

**CITY OF CARLSBAD**

**ZONE 20  
SPECIFIC PLAN**

Prepared for:

City of Carlsbad  
Planning Department  
2075 Las Palmas Drive  
Carlsbad, Ca. 92009

**MAY 1993**

Prepared By:

Processing/Coordination:  
**Jack Henthorn and Associates**

Overall Document Preparation:  
**Hofman Planning Associates**

Engineering and Graphics:  
**Rick Engineering**

Economics:  
**Onaka Planning & Economics**

AMENDED MARCH 19, 1996

## **ZONE 20 SPECIFIC PLAN**

### **INDIVIDUALS RESPONSIBLE FOR THE PREPARATION OF THE SPECIFIC PLAN**

#### **PROCESSING/COORDINATION:**

**JACK HENTHORN AND ASSOCIATES**  
5431 Avenida Encinas  
Suite G  
Carlsbad, CA 92008  
(619) 438-4090

#### **OVERALL DOCUMENT PREPARATION:**

**HOFMAN PLANNING ASSOCIATES**  
2386 Faraday Ave.  
Suite 120  
Carlsbad, CA 92009

#### **ENGINEERING AND GRAPHICS:**

**RICK ENGINEERING**  
1959 Palomar Oaks Way  
Suite 200  
Carlsbad, CA 92009

#### **ECONOMICS:**

**ONAKA PLANNING & ECONOMICS**  
P.O. Box 230906  
Encinitas, CA 92023-0906

#### **CITY OF CARLSBAD:**

Marty Orenyak, Community Development Director  
Don Rideout, Senior Management Analyst  
Brian Hunter, Senior Planner  
Steven C. Jantz, Associate Engineer

ZONE 20 SPECIFIC PLAN  
SP 203

(specific plan on approximately 640 acres of land to provide a framework for the future development of the vacant properties within Zone 20 to ensure the logical and efficient provision of public facilities and community amenities for the future residents of Zone 20)

APPROVED BY:

Planning Commission Resolution No 3526, June 16, 1993  
City Council Ordinance No. NS-257, December 14, 1993

\* \* \* \* \*

SP 203(A)

(a minor amendment to designate Villa Loma and Laurel Tree as two off-site combined affordable housing projects that are potentially available to satisfy inclusionary housing requirements for residential projects within Specific Plan 203)

APPROVED BY:

Planning Commission Resolution No. 3866, January 3, 1996  
City Council Ordinance No. NS-349, March 19, 1996

\* \* \* \* \*

SP 203(B)

(specific plan amendment to allow reduced front yard setbacks in the R-1 zone to 15 feet while maintaining a minimum of 20 feet to any garage facing the street)

WITHDRAWN - January 29, 1997

\* \* \* \* \*

SP 203(C)

(specific plan amendment to change the General Plan Land Use Designation from Residential Medium Density (RM) to Residential Low-Medium Density (RLM))

APPROVED BY:

Planning Commission Resolution No. 6617, August 5, 2009  
City Council Ordinances No. CS-064 and CS-065, October 6, 2009

\* \* \* \* \*

SP 203(D)

(Muroya Subdivision – Specific Plan Amendment to change the General Plan Land Use designation from Residential Low-Medium to Residential Medium, Residential Low-Medium and Open Space and Zoning from R-1 to RD-M and Open Space)

APPROVED BY:

Planning Commission Resolution No. 6684, April 7, 2010  
City Council Ordinance No. CS-092, June 29, 2010

# ZONE 20 SPECIFIC PLAN

## TABLE OF CONTENTS

<b>I. INTRODUCTION</b> .....	1
A. PURPOSE .....	1
B. BASIS .....	1
C. PROJECT DESCRIPTION .....	2
D. SPECIFIC PLAN GOALS .....	9
E. LEGISLATIVE BACKGROUND .....	10
<b>II. LAND USE</b> .....	11
A. RESIDENTIAL .....	11
B. COMMERCIAL .....	14
C. COMMUNITY FACILITIES .....	19
D. SCHOOLS .....	22
E. OPEN SPACE .....	22
<b>III. LAND USE REGULATIONS</b> .....	23
A. GENERAL PLAN .....	23
B. ZONING .....	23
C. LOCAL COASTAL PLAN .....	27
D. GENERAL PROVISIONS .....	36
<b>IV. DEVELOPMENT REVIEW PROCESS</b> .....	41
A. SPECIFIC PLAN .....	41
B. TENTATIVE MAPS, PLANNED UNIT DEVELOPMENT PERMITS, AND SITE DEVELOPMENT PLANS FOR RESIDENTIAL DEVELOPMENT .....	41
C. AFFORDABLE HOUSING .....	43
D. SITE DEVELOPMENT PLANS FOR COMMERCIAL AND APARTMENT USES .....	50
E. CONDITIONAL USE PERMIT FOR CHURCHES, DAY CARE FACILITIES, SCHOOLS, RV STORAGE YARDS AND OTHER NON- PROFIT FACILITIES .....	50
F. PHASING .....	50
G. SPECIFIC PLAN AMENDMENTS .....	51
H. TENTATIVE MAP/PLANNED DEVELOPMENT PERMIT AND RESIDENTIAL SITE DEVELOPMENT PLAN AMENDMENTS .....	52
I. SITE DEVELOPMENT PLAN AMENDMENTS/CONDITIONAL USE PERMIT AMENDMENTS .....	53
J. SPECIFIC PLAN FEE - COST REIMBURSEMENT .....	53
<b>V. OPEN SPACE</b> .....	55
A. INTRODUCTION .....	55
B. GROWTH MANAGEMENT PERFORMANCE STANDARD OPEN SPACE .....	55

C.	SPECIFIC PLAN OPEN SPACE .....	57
D.	CITY OPEN SPACE ELEMENT .....	62
E.	BICYCLE/PEDESTRIAN TRAILS .....	63
F.	MAINTENANCE .....	64
<b>VI.</b>	<b>PUBLIC FACILITIES .....</b>	<b>66</b>
A.	DRAINAGE .....	66
B.	CIRCULATION .....	71
C.	SEWER FACILITIES .....	75
D.	WATER FACILITIES .....	79
E.	OFF-SITE IMPROVEMENTS .....	82
F.	LOCAL FACILITIES .....	82
<b>VII.</b>	<b>DEVELOPMENT STANDARDS .....</b>	<b>83</b>
A.	INTRODUCTION .....	83
B.	ARCHITECTURAL STANDARDS .....	83
C.	LANDSCAPE CONCEPT/APPROACH GUIDELINES .....	85
D.	FRONT YARD LANDSCAPING AND STREET TREES .....	90
E.	COLLECTOR STREETS (NON-LOADED) .....	91
F.	SCENIC CORRIDOR ARTERIAL STREETS (Alga Road & Poinsettia) ..	92
G.	LANDSCAPE BUFFER ZONE .....	93
H.	SLOPE PLANTING AND DISTURBED OPEN SPACE AREAS .....	95
I.	PROJECT ENTRIES .....	97
<b>VIII.</b>	<b>PLANNING AREAS .....</b>	<b>98</b>
A.	INTRODUCTION .....	98
B.	PLANNING AREA A .....	98
C.	PLANNING AREA B .....	105
D.	PLANNING AREA C .....	110
E.	PLANNING AREA D .....	114
F.	PLANNING AREA E .....	119
<b>IX.</b>	<b>APPENDICES</b>	

## LIST OF EXHIBITS

<u>Number</u>	<u>Description</u>	<u>Page</u>
Exhibit 1	Location . . . . .	5
Exhibit 2	Ownership . . . . .	6
Exhibit 3	General Plan . . . . .	7
Exhibit 4	Planning Areas . . . . .	8
Exhibit 5	Noise Influence Area . . . . .	13
Exhibit 6	Commercial Overlay . . . . .	18
Exhibit 7	Zoning . . . . .	26
Exhibit 8	Coastal Agricultural Overlay . . . . .	29
Exhibit 9	Environmental Review Areas . . . . .	42
Exhibit 10	Open Space . . . . .	56
Exhibit 11	Pedestrian Trails . . . . .	65
Exhibit 12	Drainage . . . . .	69
Exhibit 13	Circulation . . . . .	73
Exhibit 14	Street Section . . . . .	74
Exhibit 15	Sewer . . . . .	78
Exhibit 16	Water . . . . .	81
Exhibit 17	Street Corner Sight Distances . . . . .	94
Exhibit 18	Permanent Slope Landscaping . . . . .	96
Exhibit 19	Opportunities and Constraints Planning Area A . . . . .	99
Exhibit 20	Opportunities and Constraints Planning Area B. . . . .	107
Exhibit 21	Opportunities and Constraints Planning Area C . . . . .	111
Exhibit 22	Opportunities and Constraints Planning Area D . . . . .	116
Exhibit 23	Opportunities and Constraints Planning Area E . . . . .	120
Exhibit 24	Zone 20 Property Ownership . . . . .	124
Exhibit 25	Ownerships Adjacent to Specific Plan Area . . . . .	129
Appendix A	1" = 200 Constraints map . . . . .	130
Appendix B	Alga Road Alignment . . . . .	131
Appendix C	Poinsettia lane Alignment . . . . .	132
Appendix D	Drainage Study . . . . .	POCKET D
Exhibit 9A	Offsite combined Inclusionary Projects	49a

## I. INTRODUCTION

### A. PURPOSE

The Zone 20 Specific Plan provides a framework for the future development of the vacant properties within Zone 20 to ensure the logical and efficient provision of public facilities and community amenities for the future residents of Zone 20.

### B. BASIS

This Specific Plan varies in one aspect from Article 8, Section 65450 et. a. of the California Government Code which defines the intent and content of a "specific plan". The California Government Code requires that specific plans provide a detailed discussion of public facilities such as sewers, drainage, roads and water. It also requires a program of implementation measures including financing to provide for these facilities. This has already been done by the Zone 20 Local Facilities Management Plan and the Zone 20 Finance Plan which are incorporated herein by this reference. In order to avoid duplication and confusion, the Zone 20 Specific Plan generally follows the format of master plans required for the Planned Community (PC) zone per Chapter 21.38 of the Carlsbad Municipal Code.

Whereas most master plans deal with large tracts of land under one ownership, the Zone 20 Specific Plan deals with a large tract of land owned by over fifty individuals and corporations. These property owners have varying development goals and horizons. Therefore, provision of the same level of detail found in Carlsbad's recent Master Plans is not possible in this specific plan. However, all future development shall be required to comply with the provisions of this Specific Plan.

The Zone 20 Specific Plan is consistent with the City of Carlsbad's General Plan and Local Coastal Plans. In addition, land use and development within the Zone 20 Specific Plan area shall be subject to all present and future plans, policies and ordinances adopted by the City Council or by citizen vote.

All development within the Specific Plan area shall be in accordance with the approved Zone 20 Local Facilities Management Plan (LFMP). The Zone 20 LFMP was prepared pursuant to the City of Carlsbad's Growth Management Program, Title 21, Chapter 21.90 of the Carlsbad Municipal Code and is consistent with, and implements, the Citywide Facilities and Improvement Plan.

The Specific Plan implements the City of Carlsbad General Plan, and Title 21 of the Carlsbad Municipal Code by providing guidelines and standards for the full development of all phases of the project; by requiring facilities and services consistent with City regulations and ordinances; and by ensuring that all City standards and requirements will be met in a consistent and uniform manner.

Unless specifically discussed in this Specific Plan, all City policies and ordinances apply to the Zone 20 Specific Plan area as they would apply to any property in the City of Carlsbad. The Specific Plan requires conformance with all applicable City development standards and requirements.

Approval of the Zone 20 Specific Plan does not eliminate any requirement to obtain additional approvals and permits prior to further development of any property within the Specific Plan Area. The granting of a development permit for a project found to be in conformance with the Specific Plan applies only to the affected property.

No person shall use or develop any property covered by this Specific Plan in a manner which is contrary to the Specific Plan as established by the City Council. All properties within the Specific Plan shall be subject to all terms and conditions of the Zone 20 Specific Plan.

Amendments to the Specific Plan are permitted pursuant to the procedure established by the Carlsbad Municipal Code and Chapter III of this Specific Plan.

## C. PROJECT DESCRIPTION

### 1. Location

The Specific Plan area is located in the southwest quadrant of the City of Carlsbad. It consists of a largely undeveloped land area located south of Palomar Airport Road and east of Paseo Del Norte. The easterly limit of the area is located slightly more than half way between Interstate 5 and El Camino Real. The southerly boundary is the Hillman Property's Aviara Master Plan area. The location and boundary of the Specific Plan are shown in Exhibit 1 on page 5.

### 2. General Description

The Specific Plan area contains approximately 636 acres held in 52 separate parcels<sup>1</sup>. Parcels range in size from 0.51 acres to 68.56 acres. Ownership boundaries are shown in Exhibit 2 on page 6 and ownership information is provided in Exhibit 2 on page 6.

---

<sup>1</sup>Some property owners hold several parcels.



The Specific Plan area is composed of the following General Plan Land Use Designations (see Exhibit 3 on page 7):

- RLM (Residential Low-Medium, 0-4 du/acre)
- RM (Residential Medium, 4-8 du/acre)
- OS (Open Space)

Based on these underlying General Plan Land Use Designations, the majority of the zone east of the main north-south running ridge will probably be developed as standard single family residences while properties west of ridge could be developed as either multi-family or single family.

The Zone 20 Local Facilities Management Plan projects a total of 2,480 dwelling units will exist at build out of the zone. Of this total, the Specific Plan area could contain 2,275 dwelling units. At present, there are 8 existing dwelling units within the Zone 20 Specific Plan area.

### 3. Exclusions

Although located within the physical boundaries of the Zone 20 Local Facilities Management Zone, the following parcels were excluded from the Zone 20 Specific Plan for the reasons stated:

a. Sudan Interior (APN 212-040-23)

There are nineteen existing dwelling units on this parcel. Although they may expand in the future, the amount of expansion would be minimal.

b. Cobblestone Sea Village (APN 212-040-29)

This project has a previously approved tentative map (CT 84-32A). No changes are anticipated for this project.

c. BCS Development (APN 212-040-29)

This parcel is separated from the remainder of Zone 20 by topography and Cobblestone Sea Village. It was considered a part of the previously approved Cobblestone Sea Village.

#### 4. Planning Areas

In response to the differing levels of interest in development by individual property owners, topographical constraints, boundaries created by Poinsettia Lane and property ownership, five Planning Areas have been created within the Specific Plan area (see Exhibit 4 on page 8).

Area A is generally located west and adjacent to the future alignment of Alga Road, consists of approximately 197 acres, and is composed of 5 separate parcels. These parcels will gain access from residential collector streets coming off of Alga Road, Poinsettia Lane and Camino de las Ondas.

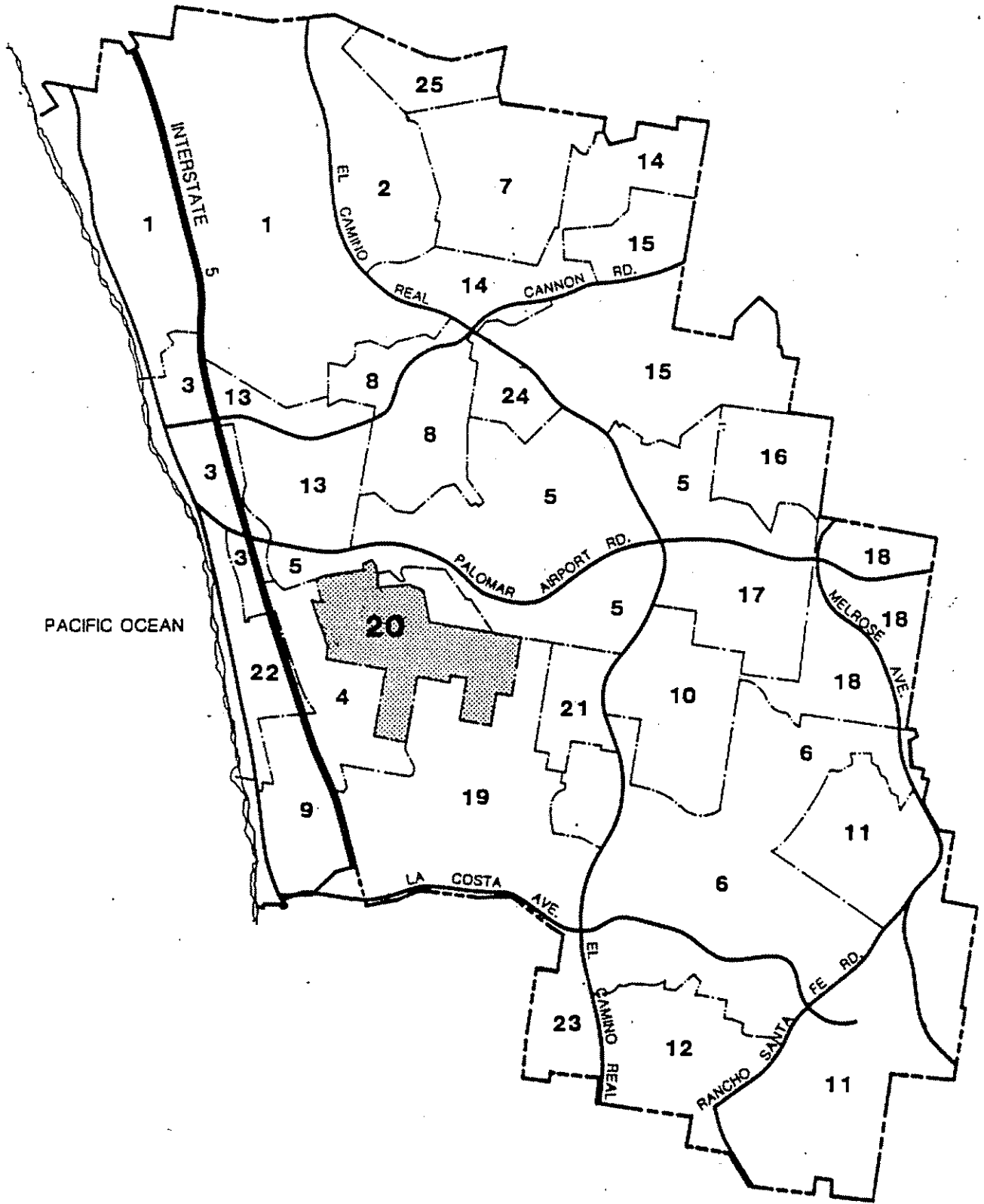
Area B is located on the western edge of the Specific Plan area, consists of approximately 160 acres, and is composed of six separate parcels. Two of the parcels are owned by the City of Carlsbad. When developed, these properties will gain access from residential collector streets coming off of Poinsettia Lane, Camino de las Ondas and the future extension of Hidden Valley Road.

Area C is located north of Poinsettia Lane and east of Alga Road, consists of approximately 144 acres, and is composed of six separate parcels. These properties will gain access from Poinsettia Lane and one or more residential collectors intersecting Alga Road.

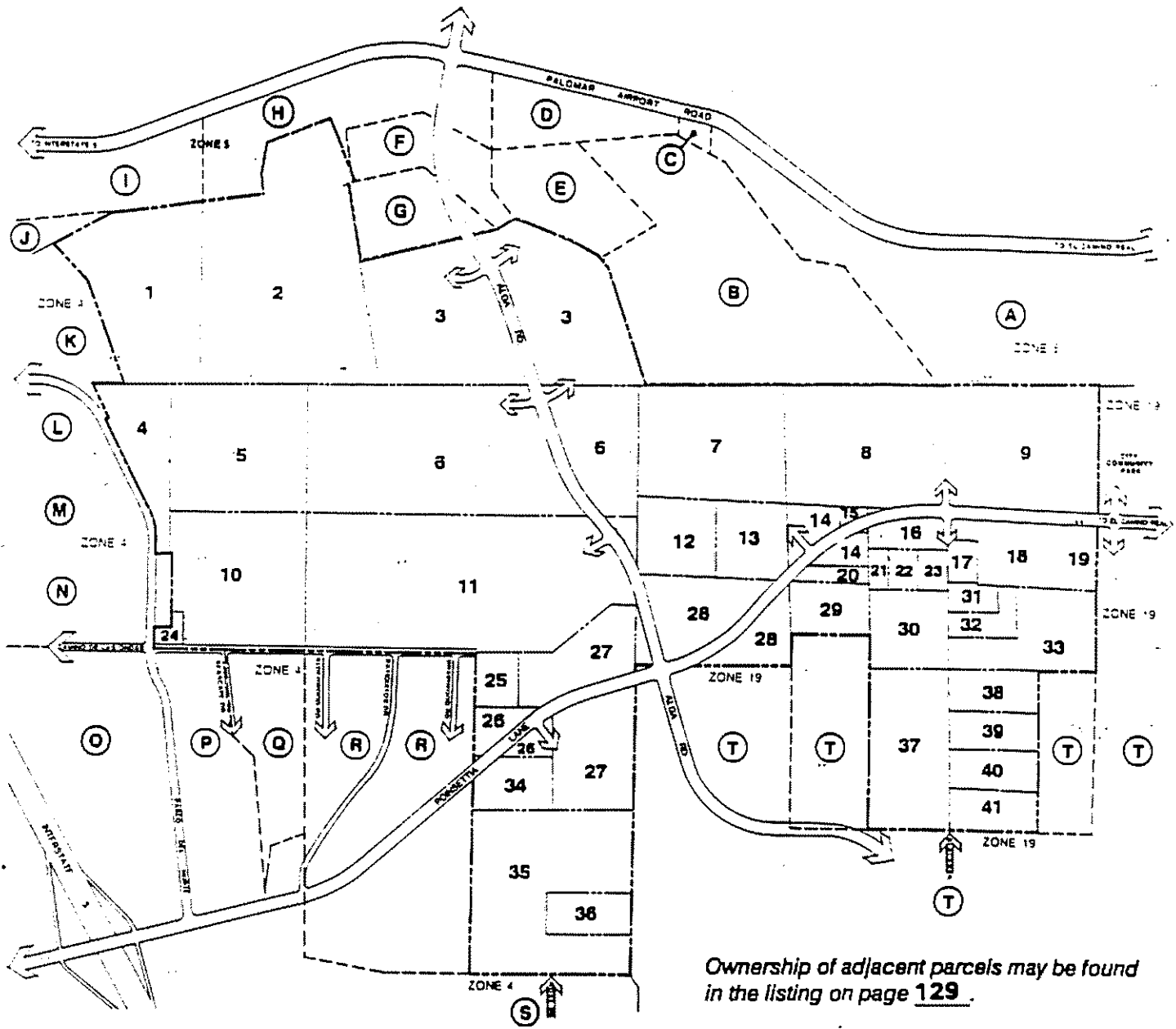
Area D is located north and south of Poinsettia Lane, west of the intersection of Alga Road and Poinsettia Lane. There are 85 acres and seven separate parcels in this area. Future development will gain access from a residential collector connecting Poinsettia Lane to existing development to the south.

Area E is located south of Poinsettia Lane and east of Alga Road. There are 105 acres and twenty separate parcels in this area. The majority of the properties are in horticultural operations. Future development in this area will gain access from Alga Road via the Aviara project's Black Rail Road. Each of these areas will be discussed in detail in the Planning Areas chapter, Chapter IX.

The Specific Plan text defines the allowable type and intensity of land uses in each Planning Area and provides detailed development and design standards, public facility requirements, development phasing and general timing, and the method by which the Zone 20 Specific Plan will be implemented.



not to scale

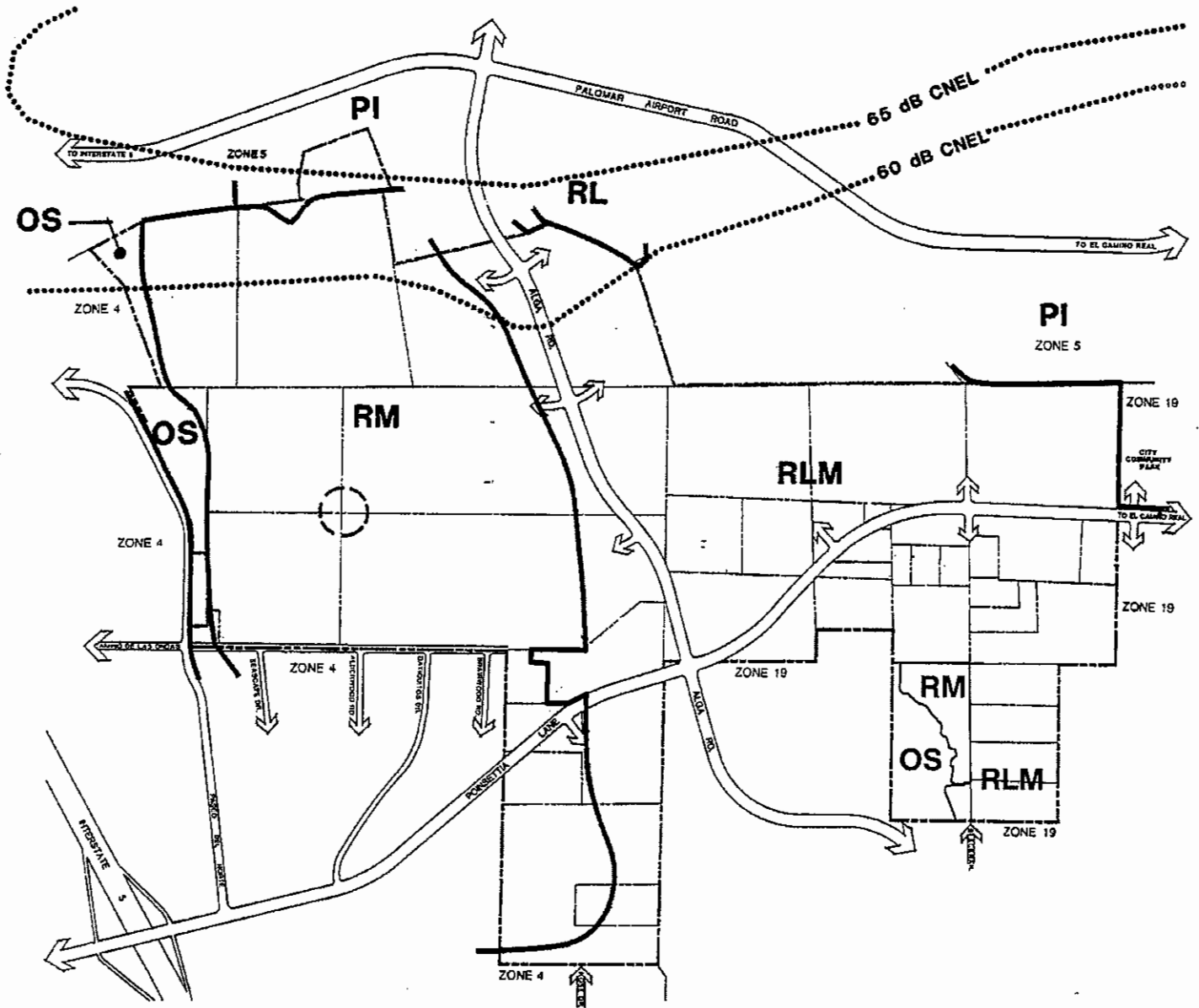


Ownership of adjacent parcels may be found in the listing on page 129.

**Legend**

- |                     |                      |                          |              |
|---------------------|----------------------|--------------------------|--------------|
| 1. Mc Reynolds      | 12. Schindler        | 23. Lujan                | 34. Mendivil |
| 2. Kelly            | 13. Fernandez        | 24. Kramer               | 35. Thompson |
| 3. Carlsbad Heights | 14. Poinsettia Hills | 25. Engler               | 36. Weidner  |
| 4. City of Carlsbad | 15. Aitchison        | 26. Thompson             | 37. Muroya   |
| 5. City of Carlsbad | 16. Mc Kinney        | 27. Tabata               | 38. Tabata   |
| 6. Sunbelt          | 17. Carlsbad MWD     | 28. Sarkaria             | 39. Yamamoto |
| 7. Foesch           | 18. Kaiser           | 29. Rudvalis             | 40. Buerger  |
| 8. Oceanbluff       | 19. Nelson           | 30. Carnation Properties | 41. Sugino   |
| 9. De Jong 20       | 20. Hidalgo          | 31. Moore                |              |
| 10. Abada           | 21. Bolton           | 32. Tabata               |              |
| 11. Bramalea        | 22. Cardoso          | 33. Hadley               |              |
- Note:**  
Locations are approximate





**Legend**

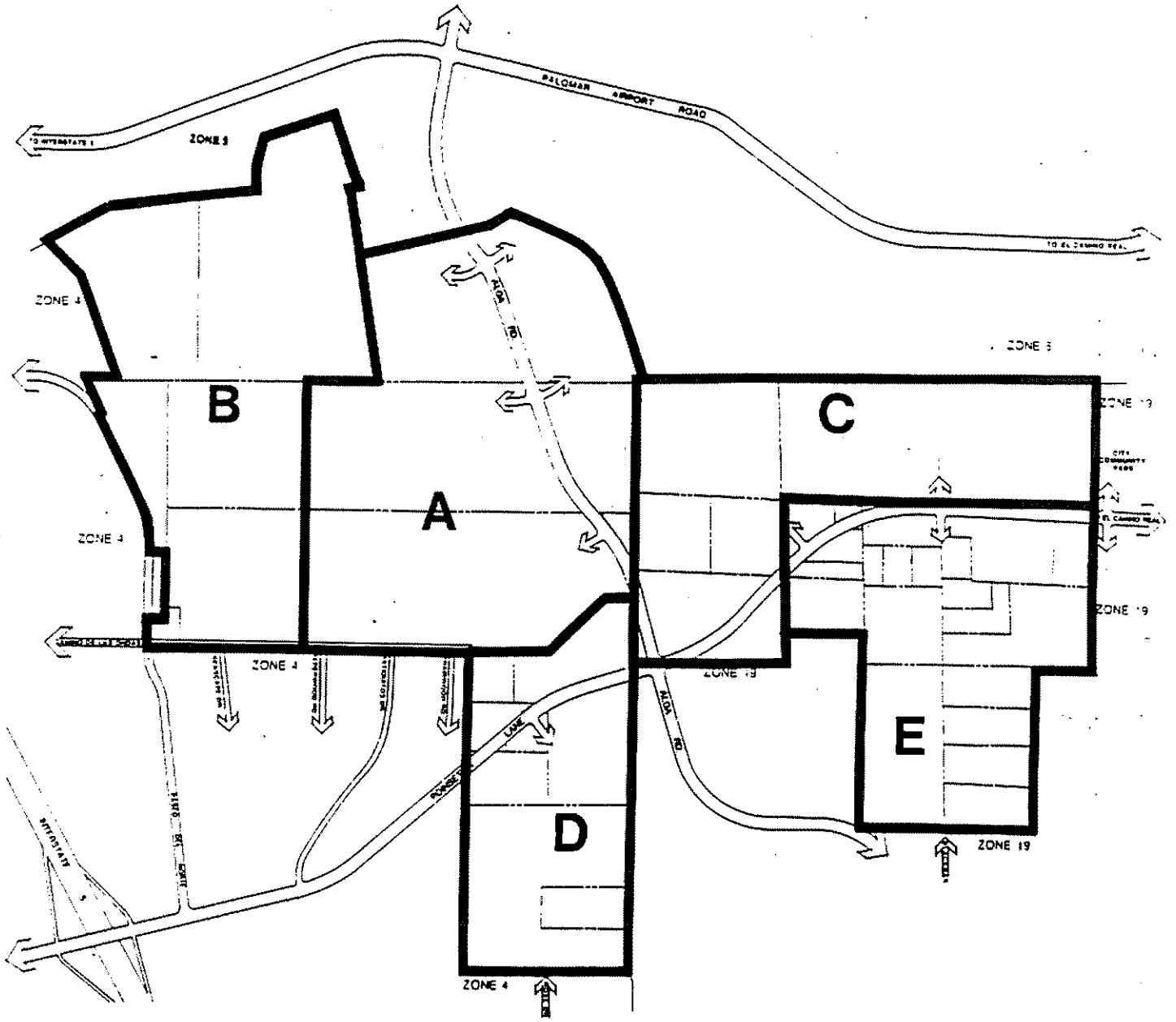
- RL Residential Low Density (0-1.5 du/ac)
- RLM Residential Low-Medium Density (0-4 du/ac)
- RM Residential Medium Density (4-8 du/ac)
- OS Open Space
- Proposed School

- PI Planned Industrial
- 1995 Noise Contours

**Note:**

Source: (Noise Contour)  
 FAR Part 150 Report  
 Prepared for: San Diego County  
 Prepared by: KPMG, Pete Marwick (May, 1990)  
 Updated by: Jack Henthorn & Associates (November, 2009)





not to scale

5. Community Facilities

The Specific Plan will establish guidelines for the provision of community facilities sites. These facilities could include churches, day care, boys and girls clubs, etc. However, given the multiple property ownership within Zone 20, it is difficult to mandate that any one of these uses be located on a particular property. Establishing criteria for the selection of suitable sites should serve to facilitate the development of community facilities since the Specific Plan will have determined that the surrounding circulation system, access and buffers make these potential sites appropriate for these uses.

