

Prepared for

City of Carlsbad

By

MORROW DEVELOPMENT

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December, 2000 Revised May, 2001

Villages of La Costa Master Plan MP 98-01

(Master Plan Development of 2,390 dwelling units, a business park, a community park, 2 community facilities sites, elementary school site and the preservation of 834.9 acres of open space located within Local Facilities Management Zones 10 and 11.)

APPROVED BY:

City Council Ordinance #NS-604 and NS-605, October 16, 2001

La Costa Oaks South MP 98-01(A)

(Minor amendment to transfer two dwelling units from Neighborhood 3.15 to Neighborhood 3.13.)

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La Costa Greens MP 98-01(B)

(Minor amendment to transfer five dwelling units between Neighborhoods 1.8 – 1.14 and to modify the Village's plant palettes)

APPROVED BY:

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La Costa Ridge MP 98-01(C)

(Minor amendment to transfer one dwelling units between Neighborhoods 2.3 and 2.6)

APPROVED BY:

Planning Commission Resolution # 5738, October 6, 2004

La Costa Greens MP 98-01(D)

(Minor amendment to reflect the relocation of the School Site within Neighborhood 1.7 and common recreation area from Neighborhood 1.7 to 1.6)

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Planning Commission Resolution # 5837, February 16, 2005

La Costa Oaks North MP 98-01(E)

(Minor amendment to transfer four dwelling units between Neighborhoods 3.3 to 3.1 and to modify the location of the recreation centers to Neighborhood 3.1)

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Planning Commission Resolution # 6145, August 16, 2006

La Costa Greens MP 98-01(F)

(Minor amendment to transfer four dwelling units from Neighborhood 1.16 to 1.3 and to modify the location of the recreation vehicle parking area from Neighborhood 1.2 to 1.3)

APPROVED BY:

Planning Commission Resolution #

La Costa Greens MP 98-01 (G)

(Minor amendment to change the permitted use from Planned Industrial to Office in Planning Area 1.1)

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Page Chapter/Section INTRODUCTION 1.0 Purpose and Organization.....1-1 1.1 Scope of the Master Plan1-4 1.2 Project Description......1-6 1.3 1.3.2 La Costa Ridge1-6 1.3.3 La Costa Oaks1-8 Master Applications......1-9 1.4 1.4.1 Master Plan Concurrent Applications......1-9 Master Plan Goals 1-13 1.5 1.5.2 Master Plan Vision Statement and Goals...... 1-13 Relation to the La Costa Master Plan..... 1-16 1.6 Adoption and Agreements of HCP/OMSP...... 1-17 1.7 GENERAL PLAN AND LAND USE PROVISIONS 2.0 General Plan.....2-1 2.1 Zoning Description.....2-3 2.2 Legal Description2-6 2.3 Land Use Summary2-6 2.4

Chap	Chapter/Section Pag		
		2.4.5 School Site	2-9
		2.4.6 Street System	2-9
		2.4.7 Pedestrian System	2-10
	2.5	General Provisions	2-11
		2.5.1 Maximum Dwelling Units	
		2.5.2 Dwelling Unit Transfer	
		2.5.3 Mitigation Measures	
		2.5.4 Relationship to LFMP	2-12
		2.5.5 Master Plan Enforcement	
		2.5.6 Hillside Development Ordinance	
		2.5.7 Master Homeowners' Association	
		2.5.8 Architectural Review Board	
		2.5.9 Affordable Housing	
		2.5.10 Miscellaneous Provisions	
	2.6	Local Facilities Management Plans	2-22
	2.0	2.6.1 Community Facilities	
		2.6.2 Utilities And Infrastructure	
3.0	DEV	ELOPMENT REVIEW PROCESS	
	3.1	Relation of the Master Plan and the Village Development Plans	3-1
	3.2	Master Plan Amendments	3-1
	3.3	Master Tentative Tract Map	3-2
	3.4	Tentative Tract Maps and Final Maps	3-2
	3.5	Planned Development Permits	3-3
	3.6	Industrial Permits	3-4
	3.7	(Section 3.6 removed per amendment MP 98-01 (G) Conditional Uses	3-4



Chap	ter/Sec	Page	
	3.8	Child D	Pay Care Center
	3.9	Site De	velopment Plans
	3.10	Public I	Facility Phasing
4.0	MAS	TER PL	AN DEVELOPMENT STANDARDS AND GUIDELINES
	4.1	Introdu	ction 4-1
	4.2	Entitler	nents 4-1
	4.3	Gradin	g 4-2
			Grading Objectives 4-2
			Conceptual Grading Plans 4-2
	•		Phasing of Grading4-3
			Grading Requirements 4-3
	4.4		e & Hilltop Development4-5
	4.5		ation 4-5
			Regional Circulation 4-5
		4.5.2	Street Standards
		4.5.3	Traffic Calming4-
			Cul-De-Sacs
			Trail Standards4-17
	4.6	Archit	ecture/Site Planning4-1
		4.6.1	2 3
		4.6.2	Site Planning Standards4-1
			Architectural Controls4-3
			Review Process4-7
	4.7		r Plan Landscape Concept4-7
			Community Landscape Concept4-7



Chapt	er/Sec	tion	Page	
		4.7.2 Streetscapes	4-77	
		4.7.3 Village Themes	4-78	
		4.7.4 Entry Accent Trees	4-78	
		4.7.5 Slopes	4-78	
		4.7.6 Landscape Zones	4-80	
		4.7.7 Landscape and Irrigation Standards	4-81	
		4.7.8 Landscape Maintenance	4-81	
		4.7.9 Fire Protection Plan	4-82	
	4.8	Walls and Fencing	4-87	
		4.8.1 Perimeter Neighborhood Walls		
	4.9	Signage	4-87	
		4.9.1 Temporary Signs		
		4.9.2 Permanent Signs	4-92	
		4.9.3 Corner Sight Distance Specifications	4-97	
	4.10	Lighting	4-99	
	4.11	Screening and Edge Treatments	4-101	
5.0	LAC	COSTA GREENS VILLAGE DEVELOPMENT PLAN		
	5.1	Introduction	5-1	
	5.2	Village Land Use Plan	5-2	
		5.2.1 Residential	5-8	
		5.2.2 Community Facilities	5-10	
		5.2.3 Recreational Vehicle Storage	5-11	
		5.2.4 Office	5-11	
		5.2.5 Open Space	5-11	
		5.2.6 Circulation	5-17	



Chapter/Section Pag		
	5.2.7	Common Recreation Areas5-23
	5.2.8	Village Development Permits5-25
5.3	Public	Facilities5-28
	5.3.1	Drainage and Flood Control5-28
	5.3.2	Domestic Water Distribution5-31
	5,3.3	Reclaimed Water Distribution5-33
	5.3.4	Sanitary Sewer5-35
5.4	La Co	sta Greens Village Phasing Plan5-38
	5.4.1	Phase 1 – Southeast5-41
	5.4.2	Phase 2 – Southwest5-43
	5.4.3	Phase 3 – Northwest
	5.4.4	Phase 4 – Northeast5-46
5.5	Lands	cape Concept Plan5-48
	5,5.1	Village Landscape Character 5-48
	5.5.2	Arterial Street Landscape5-48
	5.5.3	Village Entries5-60
	5.5.4	Neighborhood Entries5-60
	5.5.5	Village Edges
	5.5.6	Neighborhood Street Landscaping5-65
	5.5.7	Village Theme Walls5-69
	5.5.8	Entry, Wall and Planting Standards5-70
	5.5.9	Plant Palettes5-73
5.6	Archit	tectural Concept5-82
5.7	La Co	sta Greens Development Standards5-83
	5.7.1	Introduction



Chap	Chapter/Section Pag			
		5.7.2	Common Neighborhood Development Standards	
		5.7.3	Individual Neighborhood Development Standards5-85	
		5.7.4	Open Space Areas	
6.0	LAC	COSTA	RIDGE VILLAGE DEVELOPMENT PLAN	
	6.1	Introd	uction 6-1	
	6.2	Villag	e Land Use Plan 6-2	
		6.2.1	Residential	
		6.2.2	Community Facilities	
		6.2.3	Recreational Vehicle Storage	
		6.2.4	Open Space6-10	
		6.2.5	Circulation6-14	
		6.2.6	Common Recreation Areas6-19	
		6.2.7	Village Development Permits6-20	
	6.3	Villag	e Public Facilities6-22	
		6.3.1	Drainage and Flood Control6-22	
		6.3.2	Domestic Water Distribution6-25	
		6.3.3	Reclaimed Water Distribution6-27	
		6.3.4	Sanitary Sewer6-27	
	6.4	La Co	osta Ridge Village Phasing Plan6-29	
		6.4.1	Phase 1 - All Areas6-31	
	6.5	Villag	e Landscape Concept Plan6-33	
		6.5.1	Village Landscape Character6-33	
		6.5.2	Arterial Street Landscape6-33	
		6.5.3	Village Entries6-35	
		6.5.4	Neighborhood Entries6-35	

Chapter/Sec	tion		Page
	6.5.5	Village Edges	6-36
	6.5.6	Neighborhood Street Landscaping	6-40
	6.5.7	Village Theme Walls	6-40
	6.5.8	Entry, Wall and Planting Standards	6-43
	6.5.9	Plant Palettes	6-44
6.6	Archit	ectural Concept	6-52
6.7	La Co	sta Ridge Development Standards	6-53
	6.7.1	Introduction	6-53
	6.7.2	Common Neighborhood Development Standards	6-53
	6.7.3	Individual Neighborhood Development Standards	6-54
	6.7.4	Open Space Areas	6-94
7.0 LAC	COSTA	OAKS VILLAGE DEVELOPMENT PLAN	
7.1	Introd	uction	7-1
7.2	Villag	e Land Use Plan	7-2
	7.2.1	Residential	7-7
	7.2.2	Community Facilities	7-9
	7.2.3	Recreational Vehicle Storage	7-10
	7.2.4	Open Space	7-10
	7.2.5	Circulation	7-15
	7.2.6	Common Recreation Areas	7-20
	7.2.7	Village Development Permits	7-21
7.3		Facilities	
	7.3.1	Drainage and Flood Control	7-24
	7.3.2	Domestic Water Distribution	7-28
	7.3.3	Sanitary Sewer	7-30



Chap	ter/Sec	tion		Page
		7.3.4	Reclaimed Water	7-32
	7.4	La Co	sta Oaks Village Phasing Plan	7-34
		7.4.1	Phase 1 – South	7-36
		7.4.2	Phase 2 – North	7-37
	7.5	Village	e Landscape Concept Plan	7-40
		7.5.1	Village Landscape Character	7-40
		7.5.2	Arterial Street Landscape	7-42
		7.5.3	Village Entries	7-47
		7.5.4	Neighborhood Entries	7-49
		7.5.5	Village Edges	7-49
		7.5.6	Neighborhood Street Landscaping	7-49
		7.5.7	Village Theme Walls	7-52
		7.5.8	Entry, Wall and Planting Standards	7-52
		7.5.9	Plant Palettes	7-55
	7.6	Archit	tectural Concept	7-64
	7.7	La Co	osta Oaks Development Standards	7-65
		7.7.1	Introduction	7-65
		7.7.2	Common Neighborhood Development Standards	7-65
		7.7.3	Individual Neighborhood Development Standards	7-66
		7.7.4	Open Space Areas	7-155
8.0	APPPENDICES			
	Appendix A		Legal Descriptions	
	Appe	endix B	Conceptual Grading Plans	
	Appe	endix C	Conceptual Lotting Plans	



Chapter/Section

Page

Appendix D Encumbrance Exhibits

Appendix E Neighborhood Density Calculations



Exh	Exhibit Number/Title Page				
1.0	INTRO	ODUCTION			
	1-1	Master Plan - MP 149	1-2		
	1-2	Master Plan Development Areas	1-3		
	1-3	Location Map	1-7		
	1-4	Master Plan HCP Areas	1-18		
2.0	GENE	ERAL PLAN AND LAND USE PROVISIONS			
	2-1	General Plan Land Use	2-2		
	2-2	City Zoning	2-4		
	2-3	Master Plan Land Use			
	2-A	Land Use Summary Table	2-7		
4.0	MASTER PLAN DEVELOPMENT STANDARDS AND GUIDELINES				
	4-1	Grading Techniques	4-4		
	4-2	Regional Circulation			
	4-3	Street Sections 1	4-8		
	4-4	Street Sections 2	4-9		
	4-5	Street Sections 3	4-10		
	4-6	Street Sections 4	4-11		
	4-7	Trail Sections	4-14		
	4-8	Walk/Trails Treatment	4-15		
	4-9	Single-Story Height Element Specifications	4-38		
	4-10	Single-Story Element Specification	4-39		
	4-11	Front Courtyard Specifications	4-40		
	4-12	Zero Side Setback	4-41		
	4-13	Three-Car Garage Plane Changes	4-47		
	4-14	Garage Setbacks	4-48		



