborhoods or Planning Areas. Figure III-27, *Key to Entries, Signs and Edge Conditions*, depicts the various locations of the optional Neighborhood Entry statements throughout the community.

(4) *Community Core:*

The northern end of Street "Z" provides a prominent visual backdrop and an opportunity to create an exciting arrival point and public space at the center of the West Village. This entry statement would be located where the major land uses of the West Village come together, establishing a community focal point. The Community Core is conceptually illustrated by Figure III-35, *Conceptual Community Core Plan*. As shown, a roundabout on Street "Z" will implement a traffic-calming theme. Stands of trees related to the West Village overall landscape theme will be planted at this location, with shrub plantings used as the under story and the foreground color provided by flowering shrubs and perennials. Specimen size trees of 36-inch box or larger will be used in the core area. Street "Z" provides a 20-foot landscape area on either side of the street which will include a 6-foot meandering sidewalk and 14 feet of tree and shrub planting. Street "Z" also has a 16-foot landscaped median to further add to the informal street tree design.



**Note: Precise location subject to review of discretionary applications.*

TYPICAL (WEST AND EAST VILLAGE)



NOT TO SCALE

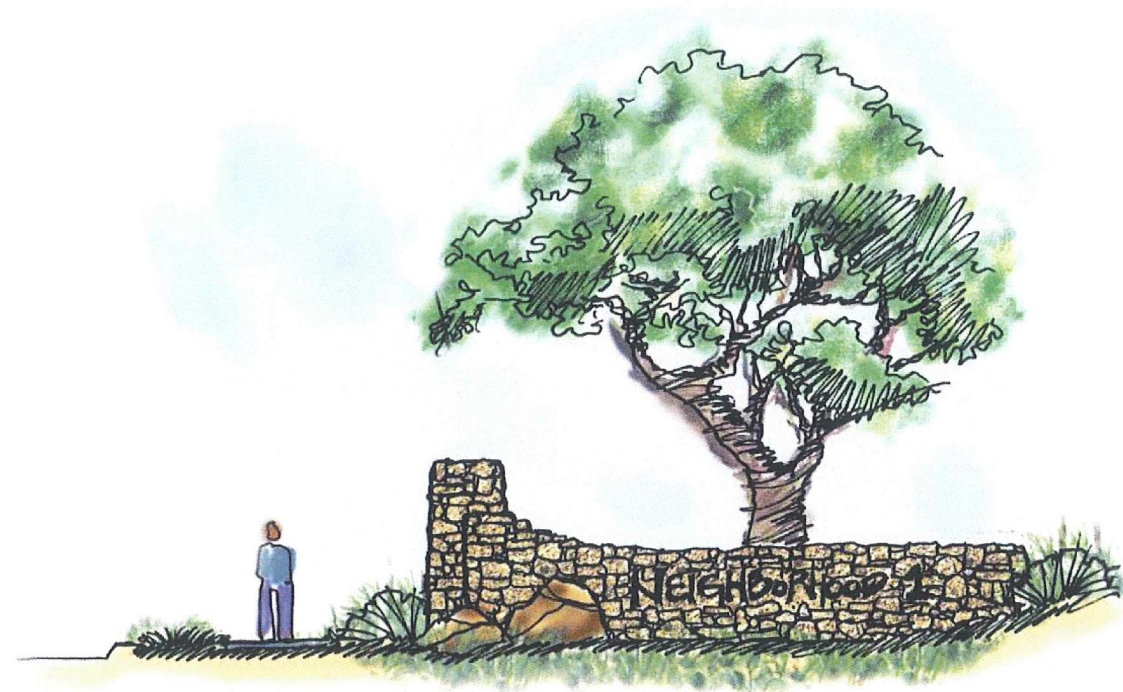
FIGURE NO. III-33

Robertson Ranch

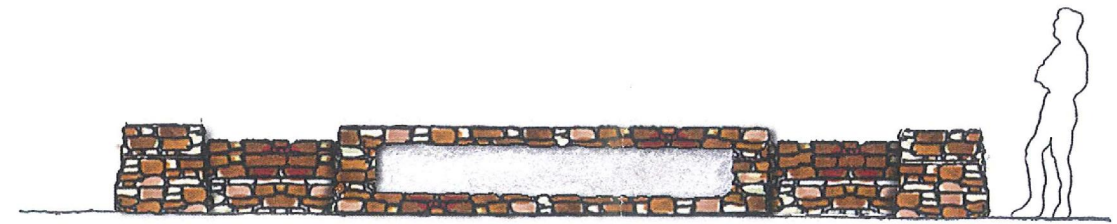
MASTER PLAN

CONCEPTUAL NEIGHBORHOOD ENTRY PLAN

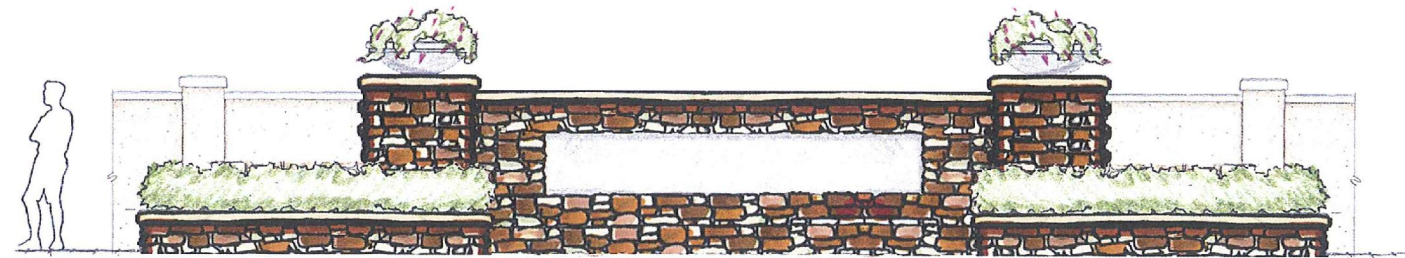
PAGE III-135



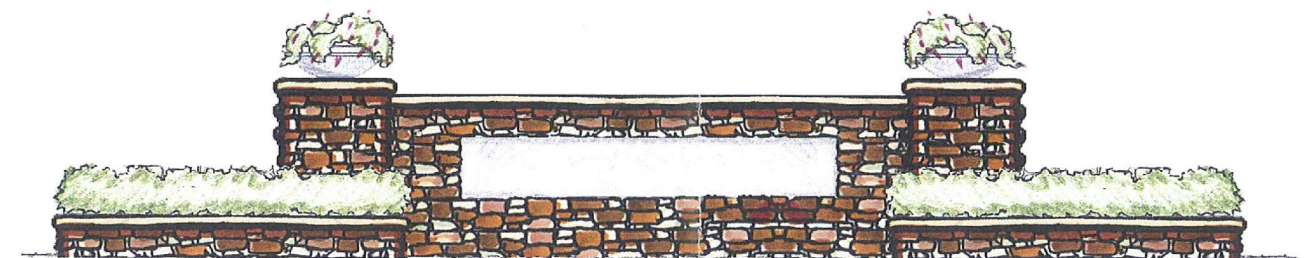
WEST VILLAGE



EAST VILLAGE - OPTION A



EAST VILLAGE - OPTION B



EAST VILLAGE - OPTION C

Source: Howard & Associates



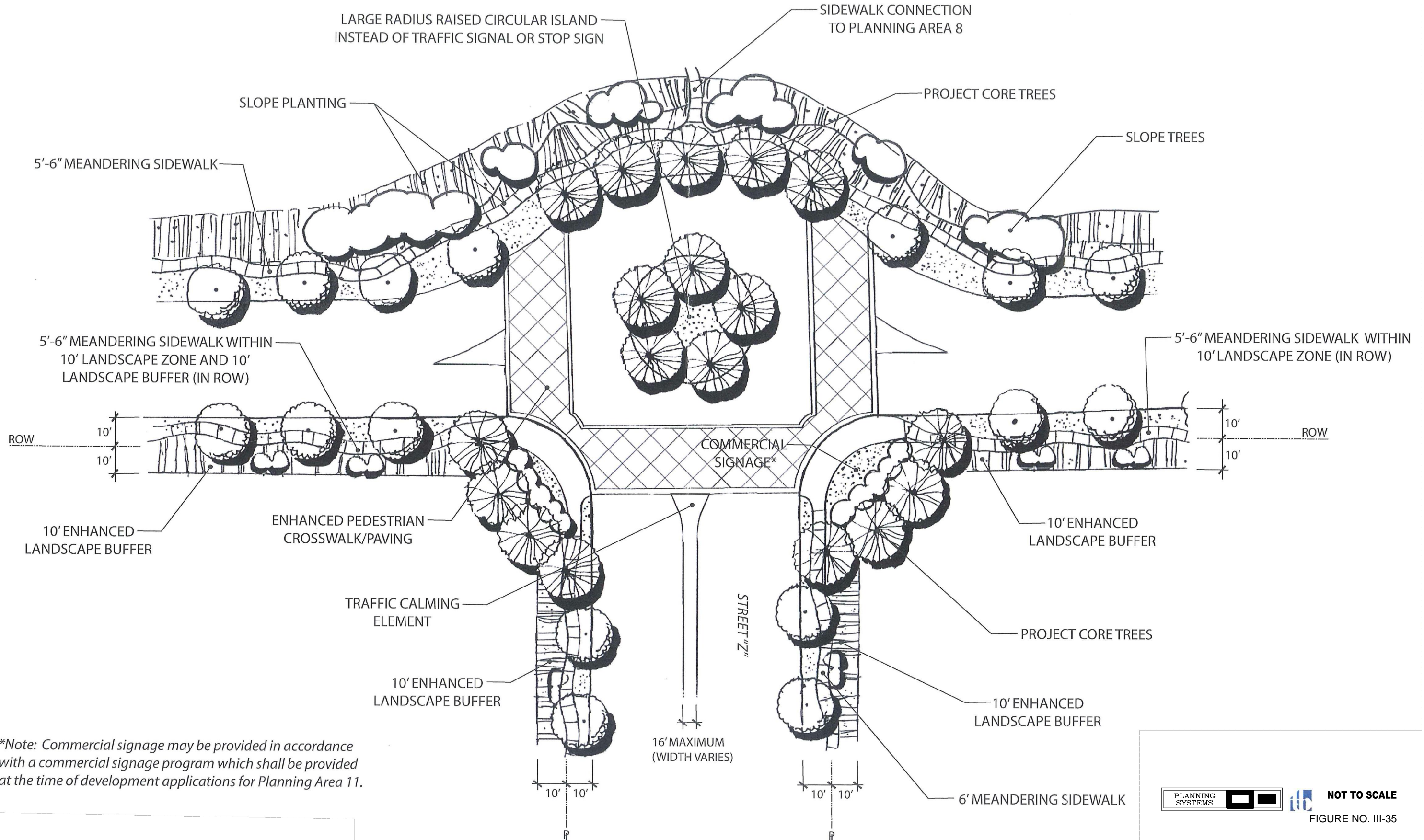
FIGURE NO. III-34

Robertson Ranch



MASTER PLAN

CONCEPTUAL NEIGHBORHOOD
ENTRY ELEVATION

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*Note: Commercial signage may be provided in accordance with a commercial signage program which shall be provided at the time of development applications for Planning Area 11.

PLANNING SYSTEMS   **NOT TO SCALE**
 FIGURE NO. III-35

A community core also exists at Streets “A” and “O” of the East Village, where richly landscaped boulevards, medians, and traffic circles/roundabouts will be provided to identify these locations as a destination within the community.

Figure IV-2, *Road Cross Sections*, illustrates the design of these features.

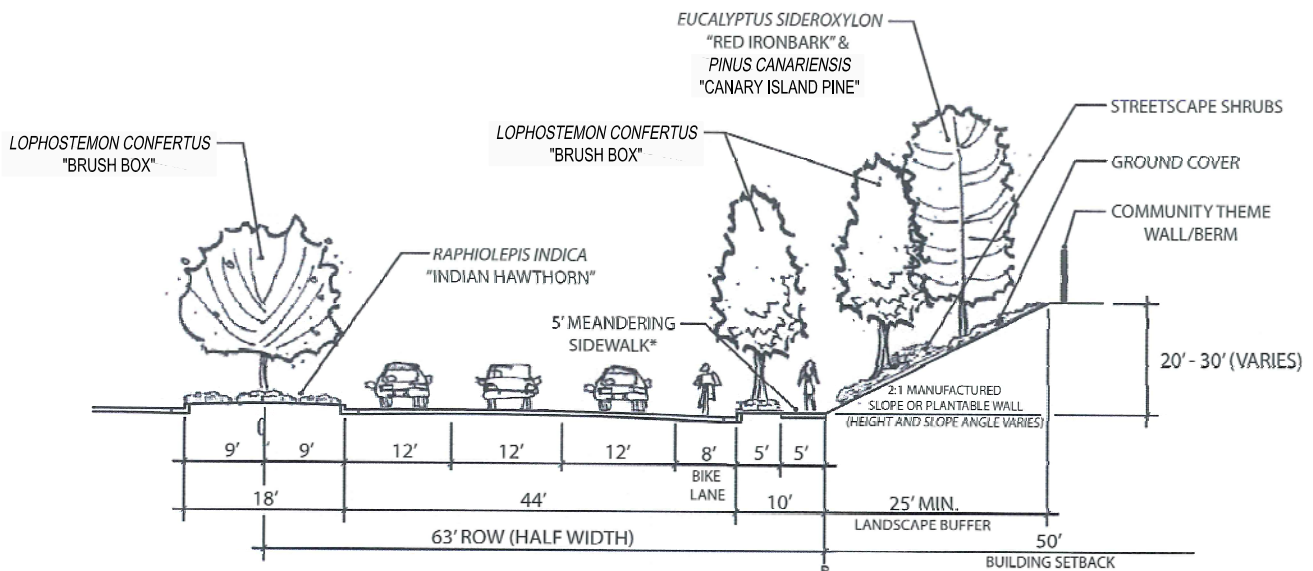
d) **Community Streetscapes**

The streetscape scene and parkway design is composed of the relationship between buildings, structures, street scale, adjacent views/vistas, signs, landscaping and street furnishings. Design of street and parkway landscaping shall be determined at the tentative map stage or at the time of application for other discretionary applications for each planning area.

A hierarchy of landscape development zones for perimeter, interior and neighborhood streetscapes is planned for both the West and East Villages. Provided below is a description of the landscape treatments and conceptual streetscape illustrations proposed for portions of El Camino Real, College Boulevard and Cannon Road, Street “Z”, Street “A”, Street “O,” Street “Y,” collector streets and local residential streets. Following the descriptions of the landscape treatments for each streetscape, a recommended planting palette is provided. The planting palettes have been selected to ensure that the overall integrity of the landscape concept is effectively implemented throughout the stages of project development. Note that tree species vary in the effect their root systems may have on adjacent sidewalks, roadways and structures. Consideration should be given when locating trees to avoid potential long-term problems with tree roots, but the City will have final approval for clearances when public facilities may be affected.

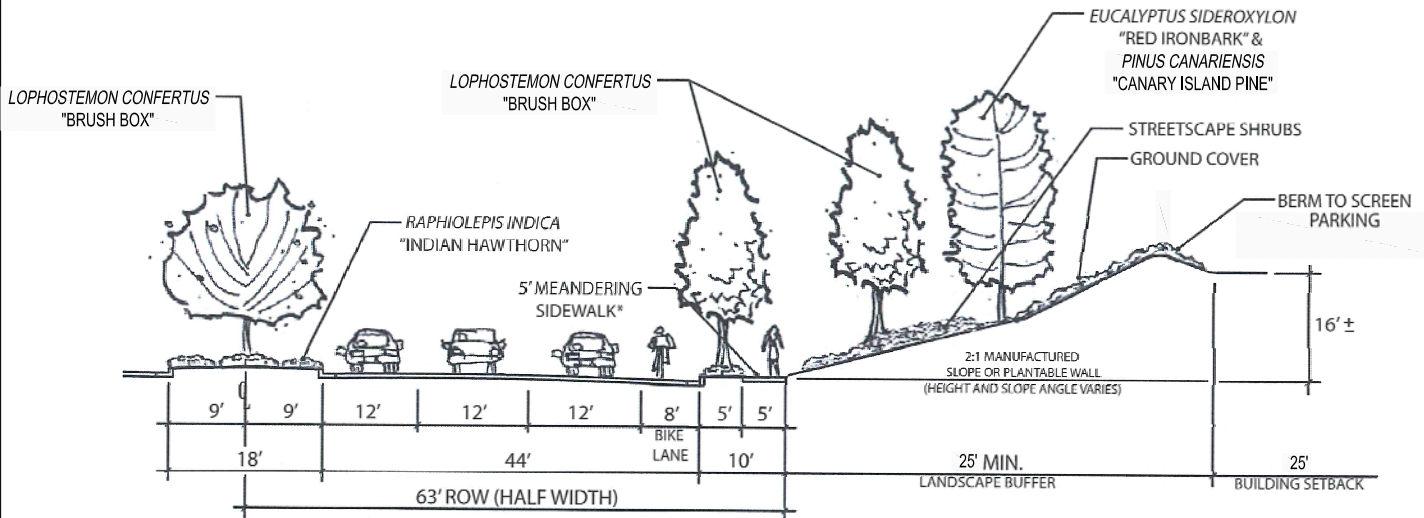
GENERAL PLAN ROADWAY STREETSCAPES

The streetscapes for El Camino Real, Cannon Road and College Boulevard are illustrated on Figures III-36 through III-38, *General Plan Roadway Streetscape – El Camino Real*, *General Plan Roadway Streetscape – Cannon Road*, and *General Plan Roadway Streetscape – College Boulevard*. Those portions of College Boulevard and Cannon Road within the project boundaries have been partially constructed as part of the Calavera Hills project, with the final improvements completed as part of the Robertson Ranch Master Plan. Additionally, Tamarack Avenue is fully improved and landscaped along the projects western boundary and no additional improvements or landscaping is proposed as part of this project except those needed to provide vehicular or pedestrian access to the adjacent planning areas, bus stop improvements, and screening of the development areas (refer to Figure III-57).



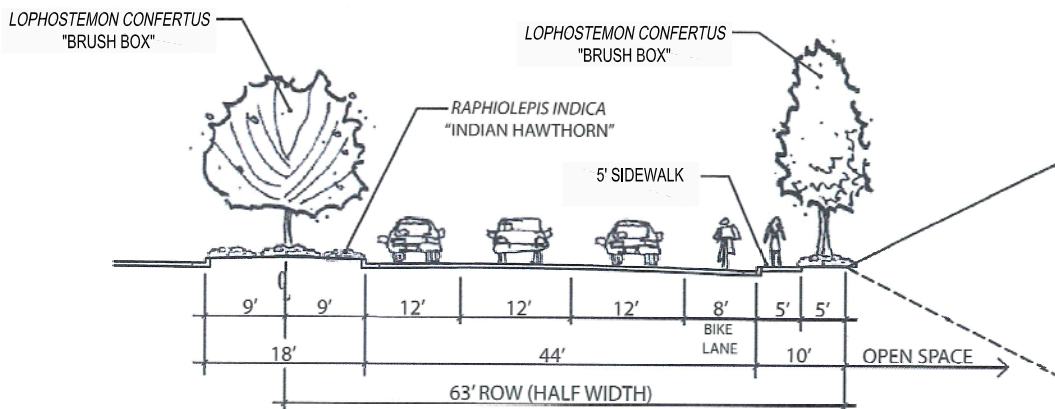
EL CAMINO REAL (NEXT TO RESIDENTIAL)

* SIDEWALK MAY MEANDER INTO LANDSCAPE BUFFER WITHIN PEDESTRIAN ACCESS EASEMENT



EL CAMINO REAL (NEXT TO COMMERCIAL)

* SIDEWALK MAY MEANDER INTO LANDSCAPE BUFFER WITHIN PEDESTRIAN ACCESS EASEMENT



EL CAMINO REAL (NEXT TO OPEN SPACE)



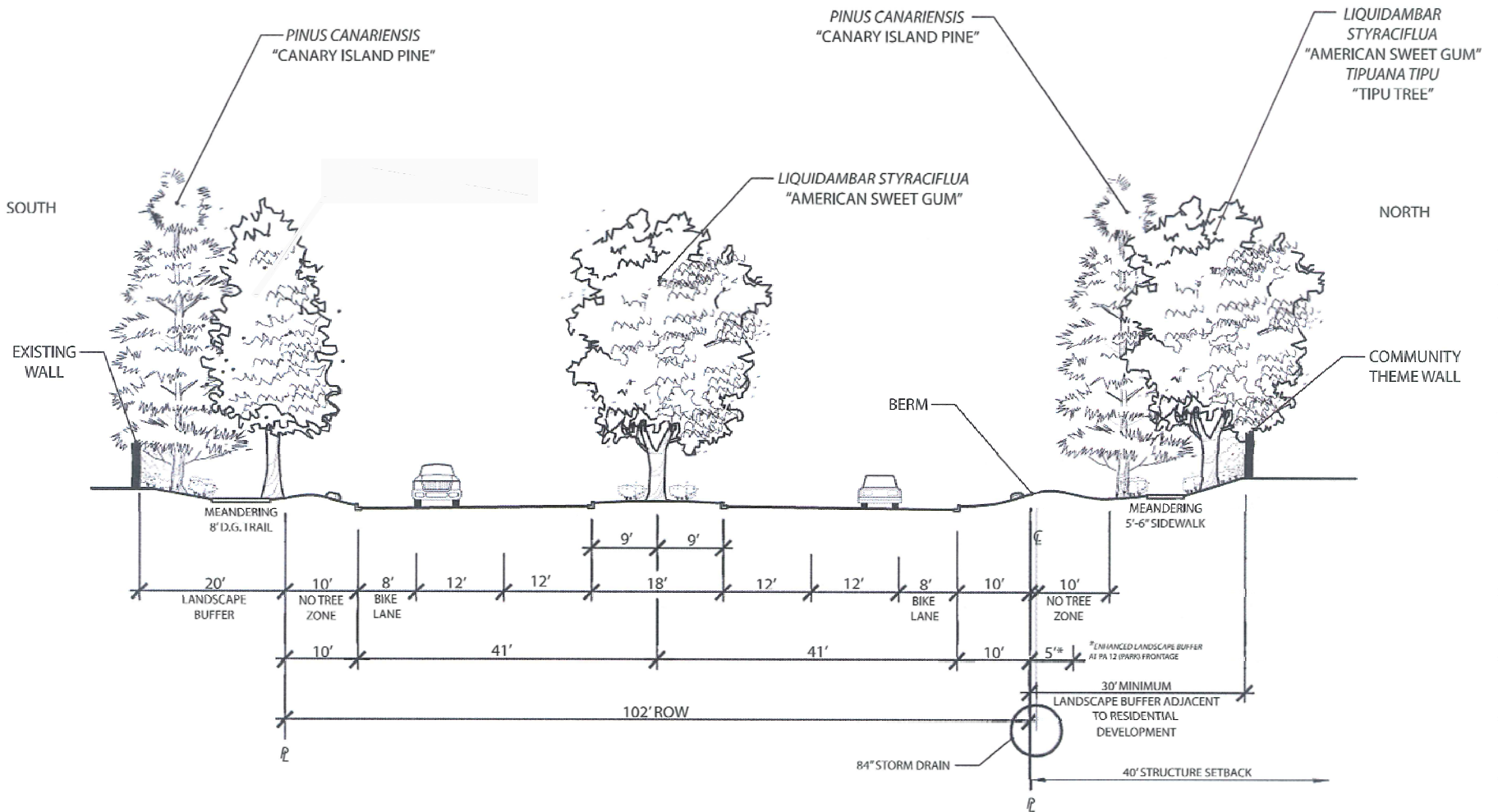
NOT TO SCALE

FIGURE NO. III-36

Source: Howard & Associates

Robertson Ranch

GENERAL PLAN ROADWAY STREETScape - EL CAMINO REAL



Notes:
 * The 8' meandering D.G. Trail and 5'6" sidewalk shall be designed to meander within the adjacent 20' landscape buffer easements, as well as the provided 10' ROW.

** Street trees as approved by the City of Carlsbad Planning Department.

Source: Howard & Associates

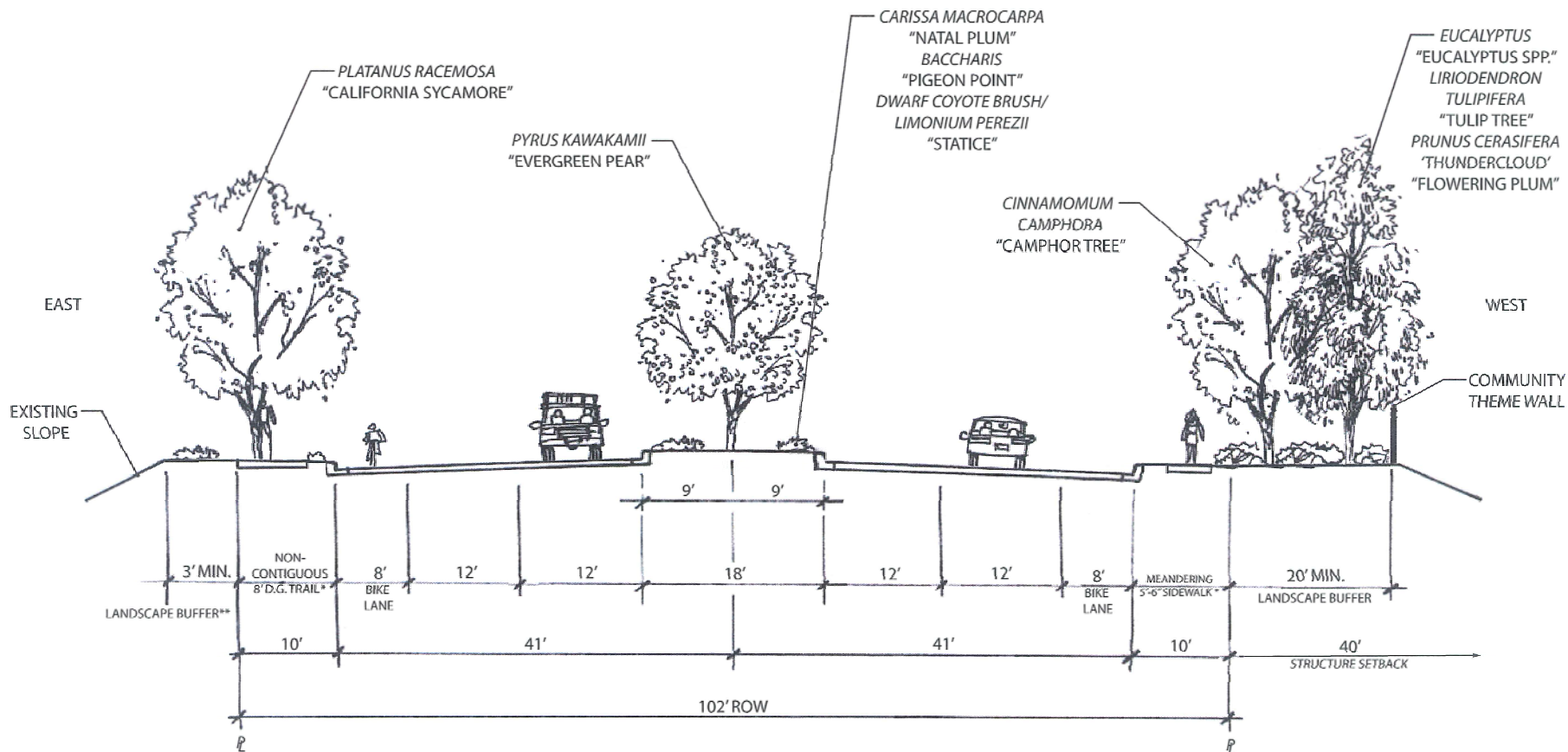


NOT TO SCALE

FIGURE NO. III-37

Robertson Ranch

GENERAL PLAN ROADWAY STREETSCAPE - CANNON ROAD



Notes:
 * The 8' meandering D.G. Trail and 5'6" sidewalk shall be designed to meander within the adjacent 3' minimum landscape buffer easement and 20' minimum landscape buffer, respectively, as well as the provided 10' ROW.

** When the landscape buffer is adjacent to a downhill slope, the landscape buffer area will be graded level with the c.o.w., rather than starting to slope down at the property line (P).

Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-38

Robertson Ranch

GENERAL PLAN ROADWAY STREETSCAPE - COLLEGE BOULEVARD

The Master Plan requires additional landscape buffers adjacent to College Boulevard, Cannon Road and El Camino Real. Shrubs and ground covers have been selected to reinforce the arterial streetscape planting palettes and themes, with selected shrubs used on all arterial streets to create a cohesive theme. The following are the minimum structural and landscape setbacks established for the indicated public streets:

General Plan Roadway	Structural Setback from Right of Way	Landscape Setback from Right of Way
El Camino Real - Residential Setbacks	50 Feet	25 Feet
El Camino Real - Commercial Setbacks	50 Feet	25 Feet
Cannon Road	40 Feet	20 Feet
College Boulevard	40 Feet	20 Feet
Tamarack Road	30 Feet	15 Feet

Planting Palette for General Plan Roadways

The City's Landscape Guidelines Manual specifies themes for arterial streetscapes. The following planting palettes for arterial roadways within the Master Plan are generally consistent with the guidelines and are intended to be used as a guideline for plant selections. The College Boulevard landscape palette has been augmented with trees to remain consistent with existing plantings along adjacent portions of the road. The Cannon Road landscape theme has been augmented with additional species consistent with the existing approved landscape theme. It should be noted that some of the species listed below may not be used, and additional species which complement the planting theme may be selected.