**D. SPECIFIC PLAN GOALS**

The Zone 20 Specific Plan has been developed based on the following goals. All development within the Specific Plan shall conform to and further these goals:

1. Ensure development conforms to all aspects of Carlsbad's General Plan, Zone 20 Local Facilities Management Zone and all applicable City ordinances, regulations and policies.
2. Ensure that public facilities and services that serve the Specific Plan area meet applicable City standards and requirements prior to, or concurrent with, development.
3. Ensure the orderly development of the area by providing a high level of coordination between developments.
4. Ensure that earlier phases of development do not preclude the logical and efficient development of later phases or the provision of community facilities.
5. Ensure development of the Specific Plan is compatible with and enhances existing development adjacent to the site.
6. Provide an integrated open space trail system to encourage safe, non-motorized transportation.
7. Create and maintain an open space network that buffers and links neighborhoods within the Specific Plan while linking the Specific Plan community to surrounding areas.

8. Create an attractive, buffered circulation system that safely and aesthetically provides for the needs of automobiles, cyclists, pedestrians and adjacent land uses.
9. Ensure, whenever possible, that views into the Specific Plan area from existing neighborhoods and circulation element roadways have been designed to present an appealing and uncluttered community.
10. Create a well planned, yet diversified community.

**E. LEGISLATIVE BACKGROUND**

The following, in chronological order, represents official actions pertaining to those areas covered by this Specific Plan or adjacent areas thereto:

\_\_\_\_\_ Planning Commission approval of the Zone 20 Specific Plan, Planning Commission Resolution No. \_\_\_\_\_  
(Appendix A)

\_\_\_\_\_ City Council approval of the Zone 20 Specific Plan, City Council Resolution No. \_\_\_\_\_  
(Appendix B)



## II. LAND USE

### A. RESIDENTIAL

The Zone 20 Specific Plan area contains gentle north-south running ridge lines cut by occasional canyons. Historically, the area has been used for agriculture.

The Zone 20 Specific Plan does not consist of one large holding owned by a single developer. As previously mentioned, the Zone 20 Specific Plan consists of over 50 parcels varying in size from .51 to 68.56 acres, and held by 38 separate owners. These properties are in various stages of the development process. It is possible that some of the properties may remain in agriculture for several years. The Zone 20 Specific Plan contains one of the last remaining areas within the City of Carlsbad which will be composed of smaller projects.

The guidelines provided in this Specific Plan should be flexible enough to allow this area to be developed with variety in neighborhood identity yet with enough definition to ensure compatibility and adequacy of internal circulation and open space. The Zone 20 Local Facilities Management Plan has determined the public facilities needed to serve this area.

All projects developed within the Zone 20 Specific Plan must comply with all applicable sections of Titles 20 and 21 of the Carlsbad Municipal Code, and all provisions of this Specific Plan.

#### 1. Variety of Housing Types

The RDM-Q Zoning designation allows multiple family residential units to be developed within the specific plan area.

Multi family units should be located in areas convenient to recreational activities, transportation and circulation.

Affordable Housing requirements shall be met within each ownership unless approval is granted for a coordinated program involving multiple ownerships. A coordinated program between two or more properties providing the aggregate requirement on a single ownership shall be permitted as an option to the individual property requirement. All coordinated programs shall demonstrate compliance with land use and growth management regulations and shall be subject to City approval.

The Zone 20 Specific Plan shall provide its fair share of inclusionary housing per the requirements of the City of Carlsbad's

Housing Element. For a detailed discussion of how the Zone 20 Specific Plan will provide its fair share of inclusionary housing refer to Chapter V, Affordable Housing.

2. Airport Influence Area

Exhibit 5 on page 13 shows the portion of the Specific Plan that falls within the Palomar Airport Influence Area. Three properties comprising approximately 153 acres fall within this area. Exhibit 5 on page 13 also shows the portion of these properties that will be impacted by 60 Db CNEL generated by the airport. All future residences within the Airport Influence Area should be designed in accordance with the requirements of the Palomar Airport Comprehensive Land Use Plan and in some areas may be required to install special noise insulation and glazing. Future site specific noise studies will determine the airport noise impact on these properties.

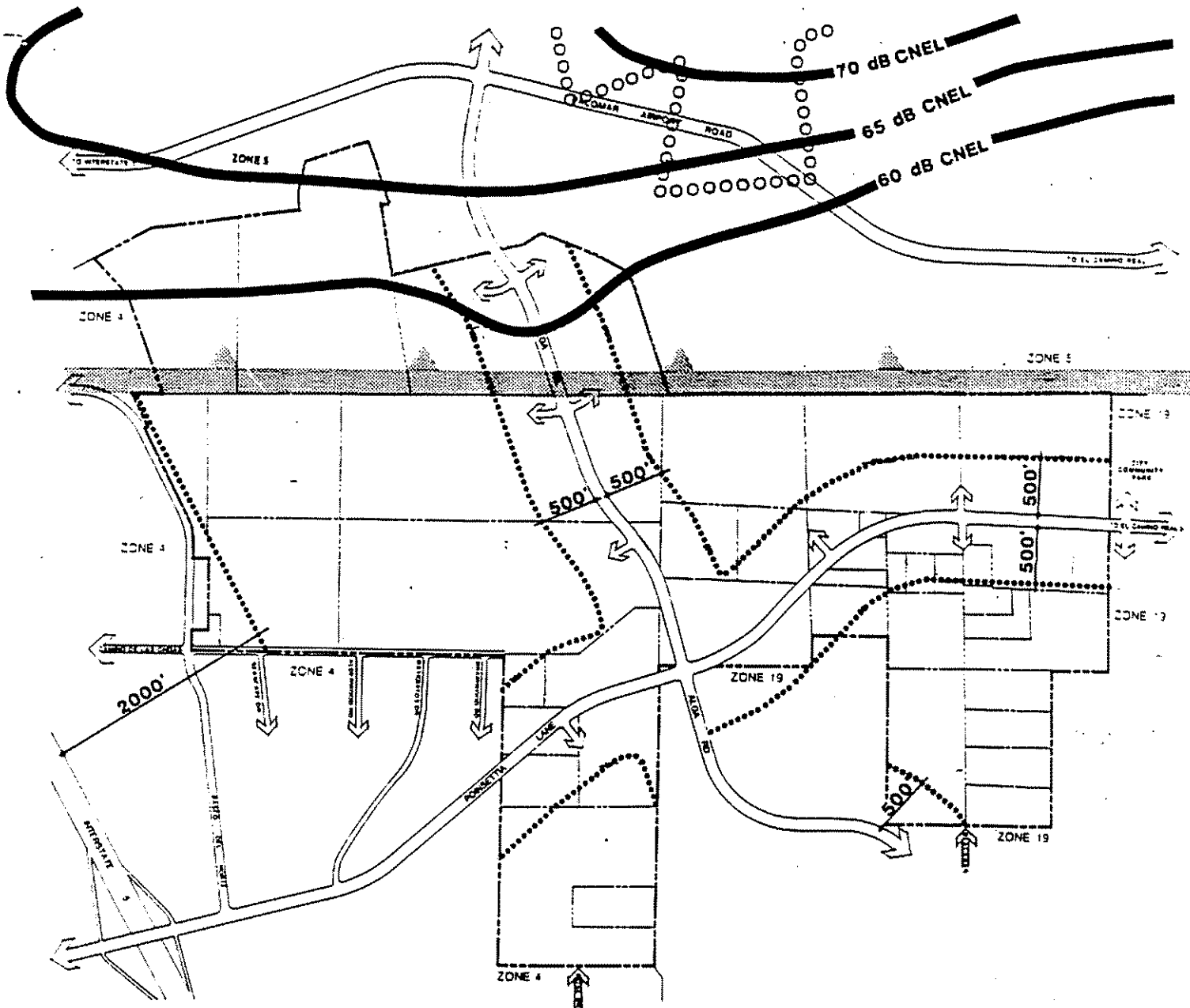
Exhibit 5 on page 13 also shows all properties that will be required to prepare noise studies addressing traffic noise per the proposed City of Carlsbad's Planning Commission Noise Policy. This policy requires that all properties within 2,000 feet of a freeway or 500 feet of an arterial roadway prepare a noise study addressing traffic noise

3. Open Space


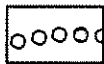

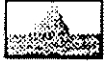
Preservation and enhancement of Open Space is an important aspect of the Zone 20 Specific Plan. Approximately 15% of the net developable acreage in Zone 20 shall be retained as permanent open space. The Zone 20 open space program consists of landscaped parkways, utility corridors, and natural slopes as identified in Exhibit 10 on page 56.

4. Schools

The City's General Plan shows a K-8 school site in the Zone 20 Specific Plan Area. Currently this is a floating site as it could occur anywhere within the Specific Plan, subject to the approval of the State of California.



**Legend**

-  Roadway Noise Impact Study Area
-  Flight Activity Zone
-  1995 Airport Noise Contour (dB CNEL)
-  Airport Influence Area

**Note:**

Source: (Roadway Noise)  
 City of Carlsbad Noise Element (Policy # 17)  
 December 6, 1988

Source: (Airport Influence)  
 McClellan Palomar Airport Comprehensive Land Use  
 Plan (Res. # 87-21)  
 October 24, 1986



5. Affordable Housing

a. GENERAL REQUIREMENTS

All development within Zone 20 will be required to provide its fair share of inclusionary housing units for families of lower income. This will result in 15% or 343 lower income inclusionary housing units being provided in the Zone 20 Specific Plan. These numbers are based on the number of units that would be allowed in the Specific Plan area if each property was developed at the density allowed by its Growth Control Point. The number of units that are actually developed could be substantially less if a number of the properties are developed at densities below their Growth Control Points.

All projects proposed within Zone 20 shall comply with the City's mandatory inclusionary housing program through the vehicles provided in Section IV of this Specific Plan.

b. VOLUNTARY INCLUSIONARY PROVISION

The provisions contained in this section shall not restrict any property owner's ability to seek approvals under the provisions of Government Code sections 65915.

B. COMMERCIAL

1. Neighborhood Convenience Commercial Uses

At build out, up to 2,275 dwelling units may exist within the boundaries of the Specific Plan Area. There are existing and proposed commercial centers located within one mile of all properties within the Specific Plan Area. This level of availability is sufficient to meet General Plan guidelines for spacing of neighborhood (local) commercial services which recommends a spacing criteria of one mile.

Future air quality regulations may, however, require the establishment of commercial areas internal to the Specific Plan Area as part of a strategy to discourage short, high emission generating vehicle trips.

The Land Use Element of the Carlsbad General Plan recognizes the potential need for neighborhood convenience commercial uses in all areas and provides for neighborhood commercial uses on sites of up to five acres in residential designated areas without a General Plan Amendment. The element further states that there is no absolute standard for the number of local commercial acres needed to adequately service a given number of people, there should generally be one acre of neighborhood commercial development per 1,000 population of the service area. This standard should be tempered by the character of each particular service area.

In an effort to reduce vehicle emissions from short vehicle trips within the Zone 20 Specific Plan Area, commercial uses will be required if the above criteria are not met. These uses may be located in accordance with the following guidelines:

- a. Locational
  - i. Near major arterials or major collector intersections.
- b. Land Use/Design
  - i. Uses shall be those necessary to serve the immediate surrounding residential area.
  - ii. Parcel size is not to exceed 5 acres.
  - iii. Conformance with standards of the C-1 Neighborhood Commercial Zone of the Carlsbad Municipal Code, title 21, Chapter 26.
  - iv. Permitted uses include, but are not limited to, convenience retail, grocery stores, bakeries, barber and beauty shops, book and stationary stores, dry-cleaning, florists shops, health clubs or spas, financial institutions, jewelry stores, small medical offices, agencies, or other similar uses. One Recreational Vehicle/Mini Storage facility shall be permitted within the Specific Plan Area.
  - v. Maximum building height is 35 feet. Building height shall be varied and compatible with adjacent development.

- vi. Building setback requirements along Alga Road or Poinsettia Lane shall be 50 feet and may contain trails providing linkages to the proposed City wide trail system. Where feasible sidewalks should be separated from curblines to create additional pedestrian amenity, Decorative walls shall be used to buffer adjacent properties from visual impacts. Parking shall be set back a minimum of 30 feet from Alga Road and Poinsettia Lane. Setbacks shall be fully landscaped.
- vii. Parking shall conform to the standards as set forth in the Carlsbad Municipal Code Title 21, Section 44. Parking lot landscaping shall conform to the "Landscape Manual" of the City of Carlsbad (adopted 11/15/90)
- viii. Signs shall comply with the Provisions of the Zone 20 Specific Plan and the Carlsbad Municipal Code.
- ix. Fencing and lighting shall be provided. An open fence shall be provided along all street frontages. All lighting shall be directed away from surrounding properties.
- x. RV/Mini Storage Sites shall be heavily landscaped and screened on all sides.

As a part of any application for development within the Zone 20 Specific Plan Area, all developers must demonstrate the availability and adequacy of commercial facilities to serve residents of each area proposed for development.

c. Commercial Overlay Designator Areas

Three general locations for commercial development are identified in this section based on the locational criteria listed above. (Exhibit 6 on page 18.). These areas may be developed subject to approval of a Site Development Plan by the Planning Commission. Owners of property located within a commercial overlay designator shall not be required to process applications for land use change or conditional use permits, unless such approvals are required under the provisions of the Carlsbad Municipal Code to accommodate specific tenants.

The property owner shall have right to density otherwise permissible on the approved area and may incorporate it into any

residential project area provided that the resultant density does not exceed the maximum level permitted by the underlying General Plan designation.

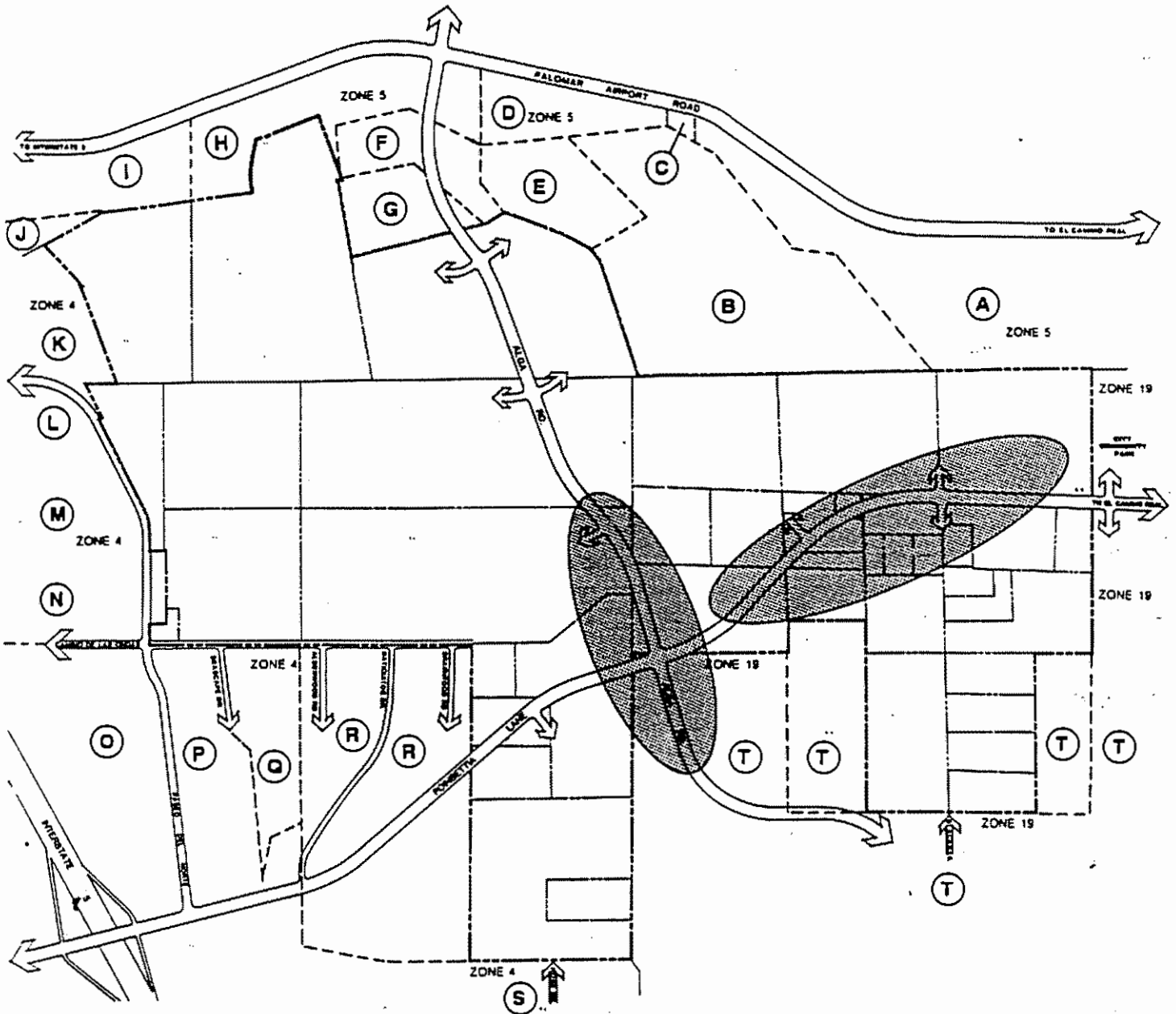
Prior to final map approval, owners proposing future commercial development of overlay designated properties shall obtain Planning Director approval of a program to disclose the commercial use to future owners of surrounding properties.

The options available to properties located within any commercial overlay designator shall expire upon meeting the General Plan criteria for the projected demand.

d. Commercial Land Use General

Any property owner desiring to establish a commercial land use in an area not within a commercial designator zone shall be required to obtain all approvals related to a standard change in land use.

Owners of properties not located within a commercial overlay designator area shall not be permitted to shift density from a proposed commercial site to any residual residential area.



**Legend**

 Commercial Overlay Areas





## C. COMMUNITY FACILITIES

The Zone 20 Local Facilities Management Plan projected 2,275 units would exist within the Zone 20 Specific Plan area at build out. Community Facilities are permitted within the Zone 20 Specific Plan area subject to the approval of a Site Development Plan. Based on the Growth Management estimate of 2.3178 persons per unit, this would generate a population of 5,273 at build out. This population along with that of existing neighborhoods near the I-5/Poinsettia Lane intersection, will generate a need for several churches and day care facilities.

### 1. PROVISION OF COMMUNITY FACILITY SITES

As mentioned previously, unlike master plans the Zone 20 Specific Plan contains approximately 52 separate properties ranging in size from 0.51 to 68.56 acres in size. Each of these properties has a different development horizon. Some will be developed in the next couple of years, while others will not be developed until after the year 2000.

To encourage the provision of community facilities within the Zone 20 Specific Plan, as a part of any subdivision application, an owner or developer of property located within one mile of a park, school or other major public facility may temporarily designate a portion of the site for community facility uses. Every site proposed shall meet the following criteria.

- a minimum reservation period of five (5) years
- frontage on a collector or arterial street with sufficient distance for safe access
- size and shape to provide a minimum useable pad area of two acres
- location to minimize impact on surrounding residential development
- full disclosure to all buyers of surrounding residential units and owners of surrounding properties that a community facility may be located on the reserved portion of the property.

In return for such reservation, the City may offer one or more of the following incentives:

- waive all fees for the area reserved
- expedite processing of the entire development proposal
- authorize transfer of density from reserved site to residual
- authorize restoration to underlying use if community facility not established within 5 year reservation

- authorize reestablishment of density from quadrant excess unit pool
- not require a conditional use permit for community facility location on a reserved site

Such proposals shall be evaluated on the basis of projected demand and shall only be rejected following a determination that sufficient facilities or sites are available or projected to be available for the period of the proposed reservation.

Nothing in this section shall preclude any community facility from locating within the specific plan are as would otherwise be permitted under the provision of the Carlsbad Municipal Code.

a. **CHURCH SITES**

Potential church sites should have minimum of two acres of net usable area. This is based on a survey of church sites in the City of Carlsbad that indicates that the average church site is approximately two acres.

b. **DAY CARE FACILITIES**

The Carlsbad City Council has recognized the need to encourage quality day care facilities to serve the families of the community. This conclusion is based on the increasing number of single parent and two person working households with a need for facilities to care for their children during the work day. Potential day care sites should have a minimum land area of .5 acres. Wherever feasible day care facilities should be combined on the same site as church facilities.

c. **OTHER NON-PROFIT USES**

This plan recognizes the need to encourage non-profit services and facilities within the community. Such facilities can help to meet the needs of special populations such as Senior Centers and Boys & Girls Clubs. Potential sites for these facilities should be evaluated on a case by case basis using the criteria established by this chapter of the Specific Plan.

d. RECREATIONAL VEHICLE STORAGE

Due to the variety of properties with different development horizons it is not possible to determine RV storage requirements for the entire Specific Plan. However, adequate RV storage can be accommodated by a number of methods. All projects within the Zone 20 Specific Plan areas shall provide RV parking per the requirements of letter 1 or 2 whichever applies. Option 3 may be substituted for either 1 or 2 at the applicants request. The options are as follows.

1. Conventional Single Family Detached Subdivisions (7,500 square feet or greater per lot):

25% of the units in the subdivision shall be designed to accommodate a recreational vehicle parking space in a required side yard. This side yard shall have a minimum level area of 200 square feet with a minimum width of 10 feet.

2. Planned Developments

Projects with ten or more units developed under the Planned Development ordinance shall provide an on site RV storage area which will be maintained by the Homeowners Association.

The following option may be substituted for either A or B above:

3. Off Site Recreational Vehicle Storage

Additional Recreational Vehicle storage could be provided in a commercial Recreational Vehicle storage area located within Carlsbad's industrial area upon approval of a Conditional Use Permit. As Carlsbad develops there will be an increasing demand for this type of facility and one or more of this type facility will be provided within Carlsbad's industrial area to provide this service.

#### **D. SCHOOLS**

The City's General Plan for school site locations shows a K-8 site within the Zone 20 Specific Plan boundaries. Currently this is a floating site as it could occur anywhere within the Specific Plan boundaries subject to the approval of the Carlsbad Unified School District and the State of California.

#### **E. OPEN SPACE**

Preservation and enhancement of Open Space is an important aspect of the Zone 20 Specific Plan. Approximately 15% of the net developable acreage in Zone 20 shall be retained as permanent open space. The Zone 20 open space program consists of landscaped parkways, utility corridors and natural slopes as identified in Exhibit 10 on page 56.

### III. LAND USE REGULATIONS

#### A. GENERAL PLAN

The General Plan designations of the Zone 20 Specific Plan are shown on Exhibit 3 on page 7. They include the following designations:

- OS - Open Space
- RLM - Residential Low Medium Density (0-4 dwelling units per acre)
- RM - Residential Medium Density (4-8 dwelling units per acre)

The General Plan also designates a Kindergarten to 8th grade school site within the Zone 20 Specific Plan area.

All development within the Specific Plan shall be consistent with these land use designations as well as complying with the Specific Plan and planning area development standards.

#### B. ZONING

The Specific Plan area contains four existing zoning designations, see Exhibit 7 on page 26. These zoning designations are listed below along with the specific development types they allow:

##### 1. L-C (Limited Control)

L-C was established as a "holding" zone for properties which required further study prior to assignment of final zoning. The L-C zone allows for the same uses as E-A (Exclusive Agriculture). Properties zoned L-C with an underlying General Plan designation of RLM, Residential Low Medium, 0-4 dwelling units per acre, will be rezoned to R-1, while properties with an underlying General Plan designation of RM, Residential Medium, 4-8 dwelling units per acre, will be rezoned to R-DM. These changes shall be accomplished prior to or concurrent with development.

Upon rezoning of the areas designated L-C, the following land uses shall be allowed:

- R-1 - Single Family Detached dwellings and associated uses per section 21.10 of the Carlsbad Municipal Code.

R-DM - Single Family Detached dwellings and/or multi-family and associated uses per section 21.24 of the Carlsbad Municipal Code.

Alternative products such as clustered and/or attached units shall be permitted in any zone where necessary to meet environmental or affordable housing requirements. All such requests for alternative product shall be accompanied by a site development plan application.

2. P-C (Planned Community)

Several properties in Planning Area B were zoned P-C in the 1970's. At that time, it was envisioned that a master plan would be prepared for these properties. Since that time there have been no approvals on these properties. The P-C zone by itself does not establish any development standards, but instead relies on the preparation of a master plan to establish development standards. Section 21.38.150 of the Carlsbad Municipal Code regulating the Planned Community Zone states that parcels zoned P-C with an area of less than 100 acres shall be developed per the requirements of Chapter 21.45 of the Carlsbad Municipal Code. The provisions of the Planned Development ordinance shall not apply to rental units and units provided to satisfy Affordable Housing requirements. These standards may also be waived for ownership units when required as an incentive for the production of affordable housing.

3. R-1-10,000-Q (Residential Single Family with minimum 10,000 sq. ft. lots)

Allowable uses for areas zoned R-1-10,000-Q shall be single family detached dwellings and associated accessory structures and permitted uses per Section 21.10 of the Carlsbad Municipal Code. The minimum lot size shall be 10,000 square feet. All development within areas zoned R-1-10,000-Q shall occur in conformance with the above regulations unless a Planned Development Permit per Section 21.45 of the Carlsbad Municipal Code is approved by the appropriate decision making body. The standards of the Planned Development Ordinance may be waived as an incentive for affordable housing.

The Q-Overlay requires approval of a Site Development Plan by the Planning Commission at the time of their development. Three large parcels in Planning Area A were annexed into the City in 1982. At that time, they were given a split zoning based on their split general plan

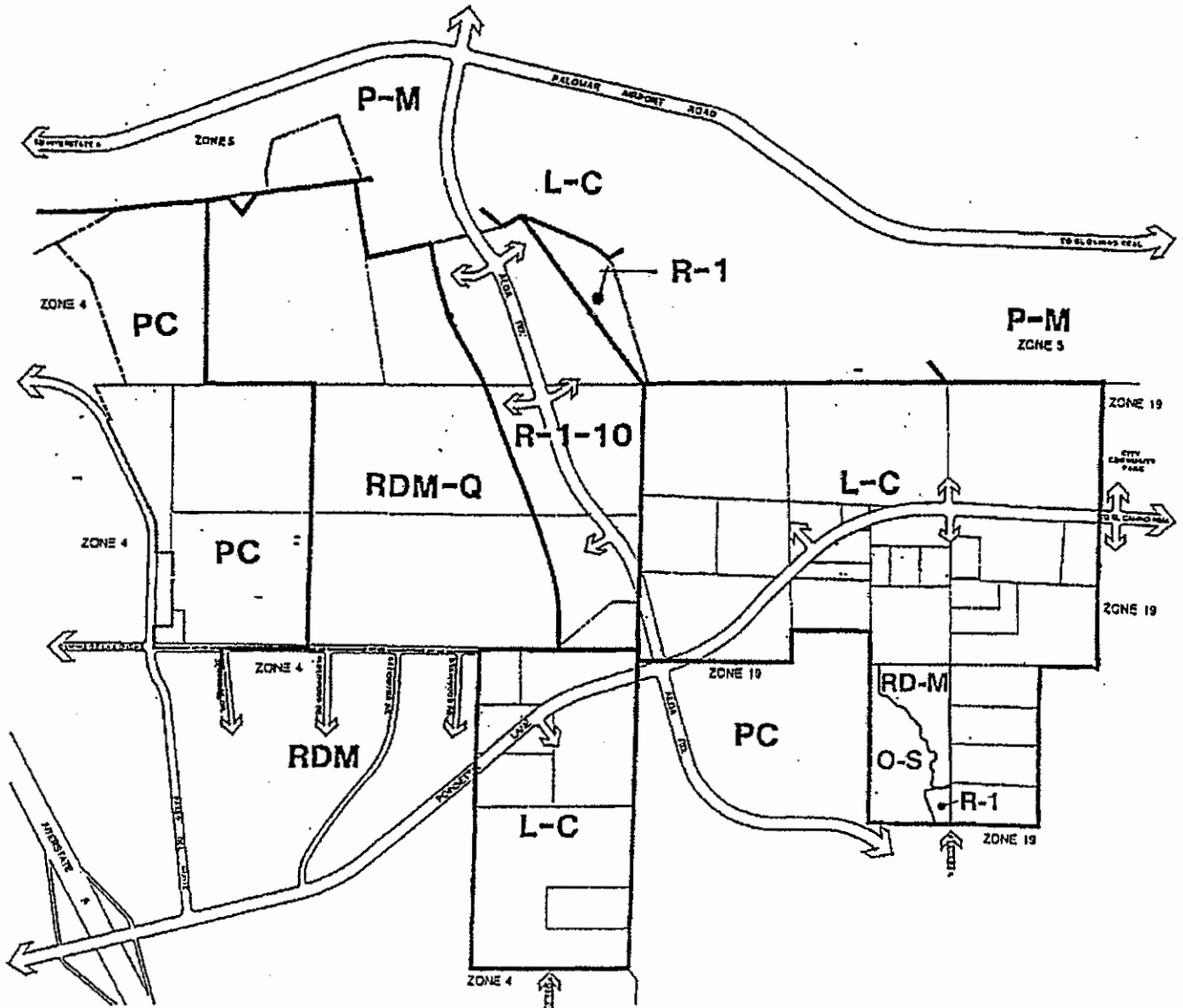
designation. The westerly portion was zoned R-DM-Q and the easterly portion was zoned R-1-10,000-Q. The Q-Overlay was placed on these properties to ensure that no development occurred on these properties without Planning Commission review. The Site Development Plan required by the Q-Overlay will also ensure that development on these properties is compatible with surrounding development.

4. R-DM-Q (Residential Density Multiple)

Allowable uses for areas zoned R-DM-Q shall be single family detached dwellings or multi-family attached dwellings, accessory structures and associated recreation areas. All development in these areas shall occur in conformance with the provisions of Section 21.24 of the Carlsbad Municipal Code (R-DM). Per the underlying General Plan Designation of the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 6 dwelling units per net developable acre unless expressly approved by the City.

All of the properties zoned RD-M within the Zone 20 Specific Plan have the Q (Qualified) Overlay.

The Q-Overlay was placed on these parcels when they were annexed into the City in 1982 to ensure that no development would occur on these properties without Planning Commission review. Per existing City ordinances, no residential development other than one single family home per existing parcel could occur on these properties without Planning Commission review.



**Legend**

- |               |   |            |            |
|---------------|---|------------|------------|
| <b>R-1</b>    | Single Family Residential                     | <b>O-S</b> | Open Space |
| <b>R-1-10</b> | Single Family Residential<br>(10,000 sf min.) |            |            |
| <b>RDM-Q</b>  | Residential Density - Multiple                |            |            |
| <b>PC</b>     | Planned Community                             |            |            |
| <b>L-C</b>    | Limited Control                               |            |            |
| <b>P-M</b>    | Planned Industrial                            |            |            |

Updated by: Jack Henthorn & Associates (November, 2009)



City Of Carlsbad, ZONE 20

• **Exhibit 7**  
**EXISTING ZONING**  
**SPECIFIC PLAN**



## C. LOCAL COASTAL PLAN

### 1. General Provisions

The Specific Plan area is within the Carlsbad Local Coastal Program (LCP) Mello II Segment. Development within the Zone 20 Specific Plan shall be in conformance with all requirements of the Mello II Segment of the Carlsbad Local Coastal Plan including guidelines for the development of steep slopes covered with native vegetation, grading and the provision of erosion control devices.

The LCP establishes a Coastal Agricultural Overlay Zone. The properties in the Specific Plan which are included in the Coastal Agricultural Overlay Zone are identified as Site II and Site III, See Exhibit 6 on page 18. Site II is generally composed of larger parcels, contains Class III and IV soils and its agricultural operation consists of field crops. In contrast, Site III is composed of smaller parcels in general, has Class III to V soils, and consists primarily of horticultural green house operations. There are two areas which are excluded from the Coastal Agricultural Overlay Zone: 1) the Roesch property which had been sporadically farmed and 2) the Engler/Thompson/Mendivil/et.al. properties which have never been farmed.

#### a. Grading and Landscaping

In addition to other requirements of the model grading ordinance of the Carlsbad Master Drainage Plan, permitted new development shall also comply with the following requirements:

- i. Grading activity shall be prohibited during the rainy season: from October 1st to April 1st of each year.
- ii. All graded areas shall be landscaped prior to October 1st of each year with either temporary or permanent landscaping materials, to reduce erosion potential. Such landscaping shall be maintained and replanted if not well-established by December 1st following the initial planting.