Exhibit Nu	Exhibit Number/Title Page		
4-15	Three-Car Swing-in Garage	4-49	
4-16	Three-Car Split Garage	4-50	
4-17	Three-Car Front-Split Garages	4-51	
4-18	Three-Car Tandem Garage with Entry Arbor	4-52	
4-19	Deeply Recessed Garage (Attached/Detached)	4-53	
4-20	Santa Barbara Mediterranean Architectural Style	4-55	
4-21	Santa Barbara Mediterranean Architectural Elements	4-56	
4-22	Spanish Colonial Architectural Style	4-58	
4-23	Spanish Colonial Architectural Elements	4-59	
4-24	Monterey Ranch Architectural Style	4-60	
4-25	Monterey Ranch Architectural Elements	4-61	
4-26	Italian/Tuscan Architectural Style	4-62	
4-27	Italian/Tuscan Architectural Elements		
4-28	European Country Architectural Style	4-65	
4-29	European Country Architectural Elements	4-66	
4-30	California Coastal Architectural Style	4-67	
4-31	California Coastal Architectural Elements	4-68	
4-32	Craftsman Bungalow Architectural Style	4-69	
4-33	Craftsman Bungalow Architectural Elements	4-70	
4-34	California Contemporary Architectural Style	4-72	
4-35	California Contemporary Architectural Elements	4-73	
4-36	Permanent Slope Landscaping	4-79	
4-37	Fire Protection Zones	4-84	
4-38	Temporary Subdivision Directional Sign	4-89	
4-39	Temporary Signs		



	nber/Title Page
1-40	Future Facility Sign/Village Marker 4-91
4-41	Permanent Signs
4-42	La Costa Greens Sign Locations
4-43	La Costa Ridge Sign Locations 4-95
4-44	La Costa Oaks Sign Locations
4-45	Corner Sight Distance Specifications
4-46	Sign Illumination4-100
4-47	Screening Techniques
LA CC	OSTA GREENS VILLAGE DEVELOPMENT PLAN
5-1	La Costa Greens Village Development Plan5-3
5-A	Village Development Plan Table5-4
5-2	La Costa Greens General Plan Consistency5-6
5-B	Residential Density Consistency Table5-7
5-3	La Costa Greens Maintenance Areas 5-16
5-4	La Costa Greens Circulation Plan
5-5	Trails and Recreation Plan5-22
5-C	Common Recreation Area Location Summary 5-24
5-D	Village Permit Matrix 5-27
5-6	La Costa Greens Conceptual Drainage Plan 5-30
5-7	La Costa Greens Conceptual Water Plan 5-32
5-8	La Costa Greens Conceptual Reclaimed Water Plan 5-34
5-9	La Costa Greens Conceptual Sewer Plan 5-37
5-10	La Costa Greens Village Phasing Plan 5-40
5-11	La Costa Greens Landscape Concept 5-49
5-12	Village Edge - El Camino Real Streetscape 5-51
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	5-41 -42 -43 -44 -45 -46 -47 -A CO 5-1 5-A 5-2 5-B 5-3 5-4 5-5 5-6 5-7 5-8 5-9 5-10 5-11



Exhibit Nur	Exhibit Number/Title Page		
5-13	Poinsettia Streetscape – West	5-53	
5-14	Poinsettia Streetscape - Central	5-54	
5-15	Alga Road Streetscape	5-56	
5-16	Alicante Road - South	5-57	
5-17	Alicante Road - Wetland Crossing	5-58	
5-18	Alicante Road - Central & North	5-59	
5-19a	Village Gated Entry (Type 1)	5-61	
5-19b	Village Gated Entry (Type 2)	5-62	
5-19c	Major Village Entry	5-63	
5-19d	Village Entry Public	5-64	
5-20	Village Edge/Typical Existing Residential		
5-21	Neighborhood Streetscape 1	5-67	
5-22	Neighborhood Streetscape 2	5-68	
5-23	Village Theme Walls	5-72	
5-24	Office Area 1.1 Development Plan	5-86	
5-25	Neighborhood 1.2 Development Plan	5-91	
5-26	Neighborhood 1.3 Development Plan	5-97	
5-27	School Area 1.4 Development Plan	5-103	
5-28	Park Area 1.5 Development Plan	5-108	
5-29	Neighborhood Area 1.6 Development Plan	5-113	
5-30	Neighborhood 1.7 Development Plan	5-120	
5-31	Neighborhood 1.8 Development Plan	5-129	
5-32	Neighborhood 1.9 Development Plan	5-135	
5-33	Neighborhood 1.10 Development Plan	5-142	
5-34	Neighborhood 1.11 Development Plan	5-149	



Exh	ibit Nur	mber/Title Page
	5-35	Neighborhood 1.11 Development Plan
	5-36	Neighborhood 1.12 Development Plan5-156
	5-37	Neighborhood 1.13 Development Plan5-162
	5-38	Neighborhood 1.14 Development Plan 5-169
	5-39	Neighborhood 1.15 Development Plan5-176
	5-40	Neighborhood 1.16 Development Plan 5-184
	5-41	Neighborhood 1,17 Development Plan 5-190
	5-42	Open Space Area 1.A Plan5-197
	5-43	Open Space Area 1.B Plan5-200
	5-44	Open Space Area 1.C Plan5-203
	5-45	Open Space Area 1.D Plan5-206
	5-46	Open Space Area 1.E Plan5-209
	5-47	Open Space Area 1.F Plan5-212
	5-48	Open Space Area 1.G Plan5-215
	5-49	Open Space Area 1.H Plan5-218
	5-50	Open Space Area 1.I Plan Plan5-221
6.0	LA CO	OSTA RIDGE VILLAGE DEVELOPMENT PLAN
	6-1	La Costa Ridge Development Plan6-3
	6-A	Village Development Plan Table6-4
	6-2	La Costa Ridge General Plan Consistency
	6-B	Residential Density Consistency Table
	6-3	La Costa Ridge Maintenance Areas 6-13
	6-4	La Costa Ridge Circulation Plan 6-15
	6-5	La Costa Ridge Trails and Recreation Plan 6-18
	6-C	Common Recreation Area Location Summary 6-19



Exhibit Number/Title Page				
6-D	Village Permit Matrix 6-2			
6-6	La Costa Ridge Conceptual Drainage Plan 6-2			
6-7	La Costa Ridge Conceptual Water Plan 6-2			
6-8	La Costa Ridge Conceptual Sewer Plan 6-2			
6-9	La Costa Ridge Phasing Plan6-3			
6-10	La Costa Ridge Landscape Concept			
6-11	Village Entry 6-3			
6-12	Typical Neighborhood Entry 6-3			
6-13	Village Edge Treatments 6-3			
6-14	Neighborhood Streetscapes			
6-15	Village Theme Wall 6-4			
6-16	La Costa Ridge Neighborhood 2.1 Development Plan 6-5			
6-17	La Costa Ridge Neighborhood 2.2 Development Plan 6-6			
6-18	La Costa Ridge Neighborhood 2.3 Development Plan 6-6			
6-19	La Costa Ridge Neighborhood 2.4 Development Plan 6-7			
6-20	La Costa Ridge Neighborhood 2.5 Development Plan 6-8			
6-21	La Costa Ridge Neighborhood 2.6 Development Plan 6-8			
6-22	La Costa Ridge Open Space Area 2.A Plan 6-9			
6-23	La Costa Ridge Open Space Area 2.B Plan 6-9			
LA COSTA OAKS VILLAGE DEVELOPMENT PLAN				
7-1	La Costa Oaks Development Plan			
7-A	Village Development Plan Table7-			
7-2	La Costa Oaks General Plan Consistency7-			
7-B	Residential Density Consistency Table			
7-3	Maintenance Areas			
	6-D 6-6 6-7 6-8 6-9 6-10 6-11 6-12 6-13 6-14 6-15 6-16 6-17 6-18 6-19 6-20 6-21 6-22 6-23 LA CO 7-1 7-A 7-2 7-B			



E:	xhibit Nu	mber/Title Page
	7-4	La Costa Oaks Circulation Plan
	7-5	Trails and Recreation Plan
	7-C	Common Recreation Area Location Summary
	7-D	Village Permit Matrix 7-23
	7-6	La Costa Oaks Conceptual Drainage Plan
	7-7	La Costa Oaks Conceptual Water Plan 7-29
	7-8	La Costa Oaks Conceptual Sewer Plan
	7-9	La Costa Oaks Conceptual Reclaimed Water Plan
	7-10	La Costa Oaks Village Phasing Plan
	7-11	La Costa Oaks Landscape Concept Plan 7-41
	7-12	Rancho Santa Fe Road Streetscape - Village Zone
	7-13	Rancho Santa Fe Road Streetscape - Hcp Zone
	7-14	Street C Streetscape
	7-15	Village Entry 7-48
	7-16	Neighborhood Entry
	7-17	Village Edges 7-51
	7-18	Village Theme Walls
	7-19	Neighborhood 3.1 – Development Plan
	7-20	Neighborhood 3.2 – Development Plan 7-74
	7-21	Neighborhood 3,3 - Development Plan
	7-22	Neighborhood 3.4 – Development Plan
	7-23	Neighborhood 3.5 – Development Plan
	7-24	Neighborhood 3.6 - Development Plan
	7-25	Neighborhood 3.7 - Development Plan7-104
	7-26	Neighborhood 3.8 - Development Plan7-111



Exhibit Number/Title Page					
7-27	Neigl	hborhood 3.9 - Development Plan	7-117		
7-28	Neigl	hborhood 3.10 - Development Plan	7-123		
7-29	Neigl	hborhood 3.11 - Development Plan	7-130		
7-30	Neigl	hborhood 3.12 - Development Plan	7-136		
7-31	Neigh	hborhood 3.13 - Development Plan	7-141		
7-32	Neig	hborhood 3.14 - Development Plan	7-146		
7-33	Neig	hborhood 3.15 - Development Plan	7-151		
7-34	Open	Space Area 3.A	7-156		
7-35	Open	Space Area 3.B	7-159		
7-36 Open Space Area 3.C		Space Area 3.C	7-162		
7-37	Open	Space Area 3.D	7-165		
7-38	Open	Space Area 3.E	7-169		
APPPENDI	CES				
Appen	dix A	Legal Descriptions			
Appen	dix B	Conceptual Grading Plans			
Appendix C Appendix D		Conceptual Lotting Plans			
		Encumbrance Exhibits			
Appendix E		Neighborhood Density Calculations			

1.0 INTRODUCTION

1.1 Purpose and Organization

This Villages of La Costa Master Plan sets forth the zoning and the development plan for the three remaining villages of the original La Costa Master Plan (MP 149) located within the City of Carlsbad. Exhibit 1-1 shows the original Master Plan Areas of MP 149 located within the City of Carlsbad. The three remaining villages, which are the focus of this Master Plan, are shown on Exhibit 1-2. These villages are La Costa Oaks and La Costa Ridge (formerly the Southeast Area and the Rancheros of the original La Costa Master Plan) and La Costa Greens (formerly the Northwest Area of the original La Costa Master Plan). A more detailed explanation of the relation of this Villages of La Costa Master Plan to the original La Costa Master Plan is presented in Section 1.6.

The three villages of the Villages of La Costa Master Plan share common goals and vision, including the implementation of the 1995 Habitat Conservation Plan/Ongoing Multi-Species Plan (HCP/OMSP). These goals, a brief project description, and a master application summary are set forth in Chapter 1. In the interest of providing continuity and preserving the intent of the original La Costa Master Plan, the three villages also share common General Plan and land use provisions as set forth in Chapter 2. Chapter 3 describes the Development Review Process, which is common to the three villages. Master Plan Development Standards and Guidelines, which apply to all of the villages, are provided in Chapter 4.