- EL CAMINO REAL (Figure III-36) Theme: California Spanish Mission Theme

Planting Scheme: Informal

Median Tree:

Street tree species selection shall be as approved by the Planning Division

Median Shrub:

Rhapiolepis i. "Pink Cloud" – Indian Hawthorn

Median Island Concrete:

To match existing median condition in El Camino Real

Theme Tree:

Street tree species selection shall be as approved by the Planning Division

Support Trees:

Street tree species selection shall be as approved by the Planning Division

Parkway Shrubs:

Abelia 'Edward Goucher' – Abelia
Agapanthus africanus – Lily-of-the-Nile
Agave spp. – Agave
Aloe spp. -- Aloe
Armeria maritima - Sea pink
Callistemon 'Little John' – Dwarf Bottlebrush
Carissa spp. – Natal Plum
Ceanothus spp. – Wild Lilac
Gardenia spp. – Gardenia
Ilex spp. -- Holly
Juniperus spp. -- Juniper
Nerium spp. – Dwarf Oleander
Photinia spp. – Chinese Photinia
Pittosporum spp. – Tobira
Raphiolepis spp. – India Hawthorn
Strelitzia reginae – Bird of Paradise
Westringia fruticosa - Coast rosemary
Xylosma spp. – Shiny Xylosma

- CANNON ROAD (Figure III-37)

Theme: Riparian Corridor
Planting Scheme: Informal

Median Tree:

Liquidambar styraciflua - American Sweet Gum

Median Shrubs:

Baccharis 'Pigeon Point' – Dwarf coyote brush
Limonium perezii – Statice

Median Island Concrete:

Surface Texture: Riverstone (“Bomante” pattern or equivalent)
Color: “Santa Barbara Brown” (Scofield color or equivalent)
Alternatively, to match existing median condition in Cannon Road

Theme Tree:

Street tree species selection shall be as approved by the Planning Division

Support Tree:

Quercus Species – Oak
Liquidambar styraciflua – American Sweet Gum

Optional Support Trees:

Gleditsia triacanthos – Honey Locust
Koelreuteria bipinnata – Chinese Flame Tree
Robinia ambigua – Purple Robe
Tipuana tipu – Tipu Tree

Parkway Shrubs:

Abelia 'Edward Goucher' – Abelia
Armeria maritima – Sea pink
Cistus spp. – Rock rose
Diets spp. – Fortnight lily
Dodonaea viscosa – Hopseed bush
Echium fastuosum – Pride of Madeira
Escallonia ssp. – Escallonia
Feijoa sellowiana – Pineapple guava
Grevillea 'Noelli' – No common name
Hemerocallis spp. – Day lily
Lantana spp – Lantana
Laurus nobilis – Grecian Laurel
Lavandula spp. – Lavender
Leptospermum spp. – New Zealand tea tree
Macfadyena unguis-cati – Catclaw vine
Phormium spp. – New Zealand Flax
Photinia fraseri – Photinia
Pittosporum spp. – Mock orange
Pyracantha spp. – Firethorn
Rhamnus spp. – Coffeeberry
Raphiolepis spp. – India hawthorn
Rosmarinus spp. – Rosemary
Salvia spp. – Sage
Trachelospermum jasminoides – Star Jasmine
Westringia fruticosum – Coast rosemary

Ground Cover – Flats:

Festuca ovina 'Glaucia' – Blue fescue
Gazania spp. - Gazania
Lonicera japonica 'Halliana' – Hall's Japanese honeysuckle
Myoporum spp. – Myoporum

- COLLEGE BOULEVARD (FIGURE III-38)

Theme: Neighborhood Identity and Character

Planting Scheme: Informal

Median Tree:

Pyrus kawakamii – Evergreen pear
Magnolia grandiflora – Southern Magnolia
Pinus canariensis – Canary Island Pine

Median Shrubs:

Baccharis 'Pigeon Point' – Dwarf coyote brush
Carissa grandiflora 'Tuttleii' – Dwarf Natal Plum
Limonium perezii – Statice

Median Island Concrete:

Surface Texture: Herringbone brick (“Bolomanite” pattern or equivalent)
Color: “Mocha Brown” (Scofield color or equivalent)

Theme Tree:

Cinnamomum camphora – Camphor Tree

Support Tree:

Eucalyptus spp. – Eucalyptus spp.
Liriodendron tulipifera – Tulip Tree

Optional Support Trees:

Platanus racemosa – California Sycamore
Podocarpus gracilior – Fern Pine
Prunus spp. – Flowering Plum
Quercus spp – Oak

Parkway Shrubs:

Agapanthus africanus – Lily-of-the-Nile
Arctostaphylos spp. – Manzanita
Artemisia 'Powis Castle' – No common name
Bougainvillea spp. – Bougainvillea
Callistemon spp. – Bottlebrush
Ceanothus spp. – Wild Lilac
Helianthemum nummularium – Sun rose
Hemerocallis spp. – Day lily
Leptospermum spp. – New Zealand tea tree
Macfadyena unguis-cati – Catclaw vine
Photinia fraseri – Photinia
Pittosporum spp. – Mock orange

Rhamnus spp. – Coffeeberry
Raphiolepis spp. – India hawthorn
Rosmarinus spp. – Rosemary
Salvia spp. – Sage
Trachelospermum jasminoides – Star Jasmine

Ground Cover – Flats:

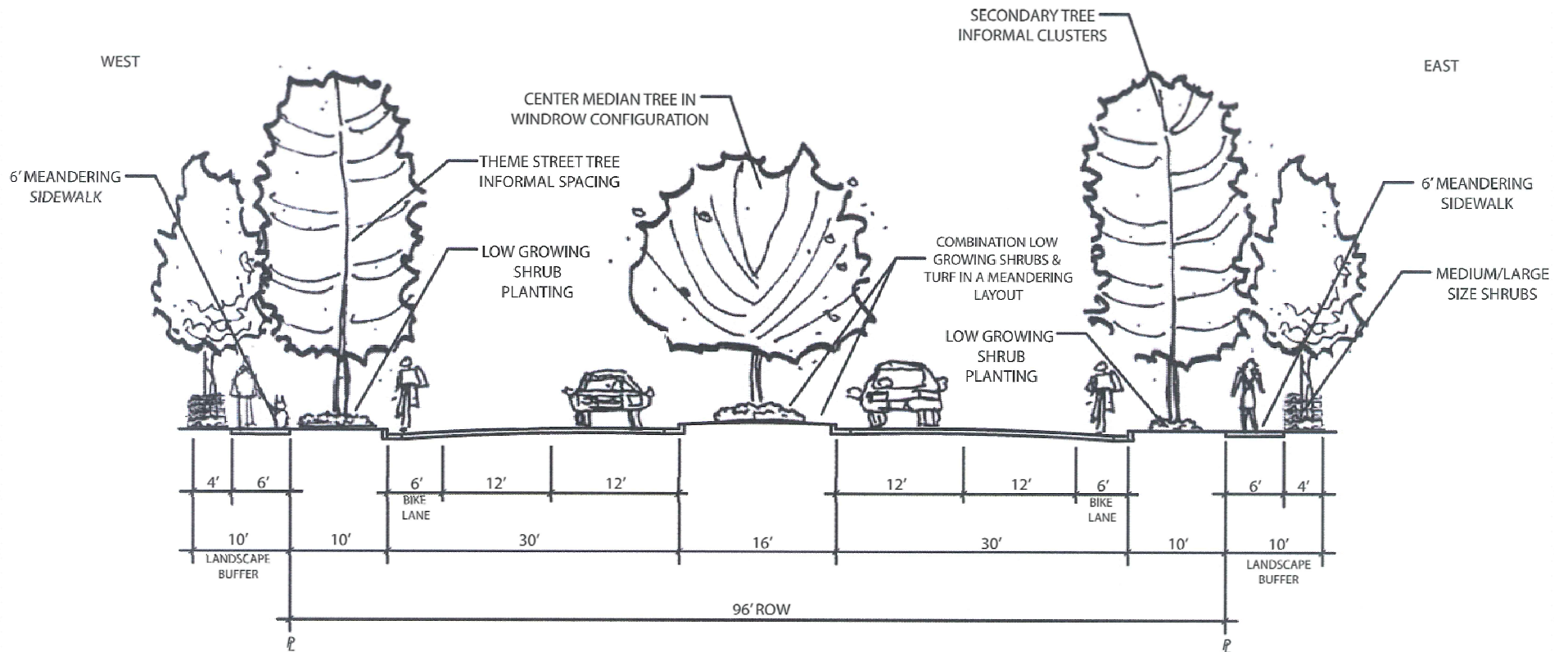
Festuca ovina 'Glaucua' – Blue fescue
Gazania spp. – Gazania
Lonicera japonica 'Halliana' – Hall's Japanese honeysuckle
Myoporum spp. – Myoporum

PROJECT MAJOR ENTRIES

At each of the major entries into the two Villages of the Master Plan, special attention has been paid to streetscape treatments to promote the entries as a gateway into the community and to establish a sense of arrival for residents and guests alike. The Major Entries for both the East and West village are described below, followed by a plant palette list that is intended to be used as a guideline for plant selections along each Major Entry streetscape.

West Village Major Entry: Within the West Village, Street “Z” will serve as the primary entry into the community. As illustrated on Figure III-39 *Primary West Village Entry (Street “Z”) Streetscape*, Street “Z” will be constructed with 60 feet of paving within a 96-foot wide right-of-way. 6-foot wide non-contiguous sidewalks will be designed to meander within the 10-foot right-of-way and an additional 10-foot landscape buffer provided on each side of the street. The landscape treatment for Street “Z” shall be designed in a manner which maintains the overall Village thematic integrity.

East Village Major Entries: Within the East Village, Streets “A” and “O” will serve as the major entries into the community. As illustrated on Figure III-40 *Primary East Village Entry (Street “A”) Streetscape*, Street “A” will be constructed at an 88-foot right-of-way section, with 20-foot wide travel lanes on each side of an 18- to 28-foot wide landscaped median. Street “A” will include a traffic circle in the street design, which accommodates a landscaped island focal point, as conceptually illustrated on Figure III-41, *Conceptual Traffic Circle Treatment*. The traffic circle will be located near the entrance to the park site to facilitate access to the park. As shown on Figure III-42, *East Village Entry (Street “O”) Streetscape*, Street “O” will be constructed at a 78-foot right-of-way section, with 20-foot wide travel lanes on each side of an 8- to 18-foot wide landscaped median, while 5-foot wide non-contiguous sidewalks will be designed to meander within the 10-foot right-of-way and an additional 10-foot landscape buffer provided on each side of the road. A traffic circle also may be provided at the terminus of Street “O.” The landscape treatment for both streetscapes shall be designed in a manner which maintains the overall Village thematic integrity.



Source: Howard & Associates

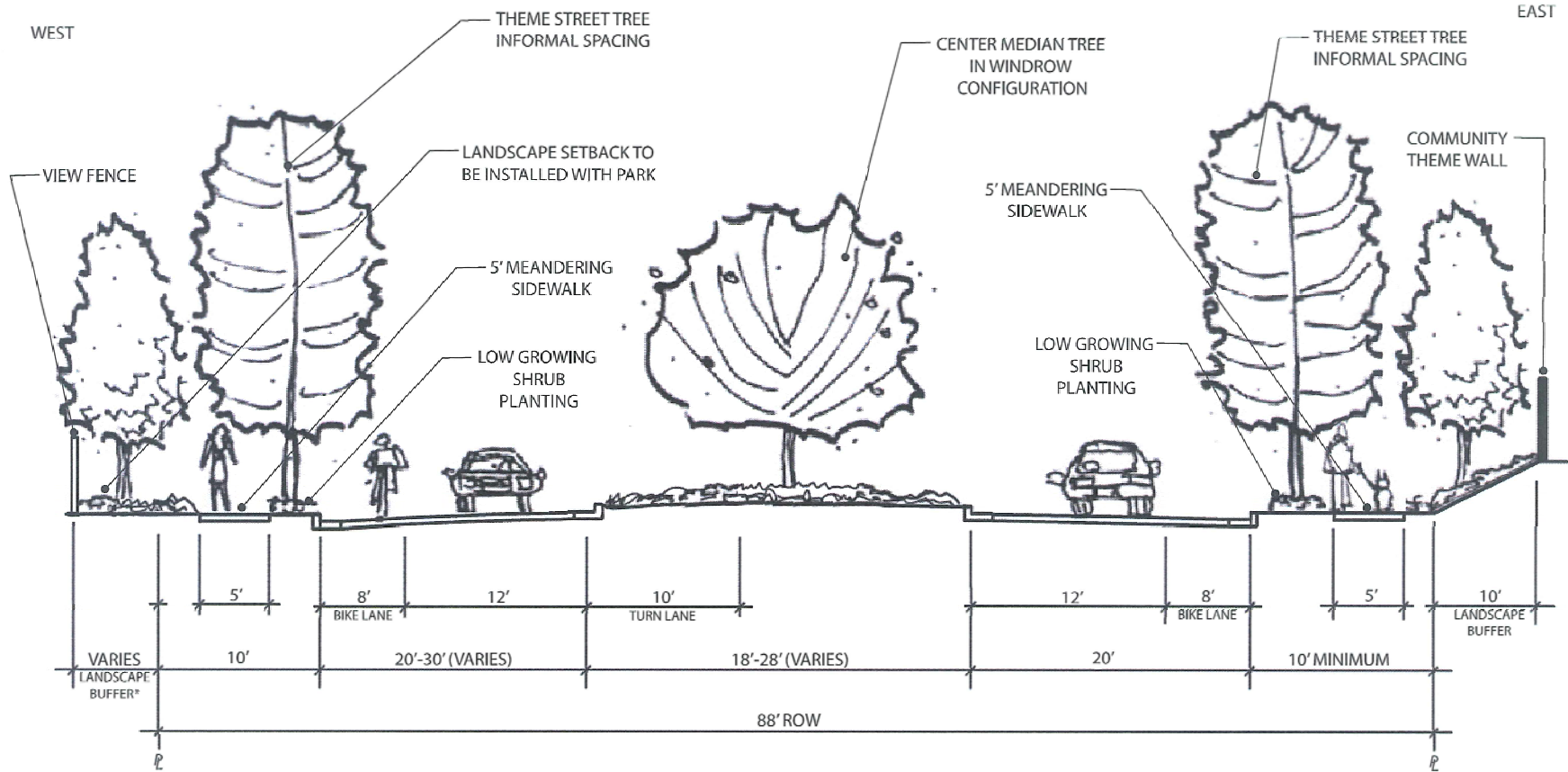


NOT TO SCALE

FIGURE NO. III-39

Robertson Ranch

PRIMARY WEST VILLAGE ENTRY (STREET "Z") STREETScape



Notes:
 Street "A" has a 10' landscape buffer adjacent to Planning Areas 12 and 15,
 and a 5' landscape buffer adjacent to Planning Areas 13 and 14.

Source: Howard & Associates

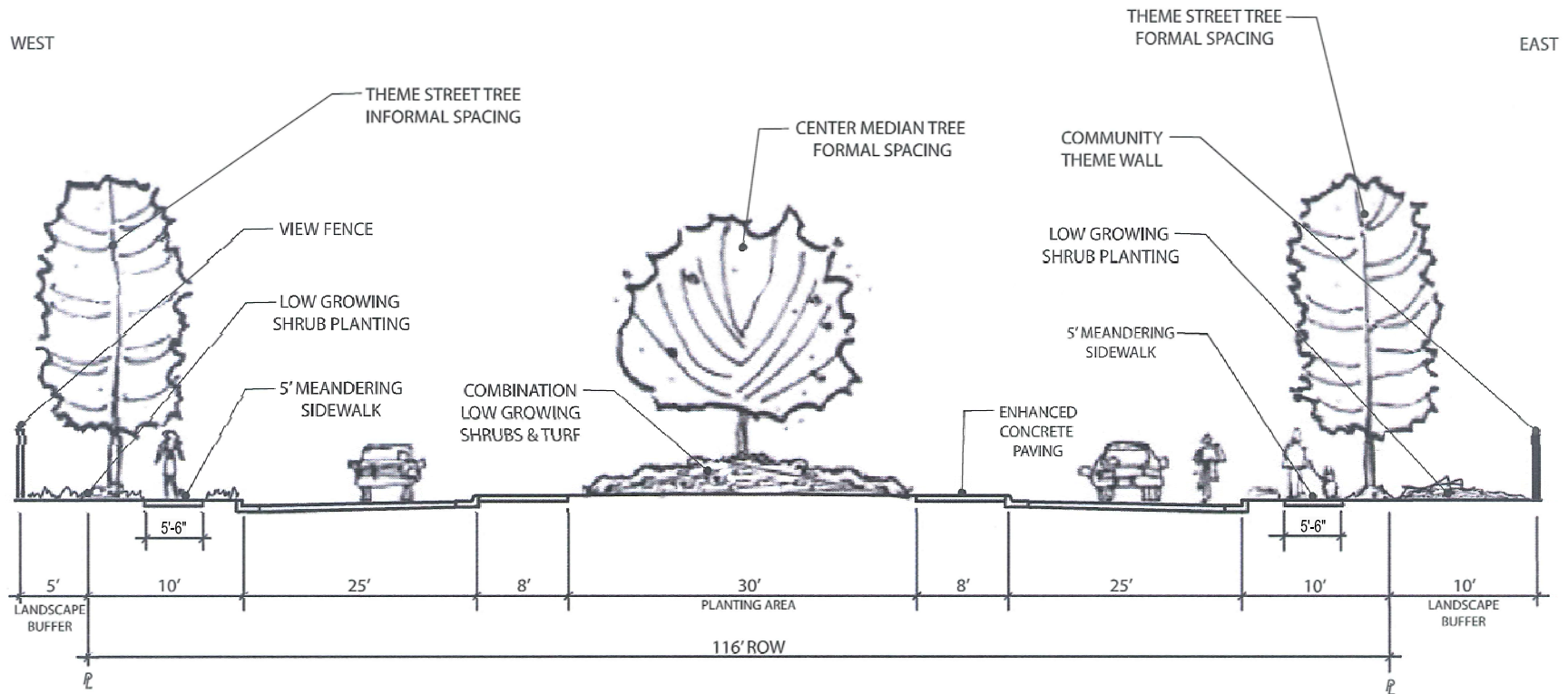


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FIGURE NO. III-40

Robertson Ranch

PRIMARY EAST VILLAGE ENTRY (STREET "A") STREETSCAPE



Source: Howard & Associates

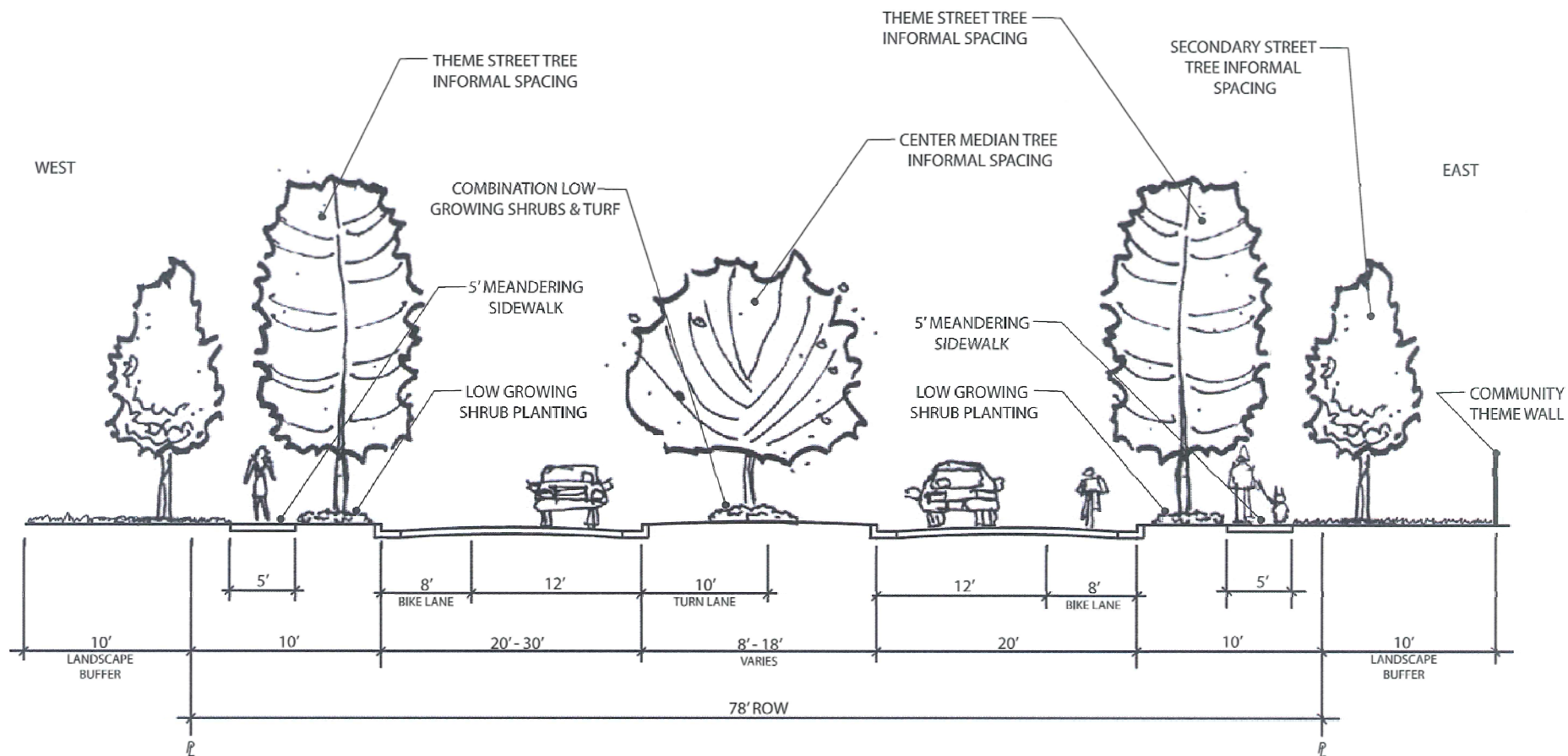


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FIGURE NO. III-41

Robertson Ranch

CONCEPTUAL TRAFFIC CIRCLE TREATMENT



Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-42

Robertson Ranch

EAST VILLAGE ENTRY (STREET "O") STREETScape

PLANTING PALETTE FOR PROJECT MAJOR ENTRIES

The following plant palette lists are intended to be used as a guideline for plant selections. Some species may not be used, and additional species which complement the planting theme may be selected.

- **STREET “Z”, WEST VILLAGE ENTRY (Figure III-39):**

Theme: Ranch

Planting Scheme: Informal rows of theme trees

Theme Trees:

Cupressus sempervirens – Italian Cypress
Populus nigra “Italica” – Lombardy Poplar
Platanus racemosa – Sycamore
Eucalyptus ficifolia – Red Gum
Pinus canariensis – Canary Island Pine
Olea europaea “Swan Hill” – Olive

Median Shrub:

Rosmarinus officinalis “Collingwood Ingram” – Rosemary
Ceanothus griseus “Horizontalis” – Carmel Creeper
Bougainvillea spp. – No Common Name
Arctostaphylos “Emerald Carpet” – Manzanita
Arctostaphylos “Pacific Mist” – Manzanita

Median and Parkway Groundcovers:

Annual color/perennials
Festuca spp. – Fescue
Gazania spp. – Gazania
Marathon Fescue – Fescue

- **STREETS “A” AND “O” EAST VILLAGE ENTRIES AND ROUNDABOUT/TRAFFIC CIRCLE (Figures III-40, III-41 and III-42):**

Theme: Mountain village

Planting Scheme: Informal groupings of theme trees and shrubs

Theme Trees:

Brachychiton populneus – Bottle Tree
Cinnamomum camphora – Camphor Tree
Cupaniopsis anacardioides – Carrotwood Tree
Podocarpus gracilior – Fern Pine
Pyrus kawakamii – Evergreen Pear
Quercus agrifolia – Coast Live Oak
Tristania conferta – Brisbane Box

Traffic Circle/Roundabout and Median Shrubs:

Acacia redolens - Acacia
Agapanthus spp - Lily of the Nile
Artemisia 'Powis Castle' - No common name
Bougainvillea spp. - Bougainvillea
Callistemon spp. - Bottlebrush
Dodonaea viscosa - Hopseed bush
Feijoa sellowiana - Pineapple guava
Helianthemum nummularium - Sun rose
Lantana spp - Lantana
Lavandula spp - Lavender
Leptospermum spp. - New Zealand tea tree
Leucophyllum frutescens
Photinia fraseri – photinia
Phormium tenax – New Zealand Flax
Pittosporum spp. - Mick orange
Pyracantha spp. - Firethorn
Raphiolepis spp. - India hawthorn
Rosmarinus spp. - Rosemary
Salvia spp. - Sage
Santolina chamaecyparissus - Lavender cotton
Tecomaria capensis – Cape Honeysuckle
Viburnum spp.
Westringia fruticosum - Coast rosemary
Xylosma congestum - Shiny Xylosma

Parkway Shrubs:

Acacia redolens – Acacia
Agapanthus spp. – Lily-of-the-Nile
Artemisia spp. – Wormwood
Bougainvillea spp. – Bougainvillea
Callistemon 'Little John' – Dwarf Bottlebrush
Cercis occidentalis – Western Redbud
Dodonaea viscosa – Purple Hopseed Bush
Feijoa sellowiana – Pineapple Guava
Helianthemum nummularium – Sunrose
Lavandula spp. – Lavender
Leptospermum scoparium – New Zealand Tea Tree
Leucophyllum frutescens – Texas Ranger
Photinia fraseri – Chinese Photinia
Pittosporum spp. – Tobira
Pyracantha spp. – Firethorn
Raphiolepis spp. – India Hawthorn
Rosmarinus spp. – Rosemary
Salvia spp. – Sage
Santolina chamaecyparissus – Lavender Cotton
Various spp. – Ornamental Grasses

Viburnum spp. – Viburnum
Westringia fruticosum – Coast Rosemary
Xylosma congestum – Shiny Xylosma

Roundabout/Traffic Circle, Median, and Parkway Ground Covers:
Annual color/perennials
Festuca spp. – Fescue
Gazania spp. – Gazania
Marathon Fescue – Fescue

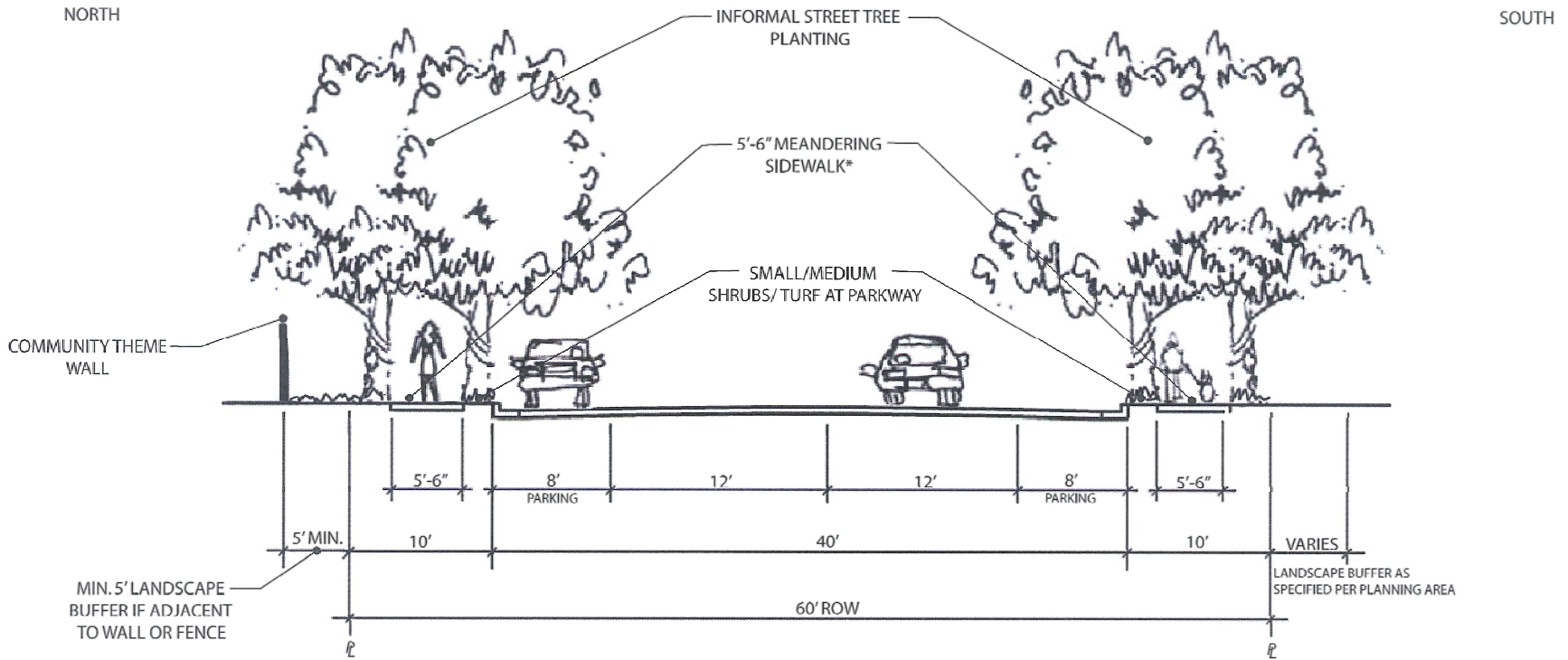
PROJECT INTERIOR STREETSAPES

There are two types of roadways proposed within the interior of the community: Collector Roads and Local Streets. The following provides a brief description of each, followed by a plant palette list that is intended to be used as a guideline for plant selections.

Collector Roads: Collector roads within the project have been designed in conformance with the Livable Streets Policy adopted by the City. These roadways will be constructed with 40 feet of paving within a 60-foot wide right of way. A 5.5-foot wide non-contiguous sidewalk will be designed to meander within the 10-foot right-of-way and the additional 5- to 10-foot landscape buffer⁴ that will be provided on each side of the collector street, as conceptually illustrated in Figure III-43, *Conceptual Collector Road Streetscape*. The landscape treatment for each collector road shall utilize the project wide plant palette, but should be designed in a manner which maintains the overall Village thematic integrity, as well as the relationship between the collector roadway and the neighborhood in which it occurs.

Local Streets: Local streets within the project have been designed in conformance with the Livable Streets Policy adopted by the City. These roadways will be constructed as 34 feet of paving within a 60-foot wide right of way. Outside the pavement on each side of the street will be a 13-foot wide combination sidewalk and landscape parkway as conceptually illustrated in Figure III-44, *Conceptual Local Road and Cul-de-Sac Streetscape*. Along the southern edge of the local street which extends from Streets “A” to “O” north of Planning Areas 15 and 21, an additional 10-foot landscape buffer shall be provided. In addition, where a local street is adjacent to any of the open space planning areas (i.e., Planning Areas 23A through 23E), a D.G. trail may be provided in lieu of sidewalks on the open space side of the street. To establish a sense of identity for each individual neighborhood, local streets within each neighborhood will utilize a maximum of two tree species from

⁴ A 10-foot landscape buffer shall be provided outside the 60-foot right-of-way as identified in the affected planning areas. In other areas where Collector Roads are adjacent to a wall or fence, a 5-foot landscape buffer shall be required.