#### b. Drainage and Erosion Control

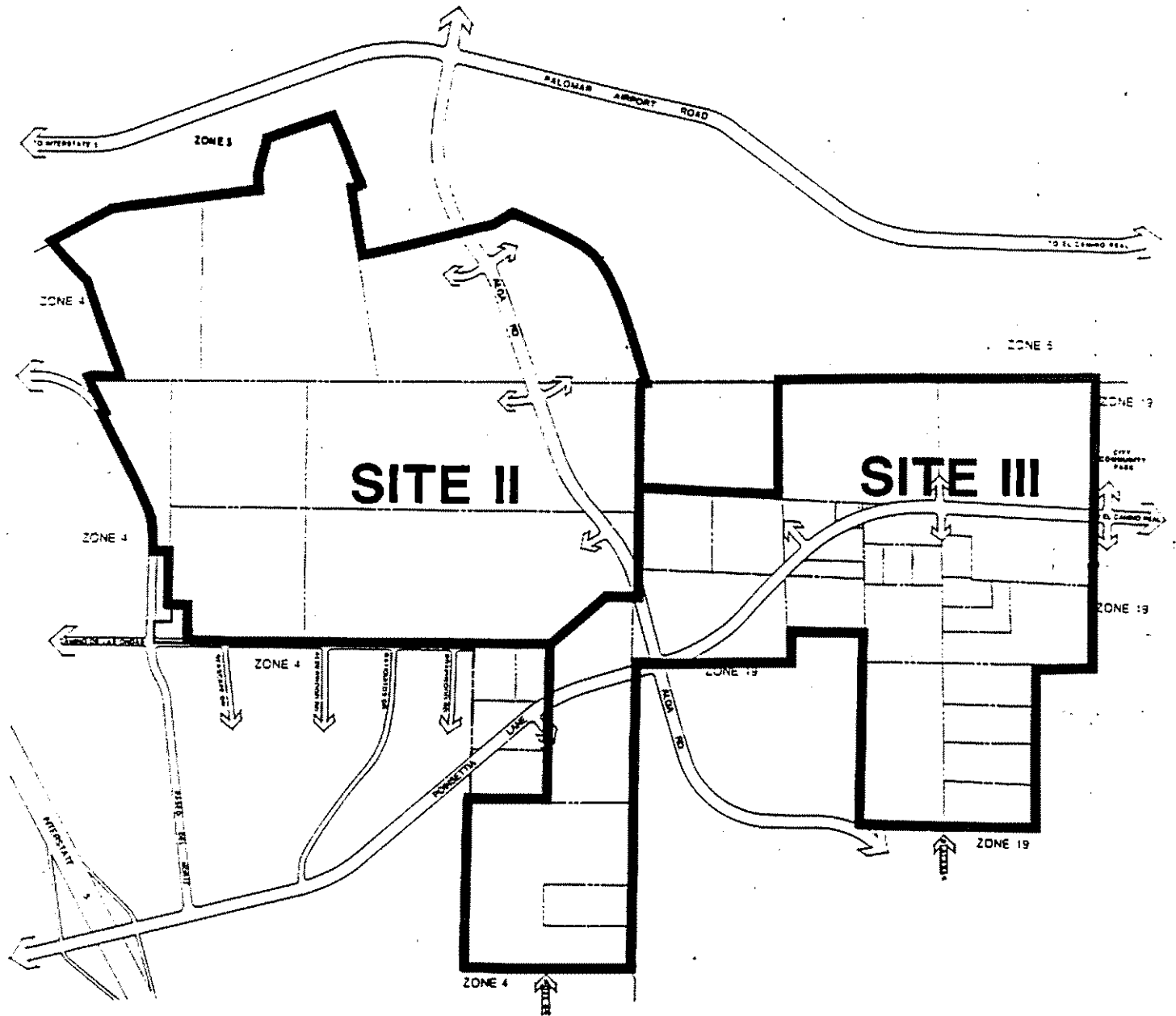
Any development proposal that affects steep slopes (25% inclination or greater) shall be required to prepare a slope map and analysis for the affected slopes. Steep slopes are identified on the PRC Troups maps in the Local Coastal Plan. The slope mapping and analysis shall be prepared during the CEQA environmental

review on a project-by-project basis and shall be required as a condition of a coastal development permit.

c. Slopes Possessing Endangered Species and/or Coastal Sage Scrub and Chaparral Plant Communities

For those slopes mapped as possessing endangered plant/animal species and/or coastal sage scrub and chaparral plant communities, the following policy language shall apply:

1. Slopes of 25% grade and over shall be preserved in their natural state, unless the application of this policy would preclude any reasonable use of the property, in which case an encroachment not to exceed 10% of the steep slope area over 25% grade may be permitted. For existing legal parcels, with all or nearly all of their area in slope area over 25% grade, encroachment may be permitted; however, any such encroachment shall be limited so that at no time is more than 20% of the entire parcel (including areas under 25% slope) permitted to be disturbed from its natural state. This policy shall not apply to the construction of roads for the City's Circulation Element or the development of utility systems. Uses of slopes over 25% may be made in order to provide access to flatter areas if there is no less environmentally damaging alternative available.
2. No further subdivision of land or utilization of Planned Unit Developments shall occur on lots that have their total area in excess of 25% slope unless a Planned Unit Development is proposed which limits grading and development to not more than 10% of the total site area.
3. Slopes and areas remaining undisturbed as a result of the hillside review process, shall be placed in a permanent open space easement as a condition of development approval. The purpose of the open space easement shall be to reduce the potential for localized erosion and slide hazards, prohibit the removal of native vegetation except to creating firebreaks and/or planting fire retardant vegetation and to protect visual resources of importance to the entire community.



**Legend**



Coastal Agricultural Overlay Zone

**Note:**

Source: Local Coastal Program (Mello II) Land Use Plan, Map X - October, 1985



not to scale

d. Other Slope Areas

For all other steep slope areas, the City Council may allow exceptions to the above grading provisions in addition to any requirements of CMC 21.95 (Hillside Development Regulations) provided the following mandatory findings to allow exceptions are made:

1. A soils investigation conducted by a licensed soils engineer has determined the subject slope area to be stable and grading and development impacts mitigatable for at least 75 years, or life of the structure.
2. Grading of the slope is essential to the development intent and design.
3. Slope disturbance will not result in substantial damage or alteration to major wildlife habitat or native vegetation areas.
4. If the area proposed to be disturbed is predominated by steep slopes and is in excess of 10 acres, no more than one-third of the total steep slope area shall be subject to major grade changes.
5. If the area proposed to be disturbed is predominated by steep slopes and is less than 10 acres, complete grading may be allowed only if no interruption of significant wildlife corridors occurs.
6. Because north-facing slopes are generally more prone to stability problems and in many cases contain more extensive natural vegetation, no grading or removal of vegetation from these areas will be permitted unless all environmental impacts have been mitigated. Overriding circumstances are not considered adequate mitigation.

e. Drainage and Runoff Rates

Drainage and runoff shall be controlled so as not to exceed at any time the rate associated with property in its present state, and appropriate measures shall be taken on and/or off site to prevent siltation of lagoons and other environmentally sensitive areas.

f. Installation Timing of Drainage and Runoff Control Measures

The appropriate measures shall be installed prior to on-site grading.

g. Required Open Space Easements on Undeveloped Slopes

All undevelopable slopes shall be placed in open space easements as a condition of development approval.

2. Allowable Types of Agriculture

The following Local Coastal Plan provisions apply to lands within Site II and Site III:

The land uses described below shall apply to any designated coastal agricultural land which has not been approved for development.

- a. On any Class I through Class IV Agricultural Lands, as designated in the Local Coastal Plan, the following uses only are permitted:
1. Cattle, sheep, goats and swine production, provided that the number of any one or combination of said animals shall not exceed one animal per half acre of lot area. Structures for containing animals shall not be located within fifty feet of any habitable structure on the same parcel, nor within three hundred feet of an adjoining parcel zoned for residential uses.
  2. Crop production.
  3. Floriculture.
  4. Horses, private use.
  5. Nursery crop production.
  6. Poultry, rabbits, chinchillas, hamsters and other small animals; provided not more than twenty-five of any one or combination thereof shall be kept within fifty feet of any habitable structure, nor within three hundred feet of an adjoining parcel zoned for residential uses.

7. Roadside stands for display and sale of products produced on the same premises, with a floor area not exceeding two hundred square feet, and located not nearer than twenty feet to any street or highway.
  8. Tree farms.
  9. Truck farms.
  10. Wildlife refuges and game preserves.
  11. Other uses or enterprises similar to the above customarily carried on in the field of general agriculture including accessory uses such as silos, tank houses, shops, barns, offices, coops, stables, corrals, and similar uses required for the conduct of the uses above.
- b. On any Class V through VIII Agricultural Lands, as specified in the Local Coastal Plan, the following uses only are permitted:
1. All of the permitted uses listed under No. 1 above.
  2. Hay and feed stores.
  3. Nurseries, retail and wholesale.
  4. Packing sheds, processing plants and commercial outlets for farm crops, provided that such activities are not located within 100 feet of any lot line.
  5. Greenhouses, provided all requirements for yard setbacks and height as specified in Chapter 21.07 of the Carlsbad Municipal Code are met.

The Mello II segment of the Carlsbad Local Coastal Plan has provisions to encourage the long term viability of agriculture in the Coastal Zone. Section C.2. of the Open Space Chapter deals with Open Space for the managed production of resources. That section provides guidelines to mitigate the impacts of agricultural operations on future residential development in Zone 20 as well as the impacts of the residential development on existing agricultural uses.

It is likely that there will be substantial pressure on the agricultural operations in Zone 20 to convert to residential in the coming years. The

Local Coastal Plan recognizes this and provides methods to allow those areas to be converted to non-agricultural uses. Properties located within the Coastal Agricultural Overlay Zone which are converted from agriculture to a non-agricultural use shall comply with the mitigation program discussed in the following section.

3. Agricultural Conversion

The Local Coastal Plan provides for the conversion of agricultural lands to urban uses. Conversion of designated coastal agricultural lands shall be permitted provided that:

- a. Conversion would preserve prime agricultural lands within the statewide coastal zone consistent with sections 30241 and 30242 or concentrate new development consistent with Section 30250 of the Coastal Act; or
- b. Continued or renewed agricultural use is not feasible; or
- c. Payment of an agricultural conversion mitigation fee is in an amount not less than \$5,000 and not more than \$10,000 per converted acre has been made.

The following section of the Local Coastal Plan applies to a conversion:

Conversion of non-prime coastal agricultural lands shall be permitted pursuant to either Option 1 - Mitigation, Option 2 - Feasibility Analysis or Option 3 - Conversion Fee as set forth below in this policy. Consistent with Section of the Act, no feasibility analysis shall be required if a landowner selects Option 1 or Option 3.

**Option 1 - Mitigation (Prime Land Exchange)**

Non-prime agricultural lands shall be converted to urban use consistent with the Carlsbad General Plan if, prior to approval of a subdivision map, a mitigation program is in effect that permanently preserves one acre of prime agricultural land within the statewide Coastal Zone for each acre of net impacted agricultural land in the LCP that is converted. For purposes of calculating required mitigation acreage, net impacted agricultural lands are the parcels and acreage designated on Map X (See Exhibit 3.3 of the Mello II LCP), minus the acreage in steep slopes (25% or greater) and areas containing sensitive coastal resources that would preclude development.

The standards and procedures for such a mitigation program shall be set forth in LCP implementing ordinances. Recipients of prime agricultural land interests pursuant to this policy shall be limited to:

1. Local or state agencies; or
2. Tax exempt organizations whose principal charitable purposes are consistent with the agricultural mitigation program and qualify under Section 501(c)(3) of the U.S. Internal Revenue Code.

Further mitigation priority shall be given to preserving prime agricultural lands in the coastal zones of counties selected by the State Coastal Conservancy for pilot programs funding, and other counties with similarly qualified programs.

### **Option 2 - Determination of Agricultural Feasibility**

If the feasibility of continued agricultural use is questionable, either the City or involved landowners may complete an agricultural feasibility study for: a) all coastal agricultural lands in the LCP; b) 3 or 4 subareas which constitute logical subunits; or, c) contiguous landholdings in a single ownership of at least 100 acres. If Option 2 is selected, that portion of the study area determined to be feasible for continued agriculture, if any, may be subject to compliance with the provision of Options 1 or 3. That portion of the study area determined not to be feasible for continued agriculture could be converted only after: a) the City approves the feasibility study; b) an LCP amendment is prepared and submitted to the Coastal Commission that provided for the conversion; and c) the Coastal Commission certifies the LCP amendment as to its conformance with the Coastal Act.

### **Option 3 - Agricultural Conversion Mitigation Fee**

Conversion of non-prime agricultural lands shall be permitted upon payment of an agricultural conversion mitigation fee which shall mitigate the loss of agricultural resources by preserving or enhancing other important coastal resources. The amount of the fee shall be determined by the City Council at the time it considers the proposal for development and shall reflect the per acre cost of preserving prime agricultural land pursuant to Option 1 but shall not be less than \$5,000 nor more than \$10,000 per acre. All mitigation fees collected under this section shall be



deposited in the State Coastal Conservancy Fund and shall be expended by the State Coastal Conservancy to assist the following:

1. Restoration of natural resources and wildlife habitat in Batiquitos Lagoon.
2. An interpretive center at Buena Vista Lagoon.
3. Restoration of beaches managed for public use in the coastal zone in the City of Carlsbad.
4. Purchase of agricultural lands for continued agricultural production within the Carlsbad Coastal Zone as determined by the Carlsbad City Council.
5. Agricultural improvements which will aid in continuation of agricultural production within the Carlsbad Coastal Zone as determined by the Carlsbad City Council.

For purposes of implementation no Option shall have priority over any other Option.

Properties within the Coastal Agricultural Overlay Zone indicating a desire to develop have selected Option 3 to convert to urban uses. Under Option 3, the specific amount of the fee will be determined by the City of Carlsbad at the time of a development proposal. The fees collected would be deposited with the State Coastal Conservancy. Conversion fees will be secured prior to final map recordation and paid prior to issuance of a grading permit. Given the multiple ownerships within the Specific Plan and the individual development horizons, a precise payment schedule cannot be determined at this time. Other owners may choose any one of the three conversion options when and if they opt for conversion and are ready to develop their property.

There are two areas that are excluded from the Coastal Agricultural Overlay Zone and are not required to provide for conversion to urban uses:

- i) the Roesch property which had been sporadically farmed and
- ii) the Engler/Thompson/Mendivil/et.al. properties which have never been farmed.

**D. GENERAL PROVISIONS**

1. Maximum Number of Units

Per the City's Growth Management Program and Proposition E, residential development within the City shall be limited to the build out levels adopted for each quadrant. In order to ensure these levels are not exceeded, in general, residential development shall be limited to the following Growth Management Control Points:

<u>General Plan Designation</u>	<u>General Plan Density Range</u>	<u>Growth Mgmt Control Point</u>
RL	0 - 1.5	1
RLM	0 - 4	3.2
RM	4 - 8	6
RMH	8 - 15	11.5
RH	16 - 24	19

The Growth Management Control Point represents dwelling units per net developable acre.

Based on this model, the Zone 20 Local Facilities Management Plan projected a total of 2,491 units within Zone 20 at build out. Of this total, 2,275 dwelling units could be built within the Zone 20 Specific Plan area.

All applicants will be required to submit constraints analysis and build out projection prior to approval of a tentative map, grading or building permit for residential development.

Given the topography and other physical constraints within Zone 20, it is possible that some properties may develop below the Growth Management Control Point. Some consideration has been given to using this surplus towards density bonuses to encourage affordable housing. These excess units may be used to facilitate the development of low income housing units in accordance with City Council Policy 43 and Chapter 5 of this Specific Plan.

2. Specific Project Approvals

Specific development plans shall be evaluated in accordance with Municipal Ordinances and Policies in force at the time when said plans are before the City Council for approval. The granting of a development

permit for a project found to be in conformance with the Specific Plan applies only to the affected property.

3. Availability of Public Services and Facilities

Public services and facilities will be provided as detailed in the Zone 20 Local Facilities Management Plan.

To ensure that all planning areas of the Specific Plan shall be adequately served, the developers of the Specific Plan or portions thereof shall be required to provide for the construction of all necessary public facilities pursuant to the approved Zone 20 Local Facilities Management Plan.

4. Dedications

All land and/or easements required by developments in conformance with this Specific Plan for public streets, open space, recreational purposes and public utility purposes shall be granted to the City of Carlsbad without cost to the City and free of all liens and encumbrances.

5. Zoning

No person shall use or develop land located within the boundaries defined by the Specific Plan which is contrary to the provisions of this Specific Plan. Unless noted, approval of this document does not excuse compliance with all other applicable City ordinances in effect at the time building permits are issued.

6. Location of Improvements

The location of streets, utilities, and other land use related improvements are approximate on all Specific Plan maps. Precise locations will be established through the approval of individual Site Development Plans and Tentative Maps.

7. Design Standards

All multi-family development and small lot subdivisions shall comply with the Development Standards and Design Criteria of Chapter 21.45 (Planned Development Ordinance) of the Carlsbad Municipal Code. Multi-family and small lot single family subdivisions shall also comply with the requirements of the City of Carlsbad's Design Guidelines Manual and the Architectural policy for small lot subdivisions. Standard lot, 7500 square

feet and greater, projects shall comply with the development standards of the R-1 zone.

Affordable housing units shall be exempt from this provision and shall be approved through the site development plan review process. These units will be required to meet all standards and policies approved in the Carlsbad General Plan Housing Element and any future implementing ordinances.

8. Circulation

All roadways shall be designed so that they will not adversely impact adjacent properties.

9. Grading

Most of the development projects within the Zone 20 Specific Plan will be preparing their own site specific grading plans. Some projects may be graded in conjunction with other projects as long as both sites have their final discretionary approval. Grading within the Zone 20 Specific Plan shall comply with the following guidelines:

- a. Each project shall strive for grading quantities to balance on-site.
- b. Hauling of dirt across circulation element roadways shall be avoided whenever possible. The City Engineer as part of the tentative tract map review process shall review all requests for off-site import and export. This review shall establish the appropriate conditions necessary to maintain the integrity of existing public improvements and public health and safety concerns.
- c. Use variable slope heights and gradients wherever possible.
- d. Grading shall be kept back from intersections in order to create maximum sight distance.
- e. Grading into major steep slope areas shall be avoided where possible.
- f. Sensitive native vegetation shall be maintained in the areas identified in Environmental Impact Report.

- g. Grading plans shall conform to the requirements of Chapter 21.95, 11.06 and 21.38.060 of the Carlsbad Municipal Code and the City of Carlsbad Design Guidelines Manual. Preliminary and final grading plans will be prepared in accordance with the Municipal Code for review by the City Engineer.
- h. All permanent manufactured slope banks in excess of five feet in height shall be constructed at a gradient of 2 to 1 (horizontal to vertical) or less. Any exceptions to this gradient must be approved by the City Engineer and Planning Director.
- i. Grading on naturally occurring slopes of 25 percent or more shall be in compliance with the policies of the underlying Local Coastal Program, and the City's Hillside Development Ordinance.
- j. Manufactured slopes shall be avoided wherever possible. Where they are unavoidable, they shall be contoured to simulate natural terrain, except where rounding will conflict with the soils engineer's recommendations. Artificial appearing slopes with rigid angular characteristics shall be avoided.
- k. Phasing shall preclude, where possible, hauling of earth over residential streets of developed areas.
- l. The developer shall include top-soil rollback and re-disking on cut/fill slopes to ensure stability and growth.
- m. Erosion control basins shall be required to be in place prior to commencement of mass site grading.
- n. Temporary runoff-control devices should be installed prior to any grading activities.
- o. All graded areas should be planted in temporary or permanent landscape materials immediately after rough grading is completed.
- p. Use of fertilizers and pesticides should be by certified personnel and kept to the minimum possible. The City reserves the right to halt the use of fertilizer or pesticides if a reasonable concern is identified with regard to their use.
- q. Round and undulate the toe of the slope so there is no definite toe line.

- r. Grading shall be prohibited during the rainy season (October 1 to April 1), unless provided for by the applicable Coastal Development Permit and the City Engineer.
- s. Individual sites are to have a desirable visual appearance from all practical viewpoints.

10. Trail System

A trail system shall be provided for the Specific Plan area as shown on Exhibit 11 on page 65. In conformance with the City's Draft Trail Feasibility study, this trail shall be constructed by the developer of the affected property and dedicated to the City.

If the City of Carlsbad chooses not to accept responsibility for maintenance of the trail system, these trails will not be dedicated to the City of Carlsbad and trail access shall be limited to residents of the affected property

#### **IV. DEVELOPMENT REVIEW PROCESS**

Individual projects within the Specific Plan shall be reviewed according to the provisions of this chapter.

##### **A. SPECIFIC PLAN**

The Specific Plan establishes the development standards for the Zone 20 Specific Plan area. Development which is not consistent with the Specific Plan and its standards shall not be approved. The Specific Plan area is divided into five planning areas. Specific development standards for each planning area are described in Chapter IX of the Zone 20 Specific Plan.

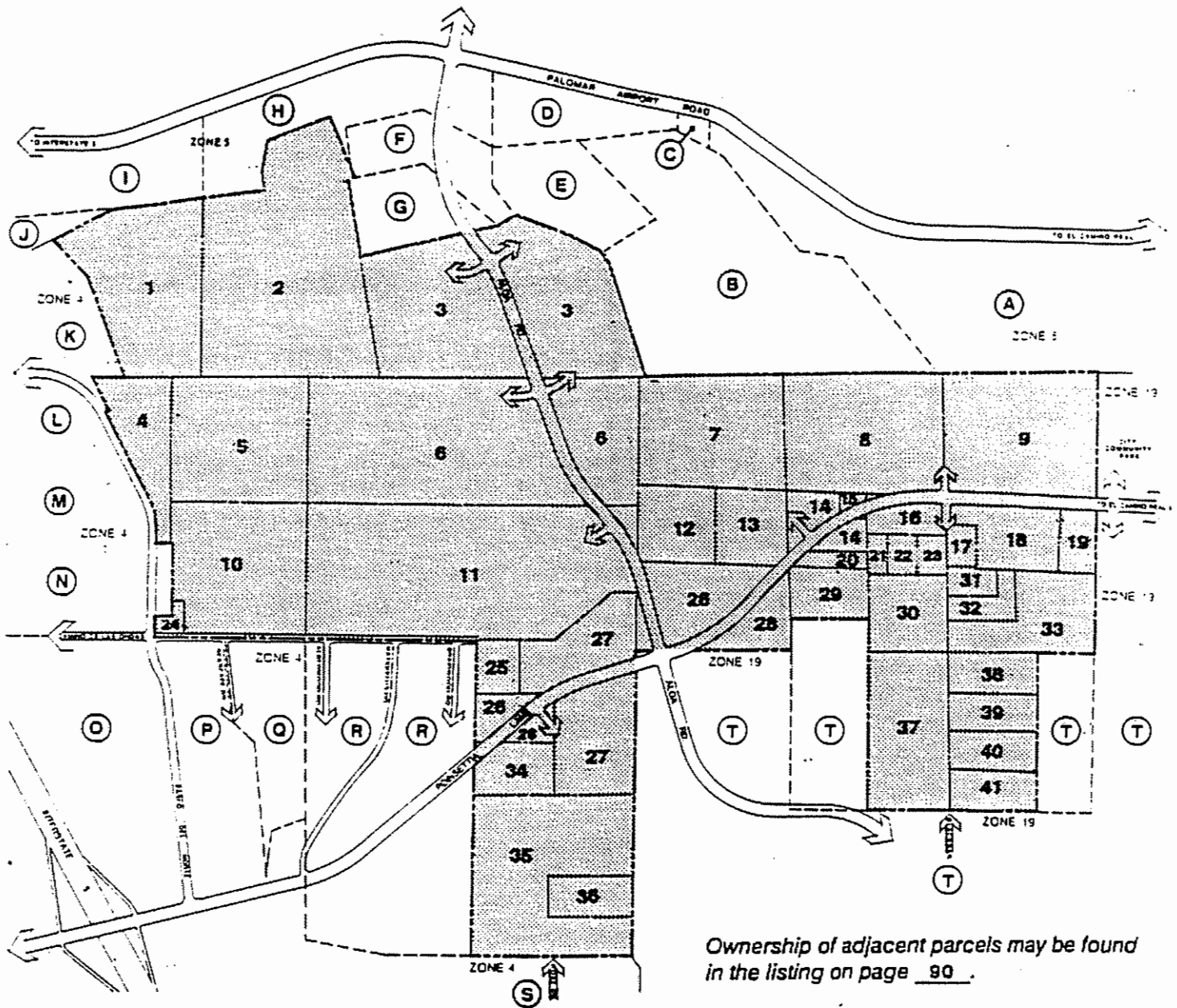
A Program Environmental Impact Report has been prepared as a part of the Specific Plan adoption process. All future development will be required to comply with the mitigation measures contained in the certified Zone 20 Specific Plan Program EIR (See Exhibit 9 for Environmental Review Area).

Any revisions to the Zone 20 Specific Plan shall be processed pursuant to Title 21 of the Carlsbad Municipal Code as well as Chapter III of this document. All revisions must conform to and implement the intent and purpose of the Specific Plan. Any application which is not consistent with the Specific Plan shall not be approved.

##### **B. TENTATIVE MAPS, PLANNED UNIT DEVELOPMENT PERMITS, AND SITE DEVELOPMENT PLANS FOR RESIDENTIAL DEVELOPMENT**

A tentative map or vesting tentative map pursuant to Titles 20 and 21 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of residential property for ownership purposes. The above mentioned tentative map shall be accompanied by a Planned Development Permit application for multiple family ownership projects, small lot single family subdivisions, and properties with a Planned Community (PC) zoning. At the discretion of the applicant, a tentative map and/or planned development may cover more than one property or planning area. All proposed tentative map and planned unit development applications must conform to, and implement the Specific Plan. Any application which does not implement the Specific Plan shall not be approved.

A Site Development Plan processed per the requirements of Chapter 21.06 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of any apartment project.



**Legend**

- |                     |                      |                         |              |
|---------------------|----------------------|-------------------------|--------------|
| 1. Mc Reynolds      | 12. Schindler        | 23. Lujan               | 34. Mendivil |
| 2. Kelly            | 13. Fernandez        | 24. Kramer              | 35. Thompson |
| 3. Carlsbad Heights | 14. Poinsettia Hills | 25. Engler              | 36. Weidner  |
| 4. City of Carlsbad | 15. Aitchison        | 26. Thompson            | 37. Muroya   |
| 5. City of Carlsbad | 16. Mc Kinney        | 27. Tabata              | 38. Tabata   |
| 6. Sunbelt          | 17. Carlsbad MWD     | 28. Sarkaria            | 39. Yamamoto |
| 7. Roesch           | 18. Kaiser           | 29. Rudvalis            | 40. Buerger  |
| 8. Oceanbluff       | 19. Nelson           | 30. Camation Properties | 41. Sugino   |
| 9. De Jong 20       | 20. Hidaigo          | 31. Moore               |              |
| 10. Abada           | 21. Bolton           | 32. Tabata              |              |
| 11. Bramalea        | 22. Cardoso          | 33. Hadley              |              |

**Note:**  
Locations are approximate





All proposed tentative maps and planned unit development permits must conform to and implement the Specific Plan. Any application which does not implement the Specific Plan shall not be approved.

## C. AFFORDABLE HOUSING

### 1. General Requirements

All residential development within the Zone 20 Specific Plan area is required to include a percentage of housing units affordable to persons and families of lower income.

The City has adopted an Inclusionary Housing Program. Per the mandates of this program, 15 percent of all base units within the Zone 20 Specific Plan shall be required to be affordable to lower income households. The base for the Zone 20 Specific Plan is 2275 dwelling units. This will result in approximately 342 units of housing for lower-income families being provided within the Zone 20 Specific Plan.

The base for the Zone 20 Specific Plan is determined by multiplying the net developable acreage of the project site times the growth management control point(s) for the project site's applicable general plan designation(s). If in the course of reviewing specific residential projects within the Zone 20 Specific Plan, the final decision making authority of the City determines that the base residential yield of the Zone 20 Specific Plan cannot be achieved, then the base shall be equal to the maximum number of units actually approved. If a density bonus is or subsequently becomes awarded, the increased density is not included in the base when determining the number of required inclusionary units relative to the base project yield.

All projects proposed within Zone 20 shall be consistent with the policies and programs contained in the City's General Plan and Housing Element and any related municipal code sections.

2. Development Requiring Inclusionary Contribution

All new residential development projects including but not limited to, condominiums, single family dwellings, apartments, etc., and any use permits, special permits, and building permits for new residential development shall contribute to the provision of housing for low income households in Zone 20.

3. Residential Development Project

The provision of housing for households of low income shall be required for all new residential development as set forth below. The size, design, and location of these inclusionary units within a development shall be consistent with the General Plan, Zoning and City building standards unless specifically exempted.

All new residential development projects of seven (7) or more units or lots shall provide housing for low income households by one of the following:

- a. Provision of lower-income inclusionary units within the development project in the amount equal to or greater than fifteen (15%) percent of the total number of base units of a project site.
- b. When feasible and compatible with surrounding land uses, the affordable housing units shall be built onsite and distributed throughout the remaining undeveloped villages of the specific plan in order to provide a more balanced and diversified community or;
- c. Contributions in any other manner, including off-site contributions of units, or transfer of density which secures the purposes of this section are subject to the approval of the City Council. Such alternate manner of contribution may be approved by the City Council upon a showing by the developer that on-site contribution is not appropriate for the particular development. Evidence which may be appropriate for such showing should be related to the physical or economic characteristics of the project, that an alternate contribution better achieves goals and objectives of the General Plan, the Zone 20 Specific Plan and Coastal Land Use Plans, or that unique opportunities exist to achieve a greater contribution off-site. Off-site contributions through a combined inclusionary housing project may be provided in the following manner:

- i. Off-site provisions within Zone 20-Development of Inclusionary units may be provided off-site when an Affordable Housing agreement is entered into. The City of Carlsbad shall be a party to this agreement.
- ii. Off-site provisions outside of Zone 20, within Southwest Quadrant.

At the discretion of the City Council, affordable inclusionary units may be provided off-site within another zone and within the Southwest quadrant, or on a site contiguous to the Southwest quadrant, subject to the following findings;

- (a). the external site will not adversely impact the zone within which it is located;
- (b). use of the external site will not result in the quadrant unit caps to be exceeded;
- (c). the external site will comply with growth management standards and will provide low and/or moderate income housing units concurrently (or within an approved time frame) with development of the approved residential site in the same manner as though it were provided on site.
- (d). An affordable housing agreement exists tying development on the original site to the provision of the lower and/or moderate income housing units on the off site parcel.

The contribution of the developer may be accomplished by the developer alone or in conjunction with any other persons, or with the housing authority or any other non-profit housing organization.

4. Product Type and Density

Housing designated as being affordable to lower-income households in Zone 20 is anticipated to consist of clustered multi-family attached and stacked flat unit types, although alternative types of housing units may be provided.

Generally to achieve affordability for lower-income households, rental units with densities of 19 units per acre and above are necessary. The highest overall density within Zone 20 is Residential Medium (RM) with a Growth Control Point of no greater than 6 units per acre, and a maximum General Plan density of 8 units per acre. To provide adequate density for multi-family housing unit types, a transfer of density from one site, (donor) to another site (receptor) may be required. This mechanism will be referred to as a density transfer. Density transfers permit individual projects or ownership parcels to exceed the growth control point or General Plan density range as long as there is an accompanying equivalent reduction elsewhere. Implementation of this mechanism will assure that the overall number of units within Zone 20 will not exceed build out projections under the City's Growth Management Plan and General Plan.

In addition to accommodating the density requirements for product types affordable to lower-income households, development standards may be created, modified or waived to facilitate creation of the affordable units. These development standards modifications may be accommodated through the City's Site Development Plan process.

Affordable housing development shall provide a mix of affordable dwelling units (by number of bedrooms) in response to affordable housing demand priorities of the City, whenever feasible.

The design of the affordable units shall be reasonably consistent or compatible with the design of the total project development in terms of physical appearance, materials, and finished quality.

#### 5. Transfer of Density

The Zone 20 Specific Plan enables and implements a density transfer system to achieve appropriate densities for housing units affordable to lower income households. To achieve the appropriate densities, and still not exceed the maximum number of residential units supported under the Zone 20 Facility Management Plan, the Growth Management Plan and the City's General Plan, it may be necessary to transfer units from one area, ownership or residential project to another within the Zone 20 Specific Plan.