Each of the three villages has a separate and distinct Village Development Plan that deals with more site-specific design criteria and neighborhood development standards. The La Costa Greens Village Development Plan is set forth in Chapter 5. In a like manner, Chapter 6 sets forth the La Costa Ridge Village Development Plan, and Chapter 7 sets forth the La Costa Oaks Village Development Plan. Each village development plan has its own detailed Village Development Plan map and Land Use Summary Table.





Master Plan Areas -MP 149





Master Plan Development Areas

1.2 Scope of the Master Plan

Master Plan Development Areas, Exhibit 1-2, shows the development areas of each Village and their respective relationship to open space and the surrounding community. The Master Plan maps and text define the allowable type and intensity of land uses in each village and provides detailed development and design standards, requirements, development phasing and timing, and the method by which the Master Plan will be implemented. Adoption of the Master Plan by the Carlsbad City Council, pursuant to Chapter 21.38 of the Carlsbad Municipal Code, will establish the land uses, zoning and development standards applicable to the project as a whole as well as the permissible type and intensity of development by neighborhood. Approval of the Master Plan, however, does not vest development rights for the Master Plan area. Construction of a portion of the Master Plan shall not vest any right to construct the balance of the plan.

Development within the Master Plan area shall fulfill all requirements established by the Citywide Facilities and Improvement Plan and the applicable Local Facilities Management Plan for Zones 10 and 11, pursuant to Carlsbad Municipal Code Chapter 21.90.

Development within the Master Plan area shall be subject to Growth Management plans, policies and ordinances adopted by the City Council or by citizen vote including, but not limited to, Chapter 21.90 of the Carlsbad Municipal Code (Growth Management). The residential development potential for the Master Plan area has been established by applying the density ranges and the "control points" of the General Plan Land Use designations, as amended by the accompanying General Plan Amendment (See Section 1.4.1), which are applicable to the property. The Master Plan complies with the Growth Management Control Point densities for the Underlying Land Use Designations, which are 3.2 du/net acre for RLM areas, 6.0 du/net acre for RM areas, and 11.5 du/net acre for RMH areas.

Amendments to the Master Plan are permitted pursuant to the procedures established in Chapter 21.38 of the Carlsbad Municipal Code (P-C Zone) and Chapter 3 of this Master Plan. The Master Plan defines the phased development of the Master Plan area and assures that all phases of development are consistent with the requirements of the applicable Local Facilities Management Plan Zones.

The Villages of La Costa Master Plan implements the City of Carlsbad's General Plan and Municipal Code by:

Providing guidelines and standards for the full development of all phases of the project;

Requiring facilities and services consistent with the regulations and ordinances for the City's applicable Local Facilities Management Plan Zones; and

Ensuring that all City standards and requirements will be met in a consistent and uniform manner. Unless specifically discussed in this Master Plan, all City policies and ordinances apply to the Master Plan area as they would apply to any property in the City of Carlsbad.

No person shall use or develop any property covered by this Master Plan in a manner which is contrary to the Master Plan as established by the City Council. All developers within the Master Plan area shall be subject to all applicable terms and conditions of the Master Plan.

The Zone 11 Local Facilities Management Plan, which includes La Costa Oaks and La Costa Ridge, has been revised to conform with the Master Plan. A new Local Facilities Management Plan for Zone 10, which includes La Costa Greens, has been prepared to be in conformance with the Master Plan. The two Local Facilities Management Plans were prepared pursuant to the City's Growth Management Program, Title 21, Chapter 21.90 of the Carlsbad Municipal Code. The contents of the plans follow the outline established by Section 21.90.110 of the Growth Management Ordinance. The Zone 10 and Zone 11 Plans are consistent with the Citywide Facilities and Improvements Plan, and they implement the Citywide Plan adopted September 23, 1986. The Zone Plans provide detailed descriptions and analysis of how each Zone will develop from its current status to build out. The Plans also demonstrate how and when each facility and improvement will be phased in order to accommodate development within the Zone. Each of the Plans also provides a complete description of how each facility and improvement will be financed when mitigation is necessary. The two Local Facilities Management Plans have been reviewed and approved concurrently with this Master Plan.

1.3 Project Description

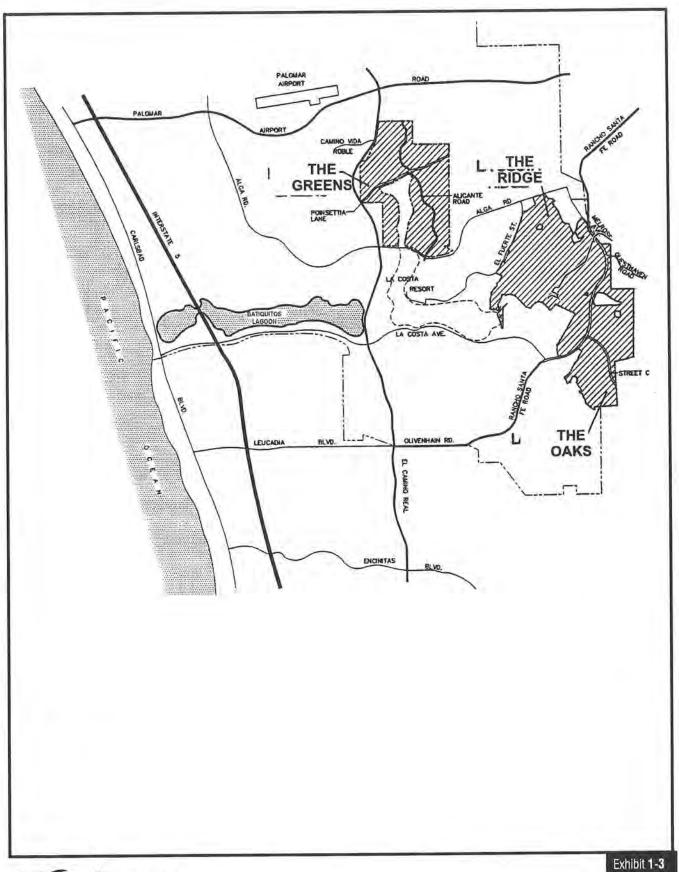
The Master Plan area includes approximately 1,867 acres located in the southeast quadrant of Carlsbad and is divided into three distinct villages. Exhibit 1-3 indicates the regional location of the project, while Exhibit 1-2 demonstrates the physical relationship of the three villages.

1.3.1 La Costa Greens

While the La Costa Greens Village takes advantage of views of the natural open space of the HCP/OMSP Area, the adjoining La Costa Resort Golf Course serves to set a more formal tone for the community. Designed to blend the individual neighborhoods of the village with the landscape rich surrounding communities, the 660 acres of La Costa Greens will prove compatible with the regional character of the City of Carlsbad. The La Costa Greens Village Development Plan provides for a maximum of 1,038 homes, offering a variety of housing types, many with golf and open space views. A pedestrian trail system will link the individual neighborhoods, open space areas and the other villages of the Master Plan area. Primary access to the village will be via Alga Road and El Camino Real.

1.3.2 La Costa Ridge

The 493-acre La Costa Ridge Village rises above the HCP/OMSP Area and embraces the character of the natural open space. The individual neighborhoods of the village are designed to appreciate the view potential of the landforms and enhance the natural character of the community. The village trail system provides controlled public resource appreciation opportunities of the habitat areas. The La Costa Ridge Village Development Plan allows for a maximum of 320 homes, ranging from large custom home sites to progressive multi-family housing products. Access to the village will be via El Fuerte Street to the northwest and Melrose to the east.





1.3.3 La Costa Oaks

The La Costa Oaks Village is also set adjacent to the large landform-rich HCP/OMSP Conserved Habitat open area. This predominately lowland community of 712 acres takes its name from the stand of mature oaks that graces the portal of the village's recreation center and greenbelt system. La Costa Oaks will feature a pedestrian trail system linking the individual neighborhoods and recreation areas to encourage public interaction and appreciation of the natural resources of the surrounding area. La Costa Oaks will provide a maximum of 1,032 homes and offer a variety of housing types.

1.4 Master Applications

The Villages of La Costa Master Plan provides the overall development vision for the Master Plan area. In addition to the Master Plan document, implementation of the project requires the review and approval by the City of Carlsbad, of a series of development applications. Several of these applications were reviewed and approved concurrently with the Master Plan. Other applications will be submitted subsequent to the initial Master Plan review and approval.

1.4.1 Master Plan Concurrent Applications

- General Plan Amendment as required by the Implementation Agreement for the Habitat Conservation Plan/Ongoing Multi-Species Plan (HCP/OMSP) to provide for the following:
 - a. "The revision of open space and areas designated for development in the Land Use Map of the General Plan to be consistent with, respectively, the Conserved Habitat and Impact Areas, provided for in the HCP/OSMP and provisions that no further open space will be required beyond the Conserved Habitat under the General Plan, including but not limited to the growth management provisions thereof;"
 - b. "The shift of allowable dwelling units currently provided for within portions of the Conserved Habitat Area to the Impact Areas," which are set forth in Section 2.4, Land Use Summary and Exhibit 2-A, Land Use Summary Table; and
 - Land Use Element revisions.

In addition to the accommodations for the HCP/OSMP, the amendment recognizes the existing community through compatible land use transitions.

- Zone 10 Local Facilities Management Plan prepared pursuant to the City's Growth Management Program, Title 21, Chapter 21,90 of the Carlsbad Municipal Code. The new Zone 10 Plan describes all public facilities requirements and sets forth the timing of installation and financing for all public facilities within La Costa Greens.
- 3. Zone 11 Local Facilities Management Plan Amendment to address the revised land use designations. Per the requirements of the Carlsbad Growth Management Program, the Local Facilities Management Plan must be updated to be consistent with the Land Uses proposed in this Master Plan. The amended Zone 11 Plan describes all public facilities requirements and sets forth the timing of installation and financing for all public facilities within La Costa Oaks and La Costa Ridge.
- Certification of an Environmental Impact Report addressing all of the discretionary approvals being requested with this Master Plan. This Environmental Impact Report constitutes additional environmental review required for approval of this Master Plan and other discretionary approvals being granted at this time.
- Master Plan Amendment to the existing La Costa Master Plan to delete all portions of the plan that refers to the areas previously known as La Costa Southeast/Rancheros and the Northwest Areas.
- 6. <u>Master Tentative Tract Map(s)</u> which divides the Master Plan area into distinct parcels. These Master Tentative Tract Maps may encompass an entire village or a portion thereof to facilitate development phasing. The recordation of a final map(s) is a condition precedent to the approval of any discretionary permit or discretionary entitlement respecting property within a village.

Upon recordation of a final map corresponding to the approved Master Tentative Tract Map, legal lots will be created which:

- Define individual neighborhoods or portions thereof located within a geographic area of the applicable development phase;
- Define parcels located within the Master Plan area that are to be dedicated or offered for dedication in fee as a condition of approval of the applicable Master Tentative Tract Map; and
- c. Create residential lots in Neighborhoods 3.8 and 3.9.

The following permits shall be processed with the Master Tentative Tract Maps:

- a. Hillside Development Permit shall be applied for at the time the related Master Tentative Tract Map is submitted and shall be obtained before construction or development begins within any Village with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal Code.
- b. Floodplain Special Use Permit shall be applied for at the time the related Master Tentative Tract Map is submitted and shall be obtained before construction or development begins within any area of special flood hazards, area of flood-related erosion hazards, or areas or mudslide hazards established in Section 21.110.070 of the Carlsbad Municipal Code.
- 1.4.2 Applications Subsequent to Master Plan Approval

Additional applications to be submitted for approval will include the following:

- Tentative Tract Maps and Final Maps shall be processed to further subdivide neighborhood areas created by the Master Tentative Tract Map.
- Planned Unit Development Permits or Condominium Permits
 shall be processed to create single-family residential lots which
 are less than 7,500 square feet in area, to allow for airspace
 ownership of dwelling units, or to provide for gated
 Neighborhoods with private roads.
- Hillside Development Permits shall be processed for all neighborhoods proposed on land with a slope gradient of 15 percent or greater and a slope height greater than 15 feet in accordance with Chapter 21.95 of the Carlsbad Municipal Code.
- 4. <u>Scenic Corridor Special Use Permits</u> shall be obtained before construction or development occurs within any area adjacent to El Camino Real.
 - Conditional Use Permits shall be obtained for any fire station, church, community services facility, or child day care facility.
 Community recreation centers that are not subject to the Planned Development Ordinance shall also require a Conditional Use Permit.
 - 6. <u>Site Development Plans</u> shall be processed for any multiple family residential developments having more than four dwelling units or an affordable housing project of any size. A Site Development Plan is also required for neighborhoods having a minimum lot size of 7,500 square feet or greater and for any development in the Office Zone (Planning Area 1.1).