Notes:
 * Sidewalk may meander into landscape buffer within pedestrian access easement

Source: Howard & Associates

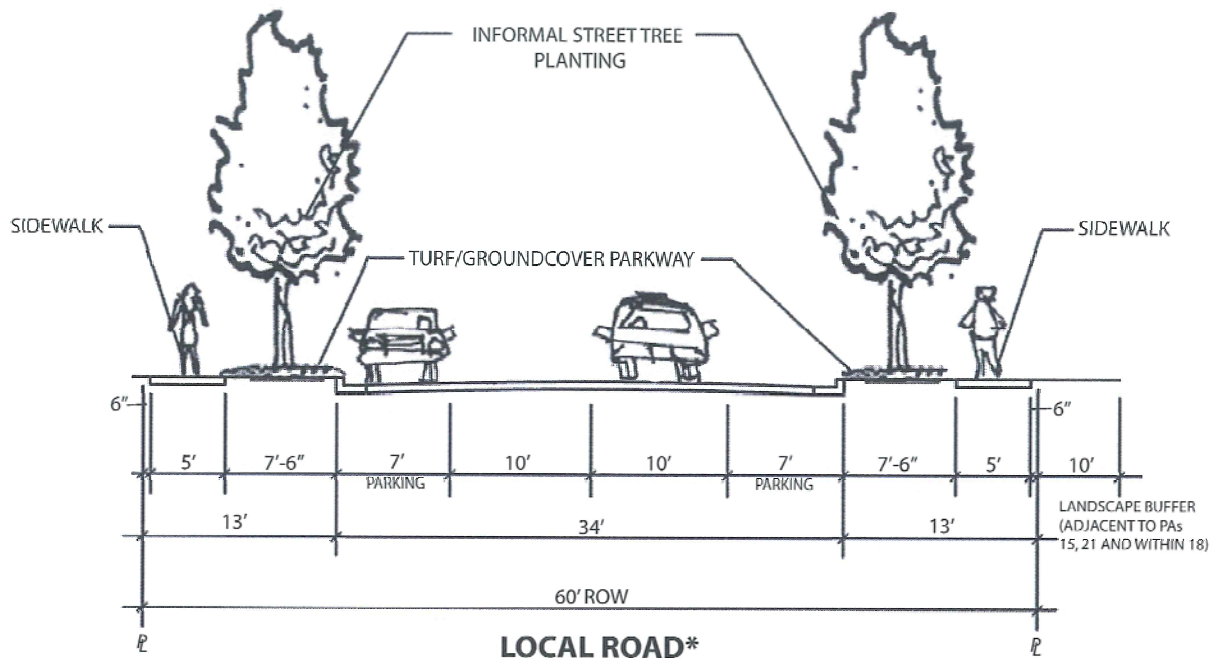


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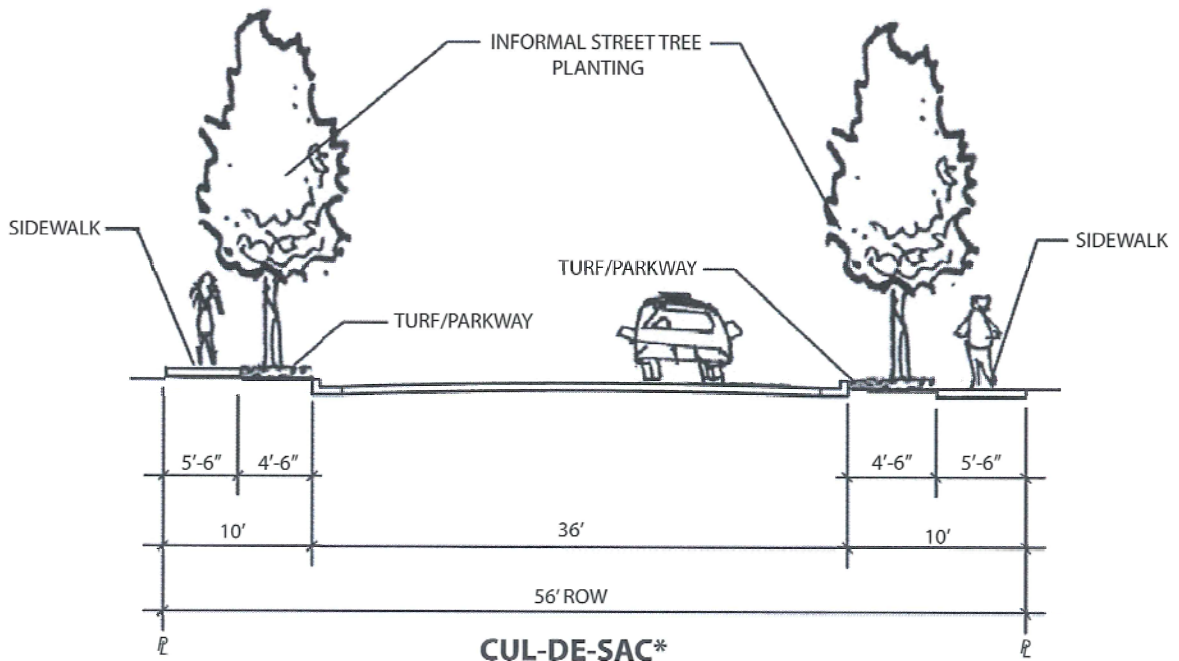
FIGURE NO. III-43

Robertson Ranch

CONCEPTUAL COLLECTOR ROAD STREETSCAPE



LOCAL ROAD*
 *AN 8' WIDE DG TRAIL MAY BE PROVIDED ON SINGLE-LOADED STREETS WHEN ADJACENT TO OPEN SPACE



CUL-DE-SAC*
 *SIDEWALK MAY BE EITHER CONTIGUOUS OR NON-CONTIGUOUS

Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-44

Robertson Ranch

CONCEPTUAL LOCAL ROAD AND CUL-DE-SAC STREETSCAPE

the project wide plant palette. Within the East Village, these trees will be planted within the parkway at 30-feet to 50-feet o.c., creating an informal street design. Within the West Village, in addition to parkway trees, street trees will be located within the front setback of each lot. To create an attractive pedestrian experience, all local streets shall be planted with a minimum of one 24-inch box tree for every 30 feet of street frontage. Street trees shall be located within the right of way in the front of each lot. All parkways on local streets shall be installed by the developer and irrigated and maintained by the Master HOA.

Planting Palette for Interior Streetscapes

The following plant palette lists are intended to be used as a guideline for plant selections along interior streetscapes. Some species may not be used, and additional species which complement the planting theme may be selected.

- **PROJECT INTERIOR STREETSCAPES:**

Project Interior Street Trees:

Acacia baileyana – Bailey Acacia
Agonis flexuosa – Peppermint Tree
Albizia julibrissin – Silk Tree
Cupaniopsis anacardioides – Carrotwood
Geijera parvifolia – Australian Willow
Koelreuteria bipinnata – Chinese Flame Tree
Lagerstroemia indica – Crape Myrtle
Magnolia spp. – Southern Magnolia
Metrosideros excelsa – New Zealand Christmas tree
Pistacia chinensis – Chinese Pistache
Pittosporum spp. – Pittosporum
Prunus spp. – Flowering Plum
Pyrus calleryana – Bradford Pear
Rhus lancea – African Sumac
Tipuana tipu – Tipu Tree
Tristania conferta – Brisbane Box

Accent Trees:

Bauhinia spp. – Orchid Tree
Cassia leptophylla – Gold Medallion Tree
Chorisia speciosa – Silk Floss Tree
Eucalyptus nichollii – Nichol's Willowleaf Peppermint
Jacaranda mimosifolia – Jacaranda
Lagerstroemia indica – Crape Myrtle
Nerium oleander 'Standard' – Oleander
Robinia 'Idahoensis' – Idaho Locust
Tabebuia chrysotricha – Golden Trumpet Tree

Passive/Active Open Space Trees:

Acacia spp. – Acacia
Bauhinia variegata – Orchid tree
Betula pendula – European White Birch
Brachychiton spp – Brachychiton
Eucalyptus spp. – Eucalyptus
Koelreuteria bipinnata – Chinese Flame Tree
Leptospermum laevigatum – Australian Tea Tree
Liriodendron tulipifera – Tulip Tree
Olea europaea – Olive
Pistacia chinensis – Chinese Pistache
Podocarpus gracilior – Fern Pine
Prunus bleiriana – Purple leaf plum
Sophora japonica – Japanese Scholar Tree

Passive/Active Open Space Shrubs:

Abelia 'Edward Goucher' – Glossy abelia
Acacia redolens – Acacia
Agapanthus spp. – Lily-of-the-Nile
Artemisia spp. – Wormwood
Bougainvillea spp. – Bougainvillea
Callistemon 'Little John' – Dwarf Bottlebrush
Cercis occidentalis – Western Redbud
Dodonaea viscosa – Purple Hopseed Bush
Escallonia spp. – Escallonia
Feijoa sellowiana – Pineapple Guava
Helianthemum nummularium – Sunrose
Juniperus spp. – Juniper
Lantana spp. – Lantana
Lavandula spp. – Lavender
Leptospermum scoparium – New Zealand Tea Tree
Leucophyllum frutescens – Texas Ranger
Photinia fraseri – Chinese Photinia
Pittosporum spp. – Tobira
Pyracantha spp. – Firethorn
Raphiolepis spp. – India Hawthorn
Rosmarinus spp. – Rosemary
Salvia spp. – Sage
Santolina chamaecyparissus – Lavender Cotton
Various spp. – Ornamental Grasses
Viburnum spp. – Viburnum
Westringia fruticosum – Coast Rosemary
Xylosma congestum – Shiny Xylosma

Passive/Active Open Space Ground Cover:

Gazania spp. – Trailing Gazania
'Marathon' fescue – Turf

Myoporum spp. – Myoporum

Slope Trees:

Liriodendron tulipifera – Tulip tree
Pinus halepensis – Aleppo pine
Lophostemon Tristania confertus
Prunus lyonii – Catalina Cherry
Quercus agrifolia – Coast live oak

Slope Shrubs:

Acacia redolens – Prostrate acacia
Bougainvillea spp. – Shrub Bougainvillea
Callistemon 'Jeffersii' – Dwarf Bottlebrush
Ceanothus spp. – California wild lilac
Cistus spp. – Rock rose
Cotoneaster parneyi – Cotoneaster
Echium fastuosum – Pride of Madeira
Encelia californica – Coast Sunflower
Fremontodendron californicum – Flannelbush
Grevillea 'Noelli' – No Common Name
Heteromeles arbutifolia – Toyon
Myoporum parvifolium 'Putah Creek' – Prostrate myoporum
Photinia fraseri – Chinese Photinia
Pittosporum spp. – Mock orange
Prunus ilicifolia – Hollyleaf Cherry
Rhamnus californica – Coffeeberry
Raphiolepis 'Springtime' – India Hawthorn
Rhus ovata – Sugar bush
Rosmarinus spp. – Rosemary
Salvia leucantha – Mexican bush sage
Tecomaria capensis – Cape honeysuckle

Slope Ground Cover:

Delosperma alba – White Trailing Iceplant
Myoporum parvifolium – Prostrate myoporum
Rosmarinus 'Lockwood de Forrest' – Prostrate rosemary

Slope Cover Crop:

Alyssum spp. – Alyssum
Trifolium 'O'Connor's' – O'Connor's legume

Planting Palette for Transitions to Native Open Space

Landscaping should not use plants that require intensive irrigation, fertilizers, or pesticides adjacent to preserve areas and water runoff from landscaped areas should be directed away from the biological conservation easement area and contained and/or treated within the development footprint. A draft list of species

to be included in the landscaping adjacent to preserve areas shall be submitted to USFWS for approval.

e) **Fire Fuel Modification Zone**

In accordance with City of Carlsbad Landscape Manual and Fire Department requirements, a fire fuel modification zone will be implemented adjacent to the open space edges depicted on Figure III-45, *Fuel Modification Plan*. The City Landscape Manual requires that the Fire Fuel Modification Zone consist of a minimum 60-foot structural setback for manufactured and native slopes from adjacent open space. The Fire Fuel Modification Zone for the Robertson Ranch Master Plan has been modified to extend 60-feet from the residential property lines when adjacent to native or re-vegetated down-hill slopes. In some Planning Areas, single loaded streets will serve as a Fuel Modification Zone by providing the necessary buffer between residential areas and Open Space. The single-loaded street design will result in a substantial increase in the setback from open space areas. The Fuel Modification Zone will be implemented in several configurations as specified in the City Landscape Manual, based on whether the residential development area abuts manufactured slopes with native vegetation or natural slopes with native vegetation, and if the slopes are uphill or downhill from the residential development. These conditions are illustrated on Figure III-46, *Fuel Modification Zone Sections A through C*, and Figure III-47, *Fuel Modification Zone Sections D through F*. All Fuel Modification Zones will be located within separate lots and will be managed by the Master HOA, with the exception that the inner [towards the development] 10-feet of the zone may overlap the rear 10-feet of the adjacent residential lot, as approved by the Carlsbad Fire Marshal.

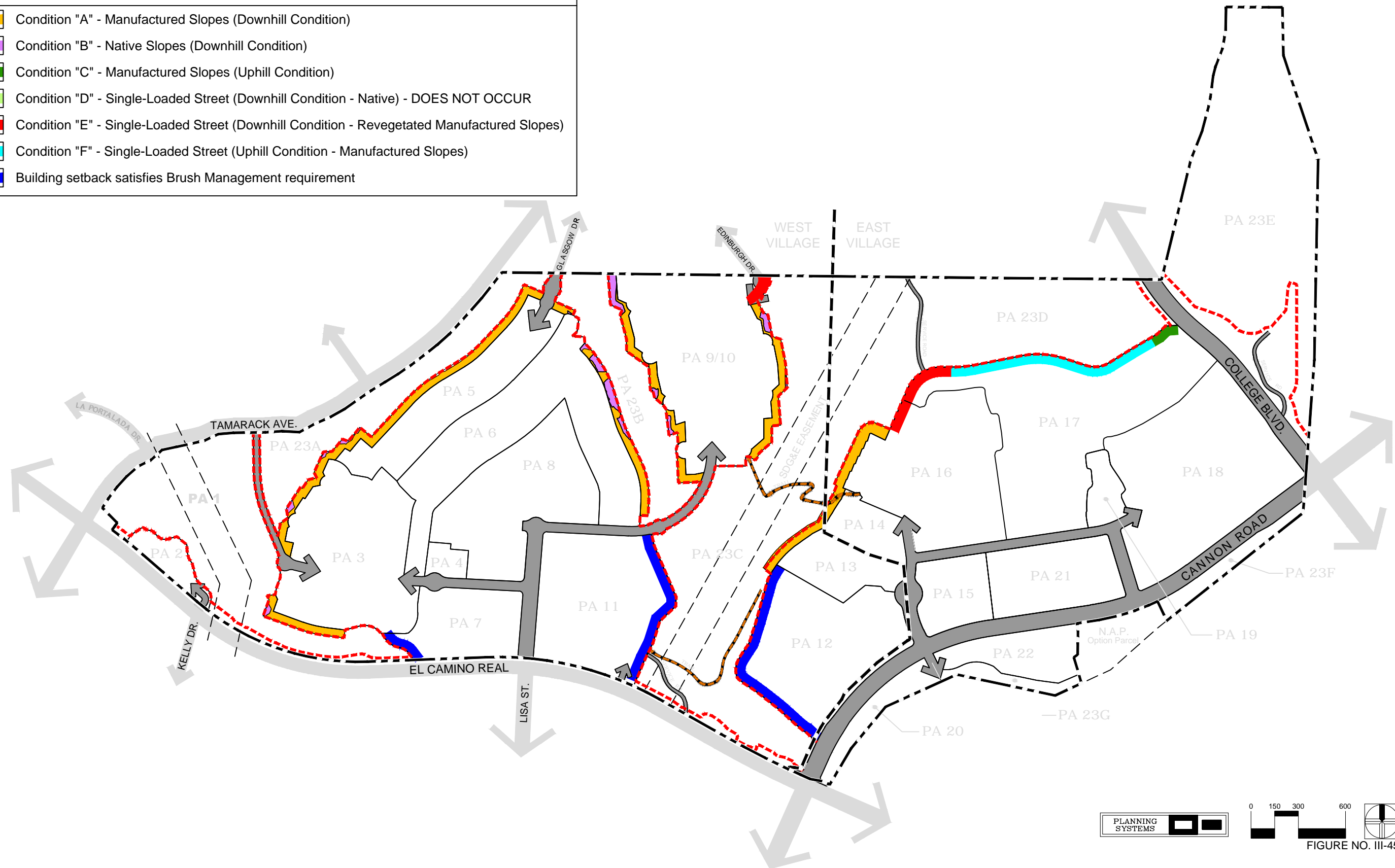
f) **Community Edges, Boundaries and Transitions**

Careful consideration has been given to the design of land use interfaces within the Villages and at project boundaries. Provided below is a description of general landscape treatments and transitions that should be incorporated between varying land uses and for specific edge conditions.

Single Family Residential/Open Space Transition: This condition occurs where the single family uses located at the perimeter of Planning Areas (3, 5, 6, 9, 10, 16, and 17) abut open space areas and the wildlife corridors. Single-loaded streets which abut the open space areas are strongly encouraged. Under this condition, an unpaved trail consisting of decomposed granite surface will be provided on the open space side of the single-loaded street. Lots that have rear yards adjacent to open space may use a non-combustible view fence. These concepts are conceptually depicted on Figure III-46 and Figure III-47, *Fuel Modification Zone Sections*, and would be implemented in order to protect views into the open space, as well as provide the required wildfire protection. Landscape materials shall be chosen from the project Master Plan Plant Palette.

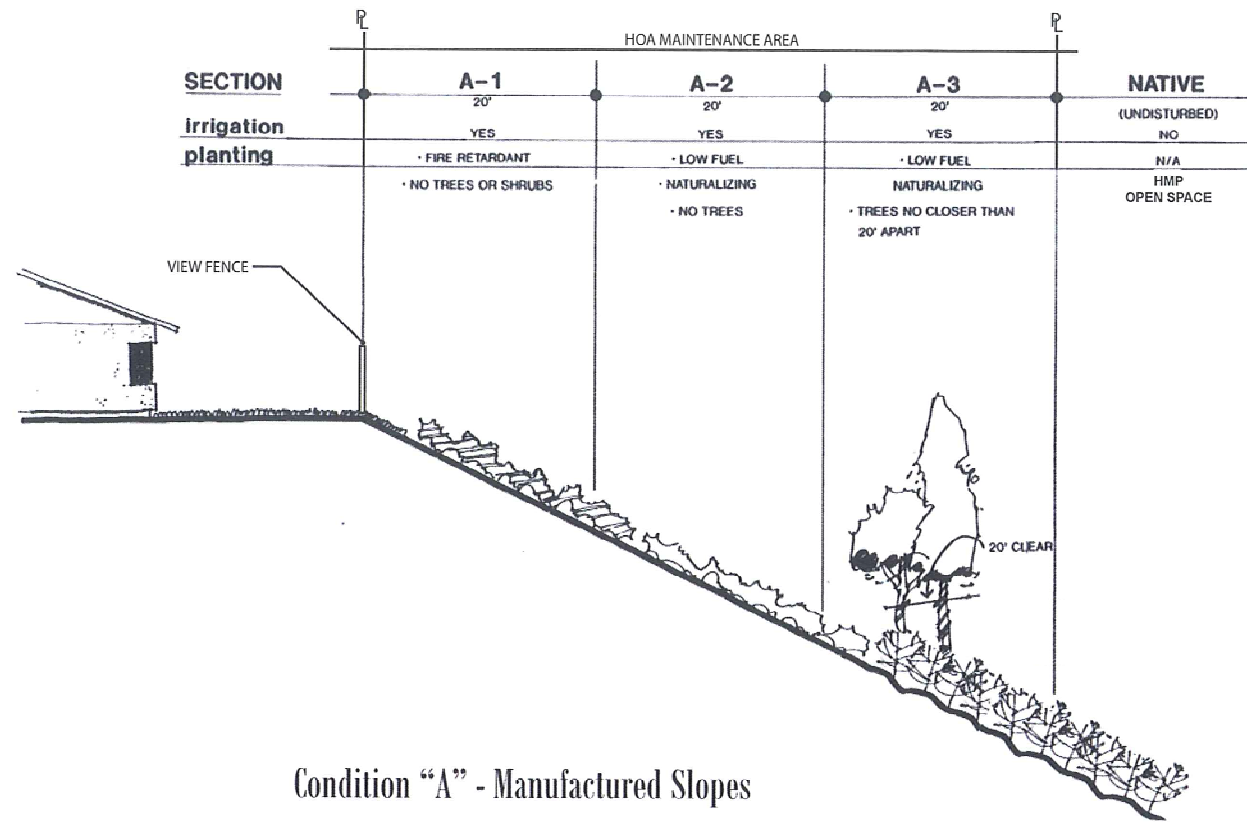
LEGEND

- Condition "A" - Manufactured Slopes (Downhill Condition)
- Condition "B" - Native Slopes (Downhill Condition)
- Condition "C" - Manufactured Slopes (Uphill Condition)
- Condition "D" - Single-Loaded Street (Downhill Condition - Native) - DOES NOT OCCUR
- Condition "E" - Single-Loaded Street (Downhill Condition - Revegetated Manufactured Slopes)
- Condition "F" - Single-Loaded Street (Uphill Condition - Manufactured Slopes)
- Building setback satisfies Brush Management requirement

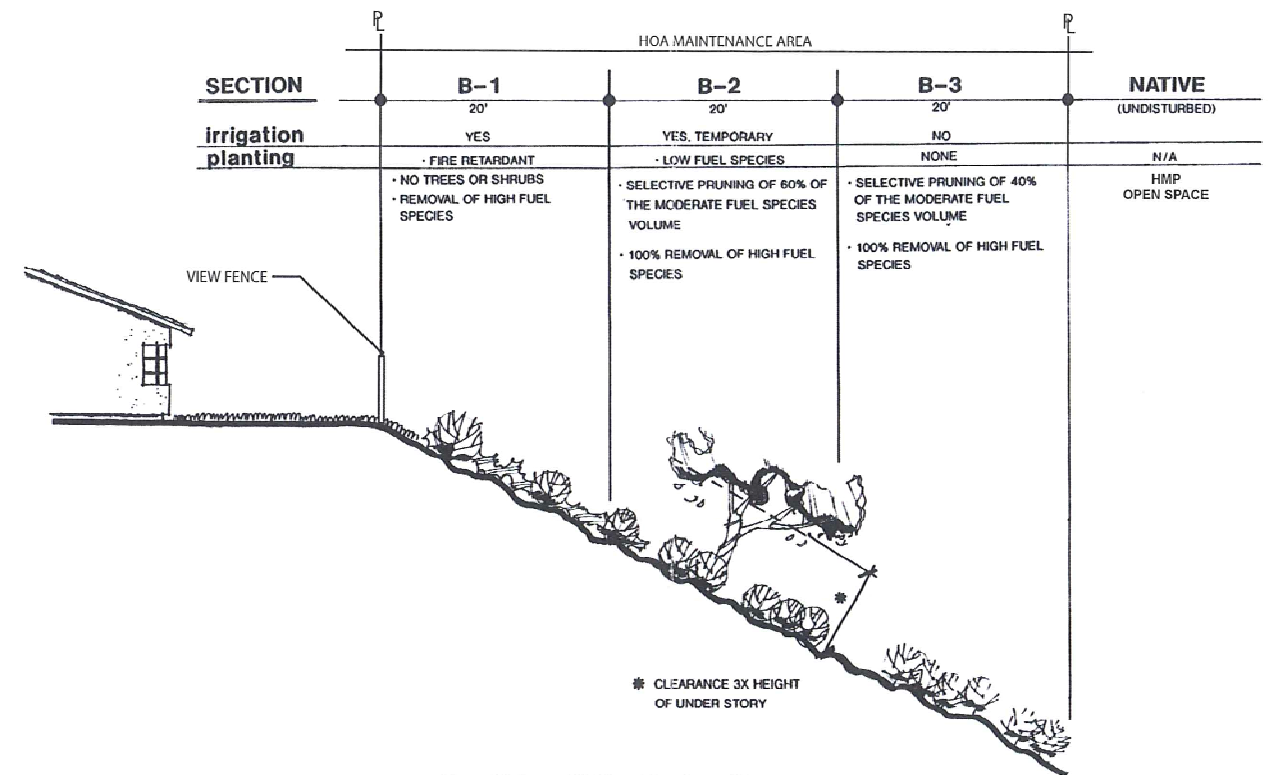


PLANNING SYSTEMS

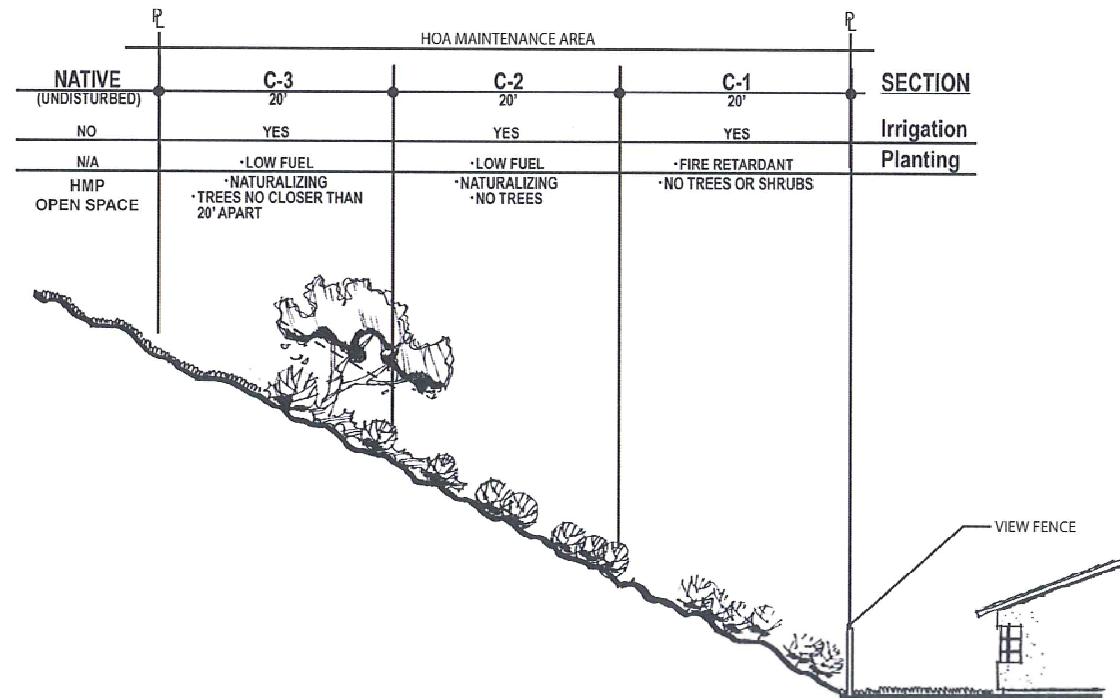
FIGURE NO. III-45



Condition "A" - Manufactured Slopes



Condition "B" - Native Slopes



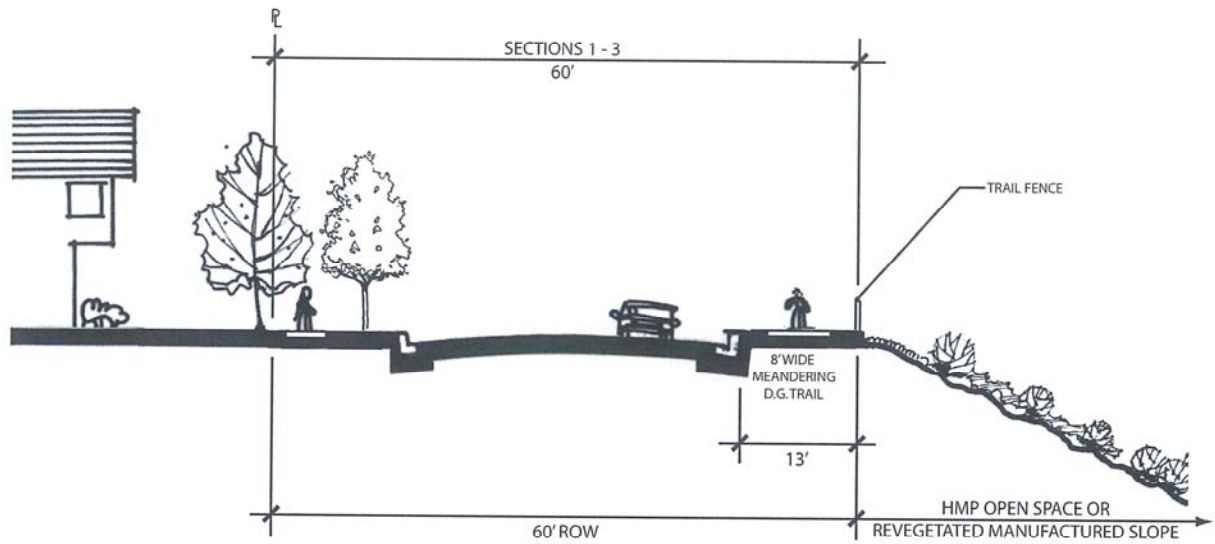
Condition "C" - Uphill Manufactured Slope

NOTE:
WEST VILLAGE DEVELOPMENT FUEL MODIFICATION ZONES MAY BEGIN UP TO 10 FEET ONTO THE RESIDENTIAL LOT AND COVER 50 FEET OF THE OPEN SPACE AREA, SUBJECT TO APPROVAL OF THE CARLSBAD FIRE MARSHAL.

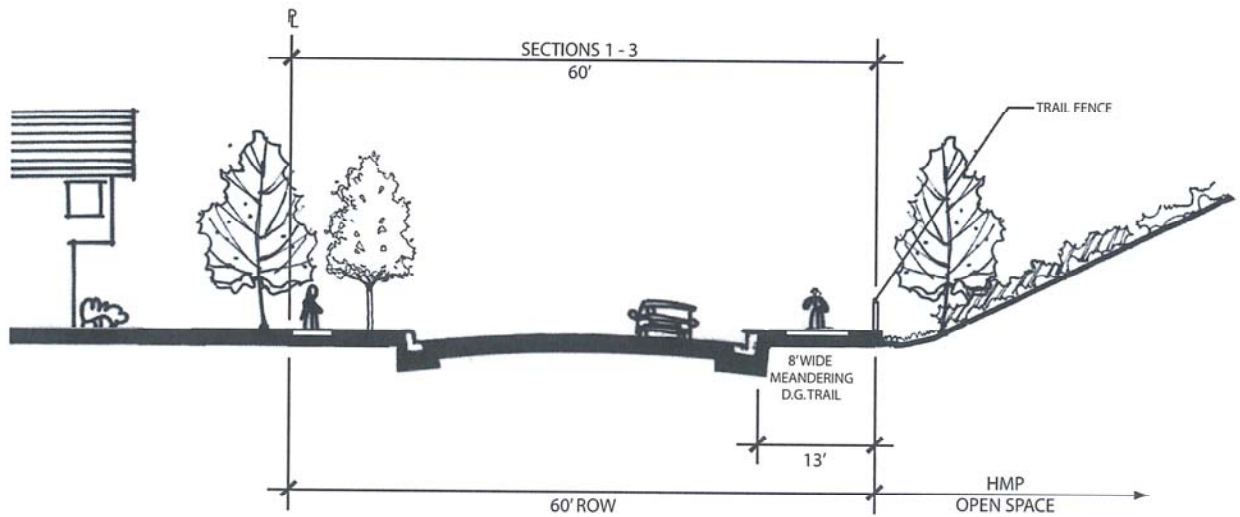


NOT TO SCALE

FIGURE NO. III-46



Condition "D & E" - Single-Loaded Street
 (Downhill Condition - Native Slopes and Revegetated Manufactured Slope)



Condition "F" - Single-Loaded Street (Uphill Condition - Native Slopes)



NOT TO SCALE

FIGURE NO. III-47

Robertson Ranch

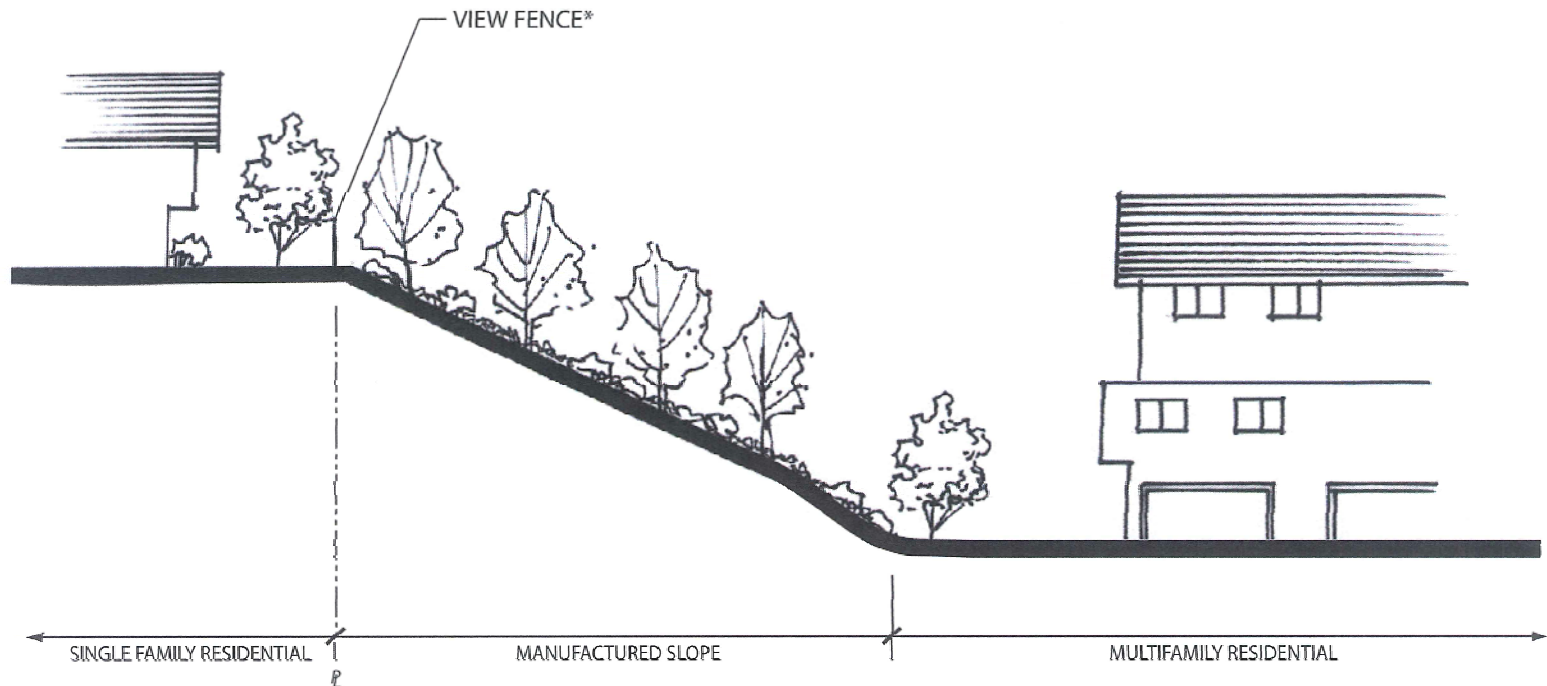
FUEL MODIFICATION ZONE SECTIONS D THROUGH F

Single-Family/Multifamily Transition: This condition occurs at the boundaries between Planning Areas 3 and 7, and Planning Areas 6 and 8 where the single family uses in Planning Areas 3, and 6 are generally located at a higher elevation than the adjacent multifamily residential land use in Planning Areas 7 and 8. This transition is depicted on Figure III-48, *Single Family/Multifamily Transition Detail*, and consists of a view fence or solid block wall at the top of the slope overlooking the multifamily site. Landscape materials shall be chosen from the project Plant Palette.