Under the density transfer mechanism, one area, or parcel, may be developed at a higher density than would normally be allowed, subject to the remaining area being developed at a lower density, remaining undeveloped, or being utilized for non-residential purposes. The overall

average density of the area would not exceed the designated General Plan range. The intent of these density transfers is to create a sufficient number of units in one area or site that will achieve the density necessary to create economically viable multi-family housing units which include housing affordable to lower income families. These higher density cluster sites will be known as receptor sites and will receive the transfer of residential units from other donor sites. The Zone 20 Specific Plan will enable the number of multi-family dwelling units per lot to exceed the specified density of the General Plan Land Use Element, but will not exceed the overall density specified for the project area or allow residential development to exceed the total number of housing units allowed under the Zone 20 Facilities Management Plan as described in Section II (Land Use) of the Specific Plan.

a. Receptor Sites.

All properties are eligible to become receptor sites, but only a small number of sites may be required. Receptor sites are eligible to receive units "donated" from other sites within the Zone 20 Specific Plan. This may increase project density at the receptor site beyond the Growth Control Point and the maximum General Plan designation density to the extent that there is a companion reduction on the donor site.

Receptor sites may provide both market-rate moderate income and lower-income inclusionary units, and must include its own lower and moderate income requirements as well as responsibility of any off-site inclusionary units the receptor site may receive.

In order for a residential project to develop lower-income units off-site and be relieved of its inclusionary requirement using a donor-receptor density transfer mechanism the following requirements must be met:

- i. A site must be designated as a receptor site or potential receptor site in the Zone 20 Specific Plan.
- ii. The receptor site has been approved by the City as a receptor site for lower income housing development.
- iii. An Affordable Housing Agreement must be approved which addresses how the donor and receptor sites will meet the donor's inclusionary low

and/or moderate income requirements at the receptor site.

Receptor sites may develop above the maximum density point for the existing General Plan density category. A receptor site may exceed the growth control point and maximum General Plan land use designation density providing the following findings are made;

- i. The adequacy of the Public Facility Plan for Zone 20 will not be adversely affected;
- ii. There have been sufficient developments approved, in Zone 20 or within the Southwest Quadrant at densities below the growth control point.
- iii. All necessary public facilities required by Chapter 21.90 of the Carlsbad Municipal Code will be constructed in compliance with adopted City Standards.
- iv. That minimum locational criteria for locating higher density residential are satisfied; and
- v. That the project would be compatible with surrounding land uses.

b. Donor sites.

All properties within the Zone 20 Specific Plan are considered potential donor sites for the purposes of the density transfer mechanism. Donor sites may only contribute units to receptor sites which are to be used only for the purposes of providing lower and moderate income housing.

Donor sites voluntarily contributing units to a receptor site to meet their inclusionary requirement will have tentative map approvals conditioned to specify that the number of approved units will not exceed the adjusted donor site potential.

6. Discretionary Actions and Development Project Approvals

A residential development project application will not be deemed complete for consideration until the applicant has submitted plans and proposals

which demonstrate the manner in which Inclusionary Housing requirements will be met.

An Affordable Housing Agreement shall be made a condition of all future discretionary permits for development within this Specific Plan area. Prior to approval of a final map or, where a map is not being processed, prior to the issuance of building permits for any residential project subject to affordable housing requirements the developer shall demonstrate compliance with this section of the Specific Plan by the preparation and approval of an Affordable Housing Agreement. All relevant terms and conditions of any Affordable Housing Agreement shall be filed and recorded as a deed restriction on those individual lots or units of a project which are designated for the location of inclusionary units. The Affordable Housing Agreement shall be consistent with Section 21.85.160 of Title 21 of the Carlsbad Municipal Code.

7. Development Standards

Standard RDM and apartment criteria in conjunction with the Site Development Plan process shall be used to provide housing affordable to lower income households. The purpose of these development standards is to assure quality development by utilizing standard criteria that are compatible with the appropriate project density.

Potential modifications to development standards to facilitate the economic viability of inclusionary units may be requested of the City.

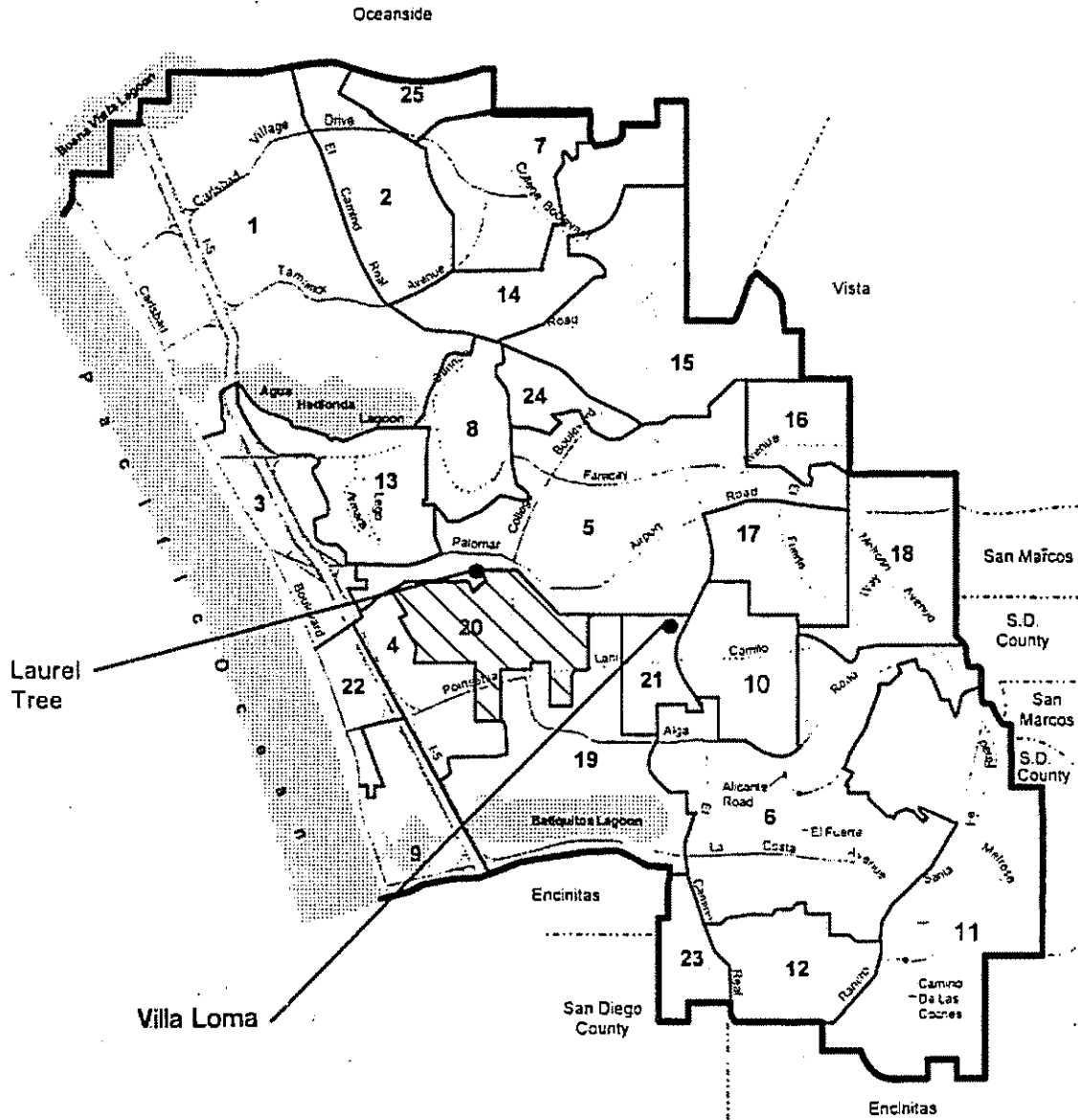
8. In-Lieu Contribution Fees

The City has determined that in smaller residential developments ( 6 units or less) it may not be financially feasible or practical to build low income units on-site. These smaller residential projects may contribute a fee in-lieu of providing on-site affordable housing. This fee shall be established by the City of Carlsbad and shall be paid at the time of building permit issuance.

9. Phasing of Lower-Income and Moderate-Income Inclusionary units

Required inclusionary units in Zone 20 shall be constructed concurrent with market rate units unless both the final decision making authority of the City and the developer agree within an Affordable Housing Agreement to alternative schedule for development.

January 3, 1996




**Hofman Planning Associates**

**City of Carlsbad, ZONE 20**

**Exhibit 9A**  
**Offsite Combined Inclusionary Projects**  
**SPECIFIC PLAN**



**D. SITE DEVELOPMENT PLANS FOR COMMERCIAL AND APARTMENT USES**

A detailed and specific Site Development Plan processed pursuant to Chapter 21.06 of the Carlsbad Municipal Code shall be approved prior to development of a neighborhood commercial site or apartments within this Specific Plan.

The Site Development Plan shall be consistent with the concepts, goals and standards specified in this Specific Plan to ensure compatibility with all appropriate City policies and ordinances. After final approval of each Site Development Plan, grading, building and other ministerial permits for the development of the site may be issued provided that all public facility requirements have been satisfied per the Zone 20 Local Facilities Management Plan.

**E. CONDITIONAL USE PERMIT FOR CHURCHES, DAY CARE FACILITIES, SCHOOLS, RV STORAGE YARDS AND OTHER NON-PROFIT FACILITIES**

Per the requirements of the Carlsbad Municipal Code, a Conditional Use Permit must be approved by the Planning Commission prior to the development of any community facility on any site. It should be noted that the processing of a CUP for a school is at the discretion of the appropriate School Board and may be waived by a 2/3 vote of the Board.

**F. PHASING**

The Zone 20 Local Facilities Management Plan contains a detailed development phasing program to ensure that adequate public facilities exist concurrent with need in Zone 20. The phasing program is provided for planning purposes only and does not mandate the rate of development within Zone 20. As long as adequate public facilities are provided concurrent with need, development within Zone 20 may be allowed.

Although the Specific Plan identifies five planning areas, these areas do not represent the anticipated phasing of development within the Specific Plan. Given the multiple ownership within the Specific Plan, it is impossible to accurately predict the timing of development of any given property. Per the above discussion, phasing of the Zone 20 Specific Plan will be determined by the availability of public facilities.

## **G. SPECIFIC PLAN AMENDMENTS**

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for the development of the Zone 20 community. Part of that framework establishes specific development standards that constitute the zoning regulations for the Zone 20 Specific Plan.

It is anticipated that certain amendments to the Specific Plan may be necessary during the development of the area. Any amendments to the Specific Plan shall occur in accordance with the City of Carlsbad's Municipal Code and the specific amendment process described below.

Amendments are divided into three categories: 1) Minor (administrative); 2) Major (discretionary); and 3) four year comprehensive review and update. Major and Minor amendments must be consistent with the goals of the Specific Plan, the General Plan, Zone 20 Local Facilities Management Plan, current City policies, ordinances and standards. Amendments may be initiated by the City Council or property owner(s).

### **1. Minor (administrative) Amendments**

All amendments which meet the criteria noted below shall be reviewed for approval administratively by the Planning Director. The Planning Director has the authority to approve modification to the Specific Plan as follows:

- a. Up to a 10% expansion or reduction in area of planning areas if the overall dwelling unit yield or use allocation specified for each of the planning areas affected does not increase.
- b. Minor realignment or modification of internal streets of the Specific Plan if approved by the Planning Director and City Engineer as not constituting a significant change to any individual planning area.

### **2. Major (discretionary) Amendments**

All Specific Plan Amendments which do not meet the above Minor Amendment criteria, shall require a Major Amendment to the Specific Plan. Major Amendments shall be processed pursuant to the City of Carlsbad's Municipal Code, specifically Section 21.38.120, which establishes procedures for amendments to Master Plans. All Major Amendments shall be reviewed for approval by the Planning Commission and City Council.

Requests for Major Amendments to the Specific Plan shall require serious consideration as it relates to the intent of the original Specific Plan. As a condition of consideration of any amendment to the Specific Plan it shall be the applicant's responsibility to:

- a. Ensure that the proposed amendments meet the goals of the Specific Plan.
- b. Ensure that any impacts on the Specific Plan community or surrounding area resulting from the amendment can be satisfactorily mitigated.
- c. Update any Specific Plan studies and/or provide additional studies when determined necessary by the Planning Director.
- d. Provide a dated strike-out/underline copy of the Specific Plan text where changes are proposed and update any Specific Plan exhibits affected by the proposed amendment.

3. Four Year Comprehensive Review and Update

If determined necessary, at the direction of the City Council, the Specific Plan shall be comprehensively reviewed by the City of Carlsbad Planning Department every four years or more frequently at the discretion of the City Council. The review shall consider but not be limited to the following topics:

- a. The Specific Plan's fulfillment of current City policies and standards.
- b. The fiscal impact of the Specific Plan's implementation.
- c. The Specific Plan's maintenance of environmental quality.
- d. Adequacy of public facilities.

**H. TENTATIVE MAP/PLANNED DEVELOPMENT PERMIT AND RESIDENTIAL SITE DEVELOPMENT PLAN AMENDMENTS**

1. Minor Amendments

Minor amendments may be approved administratively by the Planning Director if there is no change to the densities or the boundaries of the subject property, and if the proposed change does not involve an addition of a new use or group of uses not shown on the original permit, or the rearrangement of uses within the development, or changes or greater than ten percent in approved yards, coverage, height, square footage of units,

open space or landscaping. The Planning Director's Review shall be limited only to the planning areas affected by the proposed amendment.

2. Major Amendments

Major Amendments to a Planned Development Permit may be permitted per Carlsbad Municipal Code Section 21.45.160.

I. **SITE DEVELOPMENT PLAN AMENDMENTS/CONDITIONAL USE PERMIT AMENDMENTS**

1. Minor Amendments

Minor Amendments may be approved administratively by the Planning Director if there is no change to the boundaries of the subject property, and if the proposed change does not involve changes of greater than ten percent in approved yards, coverage, height, square footage of buildings, open space or landscaping. The Planning Director's review shall be limited only to the planning areas affected by the proposed amendment.

2. Major Amendments

Major Amendments to a Site Development Plans and Conditional Use Permits may be permitted subject to the approval of the Planning Commission provided that the provisions of Section 21.06.090 are met (Qualified Development Overlay Zone, Development Standards).

J. **SPECIFIC PLAN FEE - COST REIMBURSEMENT**

The Zone 20 Specific Plan sponsoring property owners have incurred the initial costs of preparing the Specific Plan and related environmental documents.

Section 65456 of the Planning and Zoning Law of the State allows a legislative body, after adopting a Specific Plan, to impose a fee to defray the cost of preparation, adoption and administration of the Specific Plan including costs associated with environmental review. The fee is to be established on a pro rata basis in accordance with the relative benefit derived by an applicant. It was the intent of the Legislature to charge persons who benefit from specific plans for the cost of developing those plans which result in a savings by reducing the cost of documenting environmental consequences and items which may be authorized by the Specific Plan.

It is anticipated that such a fee will be imposed following adoption of this Specific Plan as a method of providing reimbursement to the sponsoring property

owners. The amount of the fee shall be established following final adoption of the Specific Plan.

## V. OPEN SPACE

### A. INTRODUCTION

Approximately 140.25 acres, or 17.8%, of the Zone 20 gross acreage consists of areas designated for Open Space use. Exhibit 10 on page 56 shows open space within the Specific Plan. The open space provided within the Zone 20 Specific Plan complies with all applicable City ordinances and standards. Three types of open space are provided within the Specific Plan. The three types are:

1. Growth Management Performance Standard Open Space
2. Specific Plan Open Space
3. Open Space per the City of Carlsbad's Open Space Ordinance

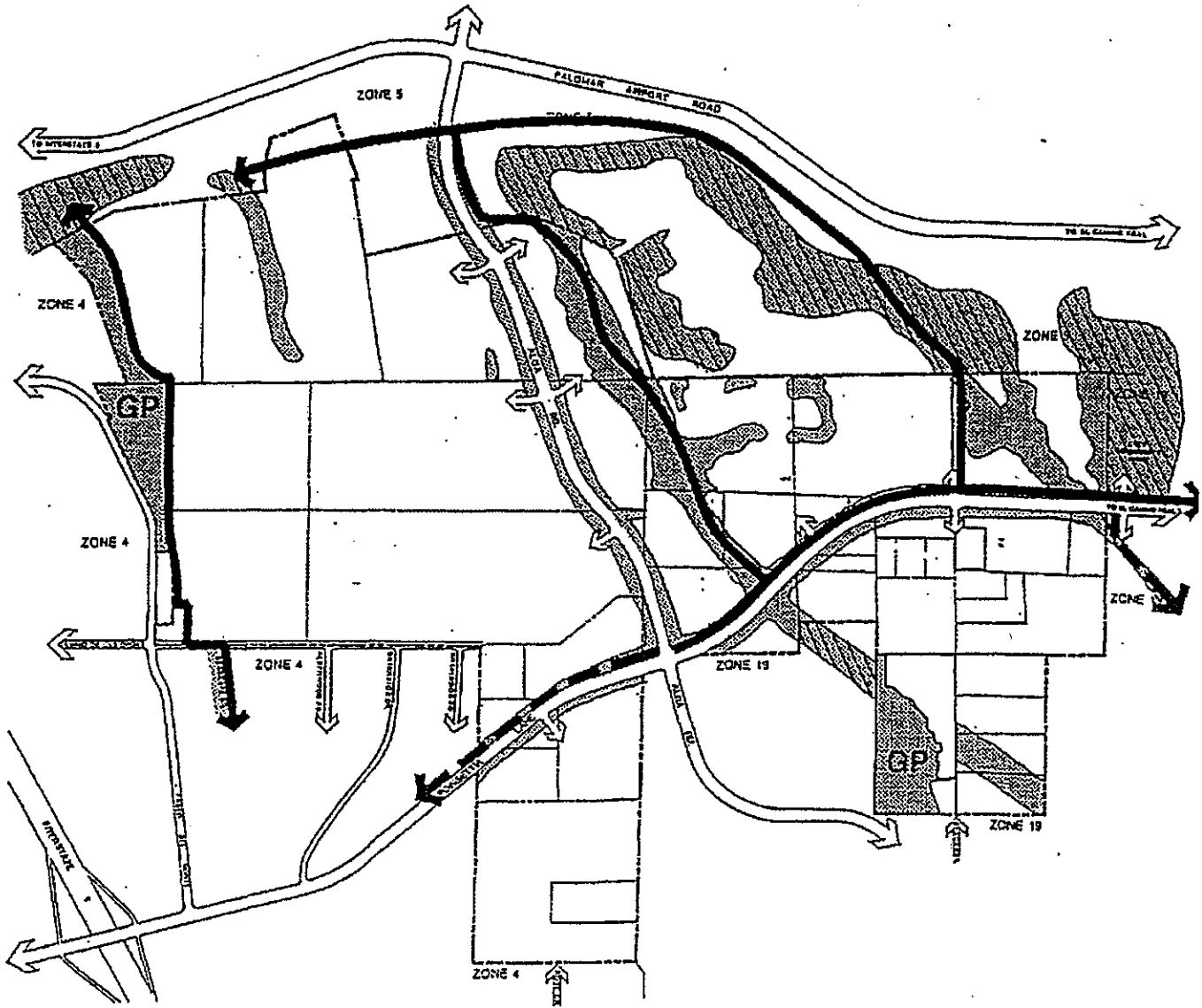
Open space may serve as more than one of these functions.

### B. GROWTH MANAGEMENT PERFORMANCE STANDARD OPEN SPACE





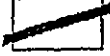
The Zone 20 Specific Plan lies entirely within Local Facilities Management Zone 20, although as previously discussed does not include all properties within Zone 20. A detailed discussion of Zone 20 open space is contained in the Zone 20 Local Facilities Management Plan. The adopted Open Space Performance Standard requires that 15 percent of a zone's total land area exclusive of environmentally constrained non-developable land must be set aside for permanent open space concurrent with development. The open space demand for all of Zone 20 is 87.04 acres.

As mentioned earlier, there are three parcels within Zone 20 which are not included in the Specific Plan area. These properties are the Sudan Interior Mission (existing), Cobblestone Sea Village (approved), and the BCS Property. Per the Zone 20 Local Facilities Management Plan (LFMP), no open space is provided by existing projects within Zone 20. Cobblestone Sea Village is providing 37.4 acres of Growth Management Performance Standard Open Space. Therefore, the total existing and approved performance standard open space in Zone 20 is 37.4 acres. Subtracting this supply from the total Zone 20 open space demand of 87.04 acres, 49.64 acres of future open space must be supplied within Zone 20.

It should be noted that the BCS Property which is approximately 18 gross acres in size, may be required to contribute toward meeting the growth management open space requirements at the time of development. According to the Zone 20 LFMP, the net developable acreage for this parcel is 9.65 acres. Therefore the open space requirement for this property could be as much as 1.45 net acres. However, since this acreage is not yet guaranteed, it is omitted in this analysis.



**Legend**

-  General Plan Open Space
-  Specific Plan Open Space
-  General Plan & Master Plan Open Space Adjacent to the Specific Plan Area
-  Proposed Local Pedestrian Trail System
-  Proposed City-wide Trail System

Updated by: Jack Henthorn & Associates (November, 2009)



Based on the above information, the Specific Plan area, comprising the remainder of the Zone, is required to ensure a minimum of 49.64 acres of performance standard open space is provided to satisfy the remaining open space requirement through build out.

As shown on Exhibit 11 on page 65, the Zone 20 Specific Plan identifies and provides for 55.0 acres of future performance standard open space. This open space is composed of enhanced SDG&E easement, 50' setbacks along Alga Road and Poinsettia Lane, and enhanced slopes of 25%-40%. Therefore, the total Zone 20 Performance Standard Open Space supply is 92.4 acres, which exceeds the demand by 5.36 acres.

### C. SPECIFIC PLAN OPEN SPACE

The Zone 20 Specific Plan area will be required to provide 15% of the total land area, or 95 acres, in open space. This Specific Plan provides for an integrated open space program which addresses: 1) open space for the preservation of natural resources; 2) open space for the managed production of resources; 3) open space for outdoor recreation; and 4) open space for public health and safety.

#### 1. Open Space for the Preservation of Natural Resources

##### a. Coastal Slopes

Most of Zone 20 has been disturbed as the result of agricultural operations and therefore, little native vegetation remains. However, there are some isolated areas containing coastal slopes (i.e., slopes with a grade of 25% or more and covered with coastal sage). Development of coastal slopes shall be limited, consistent with the guidelines specified in the Carlsbad Local Coastal Plan - Mello II Segment.

The exact location of coastal slopes shall be determined through the environmental review to be conducted for the Zone 20 Specific Plan; where available, existing environmental information shall be used.

##### b. Slopes Greater Than 40%

Development of slopes with a grade greater than 40% is prohibited by the City of Carlsbad's Hillside Ordinance. The following areas may be excluded from this requirement by the decision making body:



- i. Grading necessary for the construction of arterial roadways,
- ii. Small isolated ravines or anomalous slopes, as defined by Section 21.95.090 of the Carlsbad Municipal Code.
- iii. Areas previously disturbed by authorized grading.

Acreage containing slopes greater than 40% shall be considered undevelopable and shall not be included in residential density calculations.

2. Open Space for the Managed Production of Resources

As mentioned previously, much of the Specific Plan has been in agricultural operations at one time or another. Given the multiple ownership of the area, it is impossible to determine the long-term feasibility of the individual agricultural operations at this time or to require that open space be provided for the managed production of resources indefinitely. It should not be assumed that all agricultural and horticultural operations will be replaced with residential uses in the next few years. This area is very similar to the older part of Carlsbad between I-5 and El Camino Real. This area still contains a number of agricultural and horticultural operations which are surrounded by residential uses. Many of these operations have been surrounded by residential development for over 20 years, but are still in operation. Overall the City has received relatively few complaints about these operations from adjacent residential uses. Mitigating the conflict between agricultural uses and residential development will require the cooperation of both the agricultural operators and the developers.

In order to promote and encourage continued agricultural operations in the Specific Plan the following mitigation measures shall be complied with:

- a. A solid wall or fence shall be installed along the perimeter of any developable area which abuts property under cultivation. The wall or fence shall be a minimum of six (6) feet in height. The intent of this measure is to establish a physical barrier between residential and agricultural uses. The wall or fence will function to reduce the drift of dust and spray materials into residential areas. The wall/fence shall be constructed concurrent with development except that if a road is built an appropriate barrier of similar design shall be incorporated along the roadway.

Alternative forms of barriers may be considered provided that they satisfy the intent of the measure.

- b. All habitable residential/commercial structures located within future development areas on site shall be located so as to create a minimum buffer of 25 feet between the otherwise required rear yard or side yard and adjacent open agricultural operations. This buffer area may be located on agricultural property so long as evidence of an easement agreement or other form of restriction is presented at the time of application.
- c. Drainage water from buildings, streets, parking lots and landscape areas within the proposed developable areas shall be disposed of through storm drains or otherwise in a manner that will avoid runoff onto agricultural areas whether planted or fallow. All runoff, agricultural and urban, shall conform with National Pollutant Discharge Elimination System Permit (NPDES) requirements pursuant to San Diego Regional Water Quality Control Board (SDRWQCB) Order No. 90-42, adopted by City Council Resolution No. 90-235. Owners of properties in agricultural use shall be required to bring discharge into compliance where studies indicate that agricultural runoff contribution will not allow compliance with NPDES or SDRWQCB standards.
- d. All applicants of discretionary projects located adjacent to agricultural properties shall notify, in a manner satisfactory to the City Attorney, all tenants/users of new development that these areas are subject to dust, pesticides, and odors associated with adjacent agricultural operations, and that the tenants/users occupy these areas at their own risk.
- e. Application of agricultural sprays, including pesticides shall be done in accordance with standard agricultural practices and applicable regulations.
- f. The cost of the above mitigation measures shall be borne by the developers of the Zone 20 Specific Plan Area, and shall not be passed on to the agricultural operators, except to the extent that it can be shown that the agricultural operators are not in compliance with discharge quality standards cited above.
- g. All agricultural dirt roads shall be watered regularly to minimize dust impacts on crops as well as on adjacent non-agricultural uses.

3. Open Space for Outdoor Recreation

The Specific Plan will contain a variety of open space for outdoor recreation, including:

a. Alta Mira Community Park

The City of Carlsbad has recently obtained an additional 30 acres of land to augment the existing 12 acres they already own to develop Alta Mira Community Park. Per the City's Capital Improvement Program, this 42 acre community park may contain a community center, lighted sports facilities, tot lots, indoor and outdoor soccer facility, picnic areas, tennis courts, practice chipping area, restrooms, maintenance storage facilities, and a parking lot.

The following general park design guidelines are intended to direct the development of the proposed Alta Mira Park as it relates to the surrounding areas:

i. Circulation

- (a). The park should provide sufficient parking on site to minimize impacts to the surrounding neighborhood.
- (b). Vehicular and pedestrian access points into the park should be located to provided for safe ingress and egress.
- (c). Parking areas should be screened from the surrounding neighborhoods to the extent that large expanses of asphalt and cars be broken up with enough vegetation to provide visual relief while still allowing views into the park for police surveillance.
- (d). Appropriate connections should be made through the park to open space trail systems and neighborhood pedestrian ways to encourage pedestrian use of the facility.

ii. Lighting

- (a). Lighting for sports fields should be designated and installed to minimize overspill and glare into adjacent neighborhoods.
- (b). Security lighting should be provided to allow for safe night use of the park where permitted and to discourage unauthorized or illegal activities after dark.

iii. Plantings

- (a). There should be a landscaped buffer zone between the park and the adjacent neighborhoods.
- (b). Except where turf is used for recreational purposes, planting should be of a low-water drought tolerant type to minimize the impact on community water resources.
- (c). Plantings should be used to soften the impact of any large structures or large expanses of pavement within the park.

b. Planned Unit Developments

Per section 21.45 of the Carlsbad Municipal Code, all Planned Unit Developments proposed in Zone 20 shall be required to provide 200 square feet of recreation space per dwelling. Planned Unit Developments in which all lots are 7,500 square feet or greater in size do not need to provide 200 square feet of common recreation area per dwelling unit.

c. Trail System

The 150' wide SDG&E easement offers the Specific Plan an opportunity to provide a trail system. This trail shall be designed and provided concurrent with the development of adjacent property, as discussed under the Pedestrian/Bicycle Trails section of this chapter. A common standard shall be employed to make this trail system uniform across property lines. If possible, this

trail should be designed to tie in with a future citywide trail system.

Where topography permits, the feasibility of a separated bike and pedestrian trail within the average 50' setback along Alga Road and Poinsettia Lane should be considered.

4. Open Space for Public Health and Safety

a. SDG&E Easement

Two 150' public utility corridors exist within the Specific Plan. In addition to carrying utility lines they will serve as north-south running greenbelt areas through the Specific Plan. Where topography permits, these areas will be enhanced with trails and other recreational amenities, subject to the approval of SDG&E.

b. Major Arterials

An average 50 foot landscaped setback will be provided on both sides of the future major arterials within the Specific Plan, namely Alga Road and Poinsettia Lane. Landscaping of these setbacks shall be consistent with the City's Landscape Guidelines Manual and Scenic Corridor Study.

In addition to providing an aesthetically pleasing thoroughfare, this setback provides the practical function of additional distance between the travel lanes and future residences, thereby reducing the noise impact generated by traffic.

**D. CITY OPEN SPACE ELEMENT**

The City of Carlsbad's Open Space Element requires that all land shown as Open Space on the City's Open Space Map must be preserved unless alternative Open Space can be provided. The alternative Open Space must be of equal or greater area and quality than that shown on the Open Space and Conservation Map. See Exhibit 10 on page 56 for designated open space within Zone 20 per the City's Open Space Map.

The current City Open Space Map shows 46.9 acres of open space within the Zone 20 Specific Plan. Some of the Open Space shown on the City's Open Space map in Zone 20 consists of isolated pockets of 40 percent slope. These isolated areas have little or no habitat or aesthetic value. One of the goals of the Zone 20 Specific Plan is to create large contiguous bands of Open Space to foster

continuity for habitat and other Open Space uses. The City of Carlsbad's Open Space Element recognizes the value of contiguous bands of Open Space. The Element allows for the elimination of Open Space areas shown on the City's Open Space and Conservation Map subject to the following:

1. The proposed open space area is equal to or greater than the area depicted on the Open Space and Conservation Map.
2. The proposed open space area is of environmental quality equal to or greater than that depicted on the Open Space and Conservation Map; and
3. The proposed adjustment to open space, as depicted on the Open Space and Conservation Map, is contiguous or within the close proximity to open space as shown on the Open Space Map.

Any of the isolated Open Space areas that are eliminated by development in the Zone 20 Specific Plan will be replaced in accordance with the guidelines listed above.

## **E. BICYCLE/PEDESTRIAN TRAILS**

### **1. Introduction**

To encourage pedestrian and bicycle movement within the community, a system of trails shall be provided substantially as shown on Exhibit 10 on page 56. This trail system shall be constructed by the developer of the underlying property, concurrent with development of any project on that parcel. These trails allow residents to move freely about the community and access both the open space and recreation amenities provided. They are also designed to tie them into a future citywide trail system. When built out, the Zone 20 Specific Plan will have approximately 12,144 feet of trails. Exhibits 10 and 11 on pages 56 and 65 show the location and types of trails which will be provided.

### **2. Description**

The Specific Plan provides for two types of trails: concrete and decomposed granite, with appropriate drainage diversion to minimize trail erosion.

The north-south running canyon located on the westerly edge of the McReynolds Property, within the existing area designated for open space, shall be constructed with a concrete walk. This will provide non-vehicular access to the future Alta Mira park site. The terminus of this trail will be

established concurrently with development of adjacent properties and the environmental constraints associated with their development.

A 150 foot SDG&E transmission easement runs generally down the middle of the Specific Plan. Within this easement, a decomposed granite trail shall be provided. In some instances the slope of the trail will exceed 15 percent, in which case the trail surface shall be asphalt. This trail will also function as an access road for SDG&E vehicles.

The trails shall be constructed to provide good drainage. A cross slope shall be maintained with a minimum two percent (2%) grade with berms and ditches utilized to prevent washouts of cuts and fills. Where feasible, pedestrian paths should be combined with sewer, water, or drainage easements since access roads are necessary to maintain these facilities. Cut and fill slopes created by the construction of the trail system will not exceed two percent. Trail entrance signs will be posted at trail entrances and street crossings. For any trail crossing a roadway, a crossing sign warning motorists will be set 300 feet before the crossing.