Permit requirements are further defined for each Master Plan neighborhood by a Village Permit Matrix, which can be found in each of the Village Development Plan chapters (see Sections 5.2.8, 6.2.7, and 7.2.7).

1.5 Master Plan Goals

1.5.1 Purpose

The Master Plan has been prepared to guide and coordinate the future development of the remaining three Villages of La Costa. This document's primary function is to provide comprehensive descriptions of land use, circulation, infrastructure, design guidelines, development standards, and implementation programs to assist future development applicants in their preparation of (and the City of Carlsbad in its review of) construction-level development proposals. To facilitate this process, the Master Plan is organized into two primary components: First, Chapters 1, 2, 3 and 4 comprise the "umbrella" component which serves to define the development review process and provide unifying design guidelines and standards common to all of the Villages. Secondly, Chapters 5, 6, and 7 are the Village Development Plan component. Each of these Village Development Plan chapters provides more site-specific development standards for the respective villages and the neighborhoods within the villages.

1.5.2 Master Plan Vision Statement and Goals

VILLAGES OF LA COSTA VISION STATEMENT

The Villages of La Costa is a group of villages defined by open space and designed to be home to hundreds of families. Considerably different in character, each village employs features designed to create a sense of community and encourage opportunities for residents to know their neighbors, have their children play with one another and create a sense of pride in belonging to the community.

The villages are defined by large expanses of scientifically delineated open space interweaving and unifying the three individual villages. However, each village will have a differing identity derived from the refined landscape character found within the developed neighborhoods. Each village contains a series of neighborhoods providing a variety of housing types respective of specific topographic constraints and adjacent

community character. The small town charm of the neighborhoods is derived from the narrow feeling of streets winding through the hillsides. These streets, lined with trees in parkways, are defined by an eclectic blend of architecture with varying styles, massing and colors. The enriched detail is provided through the use of porches, trellis and balconies designed in the various characters of the architecture.

The La Costa Greens village is located within two converging valleys and surrounds the world famous La Costa Golf Course. La Costa Greens is intended to express a Mediterranean resort setting within and surrounded by natural hillsides and landscape with a specific reference to the refined nature of the golf course.

The highest elevations in the area are found in the La Costa Ridge Village. La Costa Ridge will express a more upland or alpine character and rustic quality than will be found in the La Costa Greens and La Costa Oaks villages. The neighborhoods in this area will take on a semi natural character, within the framework structured by the La Costa Habitat Conservation Plan.

The La Costa Oaks village is named for the existing stands of native oaks that are found in the area. The La Costa Oaks will exhibit a more naturalized lowland or riparian character than will be found in the La Costa Ridge and La Costa Greens villages. Developed areas will be integrated with the native habitat in the area through use of natural-like clustering of trees and understory plantings, thereby creating a seminatural setting.

Unification of the villages occurs on various levels, from the design of the streets to the common recreation and social centers of the neighborhoods, to the walkways leading to schools and parks. This unification is enhanced through the use of a common internet link providing informational access to community, school, civic and local events and activities. The Villages of La Costa are a group of villages providing an opportunity for shelter, designed with our future needs in mind while respecting our design heritage and physical and environmental constraints.

The goals of the Master Plan are to:

- Provide for the long-term conservation of local species of concern and their habitats through implementation of the Villages of La Costa Habitat Conservation Plan.
 - Provide a full range of housing opportunities through the creation of a broad range of lot and home sizes.
 - 3. Provide for differentiation of character between villages.
 - Provide for the topographic constraints within the villages by allowing roads to emulate the contours of the site.
 - Create a more pedestrian oriented community through the following means:
 - Slowing of traffic by using city authorized traffic calming devices when their use will not adversely impact yield;
 - Separation of pedestrian and vehicular traffic through parkways in neighborhoods;
 - c. Creation of smaller scale through
 - i. Street tree programs
 - ii. Multi-planed facades along streets
 - Use of porches, balconies and patios or porte cocheres as appropriate to varying architectural styles, and
 - iv. Variation of color and texture through an eclectic collection of styles; and

- d. Creation of a community-wide system of trails linking neighborhoods, recreation areas and open space.
- Provide for a comprehensive, automotive circulation system in conformance with the City's growth management requirements while minimizing widths of streets and incorporating parkways.
- Ensure that public facilities and services that serve the Master Planned Community meet or exceed applicable City standards and requirements.
- 8. Encourage social interaction through the development of:
 - Local recreation areas;
 - b. Pedestrian oriented streets; and
 - Creation of a technology plan for community interaction and activity planning of village, school and city activities.
- Integrate the villages into the existing community by considering the lot sizes of adjacent existing homes and existing circulation connections.

1.6 Relation to the La Costa Master Plan

The original La Costa Master Plan was approved by the City Council in 1972, and has undergone several amendments since that time. The original La Costa Master Plan (Master Plan MP 149) covered approximately 5,282 acres, divided into four areas as follows: Developed Area; Northwest Area; Southeast Area; and Southwest Area. (The four areas are depicted on Exhibit 1-1.) Due to the fact that the Original Master Plan is approximately 25 years old, the document does not adequately address current environmental concerns nor does it comply with City standards and policies. To correct these inconsistencies, in 1985 the City Council directed the Carlsbad Planning Department to work with the land owner of the undeveloped portions of La Costa to revise and update the original

La Costa Master Plan. Because the owners were not yet ready to develop all of their properties, staff and the developers agreed to first address the Southwest Area of the La Costa Master Plan and proceeded to process an updated, separate master plan (now called the Arroyo La Costa Master Plan).

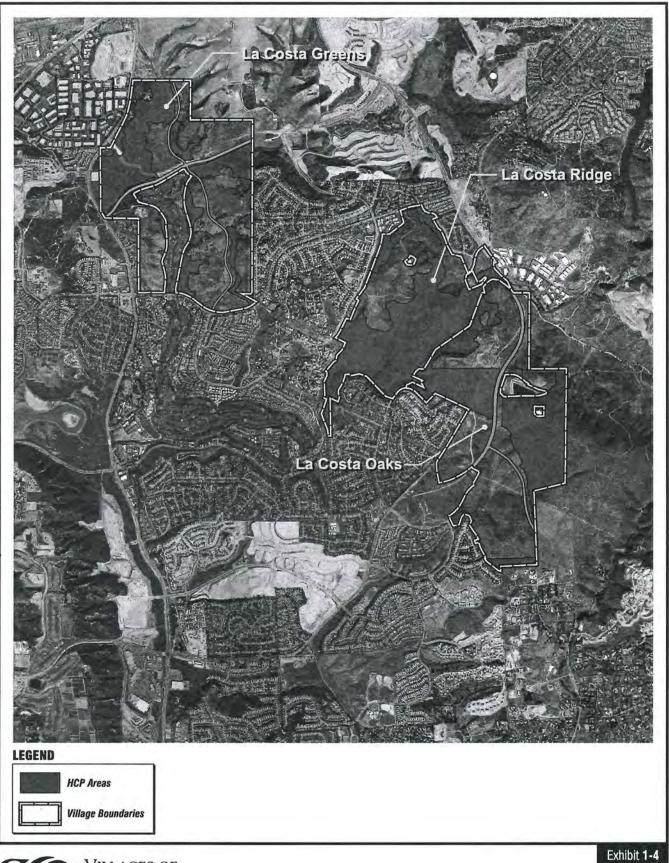
The two remaining undeveloped areas of the La Costa Master Plan, the Southeast Area (now called La Costa Oaks and La Costa Ridge) and the Northwest Area (now called La Costa Greens) are thus updated with the processing of this Villages of La Costa Master Plan. As intended, this will (along with the Arroyo La Costa Master Plan) effectively amend and replace the original La Costa Master Plan with two updated master plans in the areas which have not yet been developed. The La Costa Master Plan will remain in effect in the balance of the original planning area.

1.7 Adoption and Agreements of HCP/OMSP

The Habitat Conservation Plan/Ongoing Multi-Species Plan (HCP/OMSP) for Properties in the Southeast Quadrant of the City of Carlsbad represents a three-year collaborative effort by the City of Carlsbad and property owners in consultation with the U.S. Fish & Wildlife Service and California Department of Fish & Game. The plan was initially approved in 1995.

The HCP/OMSP addresses habitat conservation of private property in two locations within southeast Carlsbad, which grew to include 521 acres in the southeast area and 181 acres in the northwest area in the final 1995 approval, as shown on Exhibit 1-4, Master Plan HCP Areas. The purpose of the HCP/OMSP is the conservation of wildlife and its habitat within the plan area by providing the basis for:

 Issuance by U.S. Fish & Wildlife Service (USFWS) of a Section 10(a) permit and consultations





MASTER PLAN HCP AREAS

- (internal as well as with other agencies such as the U.S. Army Corps of Engineers) under Section 7 of the Federal Endangered Species Act;
- Issuance by California Department of Fish & Game of a Section 2081 permit under the California Endangered Species Act and a Section 2835 permit under the Natural Communities Conservation Program Act;
- 3) Issuance of a Section 404 permit of the federal Clean Water Act (with respect to avoidance, minimization and mitigation of all impacts to Species of Concern and their habitat with respect to all waters of the United States within the HCP/OMSP area);
- Issuance of permits under the Migratory Bird Treaty Act;
- 5) Consummation of an implementation agreement, with U.S. Fish & Wildlife Service, California Department of Fish & Game, the City of Carlsbad and developer as parties, implementing the plan and providing the parties with assurances; and
- 6) Planning and development activities by the City, developer, and other landowners in the plan area.

Implementation of the HCP/OMSP will be governed by an agreement among the developer, City, U.S. Fish & Wildlife Service, and California Department of Fish & Game. In addition to reiterating the roles and responsibilities as described in the HCP/OMSP, the agreement specifies reporting requirements and procedures to address unforeseen circumstance. It also provides long-term (30-year) authorizations and assurances allowing projects and activities planned and conducted in accordance with the HCP/OMSP to proceed without further wildlife mitigation. Such projects and activities will include but are not limited to:

- Realignment of Rancho Santa Fe Road and related transportation improvements in the Southeast Area;
- Development of developer's master planned residential communities, together with the requisite infrastructure and public facilities, in both plan area components;

- Fire management and roadway maintenance in both plan area components; and
- 4) Management of conserved habitat in both plan area components.

2.0 GENERAL PLAN AND LAND USE PROVISIONS

2.1 General Plan

The General Plan designations of the Villages of La Costa Master Plan are shown on Exhibit 2-1, General Plan Land Use. They include the following designations:

OS — Open Space

RLM — Residential Low Medium, 0-4 dwelling units per acre (Growth Control Point – 3.2 du/ac)

RM — Residential Medium, 4-8 dwelling units per acre (Growth Control Point – 6.0 du/ac)

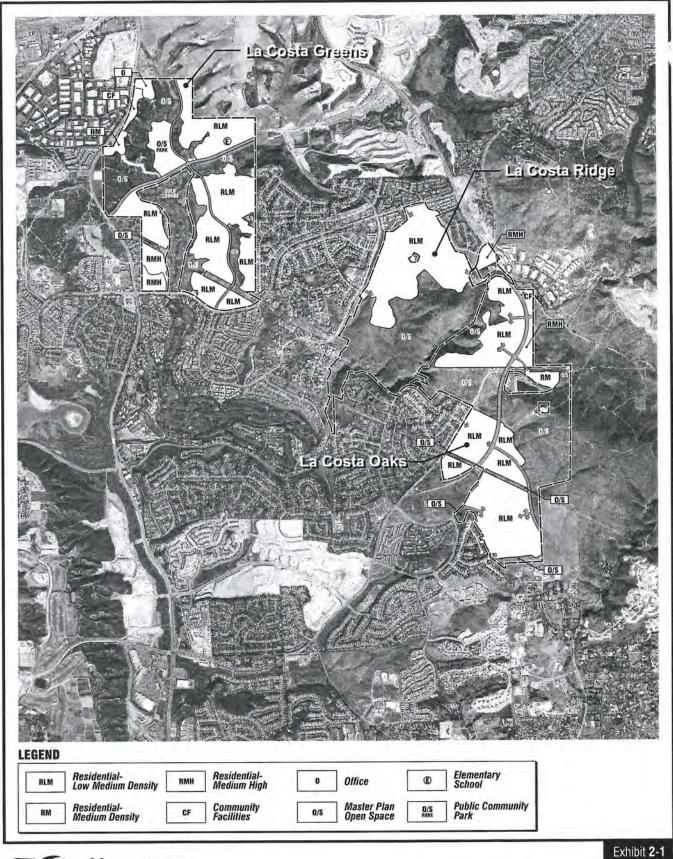
RMH — Residential Medium-High, 8-15 dwelling units per acre (Growth Control Point – 11.5 du/ac)

CF — Community Facilities

O — Office and Related Commercial

E - Elementary School

All development within the Master Plan area shall be consistent with these land use designations as well as complying with the Master Plan, Village Development Plans and Neighborhood Development Standards. Residential density consistency for each of the Master Plan villages is demonstrated within the section entitled Village Land Use Plan in each of the Village Development Plan chapters (Sections 5.2, 6.2 and 7.2).