Village Center/Open Space Transition: This condition occurs where the eastern boundary of Planning Area 11 abuts the open space located in Planning Area 23C. This transition area may consist of slope plantings in conformance with the Fuel Modification plan and requirements of the City of Carlsbad. This concept is depicted on Figure III-49, *Village Center/Open Space Transition Detail*. This transition would be implemented in order to provide a visual and physical buffer between Planning Area 11 and the natural open space portions of Planning Area 23C.

The portion of Planning Area 23C adjacent to Planning Area 11 shall consist of a 5:1 re-vegetated manufactured slope, consistent with the *Conceptual Grading Plan*, as depicted on Figure II-10, and the *Landscape Guidelines* presented in Section III.B of this Master Plan. An 8-foot meandering trail will be provided along the eastern boundary of PA 11 and will connect with the open space trail in Planning Area 23C in addition to connections to El Camino Real and the collector road north of the site. Plant materials along this edge will be used to screen the commercial development from the open space and will provide a visual transition to the native areas. Landscape materials shall be chosen from the project Plant Palette.

Park/Open Space Transition: This condition occurs where the park planned for Planning Area 12 abuts the open space located in Planning Area 23C. The transition area consists of a view fence or combination wall with adjacent slope plantings consistent with the Fuel Modification Plan and requirements of the City of Carlsbad. This concept is depicted on Figure III-50, *Park/Open Space Transition Detail*, and would be implemented in order to protect views into the open space, prevent park visitors from disturbing open space values, and to provide the required wildfire protection.



**Note: View fence occurs between PA 3 & PA 7 and PA 5 & PA 6.*



NOT TO SCALE

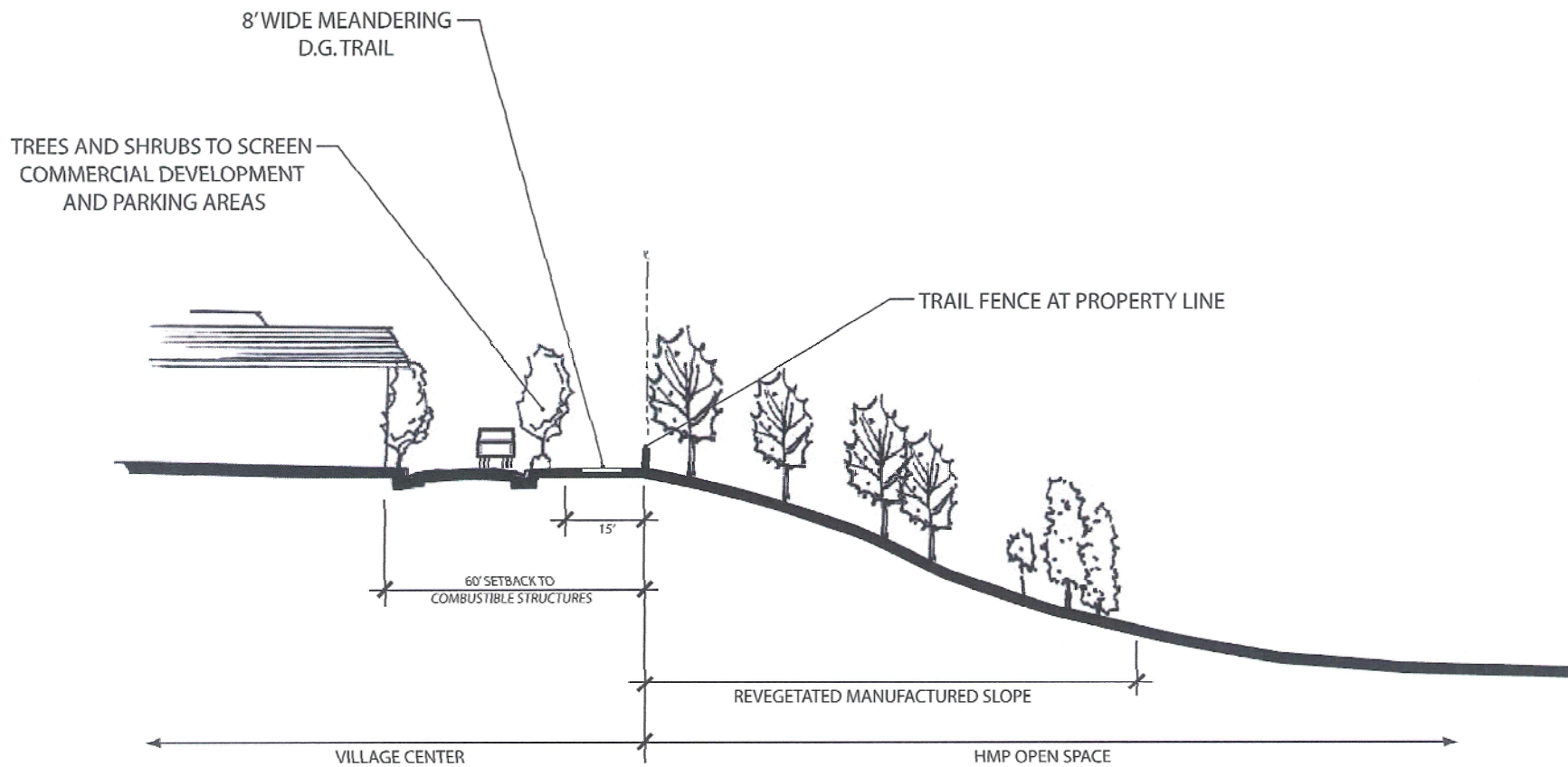
FIGURE NO. III-48

Robertson Ranch

MASTER PLAN

SINGLE FAMILY/ MULTIFAMILY TRANSITION DETAIL

PAGE III-164

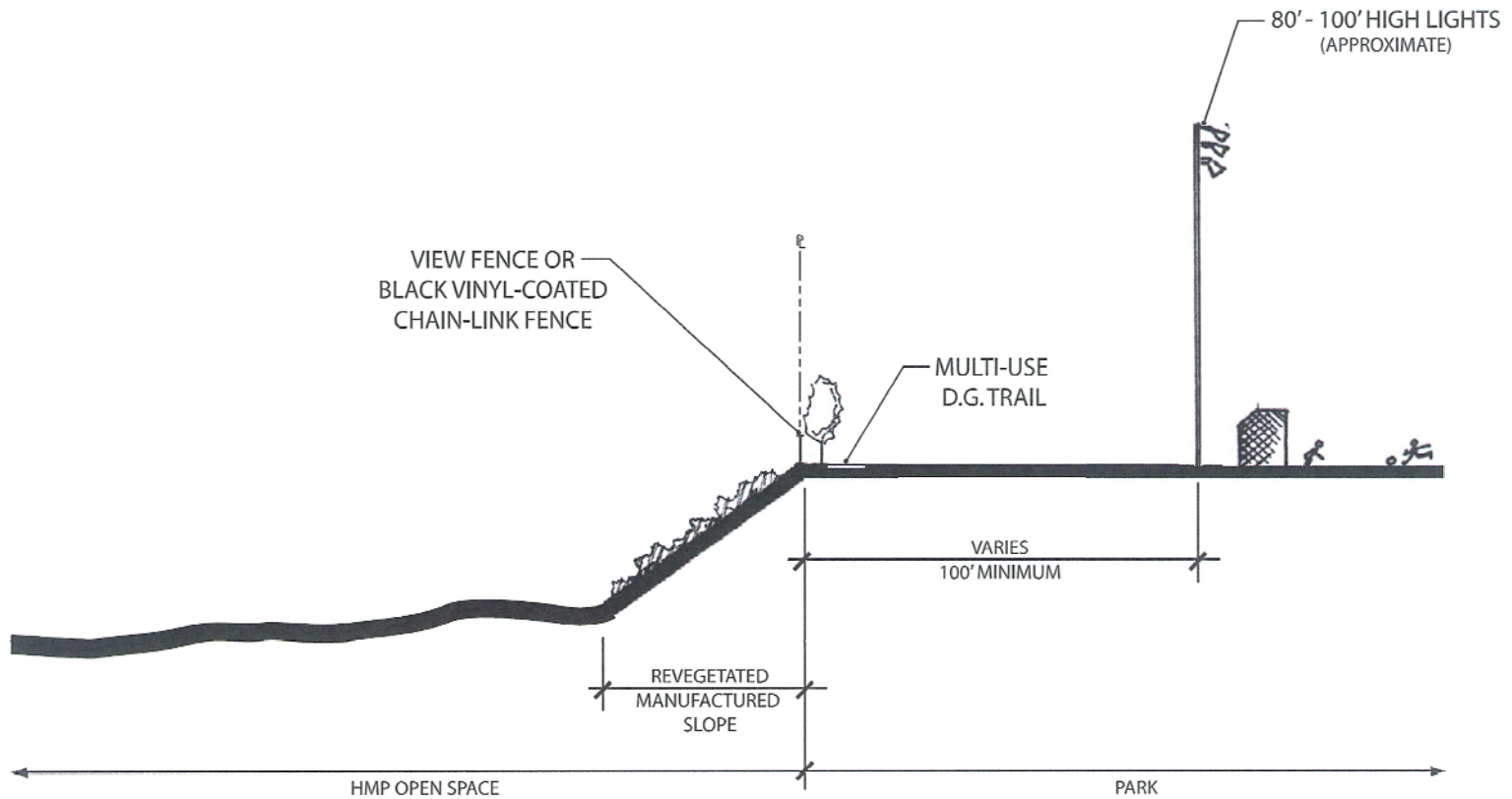


NOT TO SCALE

FIGURE NO. III-49

Robertson Ranch

VILLAGE CENTER/ OPEN SPACE TRANSITION DETAIL



Note: Combustible structures shall be setback 60' from native vegetation.



NOT TO SCALE

FIGURE NO. III-50

Robertson Ranch

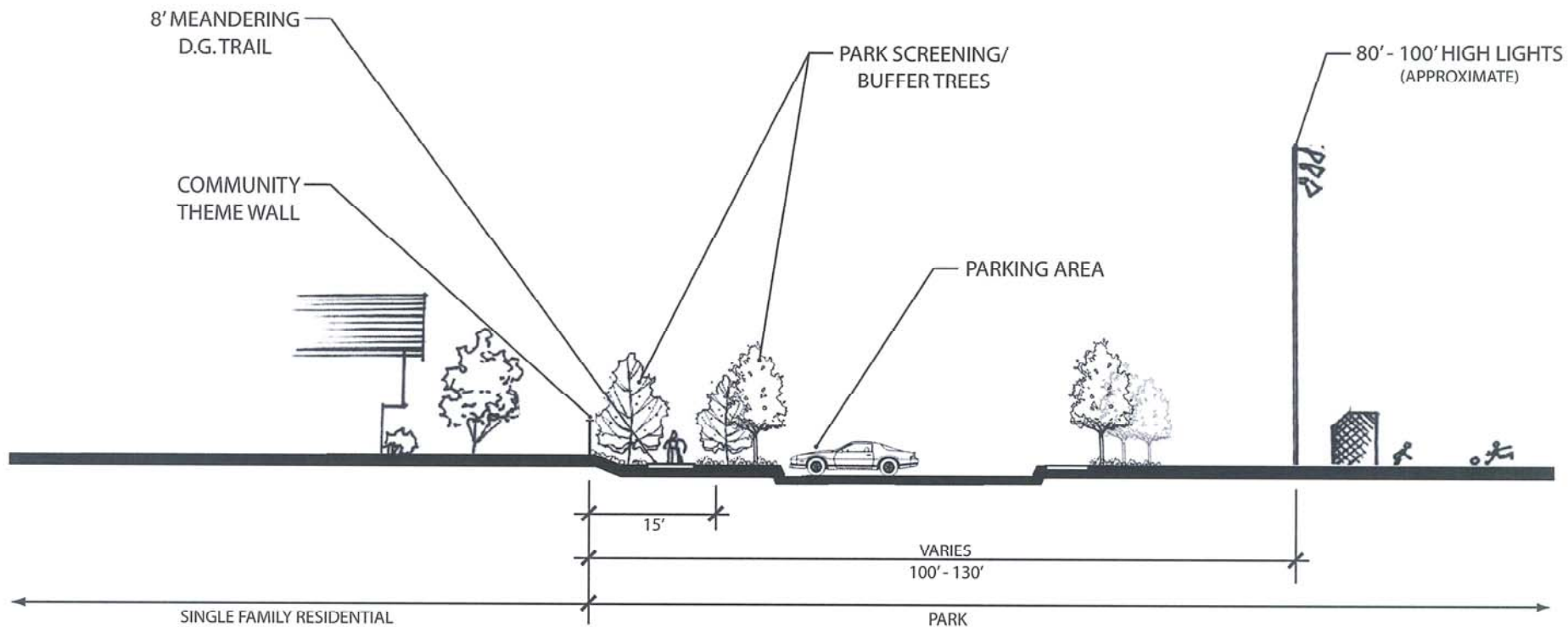
PARK/ OPEN SPACE TRANSITION DETAIL

Park/Single Family Transition: This condition occurs where the single family uses proposed for Planning Area 13 under the Alternative Use scenario would generally be located at the same elevation as the adjacent city park planned for Planning Area 12. This concept is depicted on Figure III-51,, *Park/Single Family Transition Detail*, and would consist of a solid block wall between the park and the single family site. Park lights will be shielded so that the lighting would not spill onto the adjacent single family development. Additionally, large evergreen trees should be used along the transition to further shield the residents from any lighting impacts. Landscape materials shall be chosen from the project Plant Palette.

Cannon Road/Open Space/Rancho Carlsbad Transition: This condition occurs within Planning Area 23F, and is intended to buffer Rancho Carlsbad from the traffic and noise associated with this portion of Cannon Road. This transition is illustrated in Figure III-52, *Cannon Road/Open Space/Rancho Carlsbad Transition Detail* and consists of a 5-foot high privacy wall, 3-foot high landscaped berm, existing willow and eucalyptus grove, Calavera Creek, and the existing Rancho Carlsbad Homeowner's Association (RCHOA) block wall.

Multifamily/El Camino Real Transition: This transition could occur between Planning Area 7 and El Camino Real. This transition consists of a solid block wall setback a minimum of 25 feet from El Camino Real with a landscaping buffer adjacent to the road. An additional 25 feet of building setback would be implemented to further screen the residential development from the scenic corridor. Landscape materials shall be chosen from the project's Plant Palette.

Planning Area 9/10 - Off-Site Transition: This condition occurs along the majority of the boundary between Planning Area 9/10 and the existing residential neighborhood located off-site to the north of the Planning Area. This transition is depicted on Figure III-53, *Planning Area 9/10/Off-Site Transition Detail*, and would consist of a landscaped slope with a community theme wall provided at the property line. A view fence could be used along the property lines of the easternmost lots, subject to agreement by the property owners of the existing residences. Landscape materials shall be chosen from the project Plant Palette.

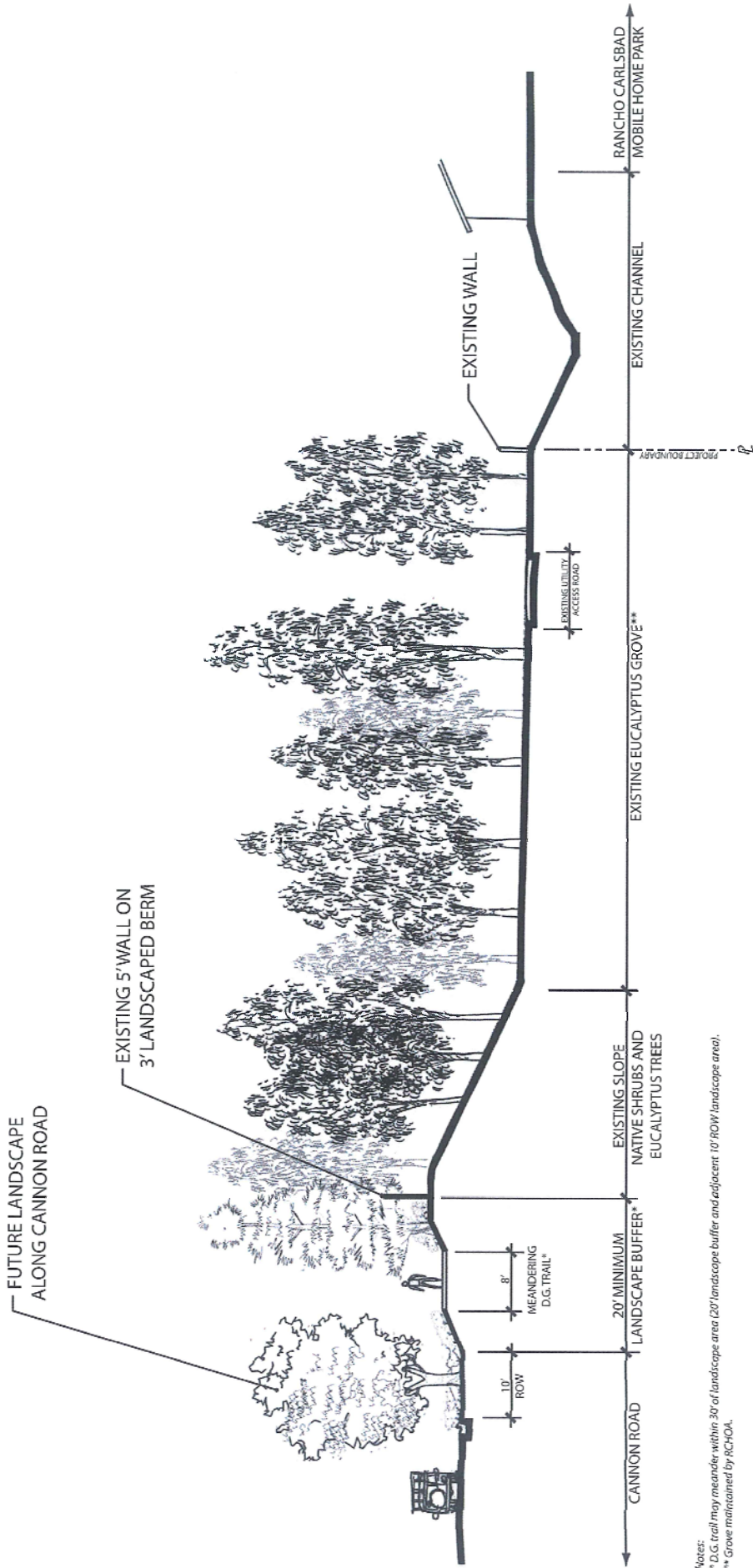


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FIGURE NO. III-51

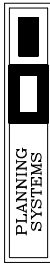
Robertson Ranch

PARK/ SINGLE FAMILY RESIDENTIAL TRANSITION DETAIL



Notes:
 * D.G. trail may meander within 30' of landscape buffer and adjacent 10' ROW landscape area.
 ** Grove maintained by RCHOA.

Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-52

**CANNON ROAD/ OPEN SPACE/
 RANCHO CARLSBAD TRANSITION DETAIL**

Robertson Ranch

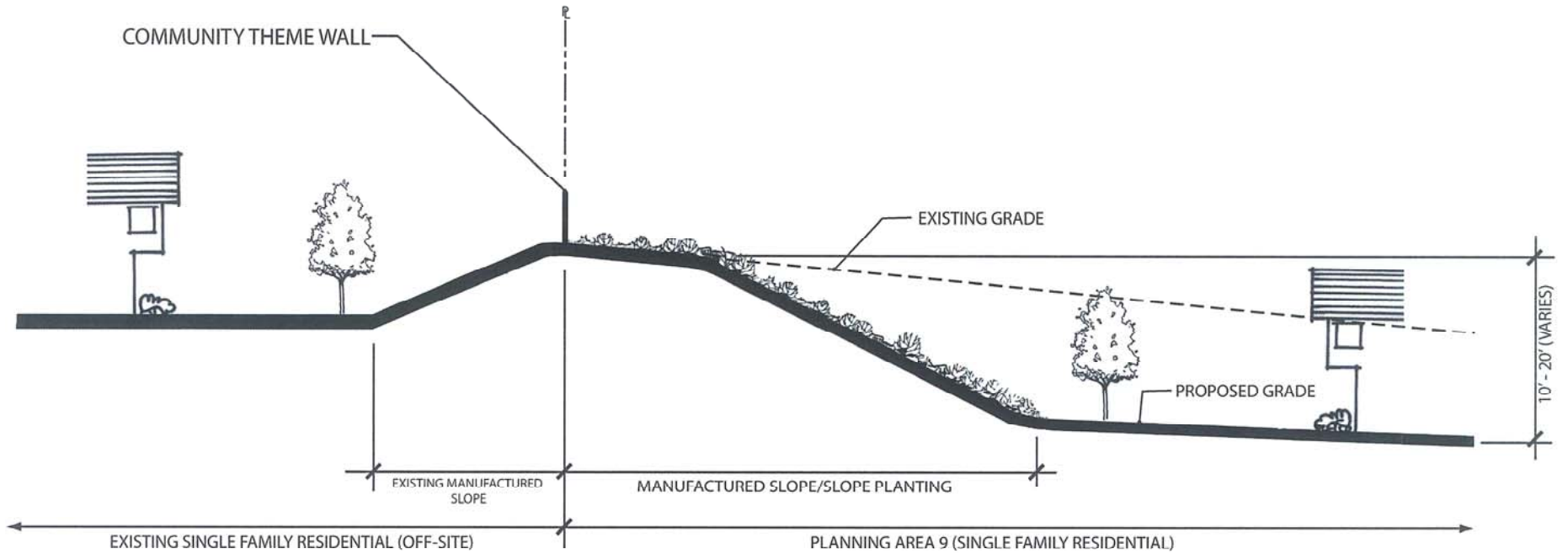
g) Trails and Pedestrian Circulation

The Robertson Ranch Master Plan provides for a variety of Pedestrian Circulation and Trail alternatives that include Circulation Element Trails and Recreational Trails which are both Citywide trails; and Enhanced Parkways and Neighborhood Connections which are community trails. The various recreational trails for the Master Plan are depicted on the *Pedestrian Circulation Plan* (Figure III-54). The Master Plan's Trail and Pedestrian Circulation System will result in a multi-use recreational and circulation system that provides a variety of routes for pedestrians, skaters, cyclists, wheelchairs, etc.

The Carlsbad Citywide Trails Program includes two primary trail classifications: Circulation Element Trails and Recreational Trails. The Master Plan provides both of these trail types. Circulation Element Trails are proposed along one side of the Major Arterial Roadways (Cannon Road and College Boulevard) and will be constructed of stabilized decomposed granite (D.G.) or other acceptable material, and will be located within a 30-foot wide landscape buffer area⁵ (10-foot right-of-way and 20-foot landscape buffer). Similarly, Recreation Trails will be constructed with stabilized D.G. (or other acceptable material), but will be located along the neighborhood edges, through the park site (PA 12) and in several key locations within the open space preserve areas. The use of Recreational Trails within or across the HMP open space has been minimized to reduce the potential for impacts to important habitat types. Where feasible, Recreation Trails within the open space will be located congruent to existing trails or utility access roads.

In addition to the Citywide trails, the Master Plan provides for two types of community trails. Enhanced Parkways, located along the Master Plan's modified major and secondary arterial roads (Streets "A," "O," and "Z") and along several of the collector and local roads, will include meandering sidewalks located within expanded landscape buffers. These Enhanced Parkways form the backbone of the pedestrian circulation plan and provide pedestrians with connections to the various project amenities, such as community facilities, the village center, and community recreation areas. These Enhanced Parkways are complemented by the other trail types and sidewalks located within the Master Plan community.

⁵ The landscaped buffer will generally be provided as 15 feet on College Boulevard and 30 feet along Cannon Road, though not in all cases.













NOT TO SCALE

FIGURE NO. III-53

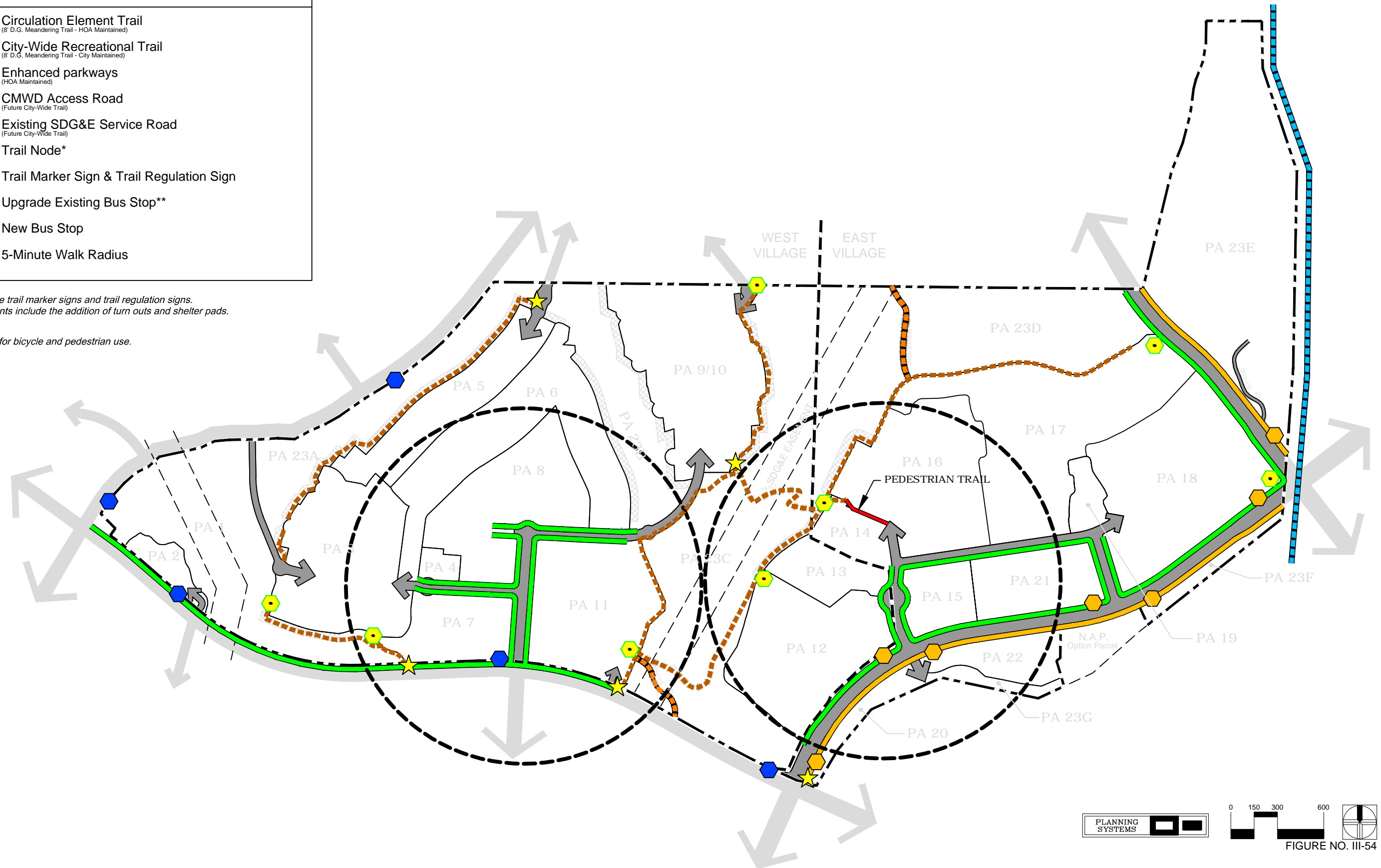
Robertson Ranch


PLANNING AREA 9/10/ OFF-SITE TRANSITION DETAIL

LEGEND

-  Circulation Element Trail
(8' D.G. Meandering Trail - HOA Maintained)
-  City-Wide Recreational Trail
(8' D.G. Meandering Trail - City Maintained)
-  Enhanced parkways
(HOA Maintained)
-  CMWD Access Road
(Future City-Wide Trail)
-  Existing SDG&E Service Road
(Future City-Wide Trail)
-  Trail Node*
-  Trail Marker Sign & Trail Regulation Sign
-  Upgrade Existing Bus Stop**
-  New Bus Stop
-  5-Minute Walk Radius

* All trail nodes include trail marker signs and trail regulation signs.
 ** Bus stop improvements include the addition of turn outs and shelter pads.
 Note:
 8' wide D.G. Trails are for bicycle and pedestrian use.