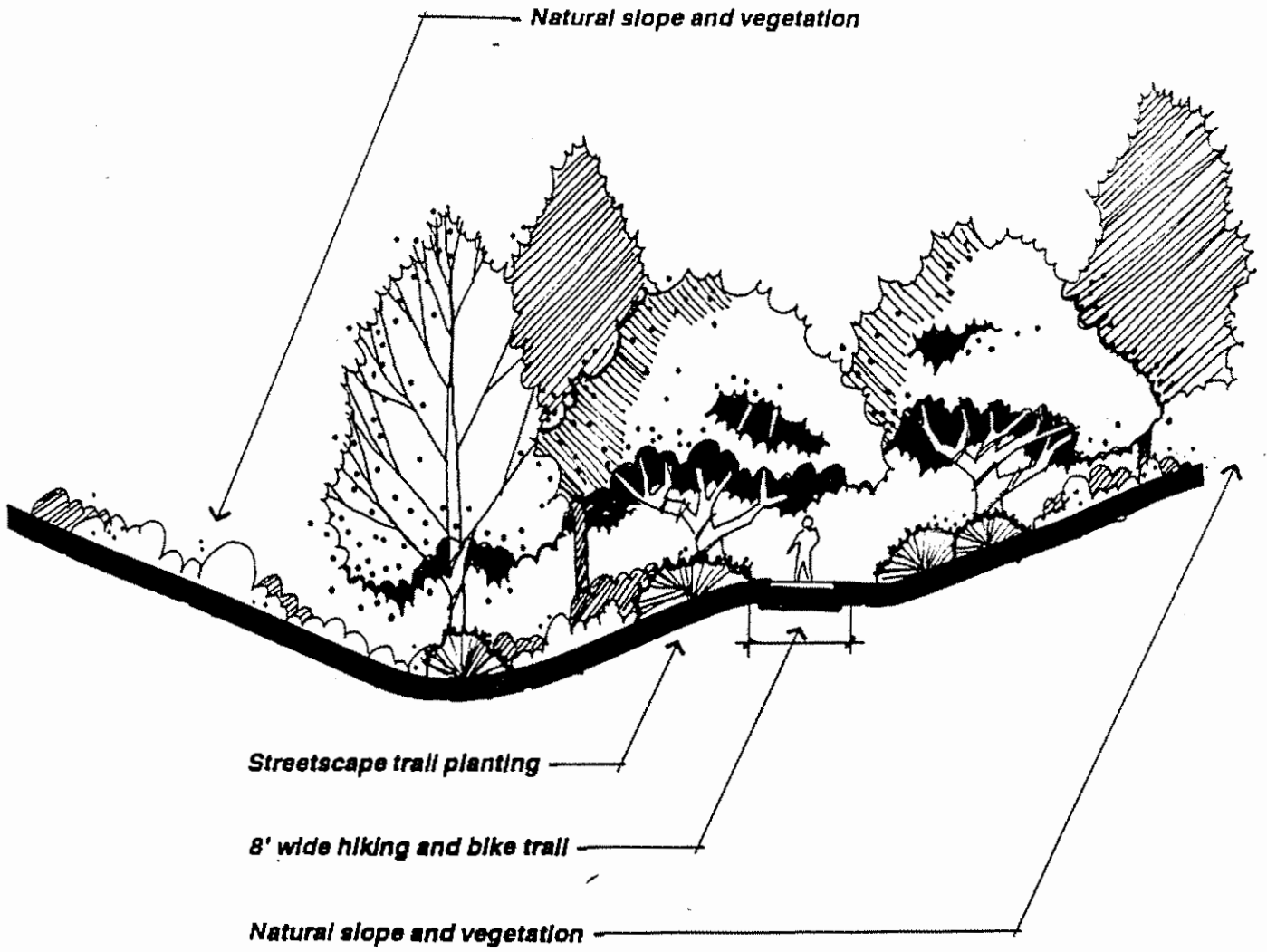
Bike racks should be located at the school site and the community park to encourage bike use.

### 3. Links to Citywide Trail System

The trail system has been designed to allow the City to tie it into a future citywide trail system where possible.

## F. MAINTENANCE

Consistent with the City's draft Citywide Trail Feasibility Study, all trails identified in this Specific Plan shall be constructed by the individual developer, then dedicated to the City. If a Citywide Open Space Maintenance District is formed, the City may assume maintenance and liability responsibility for the trail network. These trails shall not be open to the general public until the City of Carlsbad accepts their dedication and establishes a Citywide Open Space Maintenance District to assume maintenance and liability responsibility for the trail network





## VI. PUBLIC FACILITIES

The Zone 20 Specific Plan lies entirely within Local Facilities Management Zone 20. The public facility requirements for this specific plan are fully addressed within the Zone 20 Local Facilities Management Plan (LFMP). The Zone 20 Local Facilities Management Plan was prepared pursuant to the City's Growth Management Ordinance, Section 21.90 of the Carlsbad Municipal Code. The Zone 20 LFMP: 1) provides a detailed description of how the zone will develop; 2) specifies the general time frame for development; and 3) includes a specific financing program developed and approved by the City guaranteeing construction of various public facilities needed to accommodate impacts of future development in the zone.

The Zone 20 Local Facilities Management Plan and Finance Plan ensures that performance standards for the following facilities be met through build out of the zone for the following public facilities.

**CITY ADMINISTRATIVE  
LIBRARY  
WASTEWATER TREATMENT  
PARKS  
DRAINAGE  
FIRE  
CIRCULATION  
OPEN SPACE  
SCHOOL  
SEWER COLLECTION  
WATER DISTRIBUTION**

The provision of public facilities within the Zone 20 Specific Plan shall be in accordance with the Zone 20 Local Facilities Management Plan approved.

Drainage, circulation, sewer collection and water distribution facilities are addressed more specifically in this section due to their direct relationship with the physical development of the Specific Plan area.

### **A. DRAINAGE**

The City of Carlsbad requires drainage facilities to be installed concurrent with development because facility sizing and design are best done as improvement plans are being prepared.

The City's Master Drainage Plan, adopted March 1980, shows that the specific plan area is located within the boundaries of two separate watershed areas:

Canyon de las Encinas Watershed (C) which takes drainage from the northern 2/3 of the area and the San Marcos Creek/Batiquitos Lagoon Watershed (D) which accepts drainage from the southern 1/3 of the area. Exhibit 12 on page 69 shows the boundaries of these two watersheds.

The City is currently reviewing a Draft Master Drainage and Storm Water Quality Management Plan, January 1993, that will supersede the 1980 Master Drainage Plan. This Specific Plan has been prepared on the basis of an area specific drainage analysis conducted by Rick Engineering. It is anticipated that the emerging Drainage Master Plan will be consistent with the Zone 20 Specific Plan Drainage Plan. However, in the event that there is a conflict between the two documents, the City's Master Drainage and Storm Water Quality Management Plan shall serve as the basis for determining facility requirements.

As indicated in the Citywide Facilities and Improvements Plan, drainage is distinguished from all other public facilities and improvements because by its very nature drainage is more accurately assessed as specific development plans are finalized. However, it may be necessary to provide facilities which are larger than those required from a single development project. Therefore, major drainage facilities need to be identified so that proper funding can be collected for their construction.

There are no existing drainage facilities located within the specific plan area. All development within the specific plan area will be required to pay the required drainage area fee prior to the issuance of any building permit.

1. Proposed Build Out Facilities

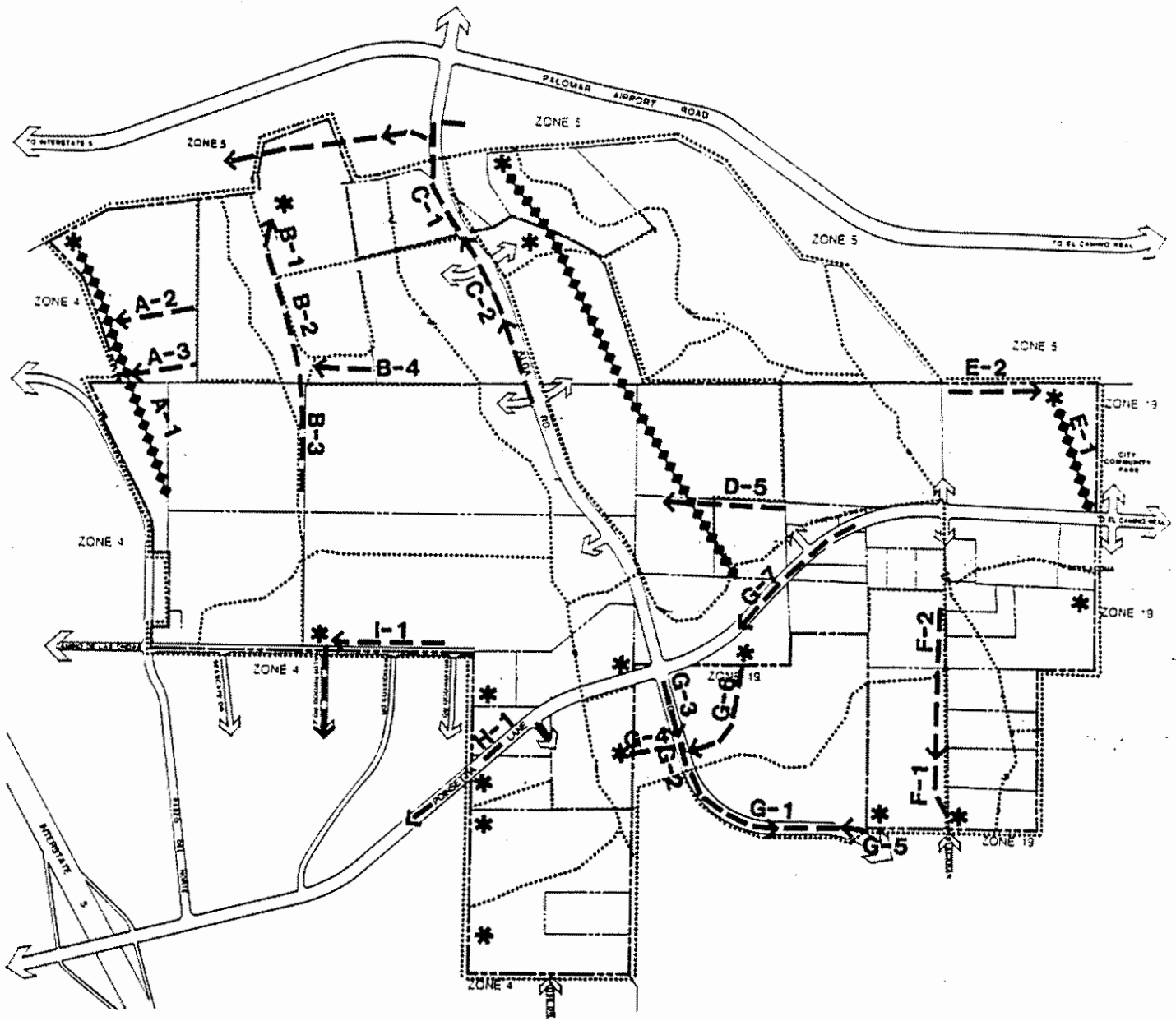
The analysis of the required drainage facilities necessary to serve the Zone 20 Specific Plan Area have been evaluated by natural drainage sub-basins. These sub-basins are shown on Exhibit 12 on page 69. The proposed facilities to serve the individual sub-basins were extracted from the City's Master Drainage Plan and as specified in the "Zone 20 Specific Plan Drainage Plan," prepared by Rick Engineering, July 6, 1990. (Appendix D)

2. Canyon De Las Encinas Watershed (C)

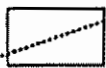
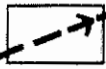
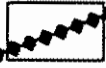
The following improvements are identified for the Canyon De Las Encinas Watershed in the Rick Engineering study:

<u>Number</u>	<u>Location</u>	<u>Description</u>	<u>Length (in feet)</u>
A-1	East of Paseo Del Norte to Encinas Creek	Open Channel	----

A-2	From Emerald Ridge East of Paseo Del Norte	18" RCP	850 LF
A-3	From Emerald Ridge East of Paseo Del Norte	18" RCP	650 LF
B-1	Hidden Valley Creek	48" RCP	1,250 LF
B-2	Hidden Valley	42" RCP	600 LF
B-3	From SBD TM to Hidden Valley Road	36" RCP	700 LF
B-4	From Mariano TM to Hidden Valley	24" RCP	600 LF
C-1	Alga Road to Encinas Creek	36" RCP	1,500 LF
C-2	Alga Road from SBD TM	30" RCP	950 LF
D-1	East of Alga Road Cobblestone Culvert	60" RCP	200 LF
D-2	East of Alga Road - in SDG&E easement	Open Channel	-----
D-3	From Cobblestone to Channel	24" RCP	350 LF
D-4	From Cobblestone to Channel	24" RCP	200 LF
D-5	From Ocean Bluff to Channel	30" RCP	950 LF
E-1	Northeast corner of zone - To Palomar Oaks Business Park	Open Channel	-----
E-2	Northeast corner of zone	18" RCP	850 LF



**Legend**

-  Watershed Boundary
-  Storm Drain Facilities
-  Flood Plain Management

-  Potential Detention/Desiltation Basin Sites

**Notes:**

Source: (Drainage)  
 Zone 20 Specific Plan Master Drainage Plan  
 Prepared for: City of Carlsbad  
 Prepared by: Rick Engineering Co. (July 6, 1990)

Further information may be obtained from the full-sized exhibit included in this document



### 3. San Marcos Creek/Batiquitos Lagoon Watershed (D)

The following improvements are identified for the Batiquitos Lagoon Watershed in the Rick Engineering study (Appendix D):

<u>Facility Number</u>	<u>Location</u>	<u>Description</u>	<u>Length (in feet)</u>
F-1	Southeast corner of zone - in future street above Alga Road	30" RCP	850 LF
F-2	Southeast corner of zone - in future street	24" RCP	850 LF
G-1	In Alga Road	48" RCP	1,400 LF
G-2	In Alga Road	42" RCP	200 LF
G-3	In Alga Road	24" RCP	650 LF
G-4	From N&I Tabata TM towards Alga Road	24" RCP	450 LF
G-5	From Muroya TM towards Alga Road	24" RCP	500 LF
G-6	From Sarkaria TM towards Alga Road	30" RCP	1,700 LF
H-1	Poinsettia Lane	18" RCP	900 LF
I-1	Camino De Las Ondas - portion east of Mariner's Point	27" RCP	-----

All development projects within the Batiquitos Lagoon Basin will be required to demonstrate pre-development and post-development flow level equivalency in accordance with the provisions of the Carlsbad Local Coastal Program. Conceptual locations of the regional detention/desilting basins are provided on Map 1 of the Zone 20 Master Drainage Plan included as an appendix to this Specific Plan. These conceptual locations may be revised during final design of the individual developments to equivalent facilities. The detention/desilting basin revisions, if applicable, may involve providing an individual basin for each development if this scenario is more feasible and will meet the design criteria.

The detention/desilting basins will be designed in final engineering for detention of the developed runoff during the 10-year, 6-hour storm to existing conditions as required by the California Coastal Commission. Each basin will also be designed to capture the silt generated on the graded area tributary to it as estimated using the Universal Soil Loss Equation.

## B. CIRCULATION

Preliminary line and grade studies have been completed for Alga Road and Poinsettia Lane. These studies are included as Appendix B and C, respectively, at the back of this document. A traffic analysis was conducted in conjunction with the Zone 20 EIR as the basis for the circulation section of the Zone 20 Specific Plan. The collector system is designed as a cooperative effort on the part of property owners who are involved in preliminary design of development of their properties.

Exhibit 13 on page 73 depicts the general circulation system anticipated within the Specific Plan area. Right of way widths associated with various street classifications are shown below:

STREET NAME	RIGHT OF WAY	DESIGNATION
Poinsettia lane	102'	Major Arterial
Alga Road	102'	Major Arterial
Non-Loaded Collector *	68'	Non-Loaded Collector
Loaded Collector*	60'	Loaded Collector

\* Collector designations to be determined by project traffic analyses.

Exhibit 14 on page 74 depicts the cross sections anticipated for the street designations shown above. It should be noted that the Specific Plan encourages separation of the sidewalk from the curb line and establishment of a landscaped parkway to separate pedestrian and vehicular use of rights of way. Where sidewalks interface with trail systems a meandering pattern should be accommodated if feasible.

Due to the multiple ownership nature of this area, all projects proposed for development must demonstrate that proposed circulation systems encourage continuity between properties so as to insure efficient circulation throughout the Specific Plan area. This concept is depicted graphically on Exhibit 13.

In order to insure coordination of the alignment of Poinsettia Lane between Alga Road and El Camino Real, the scope of the Program E.I.R. was expanded to include off site analysis of alternative alignments. The expanded scope associated with the off site alternative analysis was funded by property owners in Growth Management Zone 21. This approach enabled the E.I.R. consultant to evaluate a corridor area established by the City-determined most feasible alternative alignments.

A total of four off site alignments were initially evaluated. They are shown on a map included as appendix C and are briefly described below.

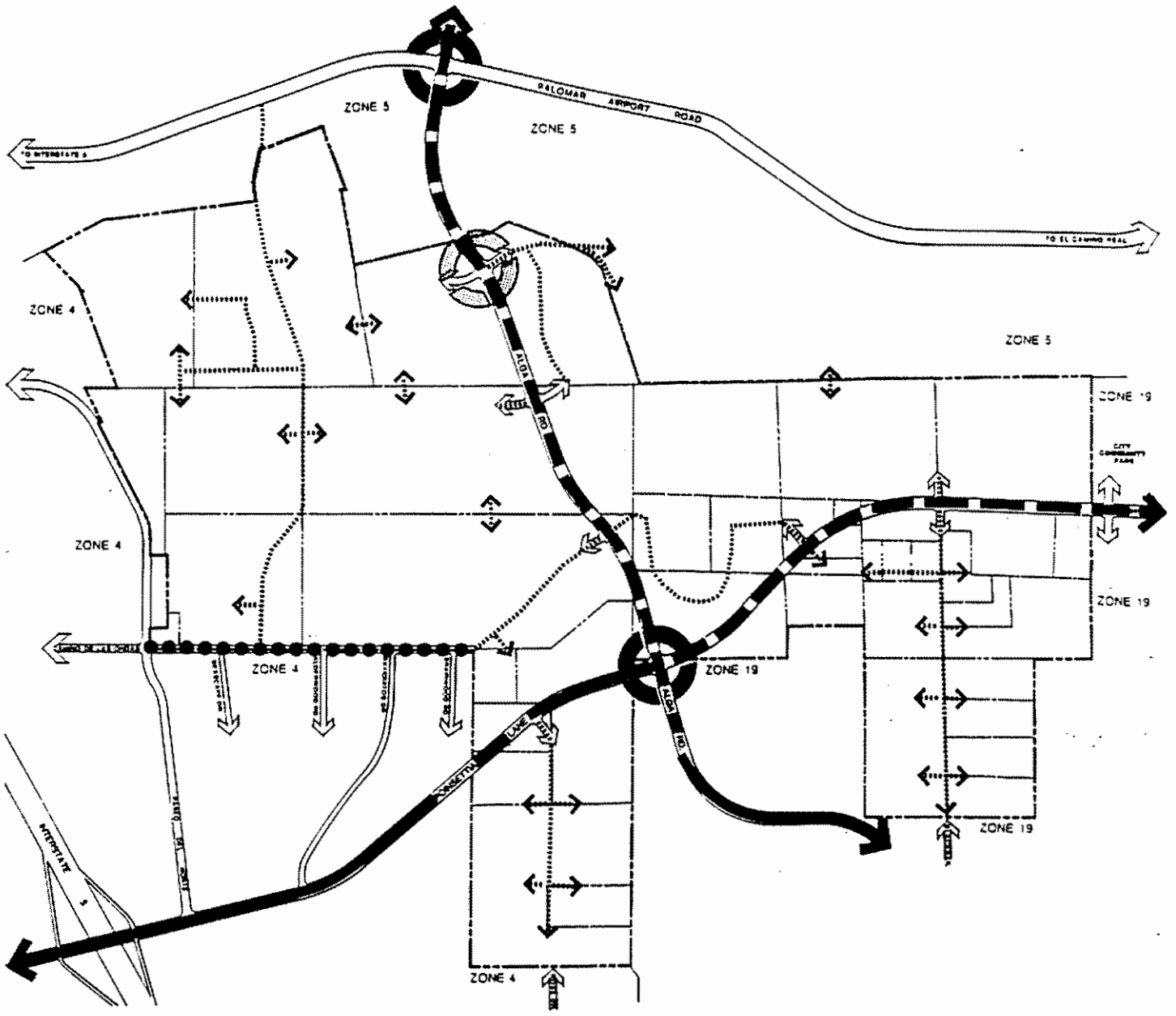
#### ALTERNATIVE DESCRIPTION

- A This alignment is a southern variation of the existing General plan alignment. It appears that this alignment generally offers the least environmentally impacting and best engineering solution to the off site portion of Poinsettia.
- B This alignment was evaluated at the request of the City staff. It was found to require extraordinary amounts of fill material to create a safe intersection condition at El Camino Real. Realignment of existing El Camino Real was evaluated as a solution, but was found to be impractical and not economically feasible due to existing regional electrical transmission towers, gasoline and natural gas pipe lines.
- C This alignment was evaluated at the request of the City staff as an alternative to alignment B. It was found that this alignment was encumbered by the same conditions as found with alignment B. In addition, this alignment was found to impact Coastal Sage habitat on the east side of El Camino Real.
- D This alignment is referred to as the General Plan alignment. Evaluation indicated that this alignment would significantly impact an existing riparian area in Local Facilities Management Zone 21. Consideration of this alignment has been abandoned in favor of alternative A, described above.

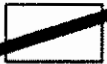
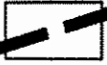
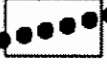

Development within Zone 20 does not require construction of Poinsettia Lane outside of the boundaries of the Growth Management Zone. The evaluation of off site alignments was conducted solely for the purpose of establishing a generalized preferred route that would be used as the basis for coordinating the road's incremental design and construction.

The preferred alignment for Poinsettia Lane is shown in the alignment study contained in the Zone 20 Program Environmental Impact Report and the Local Facilities Management Plan. The design of the portion of Poinsettia lane shall be completed in accordance with the requirements of the City Engineer and shall comply with all requirements of the Zone 20 Program Environmental Impact Report. The cost of designing the road shall be reimbursable through the fee program established in the Local Facilities Management Plan for Zone 20.



Environmental review for off site Poinsettia will comply with the provisions of the Zone 20 Specific Plan Program Environmental Impact report.



**Legend**

-  Existing General Plan Arterial
-  Proposed General Plan Arterial
-  Existing Residential Collector
-  Proposed Residential Street



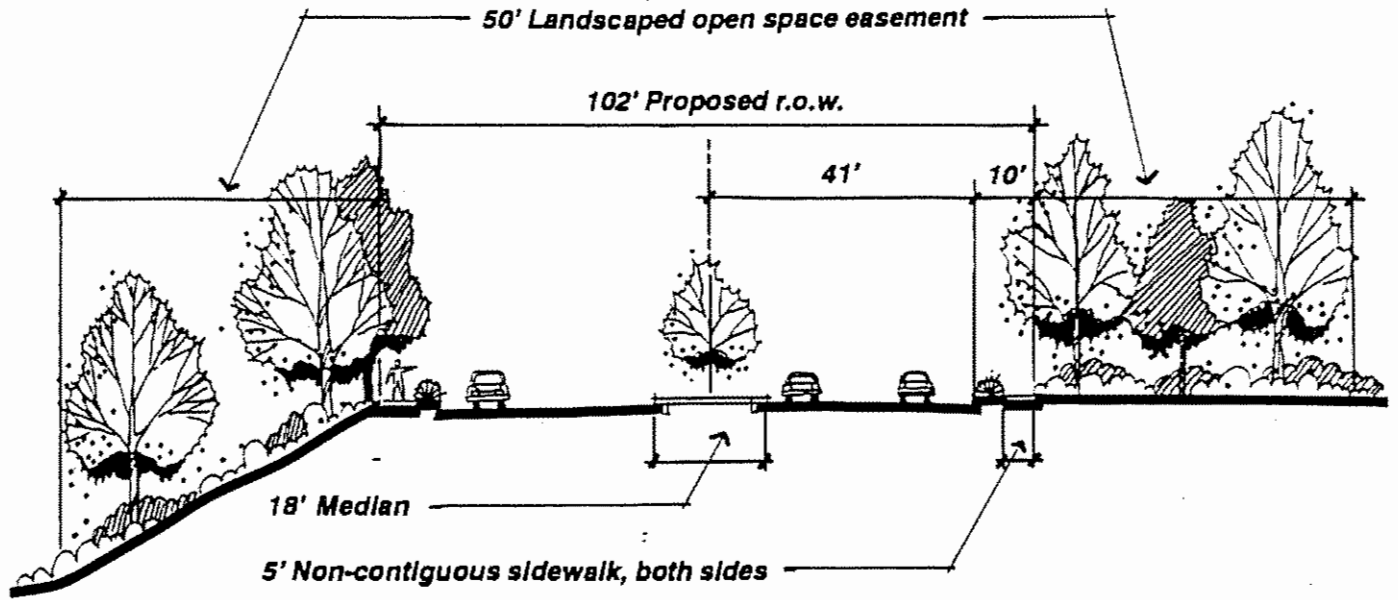
-  Signalized Intersection
-  Potential Signalized Intersection

**Note:**

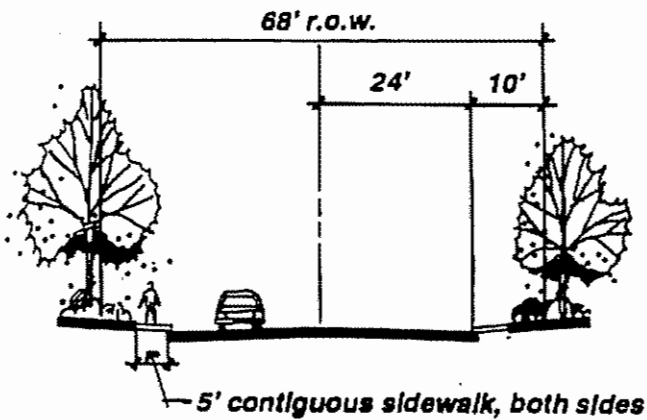
Street classification to be determined at project design



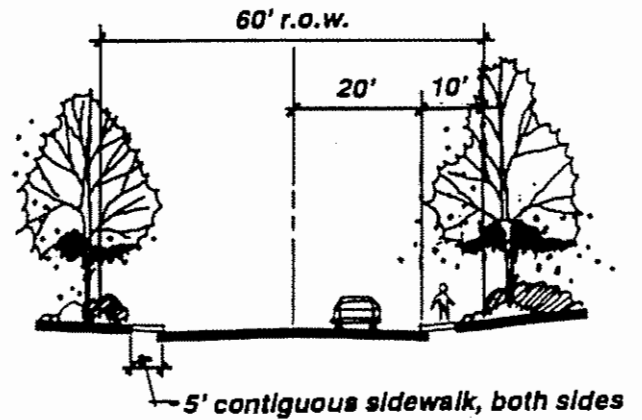




**Alga Road/Poinsettia Lane (Major Arterial)**



**Residential Non-loaded Collector**



**Residential Collector**



## C. SEWER FACILITIES

Sewer service within the Specific Plan area is provided by the City of Carlsbad Sewer Service District. Sewerage generated within the area will flow into one of two localized sewer drainage basins.

The Encinas Canyon Basin is located in the northern two-thirds of the Specific Plan area, while the North Batiquitos Basin includes the southern one-third of the Specific Plan area.

The existing sewer master plan proposes to serve the Abada and Bramalea properties north into the Encinas Canyon sewer trunk line. These property owners have been granted permission to divert flows to the North Batiquitos Trunk line and lift station. Prior to development these properties will be required to detach and annex to the appropriate sewer benefit areas.

The Zone 20 LFMP sewer study determined that the sewer interceptors serving the Encinas Canyon basin are adequate through build out of Zone 20.

The northwestern corner of Basin 20A is adjacent to environmentally sensitive slopes afforded protection under the terms of the California Coastal Act. It may not be possible to gravity sewer this area to the Encinas interceptor, thereby necessitating installation of a pump station to divert flows to a future sewer line to be installed in Hidden Valley Road. This issue must be resolved early in the design of projects proposed in this basin. Service areas for the potential pump station will be determined as a part of ultimate system design concurrent with development approval process.

The North Batiquitos system requires upgrading to serve the southern portion of the Specific Plan area. The required interceptor system improvements will upgrade the existing North Batiquitos Lift Station which cannot handle projected build out sewerage flows. These improvements are concurrently under construction by the Aviara project. The required improvements must be completed prior to the issuance of building permits within this portion of the Zone 20 Specific Plan.

Table 1 on page 77, analyzes the flow demand based on the existing Sewer Master Plan for the three service basins located within the Specific Plan area and serves as the basis for recommended facility sizing.

Exhibit 15 on page 78, depicts the manner in which the properties in the basins of the Specific Plan area would be served by the trunk line system identified above.

Trunk line facilities required to serve the Specific Plan area are as follows:

- One 12" trunk line, shown as VBT2 on Exhibit 15. This will serve the sub-basin identified as 20A. This facility will be installed within the Alga Road right-of-way concurrent with development demand in the sub-basin.
- One 8" trunk line, shown as NBT3A on Exhibit 15, will be required to connect sub-basin 20C to the North Batiquitos lift station. This facility will be installed concurrent with the first development in sub-basin 20C.

Studies are currently underway to refine the boundary between Sewer Basins 20A and 20C.

A portion of Basin "B" sewer service may be provided via local trunk line flowing north through the Zone 20 Easterly SDG&E easement into the trunk line serving Palomar Oaks development. This is necessary due to environmental constraints identified in the Zone 20 Program E.I.R. As a condition of permitting this dual use of the SDG&E easement the utility will require construction of an all weather access in conjunction with the sewer line.

TABLE 1

ENCINAS CANYON BASIN  
SEWER SERVICE FLOW DEMAND  
ANALYSIS

Master Plan Sub Basin	Master Plan Units	Flow <sup>(1)</sup>	Local Facilities Units	Flow <sup>(1)</sup>
20A	1227	.27	1524	.33
20B	1000	.22	578	.13
<hr/>				
VB Sub. tot. <sup>(2)</sup>	2227	.49	2102	.46

<sup>(1)</sup> Flows expressed as million gallons per day calculated on the City Standards of 220 gallons per day per unit. (ref.: City of Carlsbad Master Plan of Sewerage, 1/92)

<sup>(2)</sup> Buena/Vallecitos Sewer Interceptor Basin.