GENERAL PLAN LAND USE

2.2 Zoning Description

Prior to the approval of this Master Plan the properties within the boundaries of this Master Plan were zoned Planned Community (PC), as shown on Exhibit 2-2. The PC Zone requires that a Master Plan be approved prior to any development on the site. This Master Plan complies with the requirements of Chapter 21.38, the Planned Community Zone, of the Carlsbad Municipal Code and constitutes the zoning for all lands within the boundaries of the Master Plan. All provisions of the Master Plan are imposed as a condition of zoning. The underlying Master Plan Land Use zoning for each neighborhood area is shown on Exhibit 2-3. In many cases the standards of the underlying Master Plan zones have been modified from the Carlsbad Municipal Code. Therefore, the specific neighborhood area development standards of this Master Plan must be consulted as they apply to the Master Plan area.

This Master Plan has been prepared in compliance with the four goals of the Intent and Purpose section, (21.38.010), of the PC Zone.

- 2.2.1 Provide a method for and to encourage the orderly implementation of the general plan and any applicable specific plans by the comprehensive planning and development of large tracts of land under unified ownership or developmental control so that the entire tract will be developed in accord with an adopted master plan to provide an environment of stable and desirable character;
- 2.2.2 Provide a flexible regulatory procedure to encourage creative and imaginative planning of coordinated communities involving a mixture of residential densities and housing types, open space, community facilities, both public and private and, where appropriate, commercial and industrial areas;
- 2.2.3 Allow for the coordination of planning efforts between the developer and the City to provide for the orderly development of all necessary public facilities to ensure their availability concurrent with need;

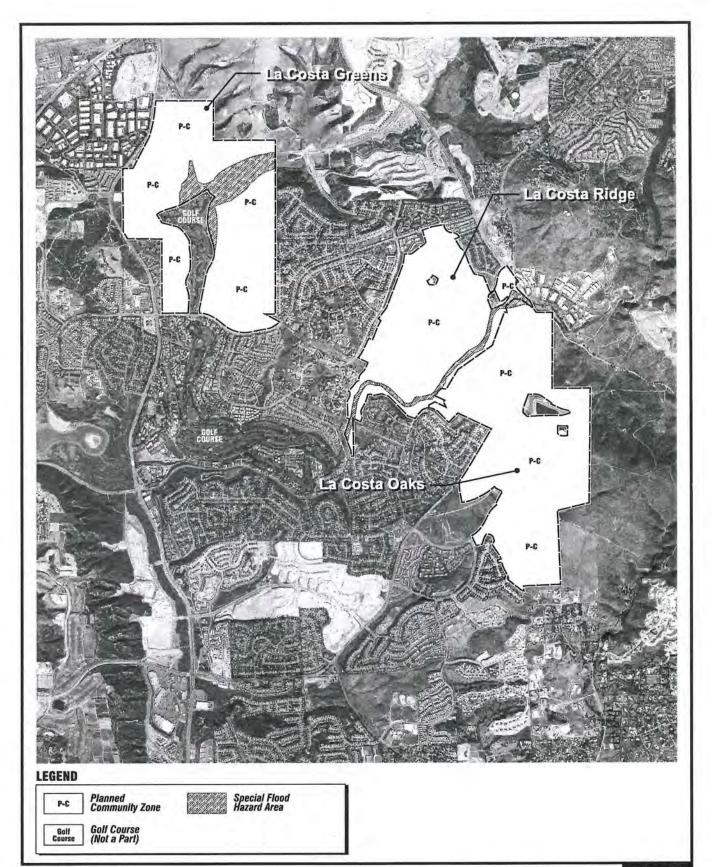
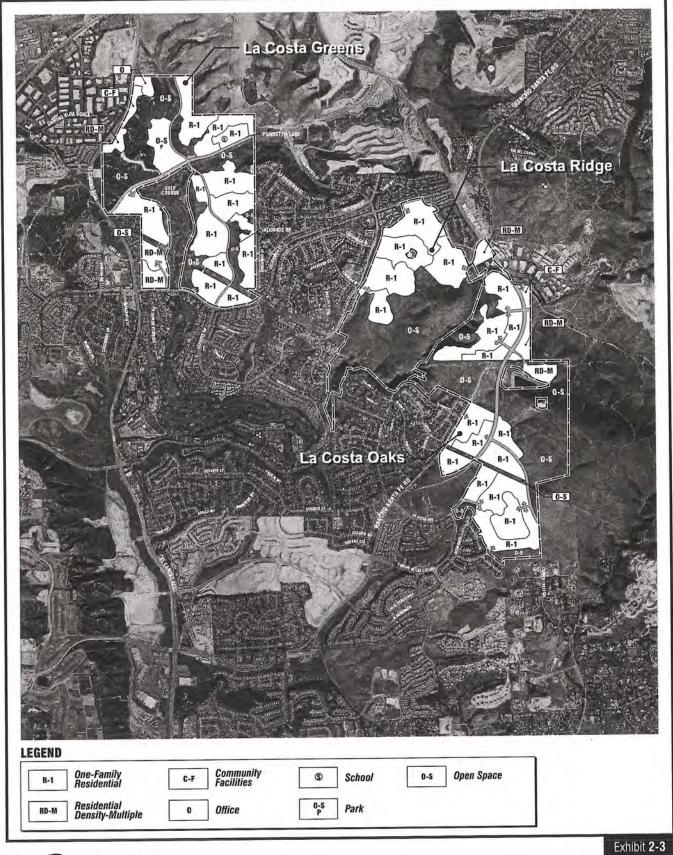




Exhibit 2-2

PRIOR CITY ZONING





MASTER PLAN ZONING 2.2.4 Provide a framework for the phased development of an approved master planned area to provide some assurance to the developer that later development will be acceptable to the City; provided such plans are in accordance with the approved planned community master plan.

2.3 Legal Description

The legal descriptions of the Master Plan villages are included as Appendix A to this document.

2.4 Land Use Summary

The specific land uses within this Master Plan are as shown on Exhibit 2-1. A statistical breakdown of the individual land use designations is set forth on Exhibit 2-A, Land Use Summary Table.

2.4.1 Residential

1. Single-Family Homes

The Master Plan provides for a maximum of 1,885 single-family dwelling units. The residential portion of the Master Plan provides for 29 single-family home neighborhoods. Minimum lot sizes within these Neighborhoods range from 3,500 square feet to 11,000 square feet. Lot sizes have been selected for compatibility with existing single-family neighborhoods located adjacent to the Master Plan area.

This wide variety of single-family housing opportunities is consistent with the City's General Plan. Single-Family Homes (R-1) are typically located in Neighborhoods designated RLM – Residential Low Medium or RM – Residential Medium by the General Plan. Single-family attached units (townhome) and small-lot single-family detached units (3,500 square-foot lots) are permitted in the RM land use areas.

VILLAGES OF LA COSTA MASTER PLAN

EXHIBIT 2-A LAND USE SUMMARY TABLE

VILLAGE DEVELOPMENT AREAS	LAND USE DESIGNATIONS(1)	ACRES	ES	GROWTH MANAGEMENT	GENERAL PLAN	MAXIMUM	NET DENSITY
		GROSS	NET ⁽²⁾	CONTROL POINT DENSITY	DWEDELING ONLIS	DWELLING UNITS	
TA COSTA CREENS	CF - Community Encilities	7.9	6.85	1	0	0	1
	RI M - Residential Low Medium	311.9	266.1	3.2	852	718	2.70
		8.6	7.8	6.0	47	48	6.15
	RMII - Residential Medium High	30.3	26.9	11.5	309	272	10.11
	O - Office	6.7	7.65	1	0	0	L
	O/S - Park	34,4	4		0	0	ľ
	O/S - Open Space/Power Easement	246.0	4		0	0	ſ
	Circulation	13.7	ì		0	0	1
	Village Total:	660.7	315.3		1,208	1.038	3,29
LA COSTA RIDGE	RLM - Residential Low Medium	190.6	152.2	3.2	487	263	1.72
	RMH - Residential Medium High	11.5	10.4	11.5	120	57	5.58
	O/S - Open Space	294.0	1		0	0	
	Village Total:	493.1	162.6		209	320	1.97
LA COSTA OAKS	CF - Community Facilities	9.9	6.4		0	0	I
	RLM - Residential Low Medium	327.7	298.6	3.2	956	816	2.73
	RM - Residential Medium	13.8	11.5	6.0	69	45	3.91
	RMII - Residential Medium High	16.0	13.4	11.5	154	171	12.76
	O/S - Open Space	322.1	1		0	0	1
	Circulation	26.4	Ţ		0	0	į
	Village Total:	712.6	329.9		1,179	1.032	3.13
STATE STATE OF	TOTAL ALICED BY AN ABEA	1 866 4	8078		2.994	2.390	2.96

A dwelling unit transfer of 385 units is allowed within the quadrant pursuant to the Goals and Policies of the General Plan and Title 21,90 of the Carlsbad Municipal Code. The Zone 11 LFMP provided for the 385-dwelling unit transfer from Zones 10 and 12 in all public facility build-out and phasing projections. The 206 units transferred from Zone 10 are the result of the 1996 Parks Agreement locating a 27.2-acre park site within Zone 10. The 179 units transferred from Zone 12 are due to the Arroyo Master Plan limiting the number of units below the allowable future units per the Growth management Control Point. Dwelling units allowed by General Plan within IICP/OMSP boundaries may be transferred to areas outside the IICP/OMSP.

To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

62

General Plan Dwelling Units are derived by multiplying Net Usable Acres by the Growth Management Control Point Density.

2. Multiple Family Housing

In order to provide for a variety of housing types and density ranges, four Multiple Family Housing neighborhoods are provided in the Master Plan.

Multiple Family Housing is typically located in Neighborhoods designated RMH – Residential Medium-High on the General Plan. These Neighborhoods shall be designed to provide densities of approximately 8.0 to 11.5 dwelling units per acre. A total of 505 multiple-family dwelling units are projected by the Master Plan.

2.4.2 Open Space

Preservation and enhancement of Open Space is an important aspect of this Master Plan. Areas designated Open Space by the General Plan constitutes approximately 892 acres or 48% of the Master Plan area. The Master Plan addresses open space for the preservation of natural resources (HCP/OMSP), open space for outdoor recreation and open space for public health and safety.

The Master Plan identifies additional open space areas within many of the residential neighborhoods. Each of the Village Land Use Plans includes an Open Space Program (Sections 5.2.5, 6.2.4, and 7.2.4) which describes the distribution of open space within the respective Village.

2.4.3 Office

The Master Plan provides for one Office site. This land use category allows for Office uses, including medical. The General Plan also allows for agricultural and outdoor recreation uses on lots of one acre or more as interim uses.

2.4.4 Community Facilities

Residential objectives B.4 and C.12 of the Land Use Element of the General Plan call for Master Plan communities to provide, within the development area, adequate areas to meet some social/human service needs. Typical Community Facilities which meet these needs might include day care, worship, youth and senior citizen activities, or community meeting halls. Village Community Facilities area requirements are: La Costa Greens, 3.15 acres; La Costa Ridge, 1.63 acres; and La Costa Oaks, 3.30 acres. A 2-acre minimum daycare site is also required in addition to the community facilities acreage previously mentioned.

2.4.5 School Site

The Master Plan identifies one elementary school site in La Costa Greens. The school site is located to the east of Alicante Road and north of Poinsettia Lane. The site is provided in the event the Carlsbad Unified School District determines that an additional elementary school is necessary to service the area.