PLANNING SYSTEMS 



0 150 300 600 

FIGURE NO. III-54 

The second type of community trails consists of Neighborhood Connections. These Neighborhood Connections will provide informal links between neighborhoods as well as provide neighborhood links to surrounding features such as community recreation areas, bus stops, Recreation Trails, and Circulation Element Trails. Neighborhood Connections should achieve the following goals:

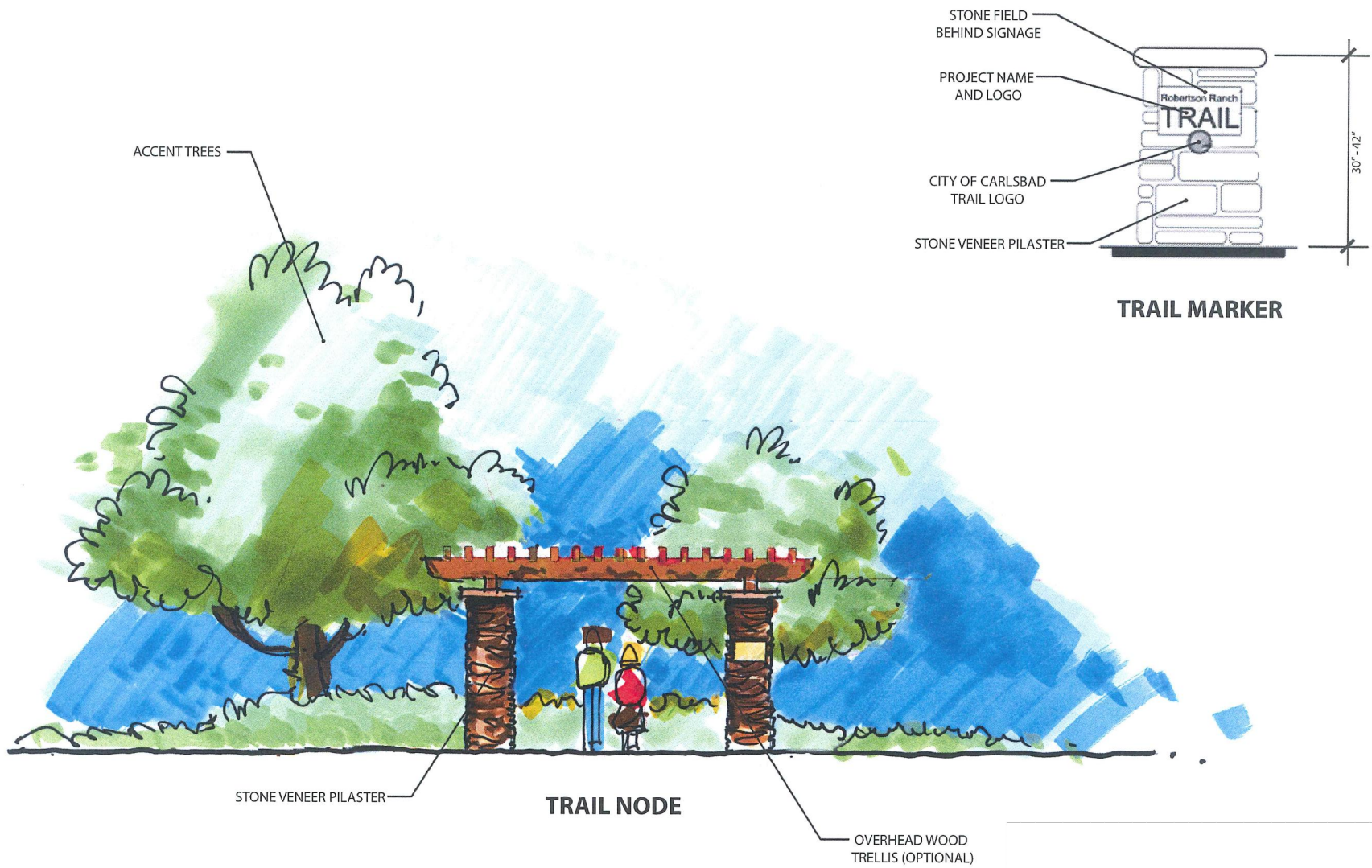
- Provide pedestrian connections between neighborhood cul-de-sacs;
- Provide direct links to bus stops from adjacent neighborhoods;
- Provide direct links to Circulation Element Trails;
- Provide informal pedestrian connections between neighborhoods; and
- Provide informal pedestrian connections to and through community recreation areas and pocket parks.

Neighborhood Connections will be reviewed with the Tentative Maps or Site Development Plans for the various Planning Areas.

Trail Nodes and Trail Markers also are proposed in key locations, as shown on Figure III-54; *Pedestrian Circulation Plan*. Trail Nodes will include a map of the trails within the development and may be located within enhanced features such as a gazebo or pergola that is designed to complement the Master Plan design theme. The Trail Marker elements will be similar for both the East and West Villages to provide a visual continuity and connection between the two Master Plan villages. Trail Markers (designed per City standards) consist of small posts at key locations to mark trail access points with directional arrows and include placards depicting allowed trail uses. In addition, trail regulations and dog waste stations shall be provided at trailheads. Concept details for the Trail Nodes and Trail Markers are shown in Figure III-55, *Trail Node and Trail Marker*.

Trails and trail signage within the Master Plan shall be subject to the following General Standards:

1. When a trail is coincidental with utility easements, such as an SDG&E maintenance road, the trail surfacing and width shall be in accordance with the associated utility requirements and/or standards.
2. All public trails identified as part of the Citywide trail system shall be built in accordance with the City Wide Trail Design Guidelines and Standards and shall include a signage program indicating allowed trail uses and an interpretive signage component educating the public on the significant vegetation, and historical or cultural aspects associated with the area at the Trail Node.



Source: Howard & Associates



NOT TO SCALE

FIGURE NO. III-55

Robertson Ranch

MASTER PLAN

TRAIL NODE AND TRAIL MARKER

PAGE III-174

3. Trail Markers and signage shall be provided in accordance with the City Wide Trail Design Guidelines and Standards. Trail signage shall be indicated on the Improvement and Landscape Plans at the time of development applications.
4. The ROW on either side of a meandering stabilized D.G. trail shall be landscaped and irrigated. Landscape areas shall have a minimum width of 4 feet, when available.
5. The surfaces of trails associated with roadways shall be constructed of stabilized D.G. materials and shall include a concrete header along each side of the trail. Stabilized D.G. trails in excess of 5 percent will require water bars per City trail Standards or enhanced concrete paving in lieu of stabilized D.G.

h) Landscape Zones

The City of Carlsbad Landscape Manual assigns a landscape intensity classification based on the intensity of maintenance and water requirements. A brief description of each zone is given below. Landscape zones for each planning area and transition area will be identified and defined in the conceptual landscape plans accompanying each tentative map or other discretionary application.

(1) Zone One: Lush Landscapes

Lush Landscaping is used along the streets, around entry monuments and in the recreation center where lush, green, flowering landscaping is required. These are high maintenance areas and will require significant amounts of irrigation. Consideration will be given to water conservation measures where appropriate.

(2) Zone Two: Refined Landscape

Refined landscapes are those which require less intensive maintenance practices (such as mowing, pruning, etc.) and less water. Their appearance is un-manicured but well kept. These areas are primarily found along street landscape areas.

(3) Zone Three: Naturalizing Landscape

Naturalizing landscape shall be planted for low use areas that do not have a refined appearance but are not native – a transition between the two. It should be able to naturalize and become self sustaining once established, but may require irrigation in summer months.

(4) *Zone Four: Native Landscape*

Areas of existing vegetation planned for low-level active use where existing vegetation is retained with very little modification. It will require a minimal level of maintenance (usually periodic control of debris and minor clearing for seasonal fire protection) and no supplemental irrigation.

i) **General Standards**

(1) *Landscape Standards*

All planting shall conform to the City of Carlsbad Landscape Manual. All areas required to be landscaped should be planted with turf, groundcover, shrubs or trees selected from the plant palette contained in these guidelines. The landscape palette for the Robertson Ranch Master Plan shall promote selective xeriscape practices in open space areas through the use of native and naturalizing species. All turf located in common maintenance areas shall be separated from shrub or groundcover areas by a 6-inch concrete mow curb or approved equal. A combination of hydro-seed mix and flatted groundcovers should be used to cover between shrubs and trees to prevent erosion. Colorful perennials should be a part of these plantings. Plants with similar watering requirements should be planted together in order to simplify the irrigation systems and reduce water use inefficiency. Priority use of water shall be mandatory, meaning that visually sensitive areas are entitled to use more water than low visual impact areas. Visually sensitive areas include entries (major and minor) and highly traveled street frontages.

(2) *Irrigation Standards*

All irrigation systems shall conform to the City of Carlsbad's Landscape Manual. Requirements for reclaimed water and other water conservation methods shall also be complied with. All common landscape areas should be equipped with automatic irrigation systems. Drip or bubbler irrigation should be provided where feasible. Large open areas should be irrigated with low precipitation rate spray heads. Automatic controllers should be equipped with automatic rain-shut-off devices and provide for various types of water management options. Reclaimed water shall be utilized for the maintenance of trees and other landscaping within the Master Plan common areas.

(3) *Maintenance*

All landscape maintenance shall conform to the City of Carlsbad's Landscape Manual and project CC&Rs. In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction shall be landscaped in accordance with a City approved Landscape Plan, and subject to City inspection of adequate maintenance levels.

Maintenance of landscaping will be dependent upon whether the area in question is for the use of the general public (“public”) or the exclusive use of homeowners (“private”). The City shall maintain the medians on the arterials streets. The Master Homeowners Association or the homeowners’ association for each planning area shall be responsible for the maintenance of all private open space within its planning area, except private open space within individual private lots. A Master HOA will be responsible for the maintenance of the parkways and landscaped fire buffers.

Maintenance and liability for all HMP open space preserve areas including trails not located within the individual planning areas shall be the responsibility of a Citywide Open Space Maintenance District, if formed. In the event no district is formed, then these responsibilities shall be assumed by the homeowners’ association for each planning area in which such open space exists, and Master Homeowners’ Associations or other acceptable entity. An environmental Management company may also take responsibility for providing the necessary maintenance.

(4) *Plant Sizes*

The following minimum guidelines shall be adhered to:

- Arterial Streetscapes, Parkway, and Slopes Adjacent to Arterial Streets
 - Median and Theme Trees: 24-inch box minimum size; a minimum of 20 percent shall be 36-inch box or larger
 - Support Trees: 15 gallon minimum size; a minimum of 20 percent shall be 24-inch box size or larger
 - Shrubs: 1 gallon minimum size; a minimum of 50 percent shall be 5 gallon size or larger
- Community Entries, Roundabouts/Traffic Circles and Focal Points:
 - Specimen size (36-inch box size or larger, or field-grown trees) shall be incorporated into these areas.
- Slopes:
 - Slope plant sizes shall conform to the guidelines outlined in the City Landscape Manual.

j) **Walls and Fences**

Walls and fencing will be used throughout the project area to complement the overall design theme, establish community identity, provide protection from roadway and other noise, protect HMP open space as may be required by the wildlife agencies, and allow privacy and security in residential areas. All fences and walls within the Robertson Ranch Master Plan should be designed as integral elements of building architecture or complementary to the architecture and landscape character. Several types of walls, excluding walls associated with entry monumentation, may occur

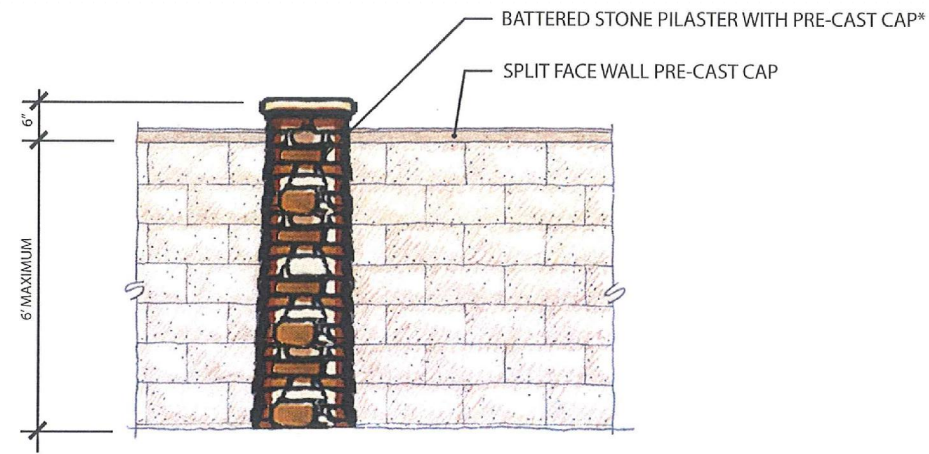
within the Robertson Ranch Master Plan, as conceptually illustrated in Figure III-56, *Conceptual Theme Walls and Fence Detail*. These wall types are described below. Potential locations for perimeter walls and fences are set forth on Figure III-57, *Fence and Wall Plan*. These locations are conceptual and will be further defined along with additional fencing for the subdivisions at the Final Map or Site Development Plan stage. Note that alternative structural materials may be used for wall and fence construction, provided that the materials are visually pleasing and structurally comparable to the conceptual wall and fence materials. Use of alternative materials shall be permitted only upon the approval of the City Planner. In addition, production fencing using wood or block may be constructed between individual single family lots.

(1) *Community Theme Wall*

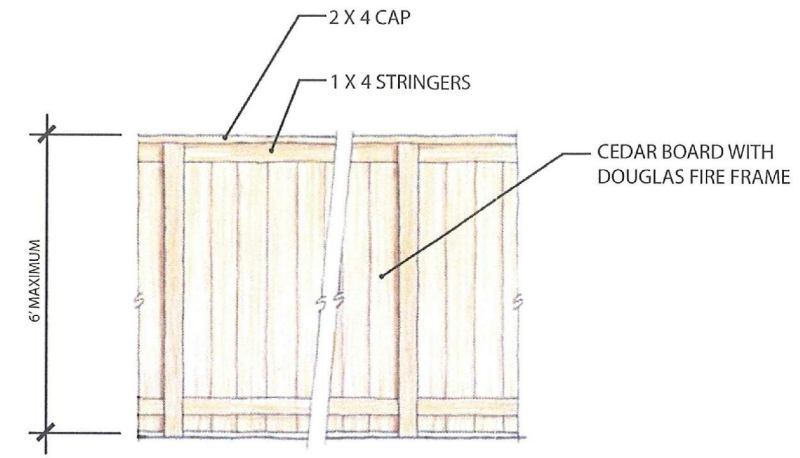
This wall will be used within the project area for a variety of purposes, such as where privacy or security is desired, as well as in locations where screening or noise barriers are necessary. These walls are primarily located along arterial streets or major collectors, or where a perimeter wall is visible from primary entrance points within the East or West Village. As shown in Figure III-56, *Conceptual Theme Walls and Fence Detail*, the Community Theme Wall shall be six feet high, and constructed of split face/precision block with stone pilasters and a pre-cast cap. Where such walls tie into a Project Entry or Neighborhood Entry monumentation, the transition shall be made from the entry wall to the theme wall with a pilaster. Pilasters shall be provided at regular intervals, which may vary but which shall be between 20 feet and 40 feet on center, depending on the location of the wall and changes in elevation or direction. Theme walls shall also be located along the rear, side, or street side yards of planning areas which abut recreation open space or public/private streets.

(2) *Perimeter Wall*

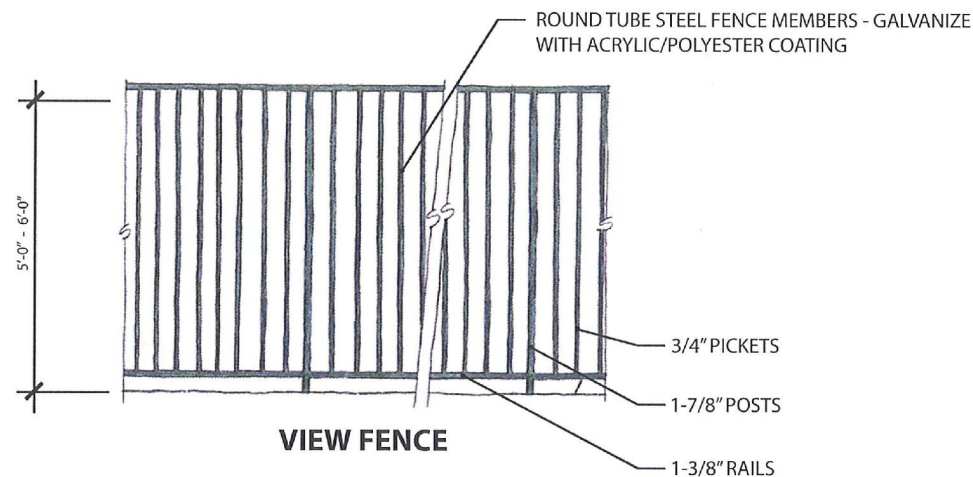
This fence type includes view fencing, sound/view walls and solid block walls and may be used between lots or planning areas. The tubular steel view fence may be used at parks and open space areas where some security and privacy is necessary, but also where an unobstructed view is desirable. As shown in Figure III-56, *Conceptual Theme Walls and Fence Detail*, walls and fencing shall be a minimum of five feet high with a maximum of six feet in height. View fencing shall be constructed of tubular metal pickets with stone pilasters, and stucco or concrete caps, consistent with the architectural style and with the Village or Neighborhood Entry. Where views and noise attenuation are desirable, a combination sound/view wall may be used. The sound/view walls shall be constructed of a low split face block wall with ¼-inch and battered stone pilasters. Finally, in areas where views are not



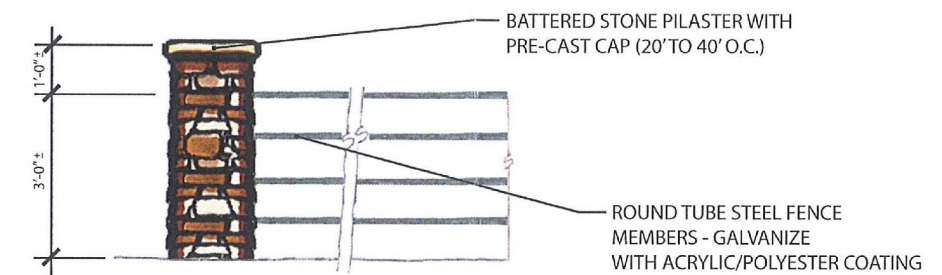
COMMUNITY THEME WALL/NOISE WALL ON BERM



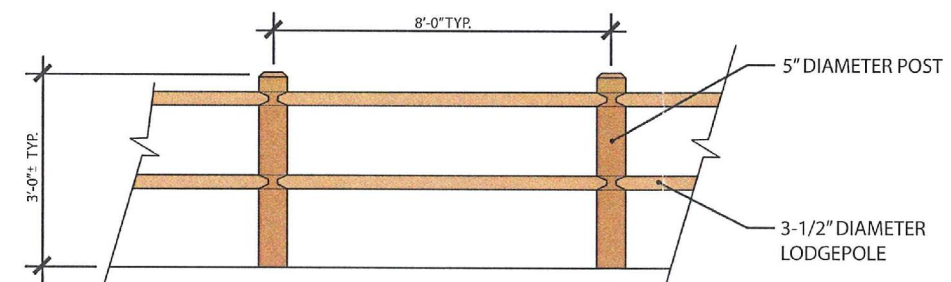
WOOD FENCE (OPTIONAL)
(PRODUCTION FENCE BETWEEN SFR LOTS)



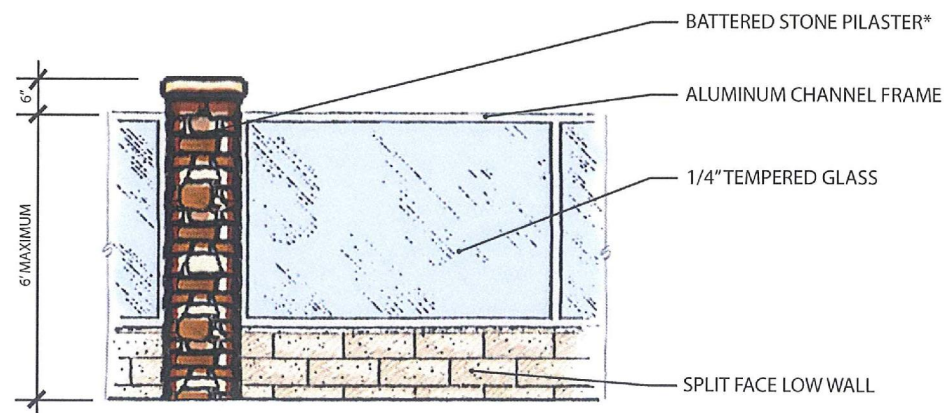
VIEW FENCE



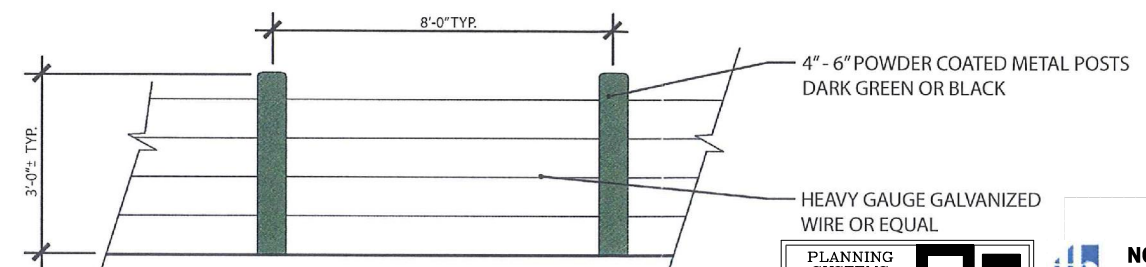
TRAIL FENCE
(AT ENTRY LOCATIONS AND 1/4 MILE MARKERS)



LODGEPOLE TRAIL FENCE



SOUND/VIEW WALL



WIRE TRAIL FENCE

**Note: Pilasters shall be located at property corners of residential lots or a maximum of 50' o.c. for multifamily or non-residential planning areas.*







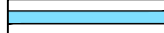
Source: Howard & Associates



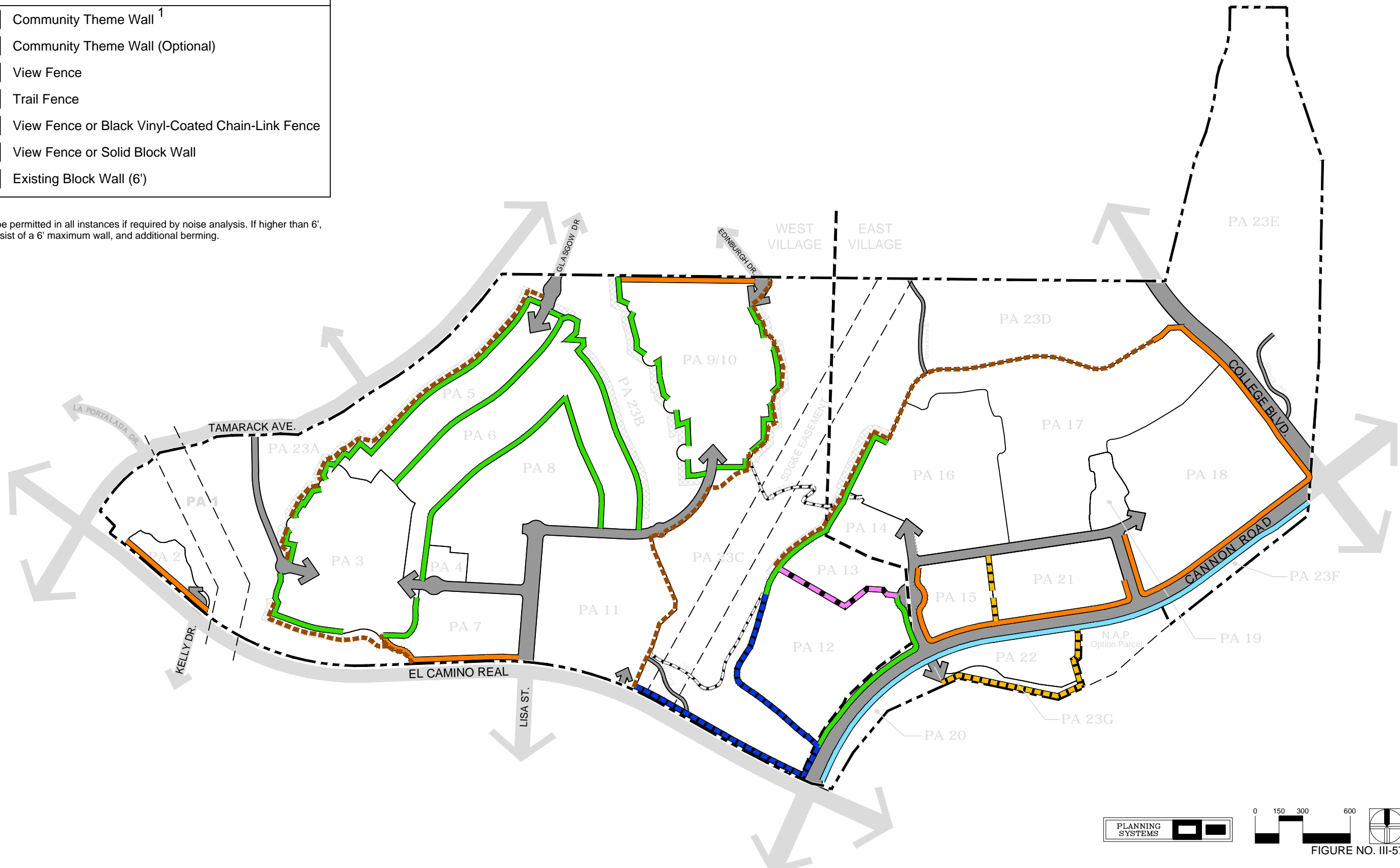
NOT TO SCALE

FIGURE NO. III-56

LEGEND

-  Community Theme Wall ¹
-  Community Theme Wall (Optional)
-  View Fence
-  Trail Fence
-  View Fence or Black Vinyl-Coated Chain-Link Fence
-  View Fence or Solid Block Wall
-  Existing Block Wall (6')

Notes:
 1. Noise walls shall be permitted in all instances if required by noise analysis. If higher than 6', these walls shall consist of a 6' maximum wall, and additional berming.



Robertson Ranch

MASTER PLAN

WEST VILLAGE UPDATE FENCE AND WALL PLAN

desirable, a solid block wall with pilasters may be provided. The solid block wall shall consist of a split face wall with pre-cast cap. For each of the perimeter walls, pilasters shall be provided at regular intervals, which may vary, depending on the location of the wall but shall be provided as needed to ensure the structural integrity of the wall.

(3) *Wood Fence (Production Fencing)*

Wood fences may be provided at the rear and sides of individual residential lots in order to provide security and privacy for individual residential units. As shown in Figure III-56, *Conceptual Theme Walls and Fence Detail*, wood fences shall be constructed of wooden slats (cedar board with Douglas fire frame) framed by battered stoned community wall pilasters with pre-cast cap. Wood fencing shall not exceed a height of six feet. The pilasters shall be provided at regular intervals, which may vary, depending on the location of the wall but shall be provided as needed to ensure consistency with the perimeter and community theme walls.

(4) *Trail Fence*

Where fencing is desirable adjacent to the pedestrian trail system, trail fences may be used in order to minimize human intrusion into open space areas while providing a natural experience for trail users. As shown in Figure III-56, *Conceptual Theme Walls and Fence Detail*, trail fences shall be constructed of railings manufactured from non-combustible materials with battered stone pilasters provided consistent with the community theme walls, perimeter walls, and wood fences. Trail fences shall not exceed a height of four feet.

(5) *Wall/Fence Guidelines*

The following guidelines should be used for all fences and walls:

- Appropriate materials include wrought iron, masonry, and wood. Transparent materials, such as tempered or laminated glass, can also be used where views are desirable. The maximum height for fences and walls shall be six feet, except as may be otherwise required for sound attenuation.
- Noise walls required with heights over 6 feet shall use a combination of a maximum six-foot high wall and berm to achieve the required height.
- Solid fences and walls which are visible from public ways should include design elements incorporated to reduce monotony. These elements shall include pilasters, which should be placed at intervals not to exceed 40 feet on center.
- Fencing within 60 feet of native habitat shall be noncombustible.

- The placement of a fence or wall should be such that it minimizes the visual impact of the wall and maximizes its effectiveness as mitigation.
- Fencing which is adjacent to the public Right of Way or recreation areas shall be decorative block, masonry, or view fencing (no wood).

k) Signs

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development and giving directional information to residents and visitors. Unless noted within this Master Plan, all residential and nonresidential signs shall comply with the requirements of the City of Carlsbad's Sign Ordinance (Chapter 21.41 of the Carlsbad Municipal Code). A sign program will be submitted at the time of tentative map or site development plan review for the Village Commercial Center located in Planning Area 11.

The following basic principles shall be considered in the provision of signs within this Master Plan:

- The design and architectural elements of the proposed signs shall be compatible and consistent with theme elements of the Master Plan.
- Signs should relate to human scale, especially along pedestrian corridors and should encourage pedestrian use.
- The design of signs should be compatible with and complement the architecture of the adjacent buildings.
- Signs should be designed to create a unifying theme within the Master Plan.
- Signs for nonresidential uses in Planning Areas 2 and 12 shall require approval of a sign permit, subject to the size and locational criteria contained in Carlsbad Municipal Code Section 21.41.095 and the design criteria of the Master Plan.

Signs utilized in the Robertson Ranch Master Plan included both temporary and permanent types:

(1) Permanent Signs

Permanent signs include:

- a. Trail head markers
- b. Street signs
- c. Recreation Center signs
- d. Planning area entry signs
- e. Commercial signage
- f. Project identification

- g. Public access trails
- h. Fire lane signs

(2) *Temporary Signs*

Temporary signs which will be present until the completion of project construction include:

- a. Marketing and subdivision sale signs
- b. Future facility signs
- c. Community entry signs
- d. Directional signs
- e. Project identification

l) Lighting

The design issue of “lighting” includes street lighting, as well as building and landscape accent lighting, and sign illumination. The following basic principles should be considered in the provision of lighting:

- Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
- Lighting fixtures should relate to the human scale, especially in pedestrian areas.
- Lighting and lighting fixtures should complement the design and character of each planning area in which they are placed.
- All lighting shall be pedestrian oriented and friendly but shall not be obtrusive or offensive.
- All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.
- Lighting of outdoor recreation facilities may be allowed subject to the approval of the City.
- Illuminated entries should direct lighting low to the ground and be limited to only the immediate vicinity of the entry.
- Lighted entries should not be distracting, create visual hot spots, or glare, etc.
- All lighting should be designed so that it is directed away from the adjacent existing mobile home park residences.
- All commercial lighting shall be restricted and designed so as not to significantly affect any residential planning area, open space areas or other nearby properties.

- All lighting conditions will be addressed in the review and approval of any site development plan or other application.
- Sports field lighting shall be designed to minimize light spillage onto adjacent and nearby properties.
- Any lighting within community commercial or recreation areas which will illuminate a residential area past the hour of 10:00 PM, shall be clearly identified on the site plan.

IV. PUBLIC FACILITIES AND INFRASTRUCTURE PLAN

A. Relationship to Zone 14 Local Facilities Management Plan

The Robertson Ranch Master Plan area is located within Local Facilities Management Plan (LFMP) Zone 14 of the Carlsbad Growth Management Program. As such, the property is subject to the requirements and conditions identified in the Zone 14 LFMP Amendment, which is being processed for approval in tandem with this master plan. This LFMP Amendment identifies special conditions with which any development project within the zone must comply in order to maintain acceptable public facility service levels. These special conditions can be found in the Zone 14 LFMP and Finance Plan Amendment.

All public infrastructure improvements within the master plan shall comply with City standards or as required or accepted by the City Engineer. In addition, as required by the Carlsbad Growth Management Program, an ongoing monitoring program will evaluate the aspects of improvements, development, and demand on circulation facilities. The required timing of improvements is based upon the projected demand of development in the zone and the surrounding region. This timing may be modified without amendment to the LFMP or this Master Plan, however, any deletions or additions to the improvements will require amending the LFMP.

The following sections discuss the public facilities and services which will be necessary to accommodate the development of the Robertson Ranch Master Plan. Specific engineering requirements, not discussed herein, will be determined through the subdivision map process.

B. Circulation Plan






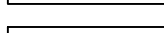
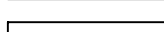

The locations of these roadways are depicted on Figure IV-1, *Circulation Plan*. The cross sections of these roadways are depicted on Figure IV-2, *Road Cross Sections*.