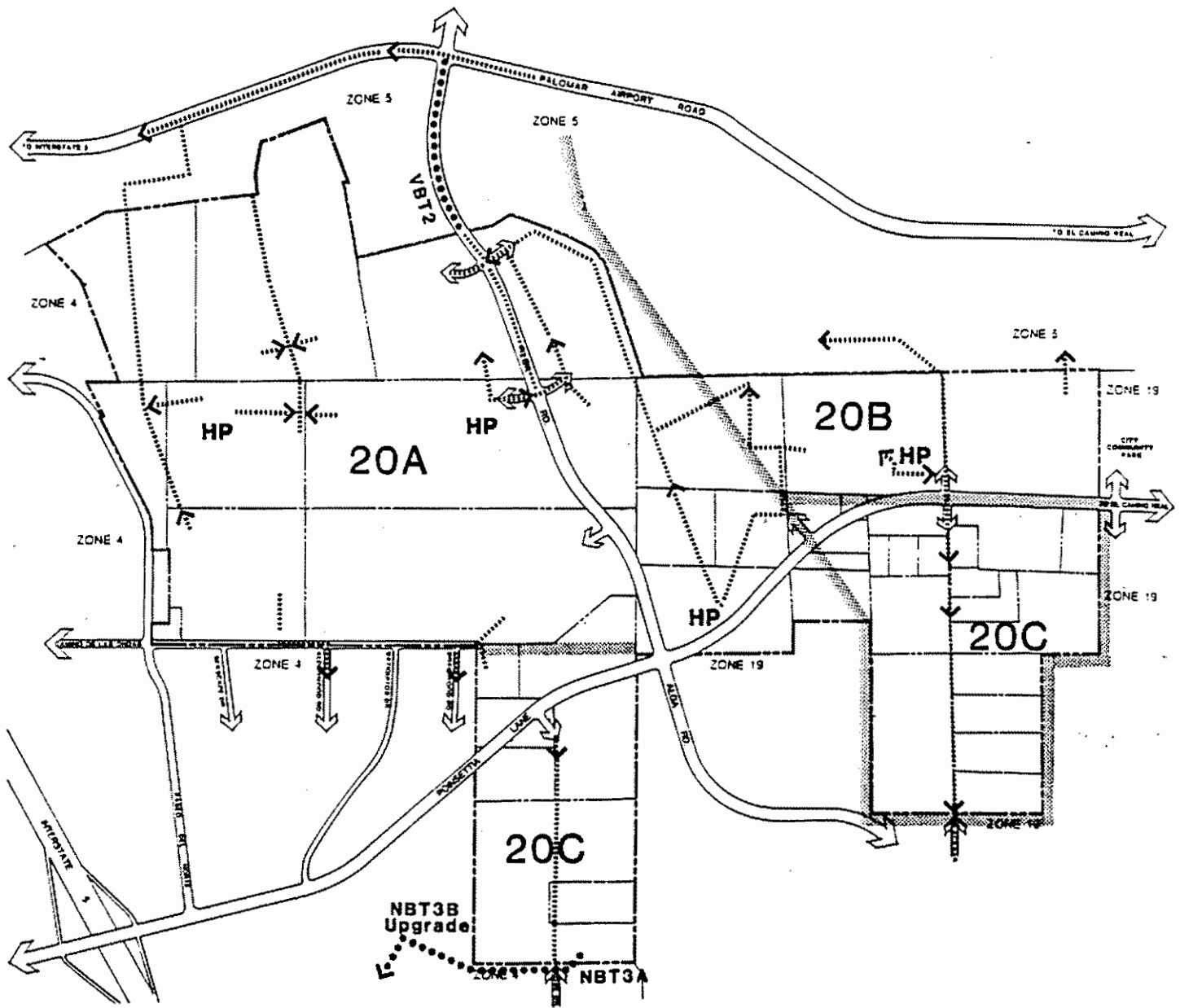
BATIQUITOS SEWER BASIN  
SEWER SERVICE FLOW DEMAND  
ANALYSIS

Master Plan Sub Basin	Master Plan Units	Flow <sup>(1)</sup>	Local Facilities Units	Flow <sup>(1)</sup>
20C <sup>(2)</sup>	520	.11	390	.09
<hr/>				
NB Sub. tot. <sup>(3)</sup>	520	.11	390	.09
<hr/>				
TOTAL	2747	.60	2492	.55

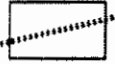


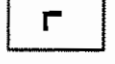
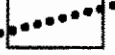
<sup>(1)</sup> Flows expressed as million gallons per day calculated on the City Standards of 220 gallons per day per unit (ref.: City of Carlsbad Master Plan of Sewerage, 1/92).

<sup>(2)</sup> More precise information has resulted in an additional 390 units being identified in the sub basin. It has been determined that there is adequate capacity to accommodate the additional units.

<sup>(3)</sup> North Batiquitos Sewer Interceptor Basin.



**Legend**

-  Sewer
-  Drainage Basin Boundary
-  High Point
-  Direction of Flow
-  Master Sewer Plan Facilities



## D. WATER FACILITIES

Water services in the Specific Plan area are provided by the City of Carlsbad. Exhibit 16 on page 81 shows the location of the major water facilities existing within the Specific Plan area. These facilities are listed below:

<u>Designators</u>	<u>Facility</u>	<u>Location</u>	<u>District</u>
A	16" line and P.R. Stn	Camino de las Ondas	CMWD
B	12" & 18" lines	Camino de las Ondas	CMWD
C	8" line	Western leg - Zone 20	CMWD
D	Reservoirs	East-Central Zone 20	CMWD
E	8" line	Eastern leg - Zone 20	CMWD
F	12" line	Northeast half Zone 20	CMWD
G	12" line	Western leg	CMWD

Source: Carlsbad Municipal Water District, Master Plan, CMWD Project 89-105, MacDonald-Stephens Engineers, June 29, 1990. Meeting with Engineering Staff of CMWD.

The following facilities shown on Exhibit 16 on page 81 as "proposed" will be required to serve the build out demand projected for the Specific Plan area:

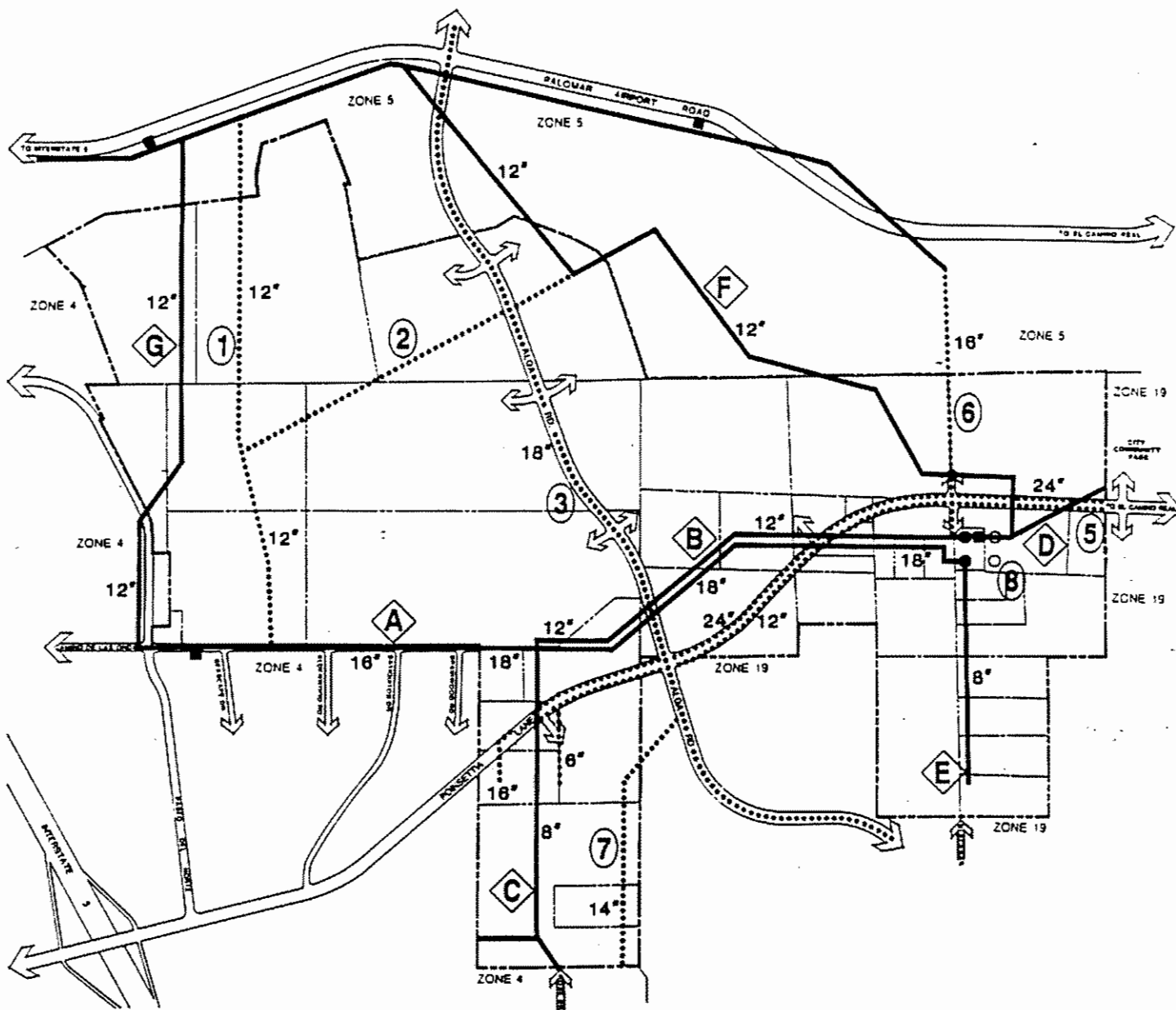
<u>NUMBER</u>	<u>FACILITY</u>	<u>LOCATION</u>	<u>DISTRICT</u>
1	12" line	Western Zone 20 between Palomar Airport Road and Poinsettia	CMWD
2	12" line	Between #1 and Alga Road Blvd	CMWD
3	18" line	Alga Road - Palomar Airport Road to Poinsettia	CMWD
4	10" line 16" line	Poinsettia extension southerly from existing end of line	CMWD
5	12" line 24" line	Poinsettia extension east of #4 into Zone 19	CMWD
6	16" line	Eastern Zone 20 northerly to Palomar Oaks Way, line F	CMWD
7	14" line	From Alga Rd crossing into southern Zone 20 boundary Poinsettia and southern zone boundary	CMWD
8	Two (2) 8.5 MG Reservoirs (17 MG total storage)	Eastern Central Zone 20	CMWD

---









Source: Carlsbad Municipal Water District, Master Plan CMWD Project No. 89-105, MacDonald-Stephens Engineers, Inc., June 29, 1990.

These facilities were identified in the documents prepared by the Costa Real Municipal Water District and are to be provided concurrent with development demand. These facilities will be located within streets wherever possible, as shown on Exhibit 16 on page 81.

Development within the Specific Plan area will require the use of temporary facilities and/or the relocation of existing facilities as site preparation takes place within the area. The use of looped systems will be required to provide adequate fire flows to the area.



**Legend**

- |   |                                      |   |                                      |
|---|--------------------------------------|---|--------------------------------------|
|  | Existing Inventory Designator        |  | Proposed Pressure Regulating Station |
|  | Proposed Inventory Designator        |  | Existing Water Main                  |
|  | Existing Reservoir                   |  | Proposed Water Main                  |
|  | Proposed Reservoir                   |   |                                      |
|  | Existing Pressure Regulating Station |   |                                      |





## **E. OFF-SITE IMPROVEMENTS**

As a result of development demands created within the Specific Plan area it may be necessary to install or extend certain facilities across land areas outside of the boundaries of the Specific Plan area. These facilities include, the following:

- Portions of Alga Road, Poinsettia Lane, Interstate 5 interchange improvements not identified because their improvement and timing is beyond the capability of any single Growth Management Zone and the timing of such improvements is controlled by public agency processes
- Portions of sewer line VBT2, NBT3A, NBT3B, NBS and Hidden Valley Local Trunk line as shown on Exhibit 15 on page 78.
- Portions of miscellaneous water line extensions per Exhibit 16 on page 81.

In the event that a good faith effort to obtain permission, or rights of way, can be demonstrated and the private developer can not obtain such permissions the City may be requested to use its power of eminent domain. The power is limited to items required for the benefit of the general public and not for sole use of private development. In most instances, the Power of Eminent Domain will be limited to items shown on the City General Plan or various facilities master plans. It shall be the requesting party's responsibility to pay all costs associated with the condemnation and acquisition proceedings and all actions arising therefrom.

## **F. LOCAL FACILITIES**

The fragmented ownership pattern within the Specific Plan Area will require mechanisms to equitably spread infrastructure costs to benefiting ownerships. In the event that one or more property owners are required to extend improvements across another ownership to the benefit of that ownership and/or the general public, the City in concert with the affected owners shall establish a reimbursement mechanism to equitably apportion the costs of such facility. Subsequent to the establishment of the mechanism, each approval shall be conditioned to participate.

## VII. DEVELOPMENT STANDARDS

### A. INTRODUCTION

Future development in portions of the Zone 20 Specific Plan will be highly visible from adjacent development and roadways, especially development in Planning Areas A & B. One of the goals of the Specific Plan is to establish architecture and landscaping standards that create the appearance of a coastal community upon tree covered hillsides and ridges. All future development in the Zone 20 Specific Plan shall comply with the Architectural and Landscape criteria established by this chapter.

### B. ARCHITECTURAL STANDARDS

1. The following design criteria should be incorporated in the design of any proposed project within the Zone 20 Specific Plan:
  - a. A variety of the following :
    - i. - roof and wall materials and colors
    - ii. - building architectural accent features
    - iii. - building roof heights and masses
    - iv. - building street setbacks
    - v. - exterior accent colors
    - vi. - building facades within each floor plan
  - b. Window and door enhancement
  - c. Enhanced fenestration
  - d. Individualized entry treatments
  - e. Articulated building forms
    - roof planes
    - wall planes
    - inset windows/doors
  - f. A variety of:
    - garage facades, designs and orientations
    - one and two story structures
    - one and two story exterior elements within single structures
  - g. Curvilinear street design for streets in excess of 750 feet in length

- h. Visually pleasing street terminus
  - i. Chimney and chimney caps should be in scale with unit
  - j. Multiple building elevation treatments including roof, window, siding, trim accent, garage door and entry types
2. The following elements should be discouraged in planning areas as they do not provide visual enhancement to development in the area:
- a. Shallow roof pitch
  - b. Lack of building detail and articulation
  - c. Unrelieved flat wall elevations
  - d. Flush mounted aluminum windows
  - e. Monotonous building form, all two story units
  - f. Chimney caps out of scale with unit
  - g. Repetitious use of few product types
  - h. Small street trees unless grouped
  - i. Repetitive front yard setbacks
3. All single family detached residential projects with dwelling units along major ridgelines visible from Palomar Airport Road, Poinsettia Lane (west of Alga Road), Paseo Del North and I-5 shall meet one of the following criteria;
- a. At least 10 percent of all units along ridgelines shall be limited to one story; or
  - b. At least 50 percent of all units along major ridgelines shall be limited to a single story element for at least 50 percent of the building coverage.

## C. LANDSCAPE CONCEPT/APPROACH GUIDELINES

### 1. Goals

The following goals have been identified for the Zone 20 Specific Plan:

- a. To achieve the visual effect, when viewed from a distance, of a coastal community of homes that has been developed upon tree-covered hillsides, those trees providing a unifying theme throughout Zone 20. This theme landscaping will be compatible with the colors and visual texture of the native coastal sage hillside.
- b. To allow for expression of individual project identity - consistent with the architectural theme of the homes and compatible with the overall landscape concept for the zone.
- c. To create a drought-tolerant landscape that can help reduce water consumption for the private homeowners and homeowner associations within these planning area.
- d. To preserve existing trees whenever possible.
- e. To enhance existing landforms whenever possible and to minimize visual impacts of grading.

### 2. Guidelines-Tree and Shrub Palette

To accomplish these goals, a landscape concept consisting of two main components is proposed. A theme component would establish the overall visual effect of the landscape areas, with the majority of trees and shrubs belonging to this component. An accent component would provide for individual project identify within the framework of the theme landscape. The accent component would be a smaller percentage of the overall landscape.

#### a. Tree Palette

Selected to be fast or moderately-fast growing so as to provide the desired visual effect for the community in a shorter period of time. Trees will be drought-tolerant species that can survive on minimal watering, once established.

<u>Botanical Name</u>	<u>Common Name</u>
<i>Cassia leptophylla</i>	Gold Medallion Tree
<i>Eucalyptus citriodora</i>	Lemon-Scented Gum
<i>Eucalyptus nicholii</i>	Willow-Leaf Peppermint
<i>Leucodendron argenteum</i>	Silver Tree
<i>Olea europa</i> 'Fruitless'	Fruitless Olive
<i>Pinus eldarica</i> 'Mondell'	Mondell Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus torreyana</i>	Torrey Pine
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus virginiana</i>	Southern Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Schinus molle</i>	California Pepper

b. Shrub Palette

Shrubs will be drought-tolerant species that can survive on minimal watering, once established. The palette includes shrubs of various heights, colors, and textures.

<u>Botanical Name</u>	<u>Common Name</u>
<i>Arbutus unedo</i>	Strawberry Tree
<i>Cassia artemisioides</i>	Feathery Cassia
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Cistus</i> spp.	Rock Rose
<i>Convolvulus cneorum</i>	Bush Morning Glory
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Cotoneaster lacteus</i>	Red Clusterberry
<i>Echium fastuosum</i>	Pride of Maderia
<i>Elaeagnus pungens</i>	Silverberry
<i>Encelia californica</i>	Bush Sunflower
<i>Heteromeles arbutifolia</i>	Toyon
<i>Leptospermum laevigatum</i>	New Zealand Tea
<i>Melaleuca nesophila</i>	Pink Melaleuca
<i>Myrtus communis</i> 'Compacta'	Laurel Sumac
<i>Quercus dumosa</i>	California Scrub Oak
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Salvia apiana</i>	White Sage

c. Flat Sized Groundcover

Shrubs will be drought-tolerant species that can survive on minimal watering, once established. The palette includes shrubs of various heights, and textures.

<u>Botanical Name</u>	<u>Common Name</u>
Archillea millefolium	White Yarrow
Achillea tormentosa	Woolly Yarrow
Artemesia californica	California Sage
Atriplex semibaccata	Prostrate Saltbush
Bromis mollis	Blando Bromegrass
Bromis rubrems	Red Bromegrass
Ceanothus prostratus	Squawcarpet
Dimorphotheca aurantiaca	African Daisy
Encelia californica	Bush Sunflower
Eriogonum fasciculatum	California Buckwheat
Eschschozia californica	California Poppy
Festuca ovina	Sheep Fescue
Gazania splendens'	Red Shades' azania
Laylia platglossa	Tidy Tips
Lotus scoparius	Deerweed

<u>Botanical Name</u>	<u>Common Name</u>
Lupinus spp.	Lupine
Mimulus spp.	Monkeyflower
Plantago insularis	Plantain
Rhychelytrum repens	Ruby Grass
Salvia apiana	White Sage
Salvia melliferia	Black Sage
Sisyrinchium bellum	Blue-eyed Grass
Verbena tenuisecta	Moss Verbena

d. Accent Trees

While also selected for their lower water requirements, accent trees would be of a more refined nature, consistent with their use as street trees for project entries, recreation areas, and as complements to the architecture of a particular project. The accent palette includes trees of various heights and character.

<u>Botanical Name</u>	<u>Common Name</u>
Butia capitata	Pindo Palm
Chamerops humillis	Mediterranean Fan Palm
Cinnamomium camphora	Camphor Tree
Citrus spp.	Citrus Tree
Cupressus arizonica	Arizona Cypress
Cupressus sempervirens	Italian Cypress
Erythrina crista-galli	Cockspur Coral Tree
Erythrina humeana	Natal Coral Tree
Eucalyptus nicholii	Willow-Leaf Peppermint
Liquidambar styraciflua	American Sweetgum
Magnolia 'Little Gem'	Dwarf Magnolia
Magnolia grandiflora	Southern Magnolia
Melaleuca linarifolia	Flaxleaf Paperbark
Melaleuca quinquenervia	Cajeput Tree
Nerium oleander(std.form)	Oleander
Phoenix dactylifera	Date Palm
Phoenix canariensis	Canary Island Date Palm
Pinus pinea	Italian Stone Pine
Platanus acerifolia	London Plane Tree
Washington robusta	Mexican Fan Palm

e. Shrubs

Accent shrubs will possess a more refined character than that of the theme palette, since these will be used around buildings, and in refined landscape spaces. The palette includes shrubs of various heights, colors, and textures to go with varying styles and architectural treatments. Because maintenance is of more concern in refined landscapes, accent shrubs will generally be slower-growing and smaller than their theme palette counterparts.

<u>Botanical Name</u>	<u>Common Name</u>
Abelia grandiflora	Glossy Abelia
Bougainvillea spp.	Bougainvillea
Coleonema pulcrum	Pink Breath of Heaven
Distictus 'Rivers'	Royal Trumpet Vine
Eriobotrya 'Coppertone'	Coppertone Loquat
Escallonia 'Fradesi'	Pink Escallonia
Escallonia 'Newport Dwarf'	Dwarf Pink Escallonia
Grevillea 'Noelli'	NCN (no common name)
Hemerocallis hybrida	Hybrid Daylily
Juniperus chinensis 'Spartan'	Shore Juniper
Juniperus scopulorum 'BlueHaven'	NCN
Ligustrum j. 'Texanum'	Texas Privet
Moraea bicolor	Yellow Fortnight Lily
Nandina domestica	Heavenly Bamboo
Nerium oleander 'Mrs. Roeding'	almon Oleander
Nerium oleander 'Petite'	Dwarf Oleander
Phornium tenax 'Bronze'	Bronze Flax
Pittosporum crassifolia 'Nana'	Dwarf Grey Pittosporum
Pittosporum tobria 'Variegatta'	Varigated Pittosporum
Pittosporum tobira	Mock Orange
Prunus caroliniana 'Brite n Tite'	Carolina Laurel Cherry
Raphilolepis indica spp.	India Hawthorne
Wisteria spp.	Wisteria
Xylosma congestum	Zylosma

f. Groundcovers

Groundcovers will be drought-tolerant species that can survive on minimal watering, once established. The palette includes groundcovers of various heights, colors, and textures.



<u>Botanical Name</u>	<u>Common Name</u>
Baccharis pilularis	Prostrate Coyote Bush
Coprosma kirkii	NCN
Cotoneaster 'Lowfast'	NCN
Drosanthemum floribunda	Rosea Iceplant
Ganzania 'Mitsuwa Yellow'	Trailing Gazania
Hedera helix 'Hahnii'	Hahn's Ivy
Malephora croceum	NCN
Myoporum 'Pacificum'	NCN
Pelargonium peltatum	Ivy Geranium
Rosmarinus prostrata	Creeping Rosemary
Santolina chamaecyparissus	Santolina
Sedum spp.	NCN

The use of native plant species not listed shall be subject to the approval of the City.

#### **D. FRONT YARD LANDSCAPING AND STREET TREES**

##### **1. Goals**

The following goals for front yard landscaping have been identified for Zone 20 Specific Plan:

- a. To create a visually-pleasing street scene.
- b. To provide groups of trees scattered randomly throughout all projects to mitigate distant views of rooftops from outside the community.
- c. To conserve water.

##### **2. Guidelines**

To accomplish these goals, the following guidelines shall be implemented:

- a. Provide front yard trees and street trees per the following schedule:

70 percent of homes within a single family detached development shall have one (1) 24" box tree and two (2) 15 gallon trees

planted in a clump in the front yard. These homes shall be randomly scattered throughout each project. Trees selected shall be suited to space available.

30 percent of homes shall have (1) 15 gallon tree planted in the front yard.

- b. 30 percent of these trees shall be selected from the theme palette, the remaining 70 percent from the accent palette. Trees shall be fast or moderately fast growing, with minimal invasive root problems. Additionally, trees shall not litter excessively or have a tendency to have brittle branches.
- c. All shrubs shall be selected from the accent palette, unless other species or are authorized by the City's landscape architect.

#### **E. COLLECTOR STREETS (NON-LOADED)**

##### **1. Goals**

The Zone 20 Specific Plan has identified the goal of creating visually pleasing landscaped corridors for Collector Streets in Planning Areas A and B.

##### **2. Guidelines**

The following guidelines shall be implemented to accomplish the landscape goals identified above:

- a. Since these collector streets are elements of high visibility, the trees and shrubs will be selected from the theme palette, to blend visually with the overall landscape "fabric" of the community. Accent trees and shrubs may be used at project entry points, if they occur along these corridors.
- b. Trees shall be planted within the planting strip between the curb and sidewalk (See Exhibit 17 on page 94), and behind the sidewalk, both within the right of way and on adjacent slopes, if any. The Parks and Recreation Department must approve all proposed tree planting within public rights of way. Average tree spacing shall be 30 feet on center, with a minimum of 20 feet and a maximum of 40 feet.

- c. Trees shall be selected as having a "vertical form", indicated by a "(v)" next to species name on the plant material palette.
- d. All plantings shall be selected and located to insure adequate site distance and other City circulation safety standards. Landscape elements over 30 inches in height will not be allowed at street corners within a triangular zone drawn from two points 25 feet from the beginning of curves and at the end of curves. (See Exhibit 17 on page 94 .)
- e. No lawn will be permitted within streetscape plantings, so as to conserve water.
- f. Project walls shall be planted with vines at 30 feet on center maximum spacing.
- g. Colorful planting accents shall be provided in the landscape design -select from the accent palette.

**F. SCENIC CORRIDOR ARTERIAL STREETS (Alga Road & Poinsettia)**

1. Goals

The following goals for Arterial Street landscaping have been identified for Zone 20 Specific plan.

- a. To provide major landscaping corridors, including planted medians, throughout the Specific Plan area, consistent with city-wide themes.

2. Guidelines

The following guidelines shall be implemented to accomplish the goals identified above:

- a. Street trees and planting shall be consistent with the City-side Scenic Corridor Study, and the City Landscape Guidelines Manual.

Street:	Alga Road	Poinsettia Lane
theme tree:	Canary Island Pine	Southern Magnolia
median tree:	Canary Island Pine	Southern Magnolia
support tree:	Eucalyptus and Pine Species	Flame Tree and Fire Wheel Tree

## G. LANDSCAPE BUFFER ZONE

### 1. Goals

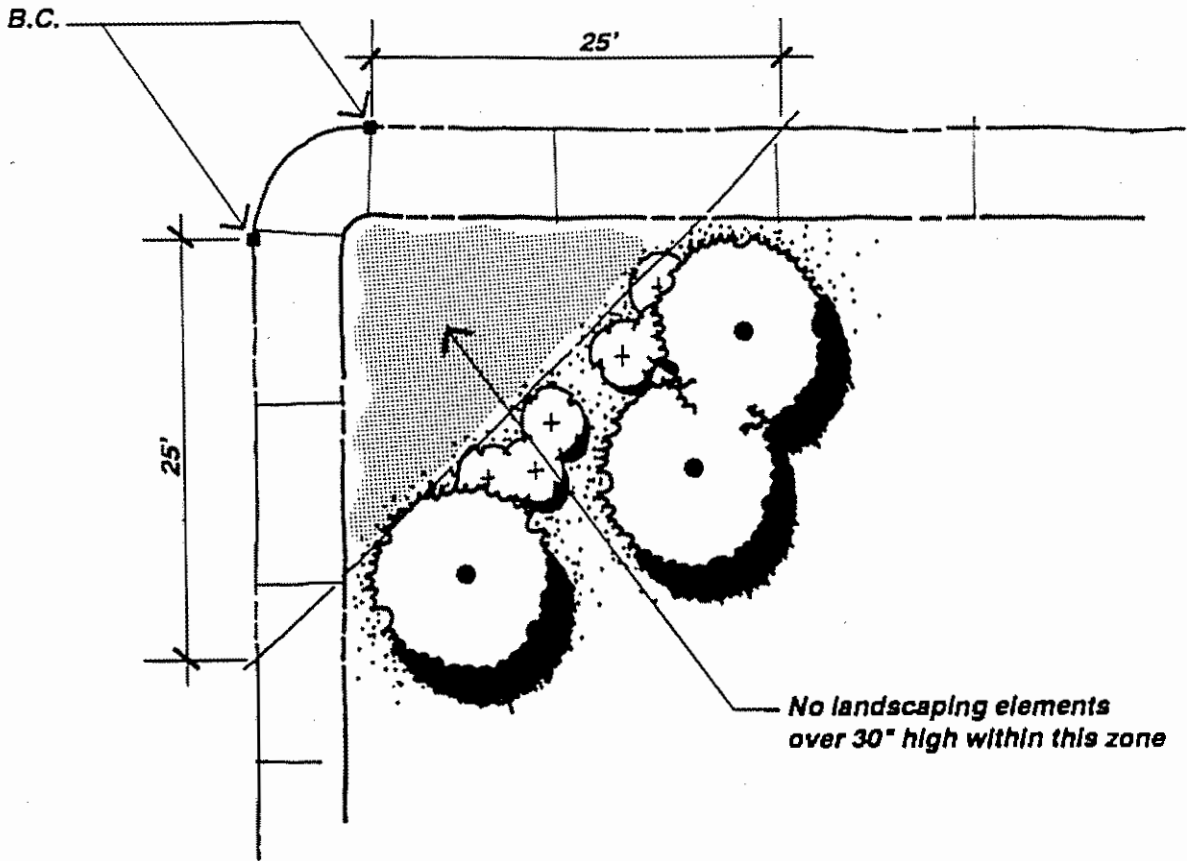
The following goals for Landscape Buffer Zone have been identified for Zone 20 Specific Plan.

- a. To create east-west visual relief from standard development patterns.
- b. This requirement applies to lots along the northerly and southerly property lines of parcel number 214-140-07 and 214-140-08, and lot along the southerly property line of parcel number 212-040-22.

### 2. Guidelines

The following guidelines shall be implemented to accomplish the goals identified above:

- a. The most rearward 10 of these lots shall be landscaped consistent with guidelines 2C and 2D for slope planting (if there are no slopes only H2C and H2D apply) and disturbed open space areas.
- b. These lots shall have minimum rear yard depths 10 feet greater than otherwise required.
- c. No more than 25 percent of the expanded area shall be used for garden-type structures, i.e. open patios, gazebos, and decks no higher than 12" above the ground.



## H. SLOPE PLANTING AND DISTURBED OPEN SPACE AREAS

### 1. Goal

The following goals for Slope Planting and Disturbed Open Space Areas have been identified for Zone 20 Specific Plan.

- a. To establish dense green bands throughout Planning Areas A & B.

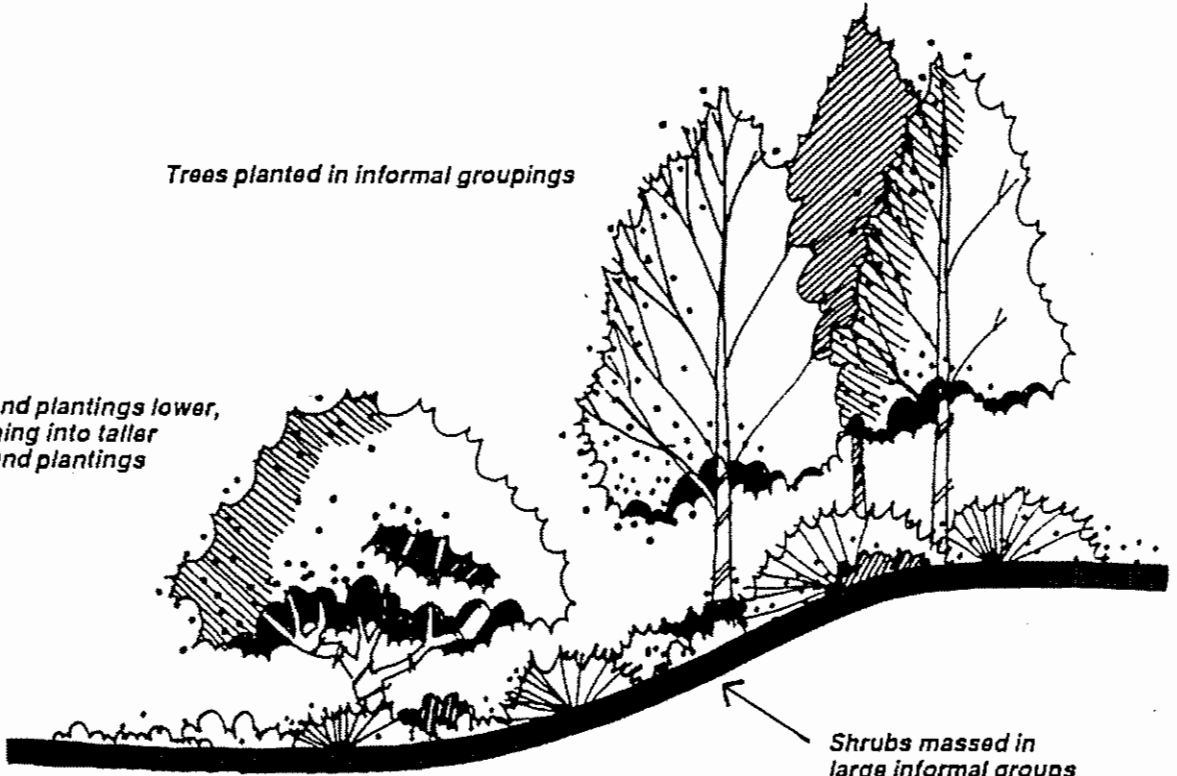
### 2. Guidelines

The following guidelines shall be implemented to accomplish the goals identified above:

- a. Slope plantings shall utilize the landform planting concept. (See Exhibit 19 on page 99. A contoured landform can be simulated on graded slopes through the use of specific landscaping techniques. In particular, the arrangement of plant material in a casual and random manner, incorporating varying heights, can create the effect of a horizontally and vertically undulating slope terrain. These natural groupings of plants will minimize the "constructed" qualities of slopes.
- b. Trees - 75 percent from the theme palette - 25 percent from accent palette.
- c. Not less than one (1) tree per 900 square feet average, minimum spacing 10 feet, maximum spacing 50 feet. Eucalyptus 1 and 5 gallon, all others 15 gallon minimum.
- d. One (1) large shrub or tree per 200 square feet average. Shrub sizes planted shall be in a minimum of 1 gallon in size and the ratio of: 1 gallon - 40 percent minimum, and 5 gallon - 40 percent minimum.
- e. Low spreading woody shrubs shall be planted from a minimum of 2 3/4 inch liters to cover a minimum of 70 percent of the slope face at mature size.
- f. Groundcovers shall be of a flatted material known to have excellent soil binding characteristics.