2.4.6 Street System

Arterial access to the Villages of La Costa is illustrated on Exhibit 2-1, General Plan Land Use. Primary access to La Costa Greens is provided by El Camino Real, Alga Road, and Poinsettia Lane, which will be extended through the village. Access to La Costa Ridge will be provided by Alga Road, El Fuerte, Melrose Drive, and Rancho Santa Fe Road. Primary access to La Costa Oaks will be via Rancho Santa Fe Road and La Costa Avenue. Regional circulation and street standards are further described in Section 4.3, Circulation.

2.4.7 Pedestrian System

The Master Plan includes a pedestrian circulation network which incorporates sidewalks, local trails and city-wide trails within each of the villages. Trail standards are described in Section 4.3, Circulation. Trail and bicycle route locations are shown on the individual village Trail Plans and Circulation Plans.

2.5 General Provisions

2.5.1 Maximum Dwelling Units

The column entitled General Plan Dwelling Units of Exhibit 2-A, illustrates the number of dwelling units that would typically be allowed by the General Plan for each Land Use Designation within each village. These numbers are derived by multiplying the Net Usable Acres within the Designation by the Growth Management Control Point for that Designation. The number of dwelling units calculated for the General Plan Dwelling Units column is greater than the maximum allowed in the corresponding Maximum Allowable Dwelling Units column in all cases, except to provide for inclusionary housing within the La Costa Oaks.

The maximum residential development permitted by this Master Plan, 2,390 dwelling units, is based on the *Maximum Allowable Dwelling Units* column of Exhibit 2-A. This column also shows the Village Total allowed for each Master Plan village (e.g., 1,038 dwelling units for La Costa Greens). In no instance shall the Total Master Plan number of units or Village Total number of units be exceeded without a Major Master Plan Amendment.

Dwelling unit transfers may be allowed between village neighborhoods, providing the conditions described in Section 2.5.2 can be satisfied.

2.5.2 Dwelling Unit Transfer

Dwelling unit transfers of up to 10% between neighborhoods which are located in the same village may be allowed, subject to the approval of a Master Plan Amendment (see Section 3.2).

The total number of dwelling units allowed within each village is shown in the *Maximum Allowable Dwelling Units* column of Exhibit 2-A. These numbers shall not be exceeded. Dwelling units shall not be transferred between villages unless a Master Plan Amendment is approved.

2.5.3 Mitigation Measures

In accordance with Public Resources Code Section 21081.6, all mitigation measures specified in EIR 98-07 and in the approving resolutions shall be complied with in their entirety at the appropriate time of development. A mitigation and monitoring program shall be included as an attachment to the resolution certifying EIR 98-07.

2.5.4 Relationship to LFMP

Growth Management

The applicant shall comply with all provisions of the Carlsbad Municipal Code, Section 21.90 (Growth Management Program). The applicant, by pulling building permits pursuant to the Master Plan and the Local Facilities Management Plans (LFMP) for Zone 10 and 11, agrees that all of the dedications and other requirements imposed as a condition of the Master Plan for the applicable LFMP are reasonably necessary to serve the needs of the development for which the building permits are required.

2. Availability of Public Services

Approval of this plan does not constitute any guarantee that individual developments within the Master Plan area will be approved nor that the availability of public facilities and services will necessarily coincide with the Developer's timetable for construction.

Public Facilities

To ensure that all development areas of the Master Plan shall be adequately served, the developers of the Master Plan or portions thereof shall be required to provide for their share of the construction or funding of all necessary public facilities pursuant to the approved Local Facilities Management Plans.

Public facilities requirements are described and illustrated in the Village Public Facilities sections in each of the Village Development Plan chapters (Sections 5.3, 6.3, and 7.3) and Village Phasing sections (Sections 5.4, 6.4, and 7.4).

Fiscal Impacts

A fiscal impact study titled Fiscal Impact Analysis of Master Plan Amendment 149(Q) and Related Documents by Onaka Planning & Economics was prepared in conjunction with the Villages of La Costa Master Plan and is on file with the City of Carlsbad, Planning Department.

2.5.5 Master Plan Enforcement

The Villages of La Costa Master Plan shall constitute the orderly development and the zoning for the property. Consistent with the City of Carlsbad Municipal Code, any violation to the standards and regulations identified in the Villages of La Costa Master Plan adopted by the City of Carlsbad's City Council shall be considered a violation to the Zoning Ordinance. Where the Master Plan is silent on an issue, the requirements of the Carlsbad Municipal Code shall apply.

2.5.6 Hillside Development Ordinance

All development within the Master Plan shall be in compliance with Chapter 21.95, the Hillside Development Ordinance, of the Carlsbad Municipal Code and the ordinances, policies and/or guidelines described in Section 4.2, Grading Concept, unless modified herein.

2.5.7 Master Homeowners' Association

Prior to the recordation of the first Final Map for a Master Tentative Map within each village, the applicant shall prepare draft Bylaws and CC&Rs for a Master Homeowners' Association. These drafts shall be reviewed and approved by the City Attorney and Planning Director, however, the City shall not participate as a member of the Association. The Applicant shall record a substantially conforming version of these approved Bylaws and CC&Rs prior to the recordation of a final map for an individual neighborhood. The Applicant shall not make any revisions to these

documents that weaken or diminish the rights of the City, without the City's prior written consent.

A Master Homeowners' Association shall be formed for each of the villages and shall include representation from all residential neighborhood areas within that village. The Master Association for the La Costa Oaks and La Costa Ridge may be combined but it is not a requirement of this Master Plan. If sub-associations are formed, each sub-association shall be an equal member of the Master Homeowners' Association. The Master Association shall have authority to implement the Master CC&Rs. These CC&Rs shall control the private uses, design, maintenance and development standards for each area of each village.

- 1. The CC&R's shall state expressly that the property is subject to the provisions of the Master Plan. It shall also indicate that the City shall have the right but not the obligation to enforce the provisions of this Master Plan through normal enforcement procedures if the City Council determines such enforcement is necessary to protect the public welfare and may assess homeowners for costs incurred therein.
- The CC&R's shall prohibit the storage or parking of recreational vehicles within any of the neighborhoods having a minimum lot sizes of less than 7,500 square feet, except in approved RV storage areas.
- 3. The Master Homeowners' Association shall control the operation and maintenance of the recreation vehicle storage areas, entry features, common slopes and other common features identified in the Master Plan. The Master Homeowners' Association shall also be responsible for the maintenance of the open space/trail system other than HCP/OMSA Conserved Habitat areas. If a City-wide Open Space Maintenance District is formed, the city may assume, at its discretion, maintenance and liability responsibility for the trail network.

4. The provisions of the Master CC&R's shall be coordinated with the provisions of the CC&R's for the Neighborhood Subassociations and may not conflict. Slope areas within individual neighborhoods may be maintained by the Master Homeowners' Association if exposed to major streets. The developer shall submit a master maintenance plan showing all areas to be maintained by the Master Homeowners' Association to be approved by the Planning Director prior to any final map approval.

2.5.8 Architectural Review Board

Concurrent with the establishment of the Master Homeowners' Association, the applicant shall establish a Village Architectural Review Board or a series of Neighborhood Architectural Review Boards. Each Architectural Review Board shall be responsible for the review and approval of all room additions, patio covers, decks, patios and other structures requiring a building permit within the Village. No plans will be reviewed by the City unless they have first been approved by the Architectural Review Board. The appeal process for Architectural Review Board decisions shall be described in the Master CC&R's.

2.5.9 Affordable Housing

Master Plan Requirements

The Villages of La Costa Master Plan shall provide Affordable Housing in conformance with the requirements of the Inclusionary Housing Ordinance, Section 21.85 of the Carlsbad Municipal Code. The total number of affordable units provided for shall be based on the maximum number of units allowed by the Tentative Maps approved within the Master Plan area and shall be specified in an affordable housing agreement as required by Carlsbad Municipal Code section 21.85.035(A)(4). The Master Plan for the La Costa Oaks and La Costa Ridge Villages permits up to 1352 units while the Greens Village is permitted up to 1038 units for a total of 2390 dwelling units in the Villages of La Costa Master Plan. Based on these figures, the Master Plan

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will be required to provide <u>203 affordable</u> units in the southeast (Ridge/Oaks) and <u>156 affordable</u> units in the northwest (Greens). This totals <u>359 units</u> or 15% of the total units proposed in the Master Plan. Ten percent, or <u>36 of these units are required to be three bedrooms units.</u>

At the complete discretion of the City Council, developers may receive additional (more than one unit) credit as an incentive for each type of unit provided which are more desirable in satisfying the city's state-mandated affordable housing requirement as well as the city's housing element goals, objectives and policies. This could potentially reduce the total inclusionary housing requirement to less than 15% of the approved units. A schedule specifying how the incentive credits for the Villages of La Costa Master Plan may be earned may be included in the Affordable Housing Agreement, if subsequently approved by the City Council.

For example, as an incentive to produce 3 and 4 bedroom units the developer might receive 1.5 units of credit for each 3-bedroom unit produced (above the requirements set forth within the Inclusionary Housing Ordinance) and 2.0 credits for each 4-bedroom or larger unit produced. In the event that the developer agrees to produce these units the total units required to be constructed may be reduced as provided in Carlsbad Municipal Code section 21.85.060, subject to approval of the City Council and as set forth in the Affordable Housing Agreement.

If the actual number of market rate units allowed by the approved Tentative Maps is less than the number of units allocated to these villages by the Villages of La Costa Master Plan, the required number of affordable units will be reduced accordingly. Any reduction in the required number of inclusionary housing units will require a modification to the Affordable Housing Agreement, subject to the review and approval of the Community Development Director and/or the City Council as appropriate. If the units have already been constructed the developer shall have the right to sell any, or all, of the surplus affordable units to other

developers within the southeast quadrant of the City with a designation of a combined project per the City's Inclusionary Housing Ordinance or rent the units at unrestricted rental rates.

Any such sale of credits may be permissible subject to the review and approval of the City Council and subject to the terms and conditions of a City Council approved affordable housing agreement as noted below. Given that the affordable housing projects are designated as "combined projects", when credits are to be sold the other developers must be approved by the City Council before they will be allowed to satisfy their requirements within the subject project.

Timing and Approach

a. Timing

Per the City of Carlsbad's Inclusionary Housing Ordinance, the Villages of La Costa is required to construct the affordable units concurrently with the market-rate housing units unless both the final decision-making authority of the City and the Master Developer agree to an alternative schedule for development. The timing for construction of the required affordable units will be set forth in a schedule to be included in a future Affordable Housing Agreement, as required per Chapter 21.85 of the Carlsbad Municipal Code.

Per the Inclusionary Housing Ordinance, an Affordable Housing Agreement together with an approved Site Development Plan is required to be approved and executed prior to final map and recorded upon final map recordation. This typically means that the agreement and approved Site Development Plan are required prior to the first final map approved for any residential development, including a Master Tentative Map. However, for the Villages of La Costa, an exception to this requirement is being granted with the approval of this Master Plan. Due

to the substantial benefit derived to the City of Carlsbad and the region through the timely grading and ultimate construction completion of Rancho Santa Fe Road and Poinsettia Lane, the Villages of La Costa shall be permitted to final the Master Tentative Map (CT 99-03) and CT 99-04) that includes the creation of residential lots in Neighborhoods 3.8 and 3.9 of the Oaks Village and obtain appropriate grading permits (as approved by the Public Works Director/City Engineer and Planning Director) with the prior approval of an initial Affordable Housing Agreement which does not include an approved Site Development Plan. The initial Affordable Housing Agreement shall identity the number of affordable dwelling units proposed, the proposed location of the affordable units, the proposed level and tenure of affordability for the units, and a schedule for production of the affordable units. The initial Affordable Housing Agreement shall allow for no release of building permits by the City of Carlsbad for market-rate units until a Site Development Plan is approved for an affordable housing site required to comply with the Inclusionary Housing Ordinance and an amended Affordable Housing Agreement is executed and recorded against the Master Plan properties. The approved Site Development Plan for the affordable units and the amended Affordable Housing Agreement shall be required prior to the approval of the first final map for any individual neighborhood subdivision except for Neighborhoods 3.8 and 3.9, or the first development permit for any neighborhood which does not require a final map, within the Villages of La Costa Master Plan area. Residential lots and final grading for Neighborhoods 3.8 and 3.9 are included on the Master Tentative Map for the Oaks to eliminate the need to move dirt across Rancho Santa Fe Road after it is completed as well as to minimize impacts to the adjacent residential neighborhoods.