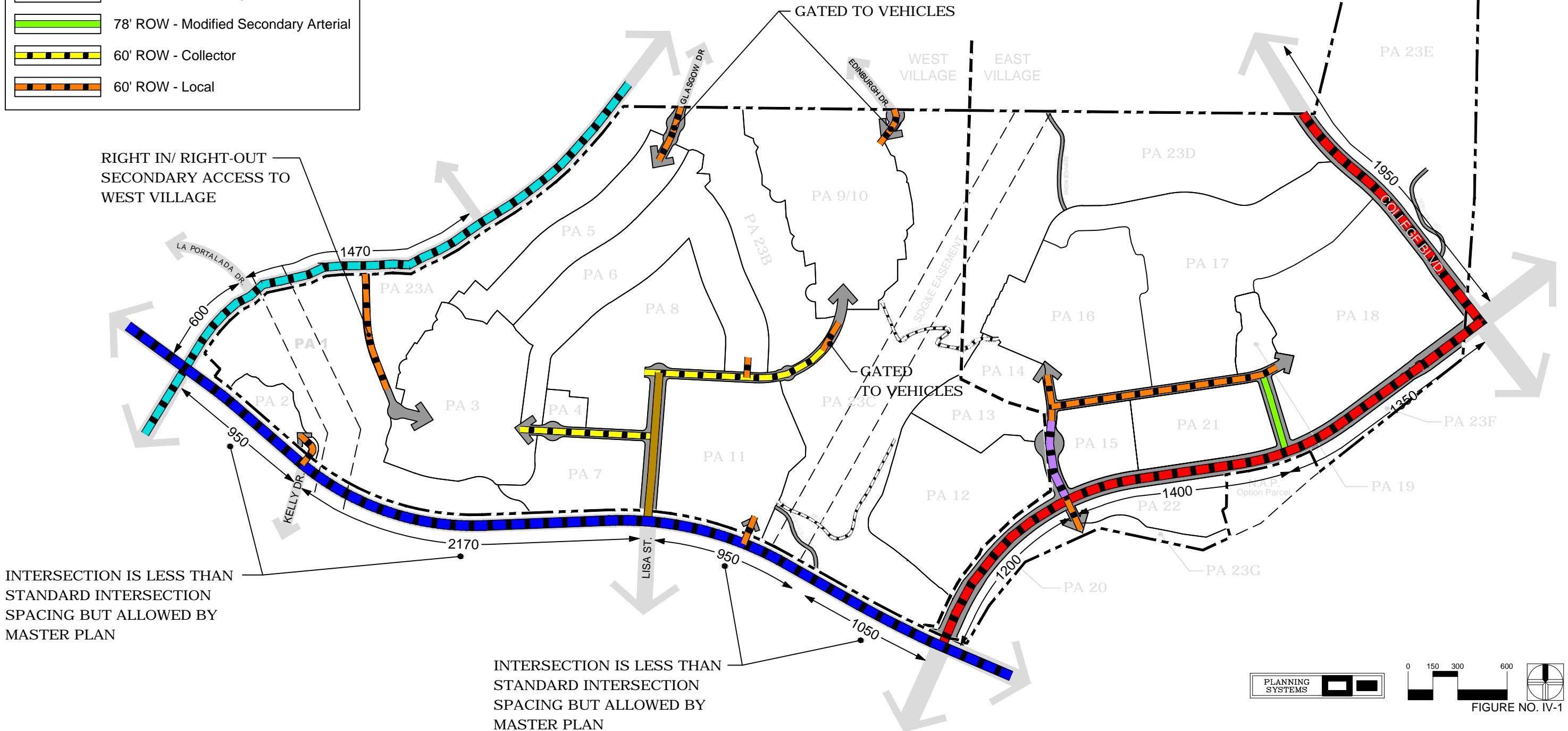
1. Intersection Spacing

All intersection spacing within the master plan shall be consistent with the standards provided by this Master Plan. Village access points are to be located as demonstrated on Figure IV-1, which in some cases may require a variance from intersection spacing policy.

2. Arterial Roadways


El Camino Real, an existing prime arterial on the City's Circulation Element, is located along the southwestern perimeter of the master plan area. Through implementation of this Master Plan, El Camino Real will be constructed to its ultimate planned prime arterial width of 126-foot ROW, with three through-lanes in each direction, an 18-foot raised median, turn lanes at Tamarack Avenue, Cannon Road and Street "Z" and bike lanes.

LEGEND	
	126' ROW - Primary Arterial
	102' ROW - Major Arterial
	96' ROW - West Village Entry - Modified Major
	88' ROW - East Village Entry - Modified Secondary Arterial (Includes Traffic Circle)
	84' ROW - Secondary Arterial
	78' ROW - Modified Secondary Arterial
	60' ROW - Collector
	60' ROW - Local



Robertson Ranch

MASTER PLAN

PLANNING SYSTEMS 

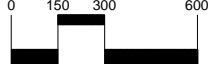

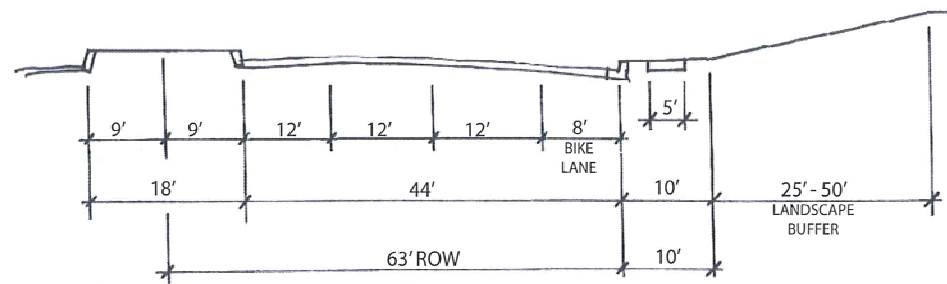
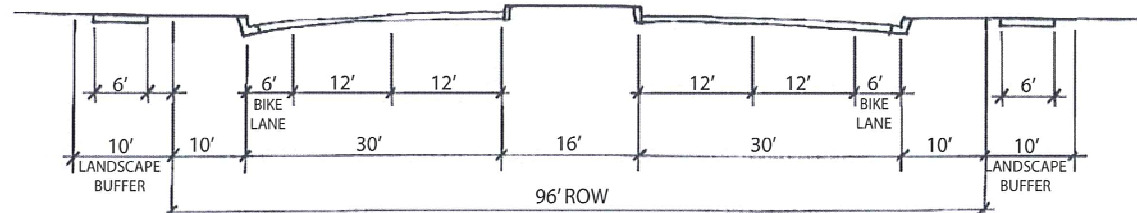
0 150 300 600 

FIGURE NO. IV-1 

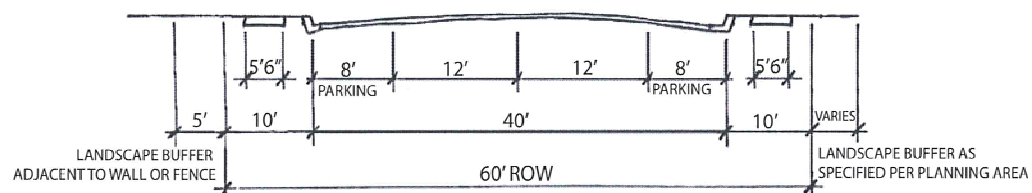
WEST VILLAGE UPDATE CIRCULATION PLAN



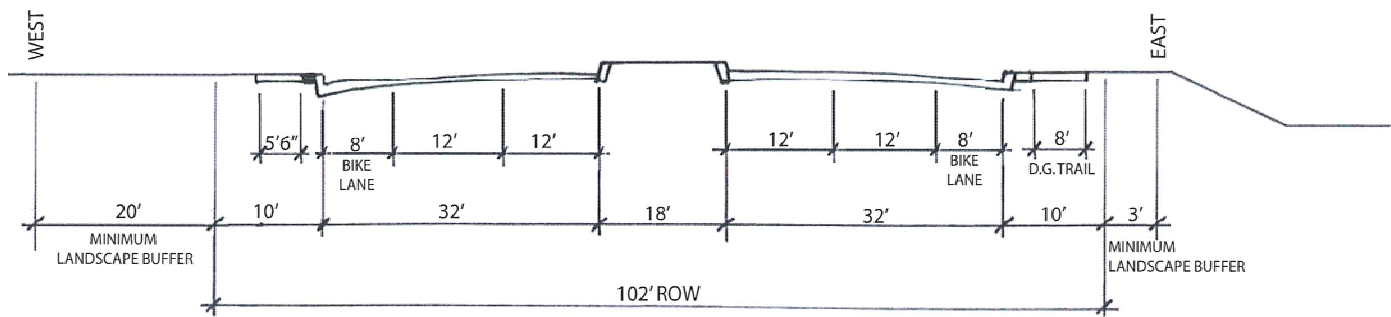
**PRIME ARTERIAL
(EL CAMINO REAL 1/2 WIDTH)**



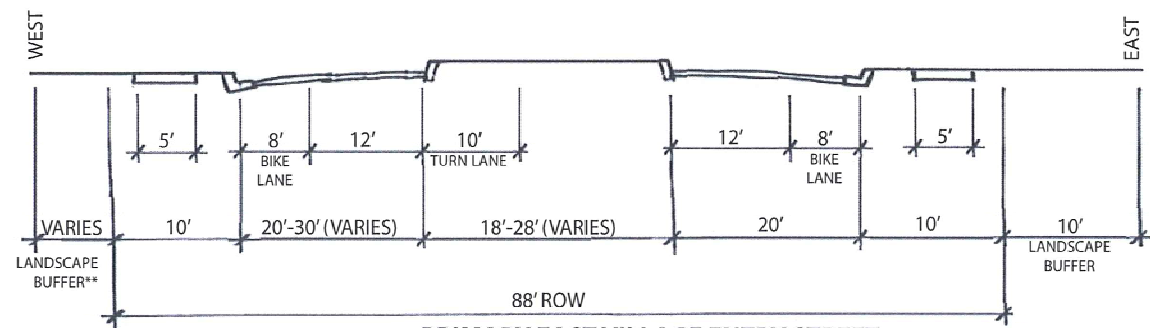
**PRIMARY WEST VILLAGE ENTRY STREET
(STREET "Z")**



COLLECTOR STREET

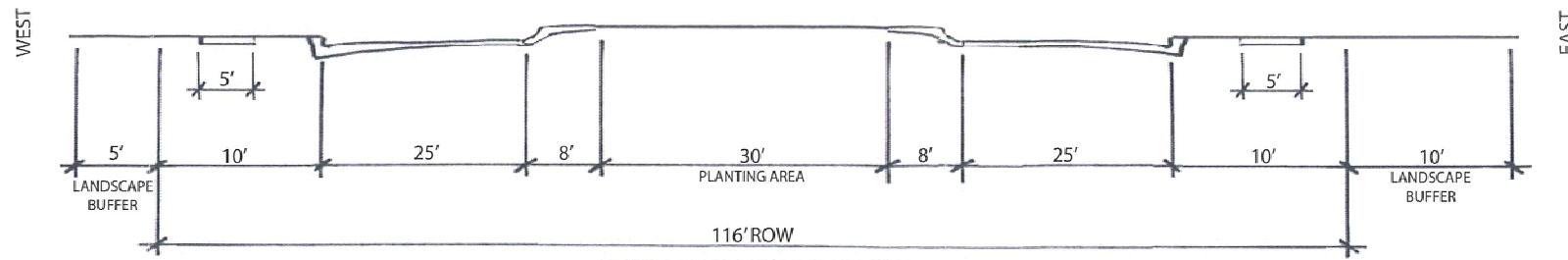


COLLEGE BOULEVARD

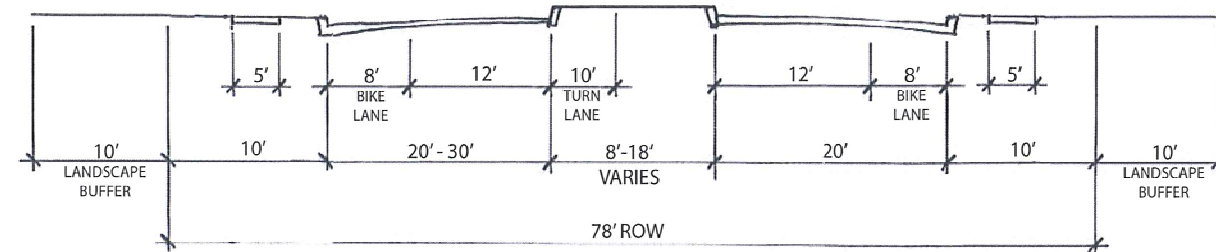


**PRIMARY EAST VILLAGE ENTRY STREET
(STREET "A"*)**

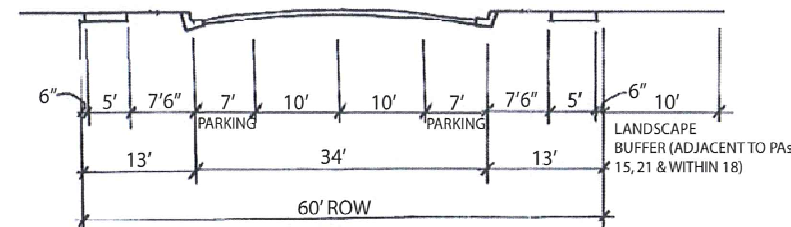
*STREET "A" NARROWS TO LOCAL STREET NORTH OF TRAFFIC CIRCLE
 **STREET "A" HAS A 10' LANDSCAPE BUFFER ADJACENT TO PLANNING AREAS 12 AND 15, AND A 5' LANDSCAPE BUFFER ADJACENT TO PLANNING AREAS 13 AND 14.



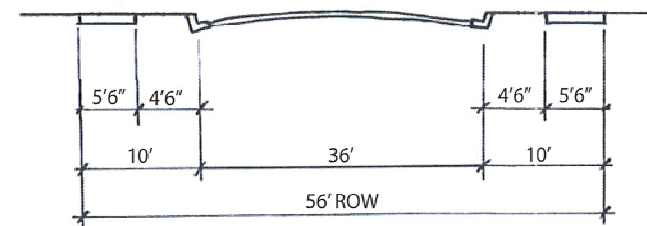
STREET "A" TRAFFIC CIRCLE



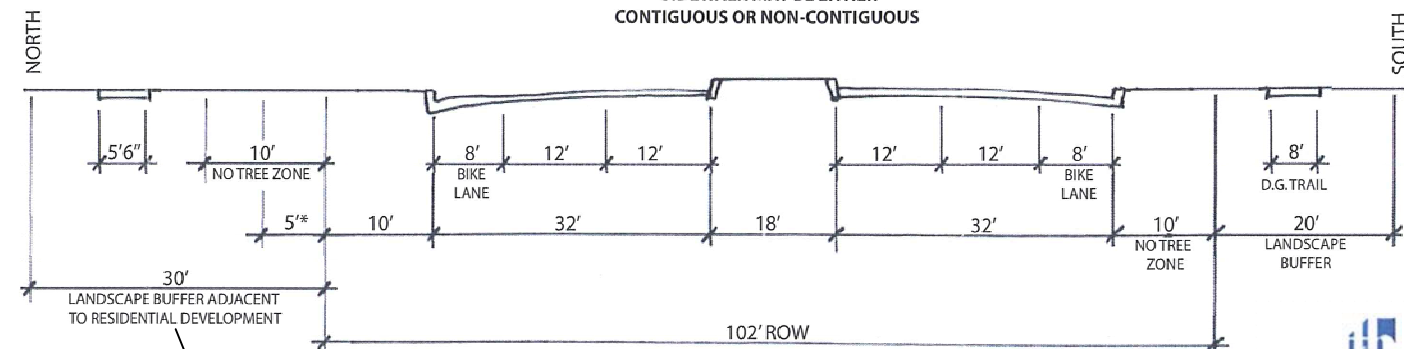
**EAST VILLAGE ENTRY STREET
(STREET "O")**



LOCAL RESIDENTIAL STREET*
 *AN 8' WIDE D.G. TRAIL MAY BE PROVIDED ON SINGLE-LOADED STREETS WHEN ADJACENT TO OPEN SPACE



CUL-DE-SAC*
 *SIDEWALK MAY BE EITHER CONTIGUOUS OR NON-CONTIGUOUS



CANNON ROAD
 *ENHANCED LANDSCAPE BUFFER AT PLANNING AREA 12 (PARK) FRONTAGE

NOTE: ALL LANDSCAPE BUFFERS ARE ON PRIVATE LOTS, NOT IN PUBLIC RIGHT-OF-WAY.



NOT TO SCALE

FIGURE NO. IV-2

ROAD CROSS SECTIONS

College Boulevard, a major arterial on the City's Circulation Element, extends through the eastern section of the master plan area in a north-south direction. This existing arterial is constructed at a ROW width of 102 feet, including two through-lanes each way, an 18-foot raised median, bike lanes, and parkway. Outside lanes, medians and final landscaping will be constructed on College Boulevard with the development of this project.

Cannon Road, also a major arterial on the City's Circulation Element, extends from El Camino Real in an east-west direction, to its intersection with College Boulevard. This existing arterial is constructed at a ROW width of 102 feet, including two through-lanes each way, an 18-foot raised median, bike lanes, and parkway. Outside lanes, medians and final landscaping will be constructed with the project development.

Tamarack Avenue, a secondary arterial on the City's Circulation Element, presently exists in build-out design along the northwest perimeter of the master plan area. Existing design is 84-foot ROW, with two through-lanes each direction, painted median and bike lanes. Additional landscaping will be limited to the buffer areas to screen Planning Area 1 and the PA 2 RV Storage Facility.

The schedule for arterial improvements is discussed in the phasing plan, Chapter V, IMPLEMENTATION MEASURES.

3. Primary Entry Streets

Primary entry streets entering into the project from the arterial roadways are provided in both the West Village and the East Village in order to create an inviting sense of entry and community to the motorist and residents. These streets are not designed as short-cuts through the community, but rather as short, attractive, wide and inviting entrances, with extensive landscaping and setbacks. Primary entry streets provide the motorist with convenient direct access to the village center and public facility uses such as the park.

- Street "A" in the East Village will be constructed at an 88-foot right-of-way section, with 20-foot wide travel lanes on each side of a 28-foot wide landscaped median. On both sides of the street, a 6-foot curb-separated sidewalk will be provided within an expanded 15- or 20-foot wide landscape parkway (i.e., 10 feet within the right-of-way and 5 or 10 feet of landscape buffer). Street "A" will terminate at a traffic circle street design, which accommodates a 30-foot wide landscaped island focal point.
- Street "O" will be constructed at a 78-foot right-of-way section, with 20-foot wide travel lanes on each side of an 18-foot wide landscaped median. Similar to Street "A," 6-foot curb-separated sidewalks will be provided on both sides of the street within an expanded 20-foot landscape parkway (i.e., 10 feet within the right-of-way and 10 feet of landscape buffer).
- Street "Z" in the West Village will be constructed at a 96-foot right-of-way section, with 30-foot wide travel lanes (two lanes each direction) on each side of a 16 foot wide landscaped median. A 6-foot curb-separated sidewalk will be provided on both

sides of Street "Z" within an expanded 20-foot wide parkway (i.e., 10 feet within the right-of-way and 10 feet of landscape buffer). Street "Z" will be constructed with a roundabout or traffic circle at its internal terminus, which will then direct local collector streets into the West Village neighborhoods.

4. Collector and Local Streets

Public collector and local streets within the single family neighborhoods of the Robertson Ranch Master Plan shall be designed in accordance with City of Carlsbad Engineering Department public street standards. The width of private streets within multifamily neighborhoods may vary and shall be established during the Tentative Tract Map/Site Development Plan/Planned Unit Development Permit review stage in accordance with City standards. Private streets within Planning Areas 5 and 9/10 may be gated (as shown on Figure III-IV).

For local residential streets, the pedestrian system within the public right-of-way shall consist of a five (5) foot wide sidewalk with a 7½ foot wide landscape parkway adjacent to the curb. Streets which are primary entry streets or that are designated as collector streets will be designed with enhanced landscape buffers adjacent to the street right-of-way. Street 'Y' (also referred to as the "Tamarack Connection") shall be designed as a Hillside Street, with a 28-foot curb-to-curb width, sidewalk on one side, streetlights on both sides, and provided with a right-turn in/right-turn out only configuration at its intersection with Tamarack Avenue. A stamped concrete roadway surface is allowed at the point where the pedestrian trail crosses Street 'Y', at the top of the hill adjacent to Planning Area 3. In order to minimize impacts to the adjacent open space corridor, a landscaped buffer would not be provided along Street 'Y' adjacent to Planning Area 1 and 23A. Sidewalks and trails may be designed to meander into the adjacent landscape buffers to reinforce the informal character of the Master Plan and comply with the Ahwahnee Principles. Sidewalks may be reduced to 4 feet in width (or no sidewalks altogether) on private streets and driveways upon approval of the City Engineer. All bikeway and pedestrian street crossings shall be located at street intersections with appropriate signage as required by the City Engineer. Stabilized decomposed granite trails will be located along single-loaded streets for pedestrian and bicycle use. Pedestrian street crossings may be raised or may utilize stamped colored asphalt or concrete paving.

5. Traffic Calming

Development of the Robertson Ranch Master Plan will include the incorporation of traffic calming design, in order to increase safety, slow traffic, and discourage through traffic within the neighborhoods of the project. Specific locations for all Traffic Calming measures are not provided because the suitability of each type of device is best determined at the Tract Map level of detail.



Robertson Ranch

MASTER PLAN

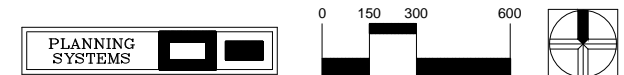
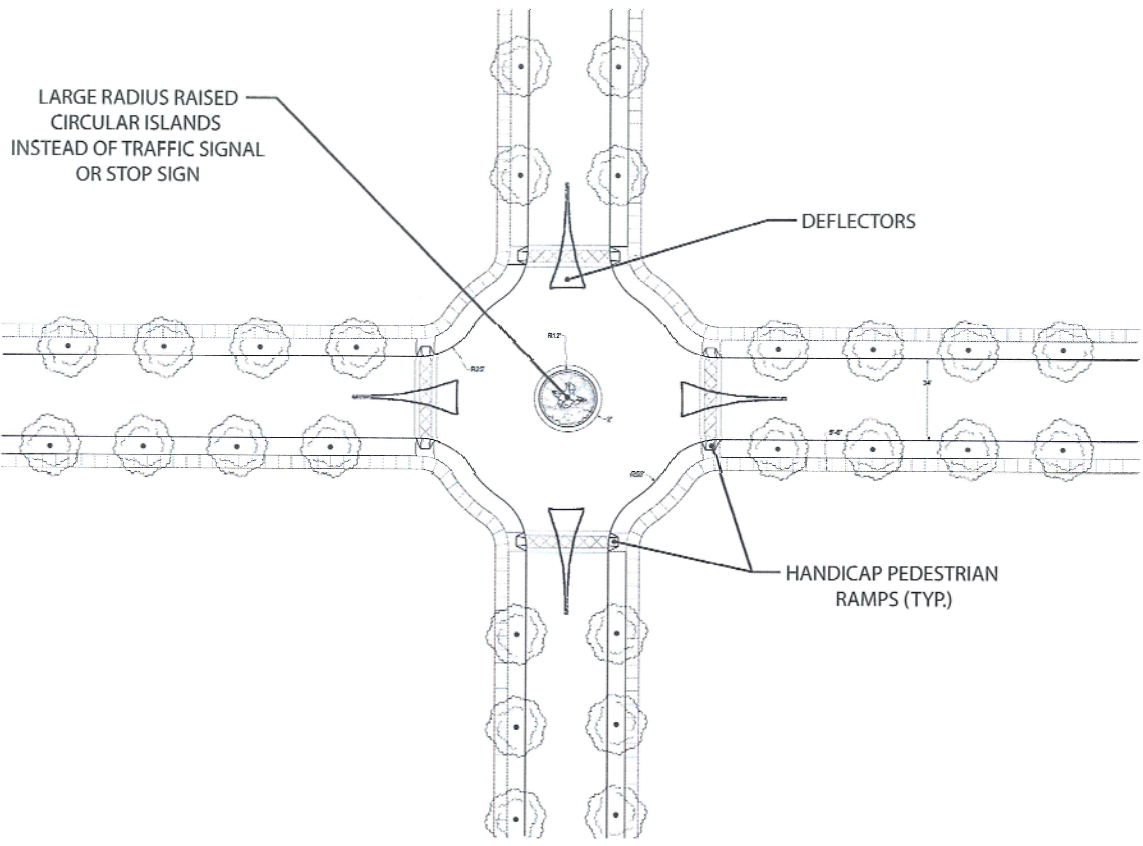


FIGURE NO. IV-3

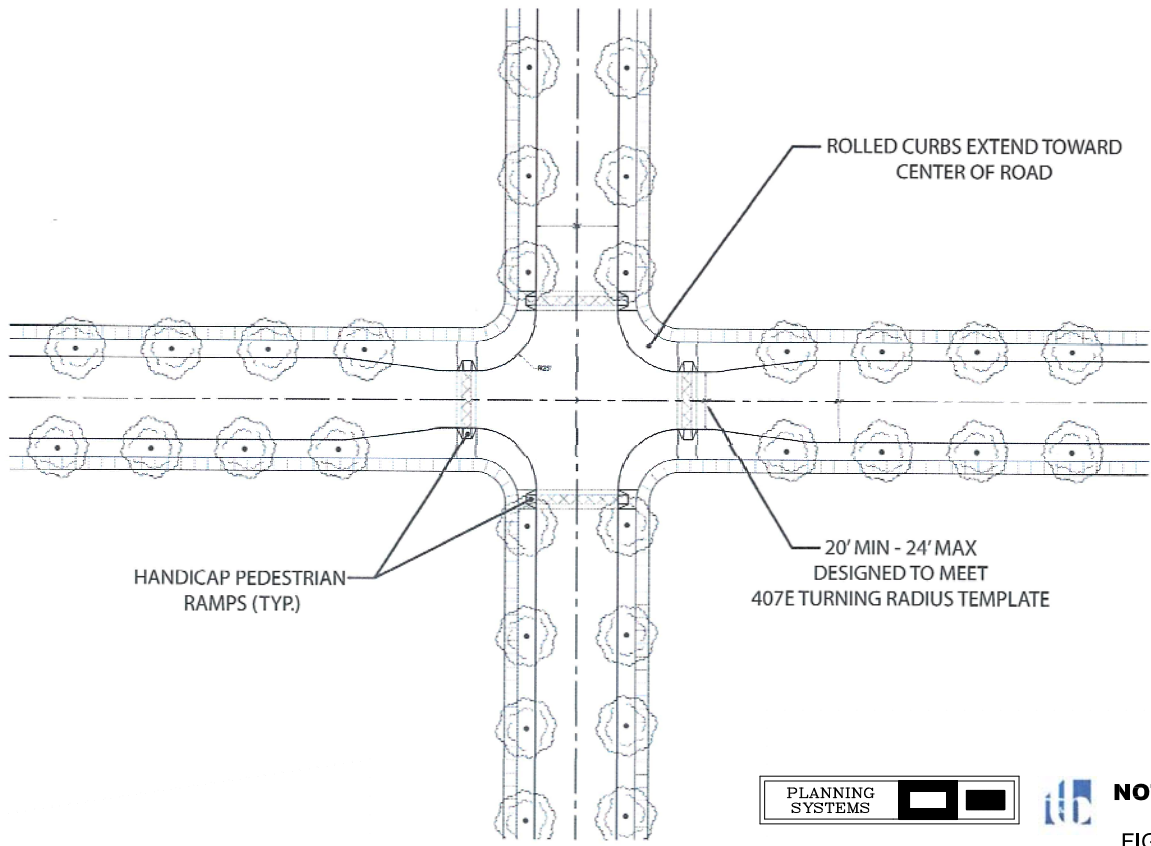
LOCATION OF THE COLONY NEIGHBORHOOD

Examples of traffic calming measures which will be utilized in this project are shown on Figures IV-4 and IV-5, *Traffic Calming Details*. It is important to note that the various traffic calming elements described below are intended to provide a variety of options which can be utilized independently or in combination with one another to produce the desired effects of: slowing traffic; reducing conflicts between pedestrians, bicycles, and vehicles; improving the environment and livability of streets; and to discourage the use of residential streets by cut-through traffic. Each of the traffic calming devices depicted on Figures IV-4 and IV-5 are briefly described below.

- Traffic Circles (Figure IV-5): Traffic Circles are a method of intersection design which directs traffic circularly around a central island in a single direction. Traffic circles are effective traffic calming devices because they limit traffic to a single direction, reduce vehicular speeds and also shorten the distance of pedestrian crossings. Within the Robertson Ranch Master Plan, a prominent traffic circle is planned along the primary entries (i.e., Street “A” and Street “O”) within the East Village and will consist of a landscaped median that also will serve as a focal point for the street. Other locations may be deemed appropriate for Traffic Circles within the West Village during the Tentative Map process.
- Roundabouts (Figures IV-4 and IV-5A): As with traffic circles, roundabouts establish a central island around which traffic moves in a single direction. Roundabouts tend to be smaller and more modest than traffic circles, and are more appropriate at major intersections other than the primary intersections within the community. Roundabouts will be utilized at the intersection of Street “Z” and the east-west collector in the West Village. Other locations may be deemed appropriate for Roundabouts within the West Village during the Tentative Map process. Alternatively, Street “Z” may be provided with a traffic circle, as described above.
- Intersection Bulb-Outs (Figure IV-4): Intersection bulb-outs are areas adjacent to intersections where curb-to-curb distance is reduced by widening the sidewalk. Bulb-outs are intended to improve pedestrian safety by slowing traffic down and reducing the crossing distance for pedestrians. Intersection bulb-outs should be considered at four-way intersections of local streets within the community, and at “tee” intersections where traffic calming is desirable.
- Curb Extensions (Figure IV-5): Curb extensions are physical extensions of the curb line into the travel lanes which improve pedestrian safety by slowing traffic due to the narrowed roadway and by reducing the curb-to-curb distance of the street. Curb extensions are best-suited for tee intersection in conjunction with bulb-outs, along street segments where pedestrian crossings are desirable, or along long segments of roads where other traffic calming devices are not utilized.