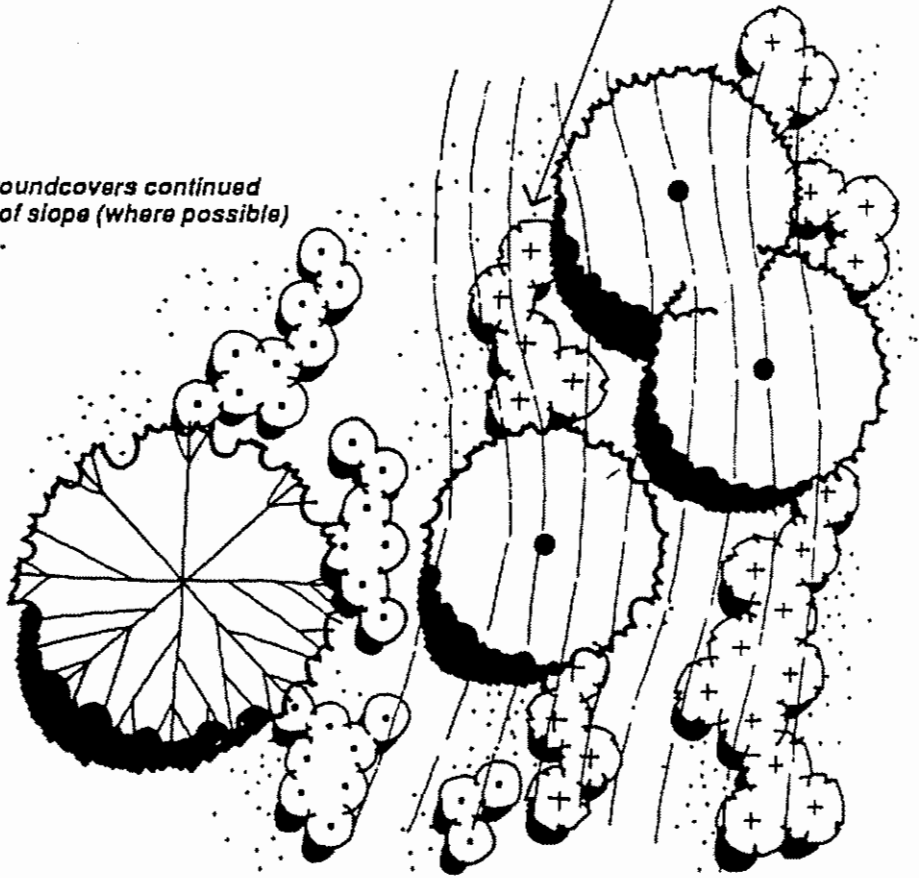
*Trees planted in informal groupings*

*Foreground plantings lower,  
transitioning into taller  
background plantings*



*Shrubs massed in  
large informal groups*

*Shrubs and groundcovers continued  
beyond limits of slope (where possible)  
to soften edge.*



- i. Interior slopes under 10 feet in vertical height - Flatted material selected from the accent palette.  
  
Cuttings - select from the accent palette.
- ii. Interior slopes 10 feet in vertical height - Flatted material and 1 gallon @ 10' oc. max. selected from the accent palette. Cuttings + 1 gal. @ 10' in vertical height oc. max. - select from the accent palette.
- iii. Major HOA maintained slopes visible from the surrounding community over 15 feet in vertical height - Flatted material and 1 gallon @ 10' oc. max. selected from the accent palette. Hydroseeding may be utilized in areas where re-vegetation of native species is required and the necessary species are commercially unavailable in container or flatted stock or the slopes are demonstrated to the satisfaction of the City to be too rocky for hand planting. Mix shall be from the theme palette.

## I. PROJECT ENTRIES

### 1. Goal

The following goals for Project Entries have been identified for Zone 20 Specific Plan.

- a. Project identity, accents, enhanced architectural treatments should emphasize the coastal location of the site.

### 2. Guidelines

The following guidelines shall be implemented to accomplish the goals identified above:

- a. Trees and shrubs shall be selected from the accent palette and shall be consistent throughout the project. Minimum tree size shall be 24" box.
- b. Plantings shall be consistent with the architectural character of the homes and the coastal location of Carlsbad.



## VIII. PLANNING AREAS

### A. INTRODUCTION

The Specific Plan has been divided into five Planning Areas. These planning areas generally group properties which share common features such as land use, circulation, topography, design criteria, and development goals. The planning areas do not represent anticipated phasing. Given the multiple ownership within the Specific Plan, phasing cannot be predicted. Development of individual properties will occur when public facilities exist or are provided to serve that property and when the respective property owner chooses to develop.

The multiple ownership within the Specific Plan also makes it difficult to establish housing type and density by Planning Area. The existing zoning primarily allows for single family detached housing. However, as developers typically respond to market demand, it is anticipated that at build out, a variety of housing types will exist in Zone 20 as the housing market shifts from one type to another.

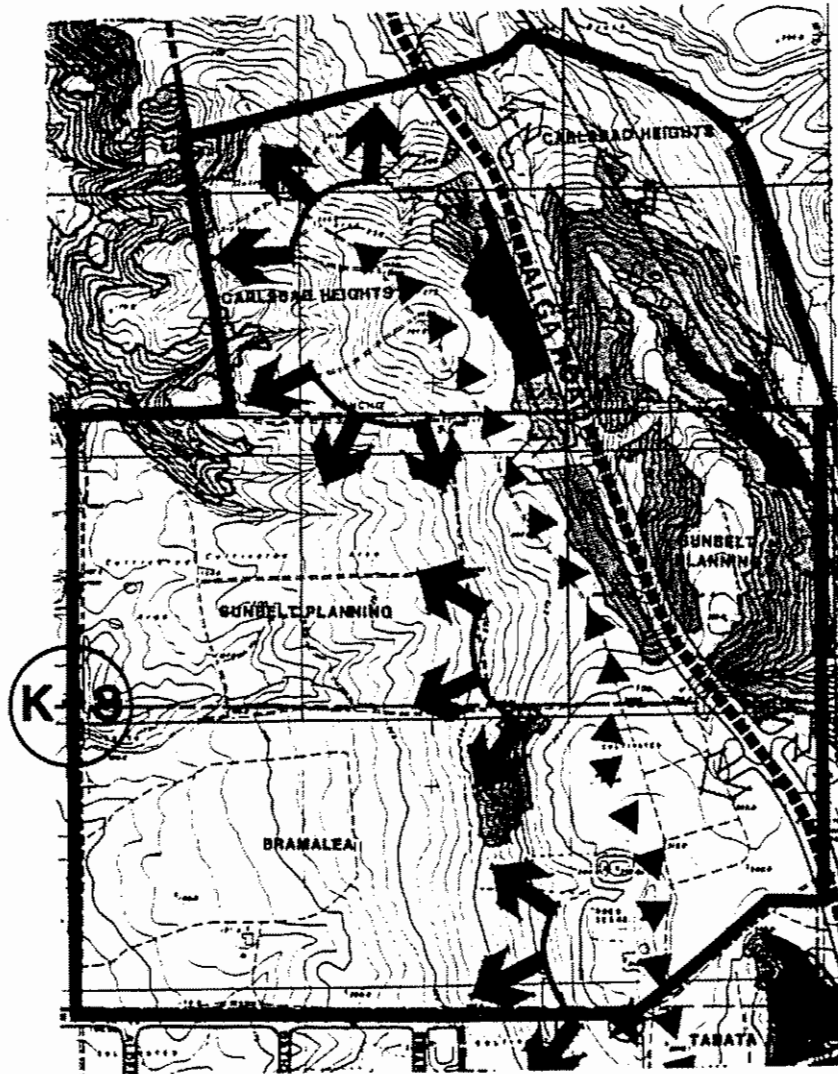
The purpose of these individual planning area chapters is to provide planning, circulation and open space information as well as special design criteria. This information should be utilized to guide and facilitate the development of these areas. As mentioned previously the goal of this Specific Plan is to encourage a variety of architectural styles and product types.

The boundaries of these Planning Areas have been established for planning purposes only. It is not the intent of this Specific Plan to suggest that each of the Planning Areas be developed as a distinct neighborhood. An individual tentative map may include property in two or more Planning Areas.







### B. PLANNING AREA A





#### 1. Description

Planning Area A is located north of Poinsettia Lane in the central portion of the Zone 20 Specific Plan, see Exhibit 19 on page 99. The future alignment of Alga Road runs through the easterly portion of Planning Area A. A north-south running ridge bisects this Planning Area. The vast majority of the Planning area west of the ridge consists of gentle slopes with a few areas of 25 percent slope. The gentle topography of this area does not create any constraints to the development of this portion of the Specific Plan.



**Legend**

-  Specific Plan Boundary
-  Major Circulation (existing alignment)
-  Major Circulation (with proposed intersections)
-  Panoramic Views
-  Major Ridgelines
-  K-8 School Site

-  Ownership Boundaries and Existing Residences
-  Slopes of 25%-40%
-  Slopes of 40% or Greater
-  Major Easements

**Note:**

1. A full-sized (1"=400') Opportunities and Constraints map will be included in this document.



A major portion of Planning Area A located east of the north-south running ridgeline consists of 25 percent and steeper slopes. Most of these slopes have been disturbed in the past although some appear to be covered with native vegetation. The grading required for the construction of the previously approved alignment of Alga Road will impact a portion of these 25 percent and greater slopes. A negative declaration for this grading was previously approved by the City of Carlsbad. This type of alteration of slopes is permitted by Carlsbad's Hillside Development Ordinance and the Mello II Local Coastal Plan to allow for the construction of arterial roadways.

Planning Area A is composed of the following four parcels:

Planning Area A Ownership

<u>Owner</u>	<u>APN</u>	<u>Acreage</u>	<u>Current Land Use</u>	<u>General Plan Designation</u>
Carlsbad Heights	212-040-41	54.03	Vacant	RLM/RM
Sunbelt Planning	214-140-07	68.56	Vacant	RLM/RM
Bramalea	214-140-42	66.57	Vacant	RLM/RM
Tabata	214-140-44	4.17	Agric.	RLM

2. Land Use Designations

a. General Plan

Planning Area A is composed of two General Plan Land Use Designations: RLM (Residential Low-Medium Density, 0-4 du/acre) and RM (Residential Medium Density, 4-8 du/acre). The north-south running ridge generally serves as the dividing line between these land uses.

b. Zoning

The portion of the Planning Area designated RLM by the General Plan is zoned R-1-10,000-Q. The westerly portion of the Planning Area which is designated RM by the General Plan is zoned RDM-Q.

c. Local Coastal Plan

Planning Area A falls entirely within Site II of the Mello II Segment of the Carlsbad Local Coastal Plan. Conversion of this area from agriculture to urban uses will require appropriate mitigation as specified in the Carlsbad Local Coastal Plan.

d. McClellan-Palomar Airport Comprehensive Land Use Plan

A portion of the Carlsbad Heights property, APN 212-040-22, falls within the boundaries of the McClellan-Palomar Airport Land Use Plan. All development in this area shall be in compliance with the requirements of that plan. Any development proposals in this area shall be submitted to the Airport Land Use Commission staff for their review concurrent with submittal to the City.

3. Permitted Uses

a. R-1-10,000-Q

Allowable uses for areas zoned R-1-10,000-Q shall be single family detached dwellings and associated accessory structures and permitted uses per Section 21.10 of the Carlsbad Municipal Code. The minimum lot size shall be 10,000 square feet. All development within areas zoned R-1-10,000-Q shall occur in conformance with the above regulations unless a Planned Development Permit per Section 21.45 of the Carlsbad Municipal Code is approved by the appropriate decision making body. Residential units meeting Affordable Housing criteria shall not be subject to the Planned Development regulations. All such units shall be approved through the Site Development Plan process. Per the underlying General Plan Designation of RLM, 0-4 du/ac and the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 3.2 dwelling units per net developable acre unless expressly approved by the City.

b. R-DM-Q

Allowable uses for areas zoned R-DM-Q shall be single family detached dwellings or multi-family attached dwellings, accessory structures and associated recreation areas. All development in these areas shall occur in conformance with the provisions of Section 21.24 of the Carlsbad Municipal Code (R-DM), and where applicable, the Site Development Plan review process.

Per the underlying General Plan Designation of RM, 4-8 du/ac and the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 6 dwelling units per net developable acre unless expressly approved by the City.

c. Split General Plan/Zoning Designations - Transfer of density

When a property contains more than one residential General Plan or Zoning designation, density may be transferred across boundaries subject to site development plan approval by the City Council. The aggregate number of units within the project shall not be permitted to exceed the maximum number of units that would have otherwise been permitted on the site, including any affordable housing provisions.

4. Circulation

The established alignment of Alga Road, a 102' wide major arterial, lies within Planning Area A and provides north-south access between Palomar Airport Road and Poinsettia Lane. Access from Alga Road will be limited per the City's Intersection Spacing Standards. These standards require a minimum of 1,200' between intersections on major arterials, such as Alga Road.

One of these intersections has already been fixed by the alignment of Cobblestone Road in the northerly portion of Planning Area A. This alignment was fixed by the previously approved project Cobblestone Sea Village, CT 84-32(A). The section intersection would be created by the easterly extension of Camino de las Ondas. This street exists along the southerly edge of Planning Areas A and B. If it were extended along its existing alignment it would intersect Alga Road too close to the intersection of Alga Road and Poinsettia Lane. The Specific Plan proposes to align Camino de las Ondas to the north so that it intersects Alga Road approximately 1200' north of the Alga Road/Poinsettia Lane intersection.

The alignment of Hidden Valley Road north of Palomar Airport Road has tentatively been fixed by previously approved industrial projects. The Specific Plan proposes to extend Hidden Valley Road south of Palomar Airport Road to Camino de las Ondas to provide adequate access to the westerly portion of the Specific Plan. Hidden Valley Road is designated as a secondary arterial north of Palomar Airport Road to accommodate large volumes of non-residential traffic. It will be developed as a two-lane residential collector south of Palomar Airport Road. Hidden Valley Road will enter the Specific Plan through a natural canyon which bisects the Kelly property. Hidden Valley Road will generally be aligned along the property line between the Alta Mira Park property, APN 214-040-39, and the Sunbelt property, APN 214-140-07.

Based on the existing and proposed alignments for major arterials and residential collectors an internal circulation system has been proposed for Planning Area A as shown on Exhibit 13 on page 73. This internal circulation system could be subject to modification as detailed tentative maps are processed for this area, however, it should encourage the connection of circulation roads between subdivisions, as shown on Exhibit 13 on page 73. Any revisions shall be based on project specific traffic analyses submitted as a part of each project's development application process.

5. Open Space/Trails

The 150 foot wide, SDG&E Easement crosses the northeast corner of Planning Area A. This easement offers an opportunity to provide a variety of open space amenities. At minimum, a pedestrian trail constructed of decomposed granite shall be provided concurrent with development. This trail shall be designed to tie into a Citywide Open Space/Trail system. This easement also offers the opportunity to install a desiltation/detention basin recommended by the Zone 20 Master Drainage Plan completed by Rick Engineering dated July 6, 1990 at the lower end of the adjacent canyon north Cobblestone Drive crosses the canyon.

6. Special Design Criteria

The following specific guidelines shall be incorporated in this planning area:

- a. An average 50 foot setback from Alga Road shall be provided concurrent with development. This area shall be landscaped and could incorporate separated pedestrian and bicycle trails where topography permits.
- b. The portions of the Carlsbad Heights property, APN 212-040-22, which fall within the McClellan-Palomar Airport Comprehensive Land Use Plan shall comply with all requirements specified in that Plan.
- c. All portions of Planning Area A impacted by noise from Palomar Airport, Alga Road or Poinsettia Lane shall comply with the mitigation requirements of the City of Carlsbad Noise Policy.
- d. The north-south running ridge that bisects the property offers the opportunity for panoramic ocean views. There is also some

opportunity for back country views from the easterly side of this ridge.

- e. The Carlsbad Unified School District is interested in obtaining a parcel for a school site. Currently this is a "floating site" as it could occur anywhere in the Specific Plan Area. This site should be developed so that it will not adversely impact existing and future residential uses in this vicinity. This will require the School District and adjacent property owners to coordinate their site planning.
- f. Development in Planning Area A will be highly visible from existing development adjacent to Paseo del North and Camino de las Ondas. Landscaping shall be used to foster an open feeling between adjacent projects to avoid creating the appearance of a solid sea of roofs. To offset these potential impacts, the following program shall be implemented for Planning Area A:

- i. Enhanced Street Tree Planting

Tree planting along the residential collector streets identified on Exhibit 13 shall provide as minimum 15 gallon specimens.

It should be noted that the alignment shown for these streets is conceptual. The exact alignment of these streets shall be determined through the review of individual projects.

- ii. Open Space Corridors

The Zone 20 Specific Plan provides for the development of a portion of the proposed Citywide trail system as shown on Exhibit 10 on page 56. As discussed in detail in the Open Space Chapter of this Specific Plan, the proposed alignments are conceptual and the exact locations have not been determined at this time. This trail system is anticipated to be for public use.

Additional open space corridors may be provided as the individual properties are developed. Wherever possible these corridors should be designed to tie into the larger open space corridors of the Zone 20 Specific Plan. The planting in these corridors shall be in accordance with the City Landscape Guidelines Manual. All open space corridors and trails shall not be open to the general public until the City establishes a Citywide Open Space

Maintenance District to assume maintenance and liability responsibility for the trail network.

iii. Enhanced Slope Plantings

All slopes within Planning Area A, not subject to either (a) or (b) above, shall be heavily planted with groups of four to five 15 gallon specimen trees placed throughout the length of the slope in a manner which preserves views from residences above as shown on Exhibit 19. The trees shall be selected from the species identified in section VII. C of this plan and shall be compatible with the overall landscape theme for the individual development.

iv. Variation of Roof Colors

Prior to issuance of any building permits for any residential development within Planning Area A, a list of proposed roof materials and samples shall be submitted for the review and approval of the Planning Director. Materials shall provide a wide dark to light spectrum. Orange, Spanish barrel type tiles are discouraged unless it can be shown that their use in conjunction with other elements meet the objectives of breaking up the visual appearance of the development to the satisfaction of the Planning Director.

- g. The Sunbelt property APN 214-140-07 is adjacent to a potential 42 acre City park. The developers of this property shall consult with the City to ensure that the design of this project adequately buffers future residents from the impacts of the City's park. Purchasers of units in this project shall be made aware that they are buying homes adjacent to a future City park.

**C. PLANNING AREA B**

1. Description

Planning Area B is located in the western portion of the Specific Plan between Paseo del North and Planning Area A, see Exhibit 20 on page 107. There are two north-south running canyons; one located on the western edge of the McReynolds property, APN 211-040-14, and the City owned park property, the other canyon is located on the Kelly property,



APN 212-010-32. The remainder of the property in Planning Area B is relatively flat and has been disturbed by agricultural operations.

The City of Carlsbad currently owns 42 acres in Planning Area B which will be used for the future Alta Mira Park.

The City is currently reviewing its General Plan for school site locations.

The Carlsbad Unified School District is interested in a potential future elementary school site within Zone 20 Specific Plan. Presently this is a "floating site" and could occur anywhere within Zone 20 Specific plan Area subject to approval by the Carlsbad Unified School District and the State of California.

Planning Area B is composed on the following seven parcels:

#### Planning Area B Ownership

<u>Owner</u>	<u>APN</u>	<u>Acreage</u>	<u>Current Land Use</u>	<u>General Plan Designation</u>
Abada	214-140-40	28.35	Vacant	RM/OS
City of Carlsbad	214-300-09	6.00	Vacant	OS
City of Carlsbad	214-140-39	6.00	Vacant	OS
Kelly	212-040-32	49.36	Agric.	RM
Kramer	214-040-41	0.71	SFR	RM
McReynolds	211-040-14	34.30	Vac/Ag	RM/OS
City of Carlsbad	214-140-09	30.00	Vacant	RM

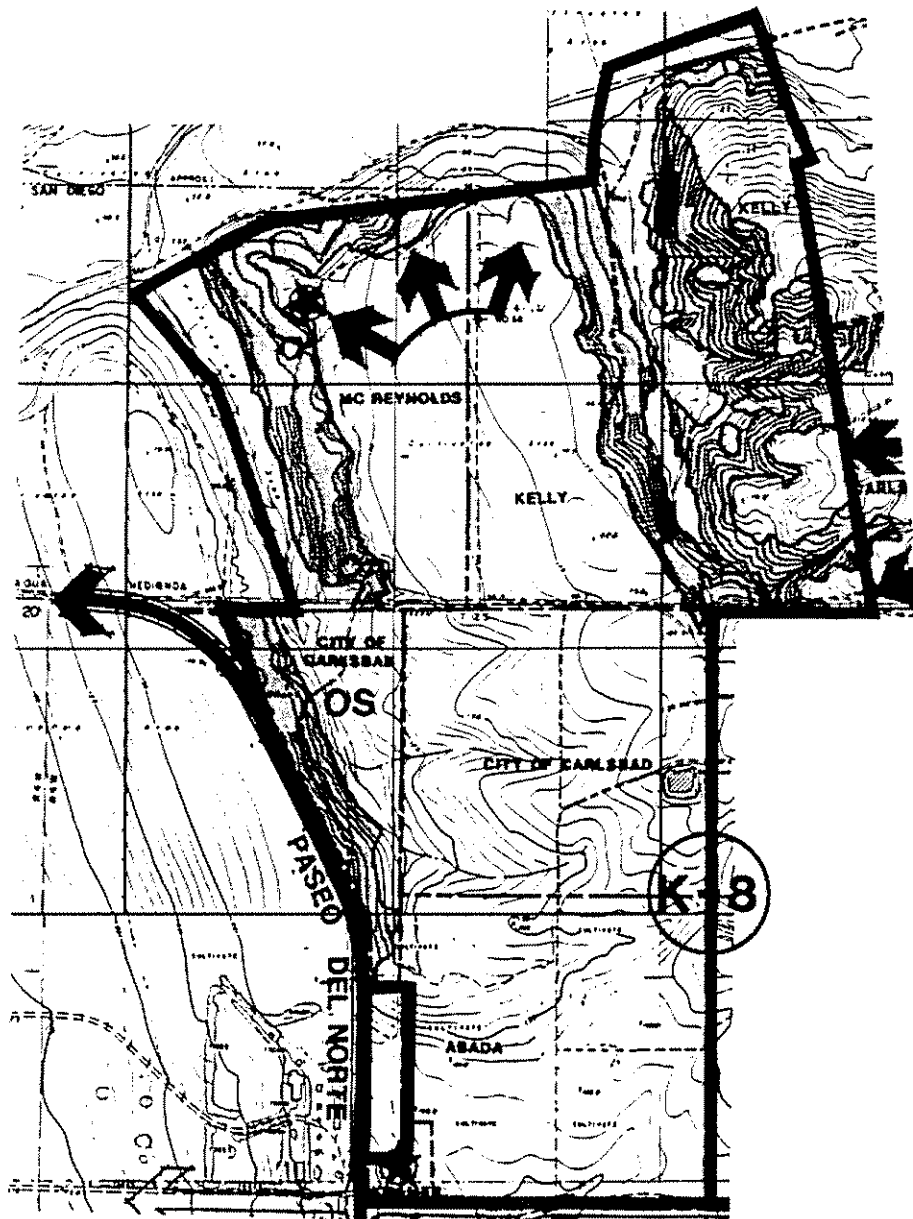
## 2. Land Use Designations

### a. General Plan

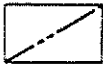
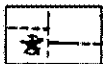
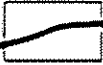

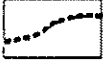
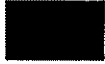

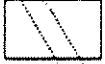
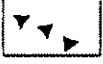

Planning Area B is composed of two General Plan Land Use Designations. The City owned property and a portion of the McReynolds property are designated OS (Open Space) and the remainder of the planning area is designated RM (Residential Medium Density, 4-8 du/acre).

### b. Zoning

The Kelly property is zoned RD-M and the remaining area in Planning Area B is zoned P-C (Planned Community).



**Legend**

- |   |   |   |  |
|---|---|---|--|
|  | Specific Plan Boundary                          |    | Ownership Boundaries and Existing Residences |
|  | Major Circulation (existing alignment)          |    | Slopes of 25%-40%                            |
|  | Major Circulation (with proposed intersections) |    | Slopes of 40% or Greater                     |
|  | Panoramic Views                                 |    | Major Easements                              |
|  | Major Ridgelines                                | <b>Notes:</b>   |  |
|  | K-8 School Site                                 | 1. School sites are general. Actual locations will be identified as development plans are considered by the City and the School District. |  |
|   |   | 2. A full-sized (1"=400') Opportunities and Constraints map will be included in this document.  |  |



c. Local Coastal Plan

All of Planning Area B falls within Site II of the Mello II Segment of the Carlsbad Local Coastal Plan with the exception of the Kramer property, APN 214-140-41. Conversion of property within Site II from agriculture to urban uses will require appropriate mitigation as specified in the Carlsbad Local Coastal Plan and this Specific Plan.

d. McClellan-Palomar Airport Comprehensive Land Use Plan

Portions of the McReynolds property, APN 211-040-14, and the Kelly property, APN 212-040-32, fall within the Airport Influence Area. All development in this area shall be in compliance with the requirements of the McClellan-Palomar Airport Comprehensive Land Use Plan. Any development proposals in this area shall be submitted to the Airport Land Use Commission staff for their review concurrent with submittal to the City.

3. Permitted Uses

a. R-DM-Q

Allowable uses for areas zoned R-DM-Q shall be single family detached dwellings or multi-family attached dwellings, accessory structures and associated recreation areas. All development in these areas shall occur in conformance with the provisions of Section 21.24 of the Carlsbad Municipal Code (R-DM).

Per the underlying General Plan Designation of RM, 4-8 du/ac and the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 6 dwelling units per net developable acre unless expressly approved by the City.

b. PC

The permitted uses and base regulations for property zoned P-C are detailed in Chapter 21.38 of the Carlsbad Municipal Code. Projects within this area shall be developed per the Planned Development Ordinance, Chapter 21.45 of the Carlsbad Municipal Code.

Planned development ordinance requirements shall not apply to rental and affordable housing projects located within this area. All rental and affordable housing projects shall be subject to the site development plan approval process.

The Planned Development Standards may be waived by the decision making body for an ownership project as an incentive for the production of affordable housing.

4. Circulation

As discussed in Planning Area A, Hidden Valley Road will extend from Palomar Airport Road south to Camino de las Ondas. Hidden Valley Road will provide the primary access to Planning Area B as access from Paseo del Norte is precluded by topography and the siting of existing and proposed park lands.

Access to the various properties within Planning Area B will be provided by local streets intersecting Hidden Valley Road. Local circulation should be designed to encourage connections between subdivisions.

5. Open Space/Trails

A trail system could be established in this area. This trail would run north-south and connect the future City park on the Sherman property with the industrial corridor adjacent to Palomar Airport Road as well as future residential development on the Kelly property.

The recently approved Report of the Citizen's Committee for the Review of Carlsbad's Open Space Plan and Programs contained a map which recommended establishing a trail along the westerly edge of Planning Area B. This trail could be located within the area designated as OS (Open Space) by the City of Carlsbad's General Plan. This trail would provide a north-south link through the Specific Plan area, linking the future City park, future elementary school, residential development in Zone 20 and existing residential development to the south.

6. Special Design Criteria

The following specific guidelines shall be incorporated into this planning area:

- a. Properties which fall within the McClellan-Palomar Airport Influence Area (e.g., McReynolds and Kelly) shall comply with all requirements of the McClellan-Palomar Airport Comprehensive Land Use Plan.
- b. The City of Carlsbad has recently obtained assessor's parcel number (APN) 214-140-09 to add to the 12 acres they already owned to create a 42 acre community park. The City park developed on this property shall

be designed so that it does not adversely impact future residential properties to the north and east. This will require the City to coordinate its park planning with adjacent property owners. Special care shall be taken to ensure that noise, traffic and lights do not adversely impact adjacent properties. The park should also be designed with adequate parking and access that will not adversely impact adjacent residential areas.

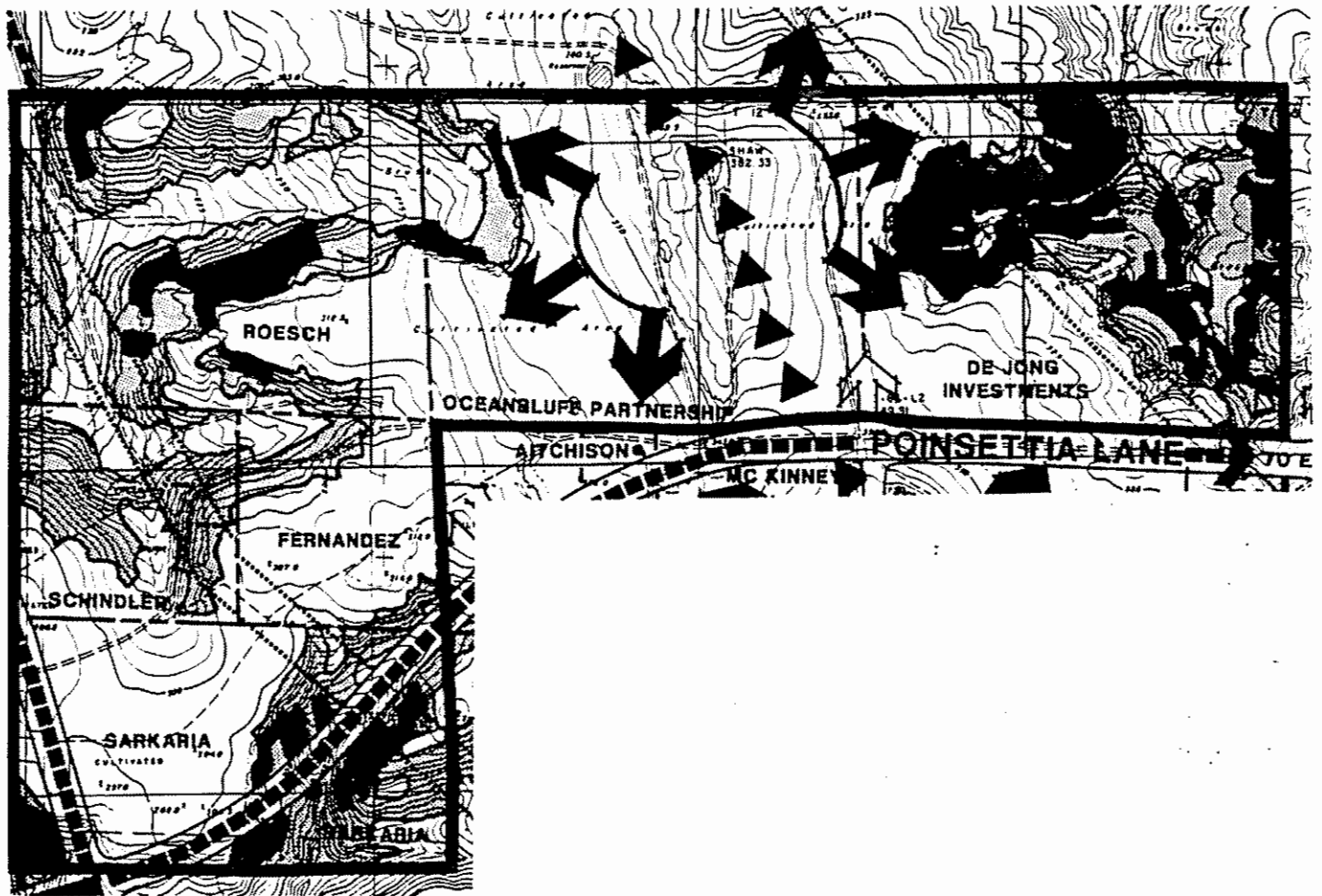
- c. The McReynolds property APN 214-040-14, Abada property APN 214-140-40 and the Kelly property APN 214-040-39 are adjacent to a potential 42 acre City park. The developers of these properties shall consult with the City to ensure that the design of these projects adequately buffers future residents from the impacts of the City's park. Purchasers of units shall be made aware that they are buying homes adjacent to a future City park.
- d. The bluff in the northern section of Planning Area B offers the opportunity for ocean views.
- e. Similar to Planning Area A, development in Planning Area B will be highly visible from existing development adjacent to Paseo del Norte and Camino de las Ondas. Landscaping shall be used to foster an open feeling between adjacent projects to avoid creating the appearance of a solid sea of roofs. These landscaped areas may be closed to public access.
- f. Development in Planning Area B shall be designed to be compatible with the existing residential properties to the south and west.