2.5.10 Miscellaneous Provisions

1. Recordation

Notice of the approval of this Master Plan for property within its boundaries shall be recorded with the County of San Diego Recorder's Office.

2. Effect of Conflicting Conditions

Wherever the provisions of this Master Plan permit greater flexibility than, or establish regulations different than those imposed or required by the Carlsbad Municipal Code, the provisions of this Master Plan shall apply.

3. Severability

If any regulation, condition, program or portion of this Master Plan or the application thereof to any persons or circumstances is held invalid or unconstitutional by the California or Federal Court of competent jurisdiction, such invalidity shall not effect other provisions or applications of the Master Plan which can be given effect without the invalid provisions or application thereof, and to this end the provisions of this Master Plan are severable.

Dedications

All land and/or easements required by this Master Plan for public streets, open space (with the exception of HCP areas, which will be addressed by separate agreement), recreational purposes and public utility purposes shall be granted to the City of Carlsbad or appropriate governmental agency without cost to the City and free of all monetary liens and encumbrances.

Location of Improvements

The location of streets, utilities, and other land use related improvements are considered schematic on the Master Plan Land Use map. Precise locations will be established through the approval of the Tentative Maps and Site Development Plans. A

variation of up to but not exceeding ten (10) percent in the locations as shown on the Master Plan Land Use map shall be considered consistent with the Master Plan. Any variations will be governed by Engineering Department Policy No. 30 regarding substantial conformance of approved Tentative Maps.

6. Landscaping

A detailed landscape and irrigation plan that follows the concepts described in Section 4.4, Master Landscape Concept, shall be submitted to the Planning Director prior to the issuance of a grading permit for each village.

Landscape Guidelines are further detailed in Sections 5.5, 6.5 and 7.5. Village Landscape Concepts are illustrated by Exhibits 5-11, 6-10 and 7-11.

7. Room Additions

All proposed room additions, porch covers, patios, decks and other construction requiring a building permit from the City of Carlsbad shall be approved by the Architectural Review Board. No plans will be reviewed by the City unless they first contain the approval stamp of the Architectural Review Board. All room additions and patio covers shall comply with the setback and lot coverage requirements established by the applicable Neighborhood Development Standards. The above-mentioned information shall be clearly stated in the Master CC&R's for this project.

8. Recreational Vehicle Storage

The Master Plan requires that recreational vehicle storage areas be provided to serve the needs of the residents of the Master Plan area. The area provided for this storage space, exclusive of driveways and approaches, shall be at least equal to 20 square feet for each Master Plan dwelling unit having a lot size of less than 7,500 square feet requiring the approval of a Planned Development Permit or Condominium Permit. One storage site

JHA\VLC MP December, 2000

will be located at La Costa Greens for residents of that village. A second site will be located at La Costa Oaks and will be sized to serve residents of La Costa Oaks and La Costa Ridge. All RV storage areas shall be operated and maintained by the Master Homeowners' Association. Recreational vehicle storage shall be available by use of an all weather access road prior to occupancy of any residential unit within the village which the RV storage area is located, or a temporary facility shall be established to serve development until the permanent facility is completed. RV storage areas are shown on Exhibit 5-1, La Costa Greens Village Development Plan and Exhibit 7-1, La Costa Oaks Village Development Plan. These provisions shall be incorporated into the Master CC&Rs.

9. Trail System

An extensive trail system has been designed for the Master Plan area. Master Plan Trail Standards are addressed in Section 4.3. 3. Individual village trail systems are further described in Sections 5.2.5, 6.2.5, and 7.2.5 and illustrated by Exhibits 5-5, 6-5, and 7-5.

10. Child Day Care Center

The Master Plan provides for one child day care center location. A two-acre site shall be developed in La Costa Greens. The day care center location is identified on the La Costa Greens Village Development Plan, Exhibit 5-1.

2.6 Local Facilities Management Plans

2.6.1 Community Facilities

The Villages of La Costa Master Plan land area lies entirely within Local Facilities Management Zones 10 and 11. The public facility requirements for this Master Plan are addressed in the Zone 10 and 11 Local Facilities Management Plans and Finance Plans. The Zone 10 and 11 LFMPs were prepared pursuant to the City's Growth Management Program. The LFMPs: (1) provide a description of how the zone will develop, (2) demonstrate how and approximately when each required facility and improvement will be constructed to accommodate phased development within the zone, and (3) provide a description of options for how each facility and improvement will be financed when mitigation is necessary.

The Villages of La Costa Master Plan implements but does not supersede the Local Facilities Management Plans. The Master Plan has been designed to be consistent with the purpose and intent of the Zone Plans. The following are the development policies as they pertain to the community facilities identified in the Local Facilities Management Plans. Development within the Villages of La Costa Master Plan shall be responsible for providing required facilities concurrent with need within Zone 10 and 11 as well as impacted facilities outside of the zones.

City Administrative Facilities

Administrative facilities requirements in the City of Carlsbad include new maintenance, warehouse and administrative buildings. These facilities will be funded with revenues generated through the City's Public Facilities Fees, Sewer Fees and the Mello Roos Community Facilities District. Per the LFMPs, no mitigation is required for Zones 10 or 11 to meet the adopted performance standard. However, the proportional obligation by the Villages of La Costa property owners will be met through the payment of fees and/or Community Facilities District taxes.

2. Library Facilities

Library remodeling and the construction of a new library facility in south Carlsbad are included in this category. Revenue sources for these facilities are the City's Public Facilities Fee Program and the Community Facilities District. Per the Zone 10 and 11 LFMP, no mitigation is required for the Zones to meet the adopted performance standard. However, the proportional obligation by the Villages of La Costa property owners will be met through the payment of fees and/or Community Facilities District taxes.

Park Facilities

Zones 10 and 11 are located in the City's southeast quadrant district for parks planning and service purposes. Zones 10 and 11 share responsibility for parks facilities with Growth Management Zones 6, 12, 17 and 18. These facilities are also funded from traditional municipal sources through the City's on-going capital improvements program. Park facilities within the Villages of La Costa Master Plan are being developed under an existing agreement with the City of Carlsbad. This agreement is addressed in the LFMPs.

4. Fire

Per the Growth Management standard, no more than 1500 dwelling units are allowed outside of a five minute response time. At present, Fire Station # 2, 5 and 6 provide adequate fire support to Zones 10 and 11 and the southeast quadrant.

Open Space

The HCP/OMSP Implementation Agreement includes the provision that no further open space will be required beyond the Conserved Habitat under the General Plan (the Conserved Habitat is shown as "HCP Areas" on Exhibit 1-4, Master Plan HCP Areas), including but not limited to the City's LFMP open space performance standard which requires that 15% of the total land

area exclusive of environmentally constrained non-developable land must be set aside for permanent open space and must be available concurrent with development. Beyond this provision the Master Plan recognizes the need to provide generous amounts of open space within each Village. Section 21.38.060 of the Carlsbad Municipal Code requires each master plan to provide an integrated open space program that includes at least fifteen percent of the total master plan area. The open space program shall address four separate categories of open space including:

- Open space for the preservation of natural resources;
- Open space for the managed production of resources;
- Open space for outdoor recreation; and
- Open space for public health and safety.

The Villages of La Costa proposed open space program will provide a significant amount of the open space within each Village. Each of the Village Development Plan chapters includes an Open Space section which addresses the distribution of open space within the four open space categories list above.

Schools

Existing and proposed school facilities and anticipated demand are described in the Zone 10 and 11 LFMPs for the Carlsbad Unified, San Marcos Unified, Encinitas Unified Elementary and San Dieguito High School Districts. No special mitigations are required for Zones 10 or 11 to meet the adopted performance standard for any of the School Districts except the Carlsbad Unified School District (CUSD). The San Marcos Unified School District (SMUSD) is in the process of developing a long-range school master plan and financing plan that will affect capacity issues. Developers of units within the SMUSD shall comply with applicable statutory requirements of the district prior to final map approval. Developer shall offer a school site within

the Greens available for purchase by the Carlsbad Unified School District for potential future use as an elementary school.

2.6.2 Utilities And Infrastructure

The four public utilities identified in the zone plan required to serve Zones 10 and 11 include wastewater/sewer, water/reclaimed water, drainage and circulation facilities. The zone plan assumes the need for public facilities based on a five year phasing scenario. When appropriate, the zone plan also divides the provision of public utilities into independent areas for the provision of public facilities. The service area boundaries allow for independent review and development for the facilities within each boundary.

The majority of public facilities may be provided in the first phase of development if the phasing of development occurs as discussed in the Grading Section. This phase will include circulation infrastructure, sewer, water and drainage facilities. For purposes of this section, however, the special conditions are as identified in the Zones 10 and 11 LFMPs.

1. Water

The City of Carlsbad is provided domestic water from three sources: The Carlsbad Municipal Water District, Vallecitos Water District and the Olivenhain Municipal Water District. Water service for the Villages of La Costa Master Plan falls within all three water districts.

This Master Plan lies entirely within the boundaries of Zones 10 and 11, which currently conform to the adopted performance standards. Since the water district requires development to install domestic water and fire flow needs as conditions of approval to future development, conformance with the adopted standards will be maintained to ultimate development of the project.

Storm Drainage

Drainage is distinguished from all other public facilities and improvements because, by its very nature, it is more accurately assessed as specific development plans are finalized. However, certain facilities may be necessary which are larger than those required from a single development project and, therefore, need to be identified so that the proper funding can be collected for the construction of these facilities. The Zone 10 and 11 LFMPs address each required facility and establish the special conditions for development within the zones.

3. Sewer And Wastewater Facilities

The City of Carlsbad receives wastewater for treatment at its primary plant, the Encina Water Pollution Control Facility. After treatment it is then discharged into the ocean. The City of Carlsbad wastewater collection systems utilizes over 100 miles of sanitary sewers ranging from 6 inches in diameter to 54 inches and 15 lift stations.

The system has been generally laid out to conform to the topography of the area watersheds and to drain in a westerly direction; therefore allowing most of the transportation to be provided by gravity. The majority of the lift stations are along the coast.

Carlsbad and the Villages of La Costa properties are serviced by three independent sewer districts: Carlsbad, Leucadia, and Vallecitos. The Zone 10 and 11 LFMPs address each required facility in each district and establish the special conditions for development within the zones.

4. Circulation

The zone plans address all Circulation Element road segments within Zones 10 and 11 and roadways and intersections outside of the zones impacted by twenty percent or more of the traffic generated by Zone 10 and 11. The text analyzes existing, 2000, 2005, 2010 and city build out conditions (2020) based on yearly development phasing assumptions.

The time increments are used more as bench marks than actual completion dates. If a future traffic analysis indicates that the timing of the necessary improvements needs to be accelerated, the required improvements must also be adjusted to guarantee that conformance with the adopted performance standard will be maintained.

To maintain an acceptable level of service on all impacted roadways by the Master Plan, the Local Facilities Management Plans identify mitigation measures for circulation improvements.

3.0 DEVELOPMENT REVIEW PROCESS

3.1 Relation of the Master Plan and the Village Development Plans

Approval of this Master Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Master Plan.

Any revisions to this Master Plan shall be processed pursuant to Title 21 of the Carlsbad Municipal Code as well as Section 3.2 of this document. All revisions must conform to and implement the Master Plan Goals. Any application which is not consistent with the Master Plan shall not be approved.

Chapters 1, 2, 3, and 4 of the Villages of La Costa Master Plan effectively: 1) set the goals and policies of the Master Plan; 2) establish the General Plan and Land Use Provisions; 3) set forth the Development Review Process; and 4) describe the Master Plan Development Standards and Design Guidelines common to the three villages.

Chapters 5, 6, and 7 establish Village Development Plans which, while consistent with the Master Plan goals and land use provisions, set forth the site specific plans and standards necessary for the development of the individual villages. It is anticipated that certain modifications to Village Development Plans may be necessary during the development of the individual villages. If, at the discretion of the Planning Director, a modification is deemed specific to an individual village and is in substantial conformance with the intent of the Master Plan as a whole, an administrative adjustment to the Village Development Plan may occur without necessitating a Master Plan Amendment. The criteria for Master Plan Amendments are set forth in Section 3.2 below.