ROUNDAABOUT



INTERSECTION BULB-OUT

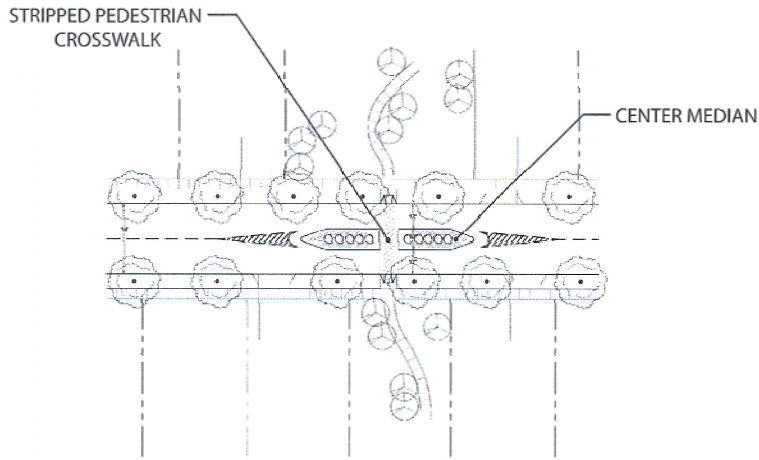


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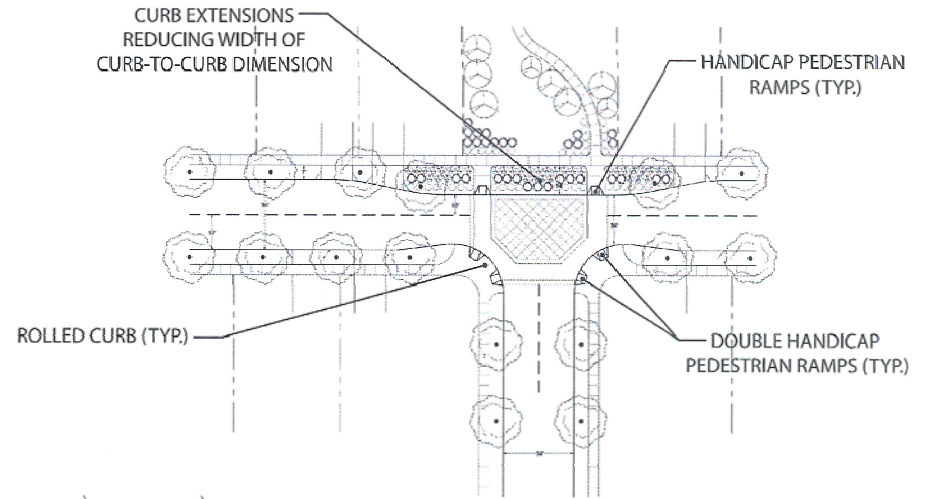
FIGURE NO. IV-4

Robertson Ranch

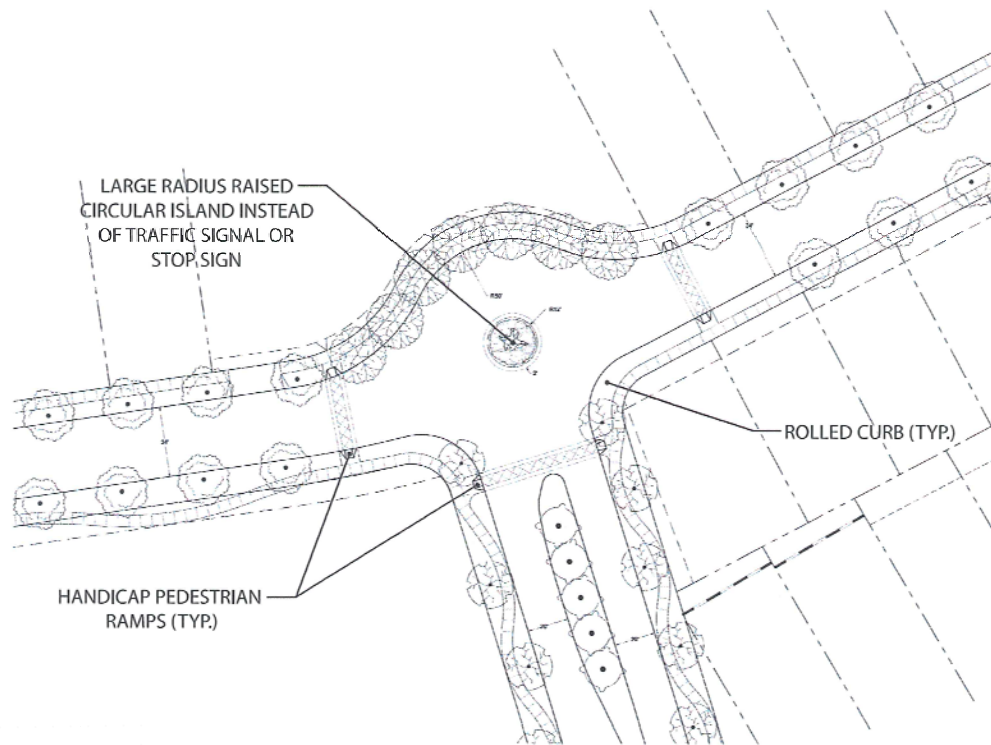
TRAFFIC CALMING DETAILS (1 OF 2)



LOCAL STREET WITH CENTER MEDIAN



TEE INTERSECTION



TRAFFIC CIRCLE



NOT TO SCALE

FIGURE NO. IV-5

Robertson Ranch

MASTER PLAN

TRAFFIC CALMING DETAILS (2 OF 2)

PAGE IV-9

Center Medians (Figure IV-5): Landscaped center medians are an effective device for limiting the sight-distance for automobiles, thereby reducing speed. In addition, center medians help improve pedestrian safety by minimizing the amount of street that must be crossed. Center medians should be considered along long segments of roads, or where mid-block pedestrian crossings are desirable.

- Barriers/Diverters: In certain locations within the community, it may be necessary to reduce the potential for traffic with high-volumes from cutting through the community. In such cases, it may be appropriate to utilize security gates or cul-de-sacs in conjunction with appropriate signage (i.e., “Not a Through Street”) to reduce or eliminate the potential for cut-through traffic, thereby enhancing pedestrian safety.

6. Street Naming Requirements

Public and private street names within the East and West Village of the Master Plan may deviate from the provisions of City Council Policy No. 20, *Street Naming and Addressing Policy*, by reflecting the following themes: 1) the East Village streets will reflect a trail theme, and 2) the West Village streets will reflect an historic theme. Both trail-themed and historically themed street names shall be subject to approval by the City Planner.

7. Public Transportation

In conformance with the Ahwahnee Principles, as discussed in Section II of this Master Plan, the Master Plan has been designed to provide safe and convenient access to transit facilities. Bus stop facilities on El Camino Real, Tamarack Avenue., College Boulevard and Cannon Road shall be provided in conjunction with these respective developments as approved by NCTD, as shown on Figure III-57, *Pedestrian Circulation Plan*. Said facilities shall at a minimum include a covered bench, free from advertising, and a pole for a bus stop sign. The bench and pole shall be designed in a manner so as to not detract from the basic theme of the adjacent planning area and said design shall be subject to the approval of the City Planner and North County Transit District. Existing facilities on El Camino Real and Tamarack Avenue will be improved and upgraded. Bus stop facilities shall be maintained by the developer or Master HOA.

As part of this Master Plan Project, the following bus stops shall be improved with new concrete bus turnouts, ADA-compliant boarding pads, new shelters with anti-vagrant bar benches, trash cans and solar lights (if the upgraded street lighting is not sufficient):

- **Westbound El Camino Real at west of Cannon Road.** Relocate existing bus stop from just east of Cannon Road.
- **Westbound El Camino Real at west of Lisa Street.** Relocate existing bus stop from just east of Lisa Street.
- **Westbound El Camino Real at west of Kelly Drive.** The City of Carlsbad has previously installed a bench and a trash can at this bus stop. The existing bench shall be returned to the City for use at another location when the bus stop is improved.

The following bus stops shall be improved with ADA-compliant boarding, new benches with backs, and trash cans:

- **Northbound Tamarack Avenue at north of El Camino Real**
- **Northbound Tamarack Avenue at north of Pontiac Avenue**

Future bus stop locations to be constructed with concrete bus stop turnouts, ADA-compliant boarding pads, new shelters with anti-vagrant bar benches, trash cans and solar lights (if upgraded street lighting is not sufficient) shall be at the following locations:

- **Northbound Cannon Road at north El Camino Real**
- **Northbound Cannon Road at north of Street “A”**
- **Northbound Cannon Road at north of Street “O”**
- **Southbound Cannon Road at south of College Boulevard**
- **Southbound Cannon Road at south of Street “A”**
- **Southbound Cannon Road at south of Street “O”**
- **Northbound College Boulevard at north of Cannon Road**

Bus stop pad dimensions and furniture to be provided shall be consistent with the NCTD Bus Stop Standards and the City of Carlsbad Planning Division recommendations. Shelters may be designed to complement the design theme of the Master Plan. Modifications to the locations described shall be subject to NCTD and City of Carlsbad approval.

8. Bike Routes

Bikeways exist on Tamarack Avenue and will be provided on El Camino Real, College Boulevard and Cannon Road. In addition, dedicated bikeways also will be provided along Streets “Z,” “A,” and “O,” while the 8-foot wide D.G. trails within the community are designed for bicycle use. Bicycle racks and related facilities shall be provided at the commercial center and at common recreational facilities to encourage the use of this transportation mode.

C. Sewer Plan

Sewer services will be coordinated by the City of Carlsbad. The Robertson Ranch Master Plan area will be served by the existing sewer interceptor which travels southerly through the southern portion of the master plan area, along Rancho Carlsbad, across El Camino Real (Lines SAHT2B and SAHT2C) and down Cannon Road to the Wastewater Treatment Center. This line has been completed and will be fully operational prior to construction of the Robertson Ranch Master Plan project. The majority of the Robertson Ranch Master Plan buildout development will sewer down this line. The remaining area (Planning Areas 1 and 2) will sewer down the existing NAH trunk line, which travels to the Wastewater Treatment Center via the north shore of Agua Hedionda Lagoon.

On-site sewer collection lines will be installed by the developer(s) as development of the project proceeds. All development within the Robertson Ranch Master Plan also will be required to pay the appropriate Sewer Connection Fees and Sewer Benefit Area Fees prior to

issuance of any building permits for such development. Existing off-site and conceptual off and on-site sewer system improvements are shown on Figure IV-6, *Master Sewer Plan*.

D. Water and Reclaimed Water Plan



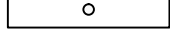
The Robertson Ranch Master Plan area is wholly located within the Carlsbad Municipal Water District (CMWD). All water facilities will be constructed in accordance with the District's policies and regulations. Existing off-site and proposed conceptual off and on-site domestic and reclaimed water system improvements are shown on Figure IV-7, *Master Water Plan*. Improvements required to serve the proposed development will be provided prior to any development within the Robertson Ranch Master Plan being completed. The water line capacity necessary for specific service lines will be analyzed and approved by CMWD during the review process for individual development permits within the planning areas.

In order to reduce the consumption of potable water within the Master Plan, and in conformance with the Ahwahnee Principles, reclaimed water facilities will be provided to serve the various neighborhoods within the Master Plan. CMWD will operate and maintain a reclaimed water pipeline within Cannon Road and College Boulevard. An existing reclaimed water system is located within Cannon Road and College Boulevard, and will be extended into the project, as shown on Figure IV-8, *Master Drainage Plan*. Reclaimed water will be used for landscaping parkways and medians on College Boulevard and Cannon Road, and for all landscape areas maintained by the project Master HOA. All development within the Master Plan will tie into this reclaimed line and provide reclaimed water supply for common and public landscape areas.

E. Drainage Plan

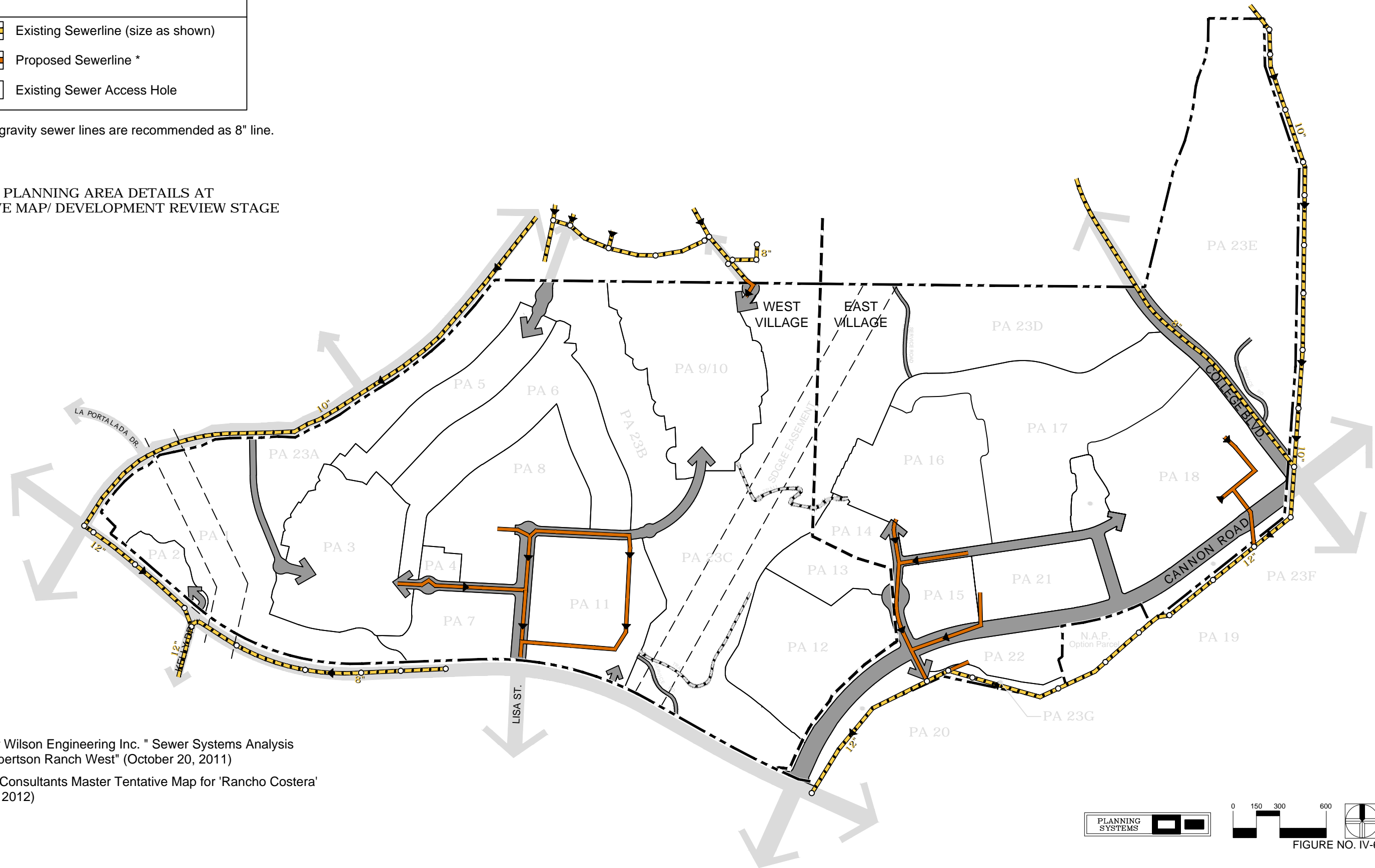
The Robertson Ranch Master Plan is located wholly within the Agua Hedionda Lagoon watershed. The storm water within this watershed flows through depollutant basins to natural drainage courses into Calavera Creek on the east, or unnamed creeks on the west, into the lagoon. Several engineering analyses and design projects have been performed within the Agua Hedionda and Calavera Creek watersheds. These watersheds cover over 23 square miles and, as a result; support a variety of land uses including residential, commercial, industrial, open space, etc.

LEGEND


-  Existing Sewerline (size as shown)
-  Proposed Sewerline *
-  Existing Sewer Access Hole

* All proposed gravity sewer lines are recommended as 8" line.

NOTE:
 INTERIOR PLANNING AREA DETAILS AT
 TENTATIVE MAP/ DEVELOPMENT REVIEW STAGE



- Sources:
- Dexter Wilson Engineering Inc. " Sewer Systems Analysis for Robertson Ranch West" (October 20, 2011)
 - O'day Consultants Master Tentative Map for 'Rancho Costera' (June, 2012)

PLANNING SYSTEMS 

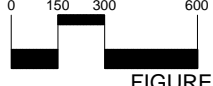

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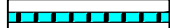


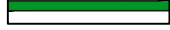

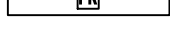
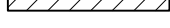
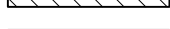
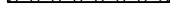
FIGURE NO. IV-6 

Robertson Ranch

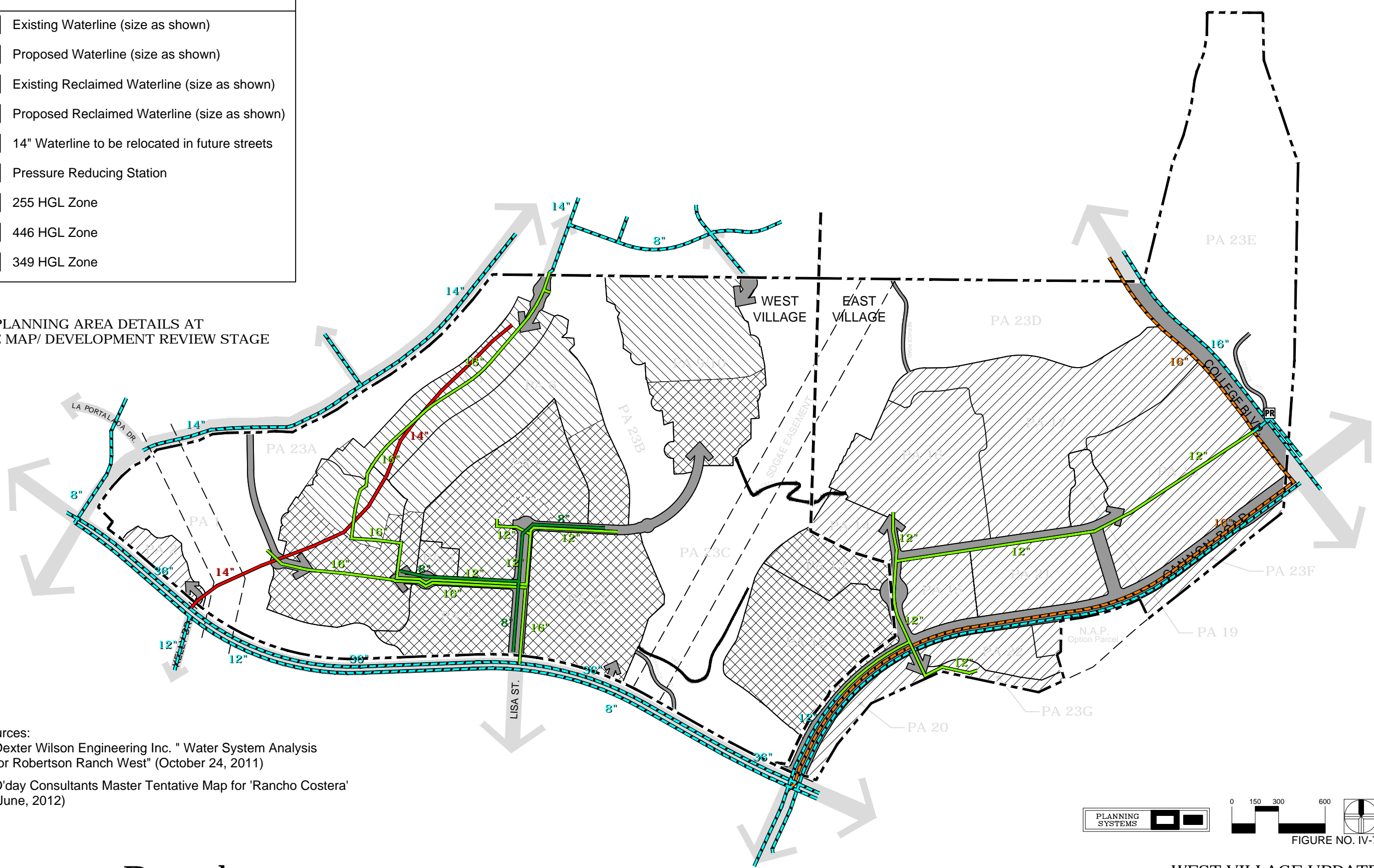
MASTER PLAN

WEST VILLAGE UPDATE
 MASTER SEWER PLAN


LEGEND

-  Existing Waterline (size as shown)
-  Proposed Waterline (size as shown)
-  Existing Reclaimed Waterline (size as shown)
-  Proposed Reclaimed Waterline (size as shown)
-  14" Waterline to be relocated in future streets
-  Pressure Reducing Station
-  255 HGL Zone
-  446 HGL Zone
-  349 HGL Zone

NOTE:
 INTERIOR PLANNING AREA DETAILS AT
 TENTATIVE MAP/ DEVELOPMENT REVIEW STAGE



- Sources:
- Dexter Wilson Engineering Inc. " Water System Analysis for Robertson Ranch West" (October 24, 2011)
 - O'day Consultants Master Tentative Map for 'Rancho Costera' (June, 2012)

PLANNING SYSTEMS 

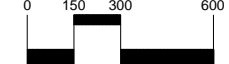

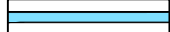




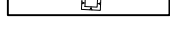
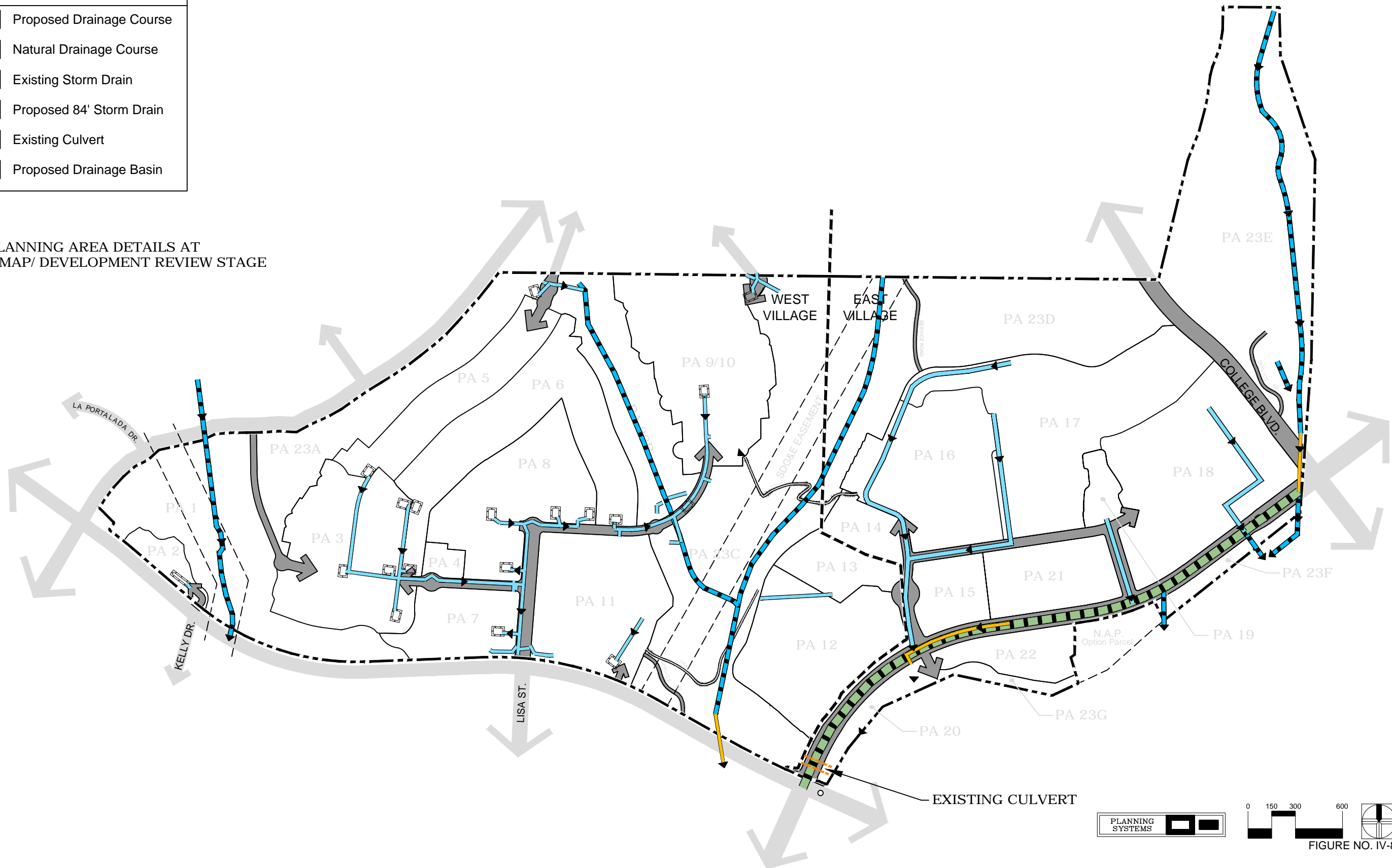
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FIGURE NO. IV-7 

LEGEND

-  Proposed Drainage Course
-  Natural Drainage Course
-  Existing Storm Drain
-  Proposed 84' Storm Drain
-  Existing Culvert
-  Proposed Drainage Basin

NOTE:
 INTERIOR PLANNING AREA DETAILS AT
 TENTATIVE MAP/ DEVELOPMENT REVIEW STAGE



PLANNING SYSTEMS 

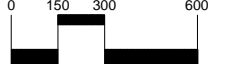

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FIGURE NO. IV-8 

1. Drainage Improvements to Be Constructed With the Robertson Ranch Master Plan**East Village**

Facility BJ – Construction of an 84-inch diameter storm drain pipe along the north side of Cannon Road. This storm drain will replace the widening of Calavera Creek earthen channel. It will capture floodwaters at its connection upstream to the existing 11-foot x 7-foot culvert under the intersection of College Boulevard and Cannon Road as well as runoff from development north of Cannon Road. This line will intercept the flow that is currently diverted by the weir wall along with runoff from the East Village development and outlet north of Cannon Road near El Camino Real where the flow would continue through a culvert under El Camino Real to the Agua Hedionda Lagoon. The low flows within Calavera Creek would continue to be routed to the existing Calavera Creek channel within the Rancho Carlsbad Mobile Home Park. The low flows from the Robertson Ranch Master Plan property will be routed into a depollutant facility south of Cannon Road and then flow under Cannon Road through the existing culverts. As a regional facility, this 84-inch RCP will be oversized for the required Robertson Ranch Master Plan drainage, but would replace the regional need for the proposed widening of Calavera Creek through Rancho Carlsbad Mobile Home Park (Facility BJ).

Facility BJA presently exists as a 36-inch RCP within College Boulevard Reach B and outlets to the east into existing Detention Basin Facility BJB. Facility BJB also presently exists within the project site. This facility is a 49-acre foot detention basin, which was built as part of a regional solution to the existing flooding that occurs in the Rancho Carlsbad Mobile Home Park. Detention basin BJB and Calavera Creek drains into an existing 11-foot x 7-foot culvert. At the outlet of this culvert, a weir wall was built north of the 10-foot wide earthen channel.

As part of the development of the East Village an 84-inch RCP is proposed to be built along the north side of Cannon Road. The 84-inch RCP would connect to the existing 11-foot x 7-foot culvert. This line would intercept the flow that is currently diverted by the weir wall along with runoff from the East Village development and outlet north of Cannon Road near El Camino Real where the flow would continue through a culvert under El Camino Real to the Agua Hedionda Lagoon. The low flows will be routed into a water quality facility south of Cannon Road (PA 20) and then flow under Cannon Road through the existing culverts.

West Village

Facility BF1 – This desiltation basin which will accommodate regional flows from the existing off-site residential watershed to the north will be installed as a depollutant basin in a location immediately west of the riparian corridor, or its functional equivalent within the riparian corridor, within Planning Area 1.

Facility BFA – This regional storm drain facility will be constructed off-site south of El Camino Real. The exact size and location of the facility will be determined after further study.

Facility BFB – This storm drain facility within Planning Area 1 will be installed to route drainage from the channel north of Tamarack that runs southerly along El Camino Real to the sedimentation basin facility BF.

The existing natural channel in the alignment of Master Drainage Plan Facility BH will be enhanced and preserved as permanent open space eliminating the need for the storm drain pipes.

The conversion of agricultural lands together with mitigation measures within the development area will eliminate the need for Master Drainage Plan sedimentation basin, BH, which the Master Drainage Plan originally indicated was to be built in the open space corridor (PA 23C).

The Carlsbad Growth Management program requires that drainage facilities be provided as required by the City concurrent with development. As a result, all future development within the Robertson Ranch Master Plan will be required to construct necessary storm drain facilities identified in the Drainage Master Plan (Figure IV-8, *Master Drainage Plan*) and the LFMP as determined by the City Engineer.

Runoff water will be treated per the Regional Water Quality Control Board and the City of Carlsbad Standard Urban Stormwater Management Plan requirements. In accordance with the Municipal Permit and final hydromodification management plan dated March 2011, the project will employ a hydromodification management strategy which will implement measures so that post-development runoff rates and durations do not exceed pre-project conditions. The project will utilize storm water management features that have been sized based on the IMP and BMP sizing approach for hydromodification management. Biological swales to improve the water quality of drainage from the West Village may be placed within the setback areas of El Camino Real.

F. Solid Waste Disposal

Solid waste disposal for the Robertson Ranch Master Plan will be provided by Coast Waste Management, a private company which has contracted with the City of Carlsbad to provide such services. The developer will coordinate with Coast Waste and include provisions to ensure adequate vehicular access for solid waste pickup for the proposed land uses.

G. Fire Protection

The Robertson Ranch Master Plan is situated within the 5-minute response time of either existing Fire Station #3 (presently in its temporary location at 3701 Catalina Drive) or Fire Station #5 (located at the Public Safety Center). The City of Carlsbad plans to relocate existing Fire Station #3 into the central portion of Calavera Hills at the southwest corner of

Robertson Ranch

Carlsbad Village Drive and Glasgow Road. This relocation is anticipated in the 2001-2002 Capital Improvement Program to occur between 2004 and 2009. If desired by the Fire Department, Planning Area 22 also could be utilized as a site for a future fire station. All development within the Robertson Ranch Master Plan will be located within the 5-minute response time from either Fire Station #3 or Fire Station #5.

H. Gas and Electric

San Diego Gas and Electric Company currently provides service to the Robertson Ranch Master Plan area, and indicates that energy services will be provided to the proposed project.

V. MASTER PLAN IMPLEMENTATION MEASURES

Adoption of the Robertson Ranch Master Plan by the City of Carlsbad establishes the framework for development of the entire site. Additional entitlements and discretionary actions must be approved by the City, State and Federal agencies in order to implement the Master Plan. Some of these entitlements must be approved concurrently with the consideration of the Master Plan, while others will be submitted as the project development plan phases are implemented during the life of the project. Additionally, development of the site requires a substantial investment in infrastructure and capital improvements, such as roadways, water, sewer, and storm drain facilities. Section I, INTRODUCTION, of this Master Plan lays the framework for all entitlements that will be needed to implement the project. This section of the document discusses the relative timing of the improvement and financing programs needed to implement the approved project, and focuses on the procedures required for the implementation and amendment of the Master Plan.

A. Master Plan Environmental Review

The Robertson Ranch Master Plan has complied with the California Environmental Quality Act (CEQA) through completion of appropriate environmental documentation and disclosure to the public and decision makers.

Pursuant to CEQA, the City of Carlsbad reviewed the Robertson Ranch Master Plan application and determined that the proposed project would result in potentially significant impacts that required evaluation and disclosure in a Program Environmental Impact Report (EIR). Accordingly, the City prepared a draft EIR (SCH-2004051039) for the subject project and released it for public review on October 4, 2005. The draft EIR evaluated the impacts associated with those uses identified in a draft version of the Master Plan and assumed a maximum of 1,383 residential dwelling units. Land uses evaluated include a maximum of 578 single-family, 131 courtyard residential, and 674 multifamily dwelling units, as well as a park site on 13.9 acres, a 15.1-acre Village Center (including neighborhood commercial and community facilities uses), and approximately 140 acres of open space. The adopted Environmental Impact Report concluded that the proposed project could result in significant impacts to biological resources, water quality, air quality, noise and traffic. Accordingly, the City developed mitigation measures that would reduce the project's impacts to below a level of significance, or adopted Statement of Overriding Considerations for immitigable impacts. Comments on the Draft EIR were received from the public and responsible agencies and addressed in the Final EIR. Based on revisions to the land use plan that were approved by the City Council on November 14, 2006, an errata sheet was included in the Final EIR to reference the final land uses approved for the site, and to clarify that the revisions to the Master Plan land uses would not result in any new impacts to the environment that were not previously addressed by the Draft EIR document. The City Council approved the project and certified the Final EIR on November 14, 2006.

All subsequent applications for development within the Robertson Ranch Master Plan must be evaluated pursuant to CEQA. In 2012, the Robertson Ranch West Village Update project incorporates the required Robertson Ranch Master Plan Final Program EIR mitigation

measures, and through the analysis of the required additional plans, reports, and studies pertaining to biological resources, geotechnical, hydrology, storm water management, and noise, a determination has been made by the City of Carlsbad that with the implementation of additional mitigation measures, no additional significant impacts beyond those identified and mitigated for by the EIR would result from the West Village project. The Robertson Ranch Master Plan EIR and additional technical studies are cited as source documents of this environmental evaluation. Therefore, in conjunction with the Final EIR, and supplemented by a Mitigated Negative Declaration, the project has been modified and/or mitigation measures have been added to ensure that significant impacts associated with the West Village Update project are mitigated to a level of insignificance.