#### **D. PLANNING AREA C**



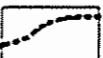

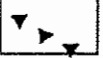

##### **1. Description**

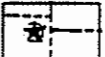


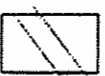
Planning Area C is generally located east of Alga Road and north of Poinsettia Lane, see Exhibit 21 on page 111. Planning Area C contains a variety of topography including 25 percent and greater slopes which create both constraints as well as open space opportunities. The 150' wide SDG&E easement also serves as both an opportunity and constraint in Planning Area C. Parts of Planning Area C have been disturbed as the result of agricultural operations.

A north-south running ridge generally divides this Planning Area offering view opportunities to the west and east.



**Legend**

-  Specific Plan Boundary
-  Major Circulation (existing alignment)
-  Major Circulation (with proposed intersections)
-  Panoramic Views
-  Major Ridgelines
-  K-8 School Site

-  Ownership Boundaries and Existing Residences
-  Slopes of 25%-40%
-  Slopes of 40% or Greater
-  Major Easements

**Note:**

1. A full-sized (1"=400') Opportunities and Constraints map will be included in this document.



Planning Area C is composed of the following six parcels:

Planning Area C Ownership

<u>Owner</u>	<u>APN</u>	<u>Acreage</u>	<u>Current Land Use</u>	<u>General Plan Designation</u>
Roesch	215-070-15	29.53	Vac/Ag	RLM
Schindler	215-070-13	10.08	Vacant	RLM
Fernandez	215-070-14	10.09	Agric.	RLM
Sarkaria	215-070-12	20.17	Agric.	RLM
Ocean Bluff	215-070-16	31.05	Agric.	RLM
DeJong	215-080-01	32.90	Vac/Ag	RLM

2. Land Use Designations

a. General Plan

Planning Area C is designated RLM (Residential Low-Medium Density, 0-4 du/acre).

b. Zoning

Planning Area C is currently zoned L-C (Limited Control). When the various property owners, collectively or separately, are ready to develop, the properties will need to be rezoned to R-1, consistent with their underlying General Plan designation of RLM. This rezoning can occur concurrently with or prior to development.

c. Local Coastal Plan

Planning Area C falls within Site III of the Mello II Segment of the Carlsbad Local Coastal Plan with the exception of the Roesch property, APN 215-070-15. Conversion of the property within Site III from agriculture to urban uses will require appropriate mitigation as specified in the Carlsbad Local Coastal Plan.

3. Permitted Uses

The permitted uses and base regulations for property zoned L-C are detailed in Section 21.39 of the Carlsbad Municipal Code and allows those uses permitted in the E-A zone, Carlsbad Municipal Code Section 21.07.

When the property is ready to be developed, based on the current underlying General Plan designation of RLM, the appropriate zoning for Planning Area C would be R-1 (Residential Single Family). The R-1 zone allows for single family detached homes and associated structures. Clustered and/or multifamily structures may be permitted to meet City requirements related to affordable housing subject to site development plan approval.

4. Circulation

Direct access to Planning Area C will be provided by Poinsettia Lane. Per the City's intersection spacing standards, there will be two intersections on Poinsettia Lane between Alga Road and the eastern boundary of the Specific Plan. These future intersections are identified in Exhibit 21 on page 111. A third intersection with Poinsettia Lane will occur just east of the Zone 20 boundary on property included in the Aviara Master Plan. Access to this off site street may be permissible.

The preferred alignment for Poinsettia Lane is shown in the alignment study contained in the Zone 20 Program Environmental Impact Report and the Local Facilities Management Plan. The design of the portion of Poinsettia lane shall be completed in accordance with the requirements of the City Engineer and shall comply with all requirements of the Zone 20 Program Environmental Impact Report. The cost of designing the road shall be reimbursable through the fee program established in the Local Facilities Management Plan for Zone 20.

Alga Road will not provide direct street access to Planning Area C given the topography and the City's intersection spacing policy. Indirect access shall be provided on the western end of Planning Area C by the extension of Camino de las Ondas and Cobblestone Road.

The internal alignment of streets within Planning Area C will be determined as future development proposals are submitted. It should be noted, however, that a direct connection between the Ocean Bluff and Cobblestone projects has been established by previous approval of the Cobblestone Sea Village Map (CT 84-32A, Resolution# 89-354, AB# 10,292). Internal alignments should encourage connections between subdivisions.

5. Open Space/Trails

Pockets of isolated, environmentally constrained areas are identified on the City's Open Space Map, see Exhibit 10 on page 56. Some of these



isolated pockets of slope are in the middle of otherwise developable property. The City of Carlsbad's Growth Management Ordinance and Open Space program provide developers with the flexibility to eliminate these isolated areas if they are replaced with open space of equal or greater quality and quantity.

As in Planning Area A, the 150' wide, SDG&E easement offers an opportunity to provide a variety of open space amenities. At minimum, a pedestrian trail constructed of decomposed granite shall be provided concurrent with development. This trail shall be designed to tie into a Citywide Open Space/Trail system. Any trail system or landscaping proposed in this area shall comply with the requirements of SDG&E and be compatible with the possible use of this area for sewer purposes as discussed in Section VI.

The average 50 foot landscaped setbacks along Alga Road and Poinsettia Lane will provide additional open space within Planning Area C.

6. Special Design Criteria

- a. An average 50 foot setback from Alga Road and Poinsettia Lane shall be provided concurrent with development. This setback shall be landscaped and have separated pedestrian and bicycle trails where topography permits.
- b. The north-south running ridge that bisects Planning Area II offers ocean view opportunities to the west and back country views to the east.

E. **PLANNING AREA D**

1. Description

Planning Area D is generally located south of Poinsettia Lane, and west of Alga Road, see Exhibit 22 on page 116. There is a north-south running ridge which offers ocean views to the west. The topography of Planning Area D is predominantly characterized by gentle slopes which have been in agricultural operations. There are small pockets of 25-40 percent slope which were manufactured as the result of these agricultural operations. On the east the Planning Area is separated from the Aviara Master Plan by slopes of 25 percent or greater.

The extension of Poinsettia Lane has been constructed through Planning Area D and will serve as a constraint to development in this area. There will be one intersection approximately 1000' west of the Poinsettia Lane/Alga Road

intersection. Although below the City's intersection spacing standards, this location is fixed by the existing intersection of Poinsettia Lane and Snapdragon Drive. This is "T" intersection providing access only to the properties to the south of Poinsettia. Properties on the north side of Poinsettia will be accessed through street connections off of the extension of Camino de las Ondas. This arrangement will eliminate major grading and slope construction for property which can logically be served by alternate routes.

Planning Area D is surrounded on two sides by existing residential development. There are attached multi-family developments to the west and detached single family dwellings to the south. Future development within Planning Area D should be planned to be compatible with these surrounding land uses.

Planning Area D is composed of the following eleven parcels:

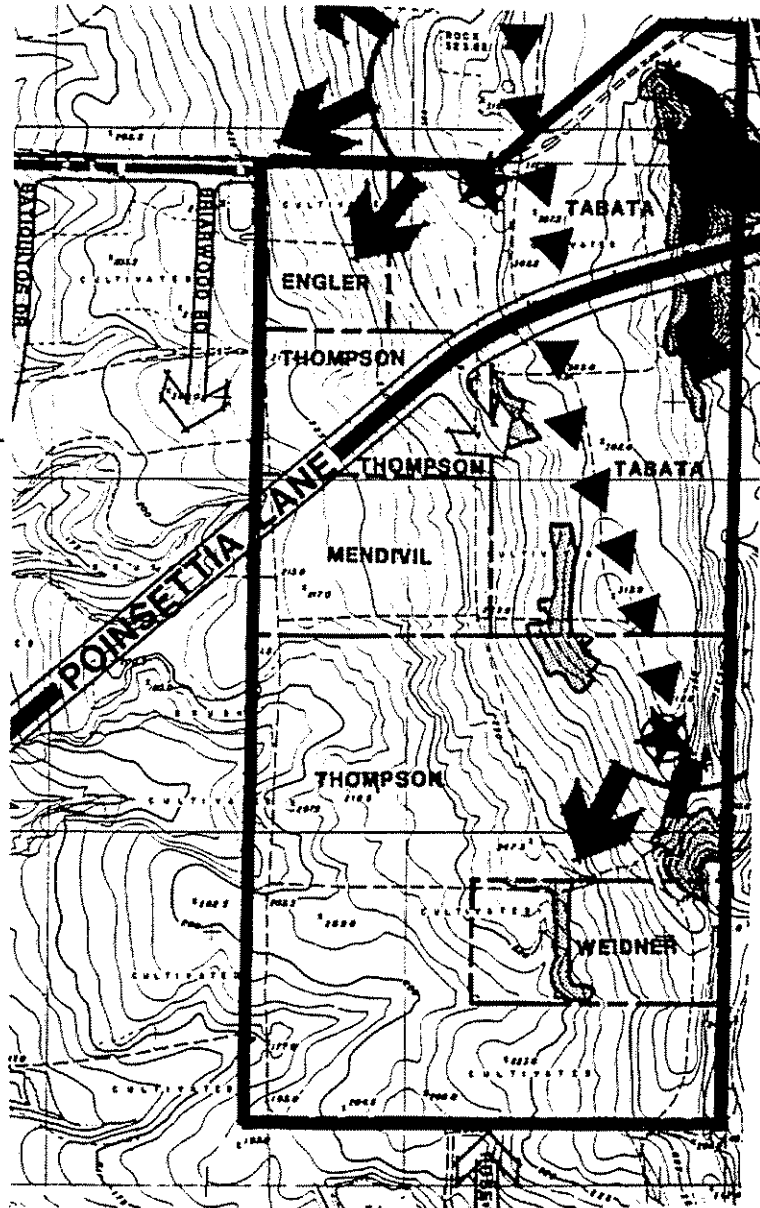
#### Planning Area D Ownership

<u>Owner</u>	<u>APN</u>	<u>Acreage</u>	<u>Current Land Use</u>	<u>General Plan Designation</u>
Engler	214-170-58	2.16	Vacant	RM
Engler	214-170-59	1.65	Vacant	RM
Mendivil	214-170-73	7.13	Vacant	RM
Tabata	214-170-72	1.10	Vacant	RM
Tabata	214-170-74	21.22	Agric.	RLM
Tabata	214-170-54	1.30	SFR	RLM
Thompson	214-140-75	7.50	Vacant	RM/RLM
Thompson	214-170-47	5.00	Greenhouse	RM/RLM
Weidner	214-170-46	5.40	SFR	RM/RLM

## 2. Land Use Designations

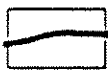
### a. General Plan

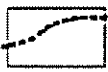
Planning Area D is composed of two General Plan Land Use Designations: RLM (Residential Low-Medium Density, 0-4 du/acre) on the east side of the Planning Area and RM (Residential Medium Density, 4-8 du/acre) on the west side. The ridge line, which generally follows property lines, serves as the dividing line for land use designations with the exception of a 2.9 acre area generally located north of Poinsettia Lane and west of the ridge, which shall have a General Plan Land Use designation of RLM where topographic constraints justify development at a lower density (see Exhibit 3 – General Plan, Page 7).



**Legend**


 Specific Plan Boundary


 Major Circulation  
(existing alignment)

 Major Circulation  
(with proposed intersections)

 Panoramic Views

 Major Ridgelines

 K-8 School Site

 Ownership Boundaries  
and Existing Residences

 Slopes of 25%-40%

 Slopes of 40% or Greater

 Major Easements

**Note:**

1. A full-sized (1"=400') Opportunities and Constraints map will be included in this document.



b. Zoning

Planning Area D is currently zoned L-C (Limited Control). When the various property owners, collectively or separately, are ready to develop, the properties will need to be rezoned to be consistent with the underlying General Plan designation (i.e., R-1 for property designated RLM and RD-M for property designated RM). This rezoning can occur concurrently with or prior to development.

c. Local Coastal Plan

All of Planning Area D is within the Mello II Segment of the Carlsbad Local Coastal Plan. Approximately three-fourths of Planning Area D is within Site III of the Mello II Segment. The five parcels located in the northwest quadrant of Planning Area D have not been in agriculture and therefore were not included in the Coastal Agricultural Overlay Zone. Conversion of property within Site III from agriculture to urban uses will require appropriate mitigation as specified in the Carlsbad Local Coastal Plan.

3. Permitted Uses

The permitted uses and base regulations for property zoned L-C are detailed in Section 21.39 of the Carlsbad Municipal Code and allows those uses permitted in the E-A zone, Carlsbad Municipal Code Chapter 21.07.

When the property on the east side of Planning Area D is ready to be developed, either collectively or individually, the property designated RLM will be zoned R-1 prior to or at the time of development. The permitted uses and base regulations for property zoned R-1 are detailed in Section 21.10 of the Carlsbad Municipal Code and generally allows for single family detached dwellings and associated accessory structures. Per the underlying General Plan Designation of RLM, 0-4 du/ac and the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 3.2 dwelling units per net developable acre unless expressly approved by the City. Clustered and/or multifamily structures may be permitted to meet City requirements related to affordable housing subject to site development plan approval.

Prior to or concurrent with development of the property on the west side of Planning Area D, either collectively or individually, the property designated RM will likely be zoned RD-M. The permitted uses and base regulations for property zoned RD-M are detailed in Section 21.24 of the Carlsbad Municipal Code and generally allows for single family detached dwellings or multi-family attached dwellings, accessory structures and

associated recreation areas. Per the underlying General Plan Designation of RM, 4-8 du/ac and the City of Carlsbad's Growth Management Ordinance, density in this area shall not exceed 6 dwelling units per net developable acre unless expressly approved by the City. Clustered and/or multifamily structures may be permitted to meet City requirements related to affordable housing subject to site development plan approval.

4. Circulation

Poinsettia Lane, a 102' wide major arterial, stretches across the northern half of Planning Area D. Construction of this reach has been completed. Poinsettia Lane will ultimately provide east-west access between Interstate 5 and El Camino Real.

Properties within Planning Area D will be served by the extension of Rose Drive, a north-south collector. Rose Drive currently exists on the south of the Specific Plan area within the Spinnaker Hill development. The future alignment of Rose Drive will follow the property lines down the middle of Planning Area D and intersect Poinsettia Lane approximately 1000' west of the Poinsettia Lane/Alga Road intersection. Although this configuration does not meet the City's intersection spacing standards, it is the best available location given the existing intersection of Poinsettia Lane and Snapdragon Drive.

Additional east-west through streets are precluded in Planning Area D given topography and existing development to the west.

5. Open Space/Trails

The average 50 foot landscaped setbacks along Poinsettia Lane provides a passive visual open space amenity within Planning Area D. Given the difference in elevation between Poinsettia Lane and the existing grade (approximately 30 feet), a separated bike or pedestrian trail cannot be accommodated in this area.

6. Special Design Criteria

- a. An average 50 foot, landscaped setback from Poinsettia Lane shall be provided concurrent with development.
- b. The north-south running ridge in the eastern half of Planning Area D offers ocean view opportunities. There is also some opportunity for back country views from the easterly side of this ridge.

- c. The Carlsbad Unified School District is interested in obtaining a parcel for a school site. Currently this is a "floating site" as it could occur in Planning Area D or A. This site should be developed so that it will not adversely impact existing and future residential use in the vicinity. This will require the School District and adjacent property owners to coordinate their site planning efforts.
- d. Development proposals adjacent to existing neighborhoods should be designed to ensure compatibility of adjacent land uses.

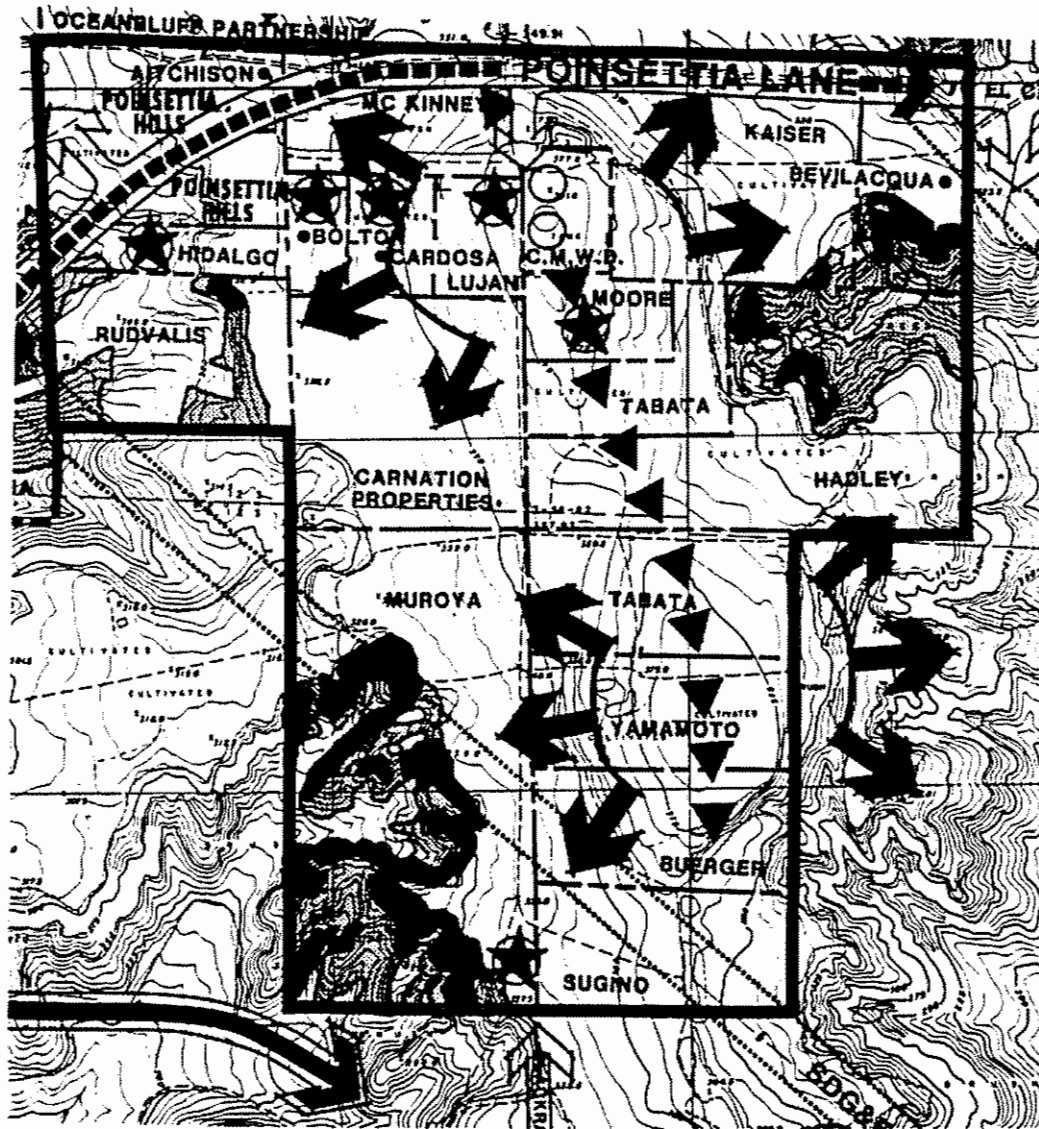
**F. PLANNING AREA E**

1. Description

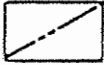
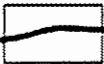
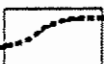

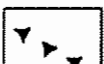
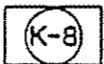
Planning Area E is generally located south of Poinsettia Lane and east of Alga Road. A north-south running ridge divides the planning area and provides ocean views to the west and back country views to the east. There are two canyons in Planning Area E, one located in the southwest corner on the Muroya property, APN 215-040-03 and one on the eastern edge on the Kaiser, Nelson and Hadley properties. See Exhibit 23 on page 120.




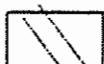
The 150 foot wide SDG&E easement crosses the southwestern corner of the Planning area and will serve as both a constraint and open space opportunity. There are two water tanks located near the high point of the planning area and additional tanks will be constructed in this area.

Planning Area E is composed of 24 parcels ranging in size from 0.5 to 20 acres. For that reason, Planning Area E is the most difficult area to plan. Portions of the area are currently in horticultural greenhouse and field crop production.



**Legend**

-  Specific Plan Boundary
-  Major Circulation (existing alignment)
-  Major Circulation (with proposed intersections)
-  Panoramic Views
-  Major Ridgelines
-  K-8 School Site

-  Ownership Boundaries and Existing Residences
-  Slopes of 25%-40%
-  Slopes of 40% or Greater
-  Major Easements

**Note:**

1. A full-sized (1"=400') Opportunities and Constraints map will be included in this document.



Planning Area E is composed of the following twenty-four parcels:

Planning Area E Ownership

<u>Owner</u>	<u>APN</u>	<u>Acreage</u>	<u>Current Land Use</u>	<u>General Plan Designation</u>
Aitchison	215-070-18	1.00	Vacant	RLM
Nelson	215-080-04	5.17	Vacant	RLM
Bolton	215-070-23	0.68	Agric.	RLM
Bolton	215-070-24	0.51	SFR	RLM
Poinsettia				
Hills Partners	215-070-19	7.09	GR/HSE/VA	RLM
Buerger	215-040-08	2.53	Argric	RLM
Buerger	215-040-10	2.52	Green Hse	RLM
Cardosa	215-070-08	1.80	SFR	RLM
Carnation	215-070-06	10.05	Green Hse	RLM
CMWD	215-080-05	2.65	Water Tank	RLM
Hadley	215-080-19	15.03	Vacant	RLM
Hidalgo	215-070-20	2.0	SFR	RLM
Kaiser	215-080-22	10.03	Grn Hse	RLM
Lujan	215-070-09	2.03	SFR	RLM
McKinney	215-070-10	5.02	Grn Hse	RLM
Moore	215-080-17	1.29	SFR	RLM
Muroya	215-040-03	20.00	Grn Hse/SFR	*
Rudvalis	215-070-04	5.03	Grn Hse	RLM
Sugino	215-040-09	2.53	Agric	RLM
Sugino	215-040-11	2.53	Agric	RLM
Tabata	215-040-04	5.00	Agric	RLM
Tabata	215-080-21	2.87	Agric	RLM
Yamamoto	215-040-05	5.00	Agric	RLM

\* RLM, RM, OS

2. Land Use Designations

a. General Plan

The majority of Planning Area E is designated RLM (Residential Low-Medium Density, 0-4 du/acre). The Muroya property is designated RLM, RM (Residential Medium Density, 4-8 du/acre), and OS (Open Space).

b. Zoning

The majority of Planning Area E is currently zoned L-C (limited Control). Prior to or when the various property owners, collectively or separately, are ready to develop, the properties will need to be rezoned



to R-1 consistent with the underlying General Plan Designation of RLM, unless General Plan designations have been changed through the City's General Plan Amendment process and alternative zoning classifications are applied.

The Muroya Property is zoned, R-1, RD-M (Residential Density – Multiple) and OS (Open Space).

c. Local Coastal Plan

Planning Area E falls within Site III of the Mello II Segment of the Carlsbad Local Coastal Plan. Conversion of property within Site III from agriculture to urban uses will require appropriate mitigation as specified in the Carlsbad Local Coastal Plan.

3. Permitted Uses

The permitted uses and base regulations for property zones L-C are detailed in Section 21.39 of the Carlsbad Municipal Code and allows for uses permitted in the E-A zone, Carlsbad Municipal Code Section 21.07.

Prior to or when the property is ready to be developed, based on the current underlying General Plan designation of RLM, 0-4 du/ac, the appropriate zoning for Planning Area E would be R-1 (Residential Single Family). The R-1 zone generally allows for single family detached homes. Clustered and/or multifamily structures may be permitted to meet City requirements related to affordable housing subject to site development plan approval.

Additional permitted uses may be allowed subject to approval of necessary land use approvals by the City Council.

4. Circulation

Direct access to Planning Area E will be provided by Poinsettia Lane. Per the City's intersection spacing standards, there will be two intersections on Poinsettia Lane between Alga Road and the eastern boundary of the Specific Plan. These future intersections are identified in Exhibit 13 or page 73.

Black Rail Road which is identified in the Aviara Master Plan will eventually extend northward up the center of Planning Area E along the property lines and the existing access easement and will intersect Poinsettia Lane. Black Rail Road will be a residential collector. Properties within the southern half of Planning Area E can be

adequately served with cul-de-sacs emanating from Black Rail Road or a loop road system connecting to Black Rail Road.

In order to provide access to properties in the northern half of Planning Area E, a loop road will be required which extends east-west intersecting Poinsettia Lane on the east and west ends of the Planning area.

5. Open Space/Trails

The 150 foot wide, SDG&E easement offers an opportunity to provide a variety of open space amenities. At a minimum, a pedestrian trail constructed of decomposed granite shall be provided concurrent with development. This trail shall be designated to tie into the city wide Open Space/Trail system. Any trail system or landscaping provided within these easements must be developed in compliance with the requirements of SDG&E.

The average 50 foot landscaped setbacks along Poinsettia Lane will provide additional open space within Planning Area E. Where topography permits, a separated bike/pedestrian trail will be provided within this 50 foot setback.

The two canyons within Planning Area E will provide additional open space opportunity. Feasibility of enhancement of these canyons will be analyzed upon submittal of development applications for affected properties.

6. Special Design Criteria

- a. An average 50 foot setback from Poinsettia Lane shall be provided concurrent with development. This setback shall be landscaped and have separated pedestrian and bicycle trails where topography permits.
- b. The north-south running ridge that bisects Planning Area E offers ocean view opportunities to the west and back country views to the east.
- c. Development within Planning Area E should consider the possibility of establishing a trail system within the SDG&E easement in this area, if it is possible to do so without requiring excessive amounts of grading.
- d. Developers in Planning Area E should cooperate with the Carlsbad Municipal Water District to provide a landscape screen around the existing and future water tanks in this area.

Exhibit 24  
Zone 20 Property Ownership

<u>OWNER</u>	<u>PARCEL NUMBER</u>	<u>REF #</u>	<u>ACREAGE</u>
ABADA, A 6121 Romany San Diego, CA 92120	214-140-40	10	28.35
AITCHINSON, W & E 6112 W 75th Place Los Angeles, CA 90045	215-070-18	15	1.0
BOLTON, GEO & MUI 6519 El Camino Real Carlsbad, CA 92009	215-070-23 215-070-24	20	0.68 0.51
BRAMALEA 4330 La Jolla Village Dr. Suite 250 San Diego, CA 92122	214-140-42	11	66.57
BUERGER, WM & A 121 Townwood Way Encinitas, CA 92024	215-040-08 215-040-10	40	2.53 2.52
CARDOSA, M & N 6491 El Camino Real Carlsbad, CA 92009	215-070-08	21	1.80
CITY OF CARLSBAD 1200 Elm Avenue Carlsbad, CA 92008	214-300-09 214-140-39 214-140-09	4  5	6.00 6.00 30.00

<u>OWNER</u>	<u>PARCEL NUMBER</u>	<u>REF #</u>	<u>ACREAGE</u>
CARLSBAD HEIGHTS ASSOCIATES 4499 Ruffin Road, #300 San Diego, CA 92123	212-040-41	3	54.03
CARNATION PROPERTIES CORP. P.O. Box 395 Cardiff, CA, 92007	215-070-06	30	10.05
CARLSBAD MUNICIPAL WATER DISTRICT (CMWD) 5950 El Camino Real Carlsbad, CA 92008	215-080-05	23	2.65
DeJONG INVESTMENT 225 E. Third Escondido, CA 92025	215-080-01	9	32.90
ENGLER, WM Star Route 1, Box 30 Niland, CA 92257	214-170-58 214-170-59	25	2.16 1.65
FERNANDEZ, V P.O. Box 395 Cardiff, CA 92007	215-070-14	13	10.09
HADLEY, P 4743 W. Hoffer Banning, CA 92220	215-080-19	33	15.03
HIDALGO, M & A 6511 El Camino Real Carlsbad, CA 92009	215-070-20	19	2.00
KAISER, G 1615 Calle de Cinco La Jolla, CA 92037	215-080-22	17	10.03
KELLY, P & R 2770 Sunny Creek Carlsbad, CA 92008	212-040-32	2	49.36
KRAMER, D 6789 Paseo del Norte Carlsbad, CA 92008	214-140-41	24	0.71

<u>OWNER</u>	<u>PARCEL NUMBER</u>	<u>REF #</u>	<u>ACREAGE</u>
LUJAN, WM & V 6505 El Camino Real Carlsbad, CA 92009	215-070-09	22	2.03
MENDIVIL et. al. TRUST 4748 Valle Verde La Verne, CA 91750	214-170-73	34	7.13
McKINNEY, R 4355 Huerfano San Diego, CA 92117	215-070-10	16	5.02
McREYNOLDS, A 2310 Calle Chiquita La Jolla, Ca 92037	211-040-14	1	34.3
MOORE, G 6503 El Camino Real Carlsbad, CA 92009	215-080-17	31	1.29
MUROYA, A & K 6992 El Camino Real Carlsbad, CA 92009	215-040-03	37	20.00
NELSON, G & B 3437 Highland Ave Carlsbad, Ca 92008	215-080-04	18	5.17
OCEAN BLUFF PARTNERS 2386 Faraday, Ste 100 Carlsbad, CA 92008	215-070-16	8	31.05
POINSETTIA HILLS PARTNERS 5923 Balboa Ave San Diego, CA 92111	215-070-19	14	7.09
ROESCH, R 2800 Neilson Way Santa Monica, CA 90405	215-070-15	7	29.53
RUDVALIS, J & B TRUST P.O. Box 230267 Encinitas, CA 92024	215-070-04	29	5.03

<u>OWNER</u>	<u>PARCEL NUMBER</u>	<u>REF #</u>	<u>ACREAGE</u>
SARKARIA, D & E P.O. Box 5986 Orange, CA 92667	215-070-12	28	20.17
SCHINDLER, T & D FAMILY TRUST 648 Masolin Avenue Solana Beach, CA 92075	215-070-13	12	10.08
SUGINO, M & I 2050 S. Del Dios Escondido, CA 92025	215-040-09 215-040-11	41	2.53 2.53
SUNBELT PLANNING 8649 Firestone Blvd Downey, CA 90241	214-140-07	6	68.56
TABATA, A & J 8201 Legion Place Midway, City, CA 92655	215-040-04	38	5.00
TABATA FAMILY TRUST #01-14-83 P.O.Box 1338 Carlsbad, Ca 92008	214-170-72	27	1.10
TABATA, N & E P.O. Box 943 Carlsbad, CA 92008	214-140-44 214-170-74 215-080-21	27 27 32	4.17 19.35 2.87
TABATA, N & E P.O.Box 943 Carlsbad, CA 92009	214-170-54	27	1.30
THOMPSON, D & K TRUST P.O. Box 1487 Carlsbad, CA 92008	214-170-47	35	5.00
THOMPSON, D & K P.O. Box 1487 Carlsbad, CA 92008	214-170-36	35	10.00

<u>OWNER</u>	<u>PARCEL NUMBER</u>	<u>REF #</u>	<u>ACREAGE</u>
THOMPSON, D & K REVOCABLE TRUST P.O.Box 1487 Carlsbad, Ca 92018	214-170-75	26	7.50
THOMPSON, D & K P.O. Box 1487 Carlsbad, CA 92008	214-170-09	35	20.00
WEIDNER, Evelyn P.O. Box 33 Cardiff, CA 92007	214-170-46	36	5.40
YAMAMOTO, Y & D 1201 Via La Jolla San Clemente, CA 92672	215-040-05	39	5.00

EXCLUDED FROM SPECIFIC PLAN:

BCS PROGRAM L-2 1303 Avocado Street Newport Beach, CA 92660	212-040-29	E	18.11
COBBLESTONE SEA VILLAGE GREAT AMERICAN FEDERAL SAVINGS ASSOCIATION C/O GREAT AMERICAN BANK ASSET MANAGEMENT (MC5990) 600 B ST. SAN DIEGO, CA 92183	212-040-30	B	85.43
SIM USA INC 1400 Flame Tree Ln. Carlsbad, CA 92009	212-040-23	G	12.36

Exhibit 25    Ownerships Adjacent to Specific Plan Area

- A.    Birtcher Business Center
- B.    Cobblestone Sea Village
- C.    Aladray
- D.    Ukegawa
- E.    BCS Program L-2
- F.    Frazee
- G.    Sudan Interior Mission Inc.
- H.    Kelly
- I.    Carlta
- J.    McReynolds
- K.    Grupe Real Estate Investments
- L.    CT 72-21
- M.    CT 72-23
- N.    CT 76-04
- O.    CT 83-29
- P.    CT 81-30
- Q.    Lincoln Seascape
- R.    CT 83-02
- S.    CT 73-39
- T.    Ad Valorem Tax Department (Hunt)