B. Capital Improvement Programs and Financing Measures to Implement the Master Plan

The Zone 14 Local Facilities Management Plan contains detailed development phasing programs for eleven public facilities covered by the City of Carlsbad Citywide Public Facility Plan. This plan ensures that public facilities will be in place when they are needed. The Master Plan will be developed in multiple phases. Each phase has specific off-site and on-site improvements that must be provided prior to or concurrent with development. The Citywide Public Facilities Plan established performance standards for public facilities. These performance standards were adhered to by the Zone 14 Local Facilities Management Plan to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Local Facilities Management Plan and any amendments thereto must be complied with as the Master Plan develops.

C. Master Plan Phasing

The Robertson Ranch Master Plan will be developed in a logical sequence in four main phases over a period of approximately 7 to 10 years. These four phases are indicated in Figure V-1, *Master Phasing Plan*.

Each phase of the development can be graded independently, with overlapping timeframes as may be determined by the developer and the City. Grading within the habitat corridor of Phase II is required soon after expiration of the Parkway Nursery lease pursuant to the HMP Concurrence Letter on file with the City of Carlsbad.

The affordable housing requirement for each phase will be complied with pursuant to separate affordable housing agreements for the East and West Villages prior to recordation of the master tentative map for each phase. Construction of the affordable housing units will be provided in relation to the timing of the market-rate units. The affordable housing agreement will contain the phasing requirements for the affordable units.

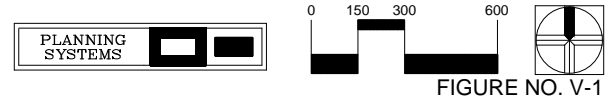
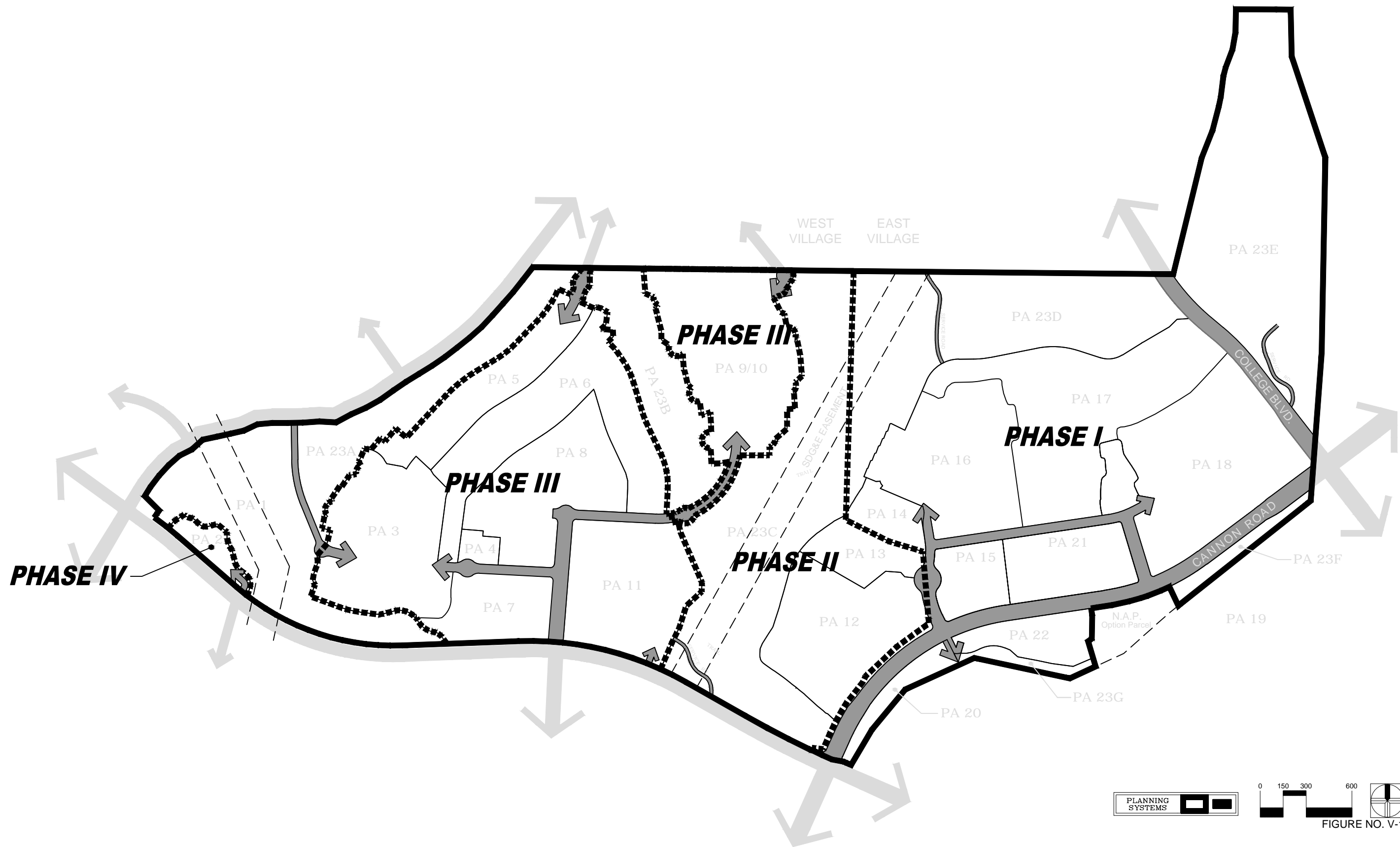


FIGURE NO. V-1

Robertson Ranch

A recreational vehicle storage site (Planning Area 22) will serve both the East and West Villages. The PA 22 RV storage site must be provided prior to the occupancy of residential units within the planned development neighborhoods. A temporary facility may serve the initial neighborhood developments until the final facility in Planning Area 22 is completed.

The areas considered HMP open space within the respective phases will be created within separate open space lots and shall be subject to an open space easement, to be recorded in conjunction with the final map for the master tentative map for the respective phase. The subject open spaces shall remain in continued ownership of the existing owner(s) until they are transferred via fee title and/or easement to a master homeowner's association (HOA) or via easement to a professional environmental management entity as approved by the City of Carlsbad. Conservation management of the subject area is anticipated to be performed by a professional biological management entity with experience and credentials acceptable to the U.S. Fish & Wildlife Service (USFWS), California Department of Fish & Game (CDFG) and the City of Carlsbad. The transfer of easement and fee title rights from the existing owner to the professional environmental management entity will not preclude the future transfer of such management rights to the City or other appropriate entity at some future date, as determined by the City. The transfer of management rights and obligations (and easement and/or title rights) of the open space lots shall be accompanied by an endowment of sufficient value to ensure long-term compliance with the requirements of the Mitigation Monitoring and Reporting Program (MMRP) section of the Final EIR.

City standards require that all public facility performance standards identified in the Zone 14 Local Facilities Management Plan must be complied with by each individual development phase.

1. **Phase I (East Village):** Planning Areas 15, 16, 17, 18, 19, 20, 21, 23D, 23E, and 23F.
 - a. Grading: Cut and fill balance of approximately 771,650 cubic yards of earthwork on-site.
 - b. Circulation:
 1. All roadway improvements within Phase I (East Village).
 2. East Village developer shall provide frontage improvements for both sides of Cannon Road Reach 3 from College Boulevard to El Camino Real (including median improvements) and design and secure the installation of traffic signals at intersections at "A" Street and "O" Street to the satisfaction of the City engineer.
 3. East Village developer shall provide frontage improvements for both sides of College Boulevard and median improvements (Reach B).
 4. Provide bus stop improvements as necessary to comply with NCTD criteria.

- c. Sewer: All improvements within Phase I (East Village). Provide for sewer stubs to Planning Areas 12 and 13 and in Cannon Road near the intersection of El Camino Real.
- d. Water: All improvements within Phase I (East Village). Provide for water stubs to Planning Areas 12 (Park) and 13.
- e. Drainage:
 - 1. All improvements within Phase I (East Village).
 - 2. Installation of an 84-inch public storm drain parallel to Cannon Road located along the northerly right-of-way line. This storm drain begins near the intersection of College Boulevard and Cannon Road and terminates just east of the intersection of Cannon Road and El Camino Real. This storm drain conveys approximately 500 cfs of storm water underground that normally would have been carried by the Calavera Creek (north channel) that borders between the Robertson Ranch Master Plan and the existing Rancho Carlsbad development.
 - 3. A water quality facility will be constructed along the south side of Cannon Road within Planning Area 20 to treat runoff from the Robertson Ranch Master Plan East Village and a portion of the West Village (i.e., Planning Areas 12 and 13) prior to leaving the site.
- f. Community Improvements:
 - 1. Community Trails will be provided by the developer of this phase for trails located within the boundaries of this phase, as indicated in this Master Plan.
 - 2. Habitat Management Plan – The developer shall provide the following documents for PA 23D and 23E (and 10 acres of PA 23C) pursuant to the requirements of the MMRP of the Robertson Ranch Master Plan EIR.
 - a. Select conservation management entity
 - b. Record conservation easement over open space parcels
 - c. Prepare a Property Analysis Record (PAR)
 - d. Prepare a Monitoring and Management Plan
 - e. Prepare a revegetation plan as required per the Concurrence Letter
 - f. Provide an endowment which ensures ongoing funds for management of the open spaces in perpetuity

2. **Phase II (Park, Residential, RV Storage, and Habitat Corridor):** Planning Areas 12, 13, 14, 22 and 23C.
 - a. Grading: Cut and fill balance of 348,000 cubic yards of earthwork on-site.
 - b. Circulation: On-site access improvements only.
 - c. Sewer: All improvements within Planning Areas 12 and 13.
 - d. Water: All improvements within Planning Areas 12 and 13.
 - e. Drainage: All improvements within Planning Areas 12 and 13. If Planning Area 20 is not sized to treat runoff from Planning Areas 12 and/or 13, then water quality treatment measures (BMPs) shall be provided on-site within the Planning Area(s) to meet storm water quality objectives to the satisfaction of the City Engineer.
 - f. Community Improvements:
 1. The Park site (PA 12) shall be made available to the City of Carlsbad as required pursuant to CMC Chapter 21.38.969 and improvements as may be required pursuant to the requirements of the approved Parks Agreement.
 2. Habitat Management Plan – The developer shall provide the following documents for PA 23C pursuant to the requirements of the MMRP of the Robertson Ranch Master Plan EIR.
 - a. Select conservation management entity
 - b. Record conservation easement over open space parcels
 - c. Prepare a Property Analysis Record (PAR)
 - d. Prepare a Monitoring and Management Plan
 - e. Prepare a revegetation plan as required per the Concurrence Letter
 - f. Provide an endowment which ensures ongoing funds for management of the open spaces in perpetuity
 3. Community Trail connections will be provided by the developer of this phase for trails located within PA 23C.
3. **Phase III(a) (West Village Central):** Planning Areas 4, 7, 8,, 11, 23A, and 23B.
 - a. Grading: Mass grading cut and fill balance of approximately 1.3 million cubic yards of earthwork on-site. This mass grading will include all areas of the West Village through a master tentative map grading permit.

- b. Circulation
 - 1. All roadway improvements within Planning Areas 4, 7, 8 and 11.
 - 2. El Camino Real Widening: The El Camino Real widening improvements may occur in two phases, substantially as indicated on Figure V-2, *El Camino Real Phasing*, and subject to a determination of the specific improvements to be provided in each phase as approved by the City Engineer. Improvements to be completed at the end of the phased construction program include restriping and widening El Camino Real as necessary along project frontage to provide a third northbound through-lane and right turn only lane in the northbound direction. Also provide a third southbound shared right-turn lane. Reimbursement is anticipated for the developer's costs associated with the southbound El Camino Real improvements. The developer may be subject to reimbursement for the cost of portions of El Camino Real southbound widening. It is anticipated that these reimbursements may include private funds collected for El Camino Real southbound improvements by the City from property owners on the south side of the roadway, or other assessment or reimbursement agreements, subject to approval by the City Council.
 - 3. El Camino Real/Street "Z": Install traffic signal and provide third northbound through lane and a separate right-turn lane. Also, the developer will add a third southbound lane on El Camino Real. Reimbursement is anticipated for the developer's costs associated with the southbound El Camino Real improvements. These improvements may be phased as indicated in paragraph 2 above.
 - 4. El Camino Real/Cannon Road: Restripe northbound El Camino Real after frontage improvements have been installed along the West Village to allow for a shared through/right turn lane.
 - 5. Provide bus stop improvements as necessary to comply with NCTD criteria.
- c. Sewer: All improvements within Planning Areas 4, 7, 8 and 11.
- d. Water: All improvements within Planning Areas 4, 7, 8 and 11.
- e. Drainage: All improvements within Planning Areas 4, 7, 8 and 11.

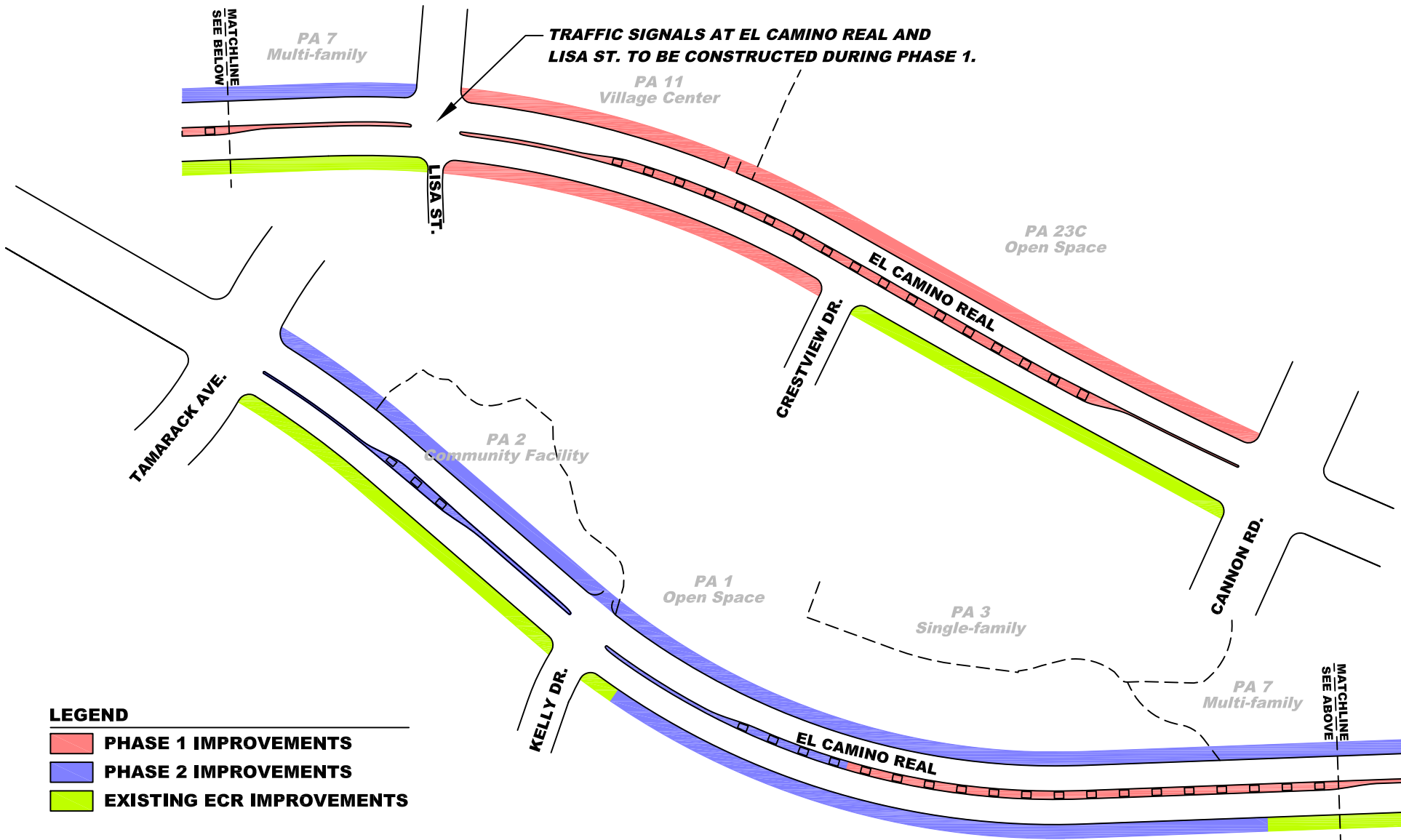


FIGURE NO. V-2

Robertson Ranch

EL CAMINO REAL IMPROVEMENTS PHASING MAP

- f. Community Improvements:
 - 1. Community Facilities, including a daycare facility, will be provided..
 - 2. Community trails will be provided by the developer of this phase for trails located within the boundaries of this phase, as indicated in this Master Plan. The community trail within PA 23C, which connects PA 11 and PA 13, shall be constructed by the developer of Phase II.
 - 3. Development of community recreation (PA 4) park.
 - 4. Habitat Management Plan – The developer shall provide the following documents for PA 23A and 23B pursuant to the requirements of the MMRP of the Robertson Ranch Master Plan EIR.
 - a. Select conservation management entity
 - b. Record conservation easement over open space parcels
 - c. Prepare a Property Analysis Record (PAR)
 - d. Prepare a Monitoring and Management Plan
 - e. Prepare a revegetation plan as required per the Concurrence Letter
 - f. Provide an endowment which ensures ongoing funds for management of the open spaces in perpetuity

4. Phase III(b) (West Village – Perimeter): Planning Areas 3, 5, 6, and 9/10

- a. Grading: Mass grading completed with Phase III(a)
- b. Circulation:
 - 1. All roadway improvements in Planning Areas 3, 5, 6 and 9/10
 - 2. Second phase of El Camino Real to be constructed, as per paragraph 2 above.
 - 3. Street “Y” (Tamarack Connection)

5. Phase IV (West Village – North): Planning Area 1 and 2.

- a. Grading: Cut and fill balance of 125,000 cubic yards of earthwork on-site.
- b. Circulation:
 - 1. All roadway improvements within Planning Area 1 and 2,

2. El Camino Real/Tamarack Avenue: Widen and restripe El Camino Real northbound to provide three through-lanes and a separate right-turn only lane. Also, the developer will make a fair share contribution toward construction of a shared third southbound through/right turn lane on El Camino Real which shall be installed by the City of Carlsbad or its designee and funded through the TIF program, when determined by the City to be needed.
 3. El Camino Real/Kelly Drive: Modify the traffic signal and accommodate third northbound lane and PA 1 driveway. Also, the developer will add a third southbound through lane. Reimbursement is anticipated for the developer's costs associated with the southbound El Camino Real improvements.
- c. Sewer: All sewer improvements within Planning Area 1 and 2.
 - d. Water: All water improvements within Planning Area 1 and 2.
 - e. Drainage:
 1. All drainage improvements within Planning Area 1 and 2.
 2. Facility BFA or its functional equivalent will be constructed if necessary off-site south of El Camino Real with development of the West Village. The exact size and location of the facility will be determined after further study.
 3. Facility BFB storm drain will be installed in conjunction with the development of PA 1.
 - f. Community Improvements:
 1. Community trails will be provided by the developer of this phase consistent with the requirements of this Master Plan.
 2. Habitat Management Plan – The developer shall provide the following documents for 1 pursuant to the requirements of the MMRP of the Robertson Ranch Master Plan EIR.
 - a. Select conservation management entity
 - b. Record conservation easement over open space parcels
 - c. Prepare a Property Analysis Record (PAR)
 - d. Prepare a Monitoring and Management Plan
 - e. Prepare a revegetation plan as required per the Concurrence Letter
 - f. Provide an endowment which ensures ongoing funds for management of the open spaces in perpetuity

D. Relation of the Master Plan and the Village Development Plans

The Master Plan represents the framework of development for the Robertson Ranch Master Plan project, and the implementation of the project requires the approval of numerous additional discretionary entitlements over the life of the project, as described in Section I.E and shown in Table I-2. This section sets forth the procedures to be enacted in order to implement the approved Master Plan and those required for future amendments to the Master Plan.

The Robertson Ranch Master Plan constitutes the master zoning and development standards for the area contained within the plan boundaries, as provided for by the Planned Community Zone, Section 21.38 of the Carlsbad Municipal Code. All provisions of the Master Plan are imposed as a condition of zoning. In many cases the standards of the underlying Master Plan zones have been modified from the Carlsbad Municipal Code. Therefore, the specific neighborhood area development standards of this Master Plan must be consulted as they apply to the Master Plan area. Should any conflict arise between the Master Plan zoning regulations and existing City policies, procedures or ordinances, the provisions of this Master Plan shall prevail. Where the Master Plan is silent on an issue, the requirements of the Carlsbad Municipal Code shall apply. If any term, provision, or condition of this Master Plan is found to be invalid or unenforceable, the remainder of this Master Plan shall not be affected.

It is anticipated that certain modifications to the Planning Area Development Standards provided in Section III.A may be necessary during the development of the individual Planning Areas. If, at the discretion of the City Planner, a modification is deemed specific to an individual Planning Area and is in substantial conformance with the intent of the Master Plan as a whole, an administrative adjustment to the Planning Area Development Standards may occur without necessitating a Master Plan Revision.

E. Revisions to the Master Plan

Revisions to the Robertson Ranch Master Plan shall be processed pursuant to Title 21 of the Carlsbad municipal Code as well as the provisions of this chapter.

It is anticipated that during the period of development of the Robertson Ranch Master Plan certain minor revisions to the Master Plan may be requested which are found by the City Planner to be consistent with the Master Plan. These minor revisions may include: (a) minor modification of planning area boundaries; (b) minor re-alignment of streets; (c) minor modification of design criteria; or (d) any other proposed changes that are determined by the City Planner to be minor modifications.

In addition, modifications to the Master Plan may be requested which exceed the City Planner authority to approve minor modifications, and thus necessitate an amendment to the Master Plan. Any amendment to the Master Plan shall occur in accordance with the process

described in this section. These amendments, should they occur, are divided into three categories.

1. Minor Master Plan Amendment. A Master Plan Amendment request shall be determined to be minor if the amendment does not increase the densities or change the boundaries of the subject property or involve an addition of a new use or group of uses not shown on the original master plan or the rearrangement of uses within the master plan. Such determination shall be made by the Planning Commission pursuant to Chapter 21.38.120 of the CMC. Alternative Uses specifically identified in the Master Plan will be determined to be Minor Master Plan Amendments.

The Master Plan provides an estimate of the approximate number of units that will be developed within each Planning Area. The exact number of units that will be developed within each Planning Area will be determined during subsequent review of the tentative maps that divide each Planning Area into individual residential lots. A Minor Master Plan Amendment shall be processed concurrently with each tentative map requesting 10 percent (or less) above or below the anticipated number of dwelling units stated for the Planning Areas. This amendment will revise Figure II-4, *Master Plan Land Use Plan*, to indicate exactly how many units have been approved in each Planning Area and how many remaining units exist in the Master Plan. If the number of units requested in an individual Planning Area varies by more than 10 percent, a Major Master Plan Amendment shall be processed concurrently with the proposed Tentative Map. In no case shall the number of dwelling units approved in an individual Planning Area be greater or less than that allowed by its General Plan designation (refer to Figure II-1, *Amended General Plan Land Use Map*), nor shall the total number of residential units in the Master Plan exceed 1,122 units (or 1,154 units, if the alternative uses identified for Planning Areas 13 and 14 are implemented). In addition, a Focused Master Plan Amendment shall only apply to transfer of density within each of the Villages of the Master Plan. Any proposed transfer of density between Villages shall require a Major Master Plan Amendment.

2. Focused Master Plan Amendment. A Focused Master Plan Amendment was undertaken with the West Village Update Master Plan Amendment (2012). The purpose of the Focused Master Plan Amendment process was to allow removal of an Interim Land Use Overlay designation from one or more of the affected planning areas within the West Village, so that the final land uses depicted on Figure II-4, *Master Plan Land Use Plan*, can be permitted.
3. Major Master Plan Amendment. All other Master Plan Amendments shall be determined to be Major. Major Master Plan Amendments shall be approved through a public hearing before the Planning Commission and City Council pursuant to Chapter 21. 38.120 of the CMC. The applicant shall be required to submit a completed application with graphics, statements, or other information as may be required to support the proposed Amendment. An application for a Major Master Plan Amendment shall be processed, heard, and determined in accordance with the terms of Chapter 21.38 applicable to the adoption of a master plan. Amendments may be initiated by the City Council or property owner. Inclusion of adjacent lands

into the Master Plan, or the modification to land uses not presently identified in the Master Plan, would be considered Major Master Plan Amendments.

In addition, if determined to be necessary by the City Council, the Master Plan may be comprehensively reviewed by the City of Carlsbad Planning Division every four years or more frequently. The review shall consider but not be limited to the following topics:

- a) *The quality of the living environment created by the Master Plan;*
- b) *The Master Plan's fulfillment of current City policies and standards;*
- c) *The fiscal impact of the Master Plan's implementation;*
- d) *The Master Plan's maintenance of environmental quality; and*
- e) *Adequacy of public facilities.*

F. Development Review Process

Individual planning areas within this Master Plan shall be reviewed relative to the provisions of this chapter, State Law, Carlsbad's General Plan, Municipal Codes, and City Standards, Policies, and Guidelines.

1. Master Tentative Tract Map

A Master Tentative Tract Map (CT 02-16) was processed concurrently with the Master Plan for the East Village. Any revisions to CT 02-16 shall be processed pursuant to Titles 20 and 21 of the Carlsbad Municipal Code. All future development shall occur substantially in conformance with this approval unless otherwise amended. All proposed tentative map revisions must conform to and implement the Master Plan. Any application which does not conform to or implement the Master Plan shall not be approved.

2. Tentative Tract Maps and Final Maps

Planning Areas created as discrete lots by the Master Tentative Tract Map may be further subdivided for ultimate development. As applications for approval of Tentative Tract Maps subdividing a given Planning Area are processed, information regarding topography and other matters pertaining to development of that Planning Area will become available in greater detail than was available at the Master Tentative Tract Map stage. Where such information indicates some changes to boundaries of the land dedicated or offered for dedication at the Master Tentative Tract Map stage are reasonably necessary to accommodate the development of the Planning Area in a manner permitted by this Master Plan, the developer may apply to

effectuate such boundary changes through Master Plan Amendments, lot line adjustments, and appropriate exchanges of property.

Parcel Maps

Parcel maps (with or without a Planned Unit Development Permit) that create four or fewer lots shall be approved by the City Engineer and City Planner.

Tentative Maps – 50 Lots or Less

Tentative maps (with or without a Planned Unit Development Permit) proposing 50 units or less shall be reviewed by the Planning Commission.

Tentative Maps – 51 Lots or More

Tentative maps (with or without a Planned Unit Development Permit) proposing 51 units or more shall be reviewed by the Planning Commission and forwarded to the City Council for review.

Final Maps

Master Plan requirements for the processing and/or recordation of Final Maps include the following:

1. Master CC&Rs must be recorded prior to the recordation of a Final Map for an individual neighborhood within the village or development phase;
2. Open space areas located within a given development phase must be irrevocably offered for dedication via fee title and/or easement to a master homeowners' association (HOA) or via easement to a professional environmental management entity as approved by the City of Carlsbad, concurrently with the recordation of the Final Map for the development phase;
3. A grading plan pursuant to Chapter 15.16 of the Carlsbad Municipal Code shall be required for a development phase for which the individual final Map is being requested prior to approval of the Final Map for that development phase;
4. A Master Lighting Plan for each development phase is a condition precedent to the recordation of the Final Map for that development phase;
5. Affordable Housing Agreements are required for the East and West Villages. These agreements must be signed prior to the recordation of a Final Map for the first neighborhood development in the respective Village;
6. Demonstration to the satisfaction of the City that interim or final fire protection services will be provided prior to recordation of the first Final Map for each village; and

7. All conditions of approval of the Tentative Tract Map have been satisfied.

3. Site Development Plan - Review Process for Development of Dwelling Units on Lots with an Area of 7,500 Square Feet or Larger.

To determine compliance with the provisions of the Master Plan a Site Development Plan is required for development of single-family detached dwelling units on lots with a minimum lot area of 7,500 square feet or larger. A tentative map can be processed separately, with the Site Development Plan processed at a later date for the architecture and plotting. If a neighborhood is to be developed with custom homes or as a Planned Development approved by Planned Development Permit, a Site Development Plan is not required. The Planning Commission shall be the final decision making body (unless appealed) for any Site Development Plan Amendment processed after approval of the tentative map, regardless of the number of units in the previously approved tentative map.

4. Planned Development Permit - Development of Dwelling Units on Lots with an Area Smaller Than 7,500 Square Feet and Lots Gaining Access from a Private Street and Condominiums

Small lot projects with minimum lot sizes of 4,500 square feet but less than 7,500 square feet, tentative maps with homes gaining access on a private street, or condominium developments shall require the approval of a Planned Development Permit concurrent with a Tentative Map. Planned Development Permits for detached housing may be approved without architecture and plotting. Planned Development Permits approved without architecture and plotting require the approval of a Major Planned Development Permit Amendment at a later date to authorize the proposed structures and their placement. The Planning Commission shall be the final decision making body (unless appealed) for any Planned Development Permit Amendment processed after approval of the tentative map, regardless of the number of units in the previously approved tentative map.

5. Site Development Plan

A Site Development Plan approved by the Planning Commission shall be required for all uses that do not require a Conditional Use Permit, Condominium Permit, or Planned Development Permit and are allowed by Chapters 21.24 and 21.25 including, but not limited to, affordable housing, senior housing, apartments, daycare centers, and community recreation areas (Planning Areas 4 and 19).

A Site Development Plan approved by the City Council shall be required for commercial development in Planning Area 11 in accordance with Chapter 21.31.040, "Local Shopping Center Zone," of the Carlsbad Municipal Code.

6. Conditional Use Permit

A Conditional Use Permit approved by the Planning Commission shall be required for churches, public parks, fire station, temporary RV storage facilities, and community facilities, as well as all other uses designated as allowed by conditional use permit in Chapters 21.25, 21.31, and 21.33 of the Carlsbad Municipal Code. The Conditional Use Permit also shall address building placement, architecture, parking and access, and will supersede the need for a Site Development Plan.

7. Nonresidential Planned Development Permits

Subdivision of nonresidential units for the purpose of separate ownership shall be processed in accordance with Chapter 21.47 (Nonresidential Planned Developments) of the Carlsbad Municipal Code and is subject to the Design Guidelines and Development Standards specified for Planning Areas 2 or 11.

Subdivision of residential units (if proposed as an integral part of a mixed-use development) for the purposes of separate ownership shall be processed in accordance with Chapter 21.47 (Nonresidential Planned Developments) of the Carlsbad Municipal Code and are subject to the Design Guidelines and Development Standards specified for Planning Areas 22 or 11.

8. Flood Plain Special Use Permit

Portions of Planning Areas 12, 20, 22, 23E, 23F and 23C fall within the Flood Plain Overlay Zone. Any grading or development that occurs in these areas shall require the approval of a Special Use Permit in accordance with the requirements of Chapter 21.110 of the Carlsbad Municipal Code.

9. El Camino Real Scenic Corridor Special Use Permit

El Camino Real has been designated as a scenic corridor and a set of standards that applies to property within certain distances of this roadway has been adopted. Planning Areas 2, 7, and 11 along the southern portion of the Master Plan are subject to the El Camino Real Scenic Corridor Guidelines. Those guidelines require the review and approval of a Special Use Permit to ensure compliance with the guidelines. Development of Planning Areas 2, 7, and 11 will require approval of a Special Use Permit as buildings are proposed to ensure that they meet the requirements of the El Camino Real Scenic Corridor Study Area.

10. Hillside Development Permit

A Hillside Development Permit shall be applied for at the time a Master Tentative Tract Map is submitted and shall be obtained before construction or development begins within any Village with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal Code.

G. State Requirements

As contained in Section 65450, et. seq. of the California Government Code, a master plan shall be prepared, adopted, and amended in the same manner as a General Plan, except that a master plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body. No master plan may be adopted or amended unless the proposed master plan or amendment is consistent with the City's General Plan.