3.2 Master Plan Amendments

Amendments to the Master Plan shall be processed pursuant to Section 21.38.120 (P-C Zone) of the Carlsbad Municipal Code. Amendments may be initiated by the City Council or property owner.

If determined to be necessary by the City Council, the Master Plan may be

comprehensively reviewed by the City of Carlsbad Planning Department every four years or more frequently. The review shall consider but not be limited to the following topics:

- 1. The quality of the living environment created by the Master Plan;
- 2. The Master Plan's fulfillment of current City policies and standards;
- The fiscal impact of the Master Plan's implementation;
- The Master Plan's maintenance of environmental quality; and
- Adequacy of public facilities.

3.3 Master Tentative Tract Map

Master Tentative Tract Maps (CT 99-03 and CT 99-04) are being processed concurrently with the Master Plan. Any revisions to CT 99-03 and/or CT 99-04 shall be processed pursuant to Titles 20 and 21 of the Carlsbad Municipal Code. All future development shall occur substantially in conformance with these approvals unless otherwise amended. All proposed tentative map revisions must conform to, and implement the Master Plan. Any application which does not conform to or implement the Master Plan shall not be approved.

3.4 Tentative Tract Maps and Final Maps

Neighborhoods created as discrete lots by Master Tentative Tract Map may be further subdivided for ultimate development. As applications for approval of Tentative Tract Maps subdividing a given Neighborhood are processed, information regarding topography and other matters pertaining to development of that Neighborhood will become available in greater detail than was available at the Master Tentative Tract Map stage. Where such information indicates some changes to boundaries of the land dedicated or offered for dedication at the Master Tentative Tract Map stage are reasonably necessary to accommodate development of the Neighborhood in a manner permitted by this Master Plan, the developer may apply to effectuate such boundary changes through Master Plan Amendments, lot line adjustments and appropriate exchanges of property.

Master Plan requirements for the processing and/or recordation of Final Maps include the following:

- Master CC&Rs must be recorded prior to the recordation of a Final Map for an individual neighborhood within the village or development phase;
- Open Space Areas located within a given development phase must be irrevocably offered for dedication to the City, HOA, or HCP Conservator in fee title or as required, concurrently with the recordation of the Final Map for the development phase;
- A grading plan pursuant to Chapter 15.16 of the Carlsbad Municipal Code shall be required for a development phase for which the individual Final Map is being requested prior to approval of the Final Map for that development phase;
- A Master Lighting Plan for each development phase is a condition precedent to the recordation of the Final Map for that development phase;
- An Affordable Housing Agreement must be signed prior to the recordation of a Final Map for the first neighborhood development;
- Demonstration to the satisfaction of the City that interim or final fire
 protection services will be provided prior to recordation of the first Final
 Map for each village; and
- All conditions of approval of the Tentative Tract Map have been satisfied.

3.5 Planned Development Permits

Planned Development Permits processed pursuant to Chapter 21.45 of the Carlsbad Municipal Code and the provisions of this Master Plan shall be submitted and approved prior to the development of a single-family detached home neighborhood having lots less than 7,500 square feet in area or gated with private roads (Residential Planned Development Permit) or a condominium neighborhood (Condominium Planned Development Permit).

3.7 Conditional Uses

A Conditional Use Permit processed pursuant to Chapter 21.42 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of a fire station, hospital, church or community services facility (all of which require a CUP). Community recreation centers located in neighborhoods which are not subject to the Planned Development Ordinance shall also require the granting of a Conditional Use Permit. The Conditional Use Permit shall be consistent with the concepts, goals and standards specified in this Master Plan to ensure compatibility with all appropriate City policies and ordinances. After final approval of each Conditional Use Permit, grading, building and other ministerial permits for the development of the site may be issued provided that all conditions of approval and public facility requirements have been satisfied per the relevant Zone 10 and Zone 11 Local Facilities Management Plans.

Each Conditional Use Permit shall be submitted and processed as set forth in Chapter 21.42, Conditional Uses, of the Carlsbad Municipal Code.

3.8 Child Day Care Center

A child day care center is permitted in the Villages of La Costa within the La Costa Greens area designated Community Facilities on Exhibit 2-3, Master Plan Zoning. The proposed day care center, located along El Camino Real, is subject to the provisions of Section 21.83.080, Development Standards For Child Day Care Centers, of the Carlsbad Municipal Code.

A child day care center located directly adjacent to Planning Area 1.1, designated for Office (O) zoning district permitted uses, is subject to the limitations and provisions within Code Section 21.83.060 (Child Care) regarding the potential health and safety risks associated with hazardous materials used in nearby businesses. The limitations include a required risks evaluation, parental and property owner notifications, an emergency operating plan, and an operational agreement with the City.

Child day care center is defined as a facility other than a family day care home which provides non-medical care, protection, and supervision for children under eighteen years of age for periods of less than twenty-four hours per day. Child

day care centers include preschools through kindergarten, nursery schools, employer-sponsored child day care facilities, and before- and after-school recreational programs, but do not include public or private elementary schools.

3.9 Site Development Plans

A Site Development Plan processed pursuant to Chapter 21.06 of the Carlsbad Municipal Code shall be submitted and approved prior to the development of apartment projects which include more than 4 dwelling units, for single-family home neighborhoods with a minimum lot size of 7,500 square feet and greater, and for any development in the Office Zone (Planning Area 1.1). The Site Development Plan shall be consistent with the concepts, goals and standards specified in this Master Plan. After final approval of each Site Development Plan, grading, building and other ministerial permits for the development of the site may be issued provided that all conditions of approval and public facility requirements have been satisfied.

3.10 Public Facility Phasing

The Zone 10 and Zone 11 Local Facilities Management Plans contain detailed development phasing programs for eleven public facilities covered by the City of Carlsbad Citywide Public Facility Plan. These plans ensure that public facilities will be in place when they are needed. The Master Plan will be developed in multiple phases. Each phase has specific offsite and onsite improvements that must be provided prior to or concurrent with development. The Citywide Public Facilities plan established performance standards for public facilities. These performance standards were adhered to by the Zone 10 and Zone 11 Local Facilities Management Plans to ensure the appropriate timing of facilities and services. All public facility performance standards identified in the Local Facilities Management Plans and any amendments thereto must be complied with as the Master Plan develops.

The phasing of public facilities is addressed within each of the Village Development Plan chapters of the Master Plan. Public facilities phasing for La Costa Greens is discussed in Section 5.4 and illustrated on Exhibits 5-6, 7, 8, 9, and 10. The phasing of public facilities for La Costa Ridge is described in Section 6.4 and shown on Exhibits 6-6, 7, 8, and 9. Public facilities phasing for

La Costa Oaks is described in Section 7.4 and depicted on Exhibit 7-6, 7, 8, 9, and 10.

4.0 MASTER PLAN DEVELOPMENT STANDARDS AND GUIDELINES

4.1 Introduction

An important overall goal of the Villages of La Costa Master Plan is the creation of a high quality, balanced, open space-oriented residential community. The purpose of this chapter is to support this goal by describing the design elements that will be shared by all neighborhoods within the three Master Plan villages. They include basic grading, architectural and landscape concepts, circulation standards, site planning guidelines, fencing, signage and lighting concepts. Each of these elements will have an integral part in providing a sense of continuity throughout the Master Plan area. They establish the overall character and act as a catalyst for the development of individual design expression. Each design element is defined through text and illustrations. Site-specific design criteria for individual neighborhoods are provided by the Village Development Plans in Chapters 5, 6 and 7.

4.2 Entitlements

The Master Plan sets standards for development; however, it does not provide a guarantee of approval for future discretionary projects within its boundaries. Specific development plans shall be evaluated in accordance with the provisions of the Master Plan as well as with municipal ordinances and policies in force at the time said plans are before the Planning Commission and/or City Council for approval. Unless specifically addressed, the Master Plan requires conformance with all otherwise applicable City development standards and requirements. Where a conflict in development standards occurs, the standards of the Master Plan shall take precedence.

Development within the Master Plan shall be subject to all present and future Growth Management plans, policies or ordinances adopted by the City Council or by citizen vote including but not limited to Chapter 21.90 of the Carlsbad Municipal Code (Growth Management).

4.3 Grading

4.3.1 Grading Objectives

The Master Plan grading concept is responsive to the physical character, location and type of land use, as well as the visual and environmental qualities of the site. The conceptual grading design is intended to achieve several project objectives, including:

- Create a scenic living environment for residents;
- Be responsive to the natural landforms both on- and off-site;
- Ease the visual impacts of grading;
- Stabilize manufactured slopes; and
- Comply with the City's existing grading and hillside development regulations (Carlsbad Municipal Code Section 21.95).

To achieve these objectives, a number of techniques will be incorporated into the grading design, including: contouring techniques which soften the visual appearance of manufactured slopes, rounding of tops and toes of slopes, horizontal undulation of slopes, and variation of slope gradient (see Exhibit 4-1, Grading Techniques). Landscaping will also be employed to provide visual softening of slope areas.

4.3.2 Conceptual Grading Plans

Conceptual grading plans for the three village areas are included as Appendix B to the Master Plan. While these plans are preliminary in nature, they demonstrate the essentially balanced nature of each village grading operation. Precise grading plans shall be submitted for review with each tentative subdivision map. Earthwork estimates based on the conceptual grading plans are summarized below.

EARTHWORK QUANTITIES

Village Area	Cut		Fill		Import/Export
La Costa Greens	4,620,000	су	4,620,000	cy	Balanced
La Costa Ridge	1,146,500	cy	1,146,500	cy	Balanced
La Costa Oaks	4,249,600	cy	4,249,600	cy	Balanced

4.3.3 Phasing of Grading

Each of the villages of the Villages of La Costa may be independently developed provided they comply with the public facility performance standards prescribed by their respective Local Facilities Management Plan. Therefore, each of the villages may also be independently graded, following the sequence described for the phasing of public facilities in the Village Development Plan for that village. For example, La Costa Greens would be graded in up to four phases, as illustrated on Exhibit 5-10, La Costa Greens Village Phasing Plan. Similarly, grading for La Costa Ridge would occur in one phase (Exhibit 6-9) and La Costa Oaks would be graded in up to two phases (Exhibit 7-10).

4.3.4 Grading Requirements

Conceptual phasing of grading is set forth in the individual Village Development Plans (Chapters 5, 6 and 7). All grading proposed by any grading design intended to implement this Master Plan shall conform to the following City of Carlsbad ordinances, policies and/or guidelines:

Excavation and Grading Ordinance (Chapter 15.06, Carlsbad Municipal Code).

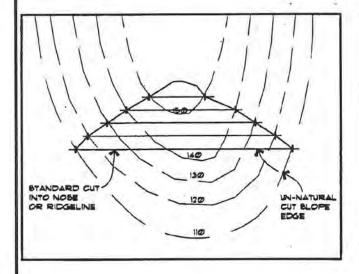
Hillside Development Regulations (Chapter 21.95, Carlsbad Municipal Code).

City of Carlsbad Hillside Development and Design Guidelines.

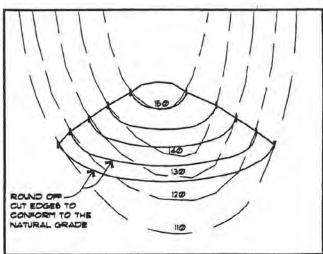
City of Carlsbad Landscape Manual.

City of Carlsbad Master Drainage Plan.

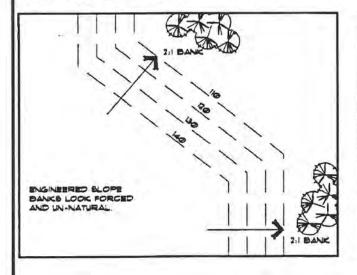
NOT ACCEPTABLE



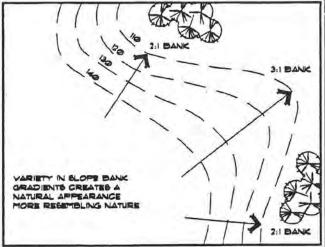
ACCEPTABLE



NOT ACCEPTABLE



ACCEPTABLE





4.4 Hillside & Hilltop Development

Twenty percent (20%) of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story. If application of this requirement results in 0.5 or less of a unit the number is rounded down to the nearest whole number. This standard is included in the Special Design Criteria Section of applicable neighborhoods.

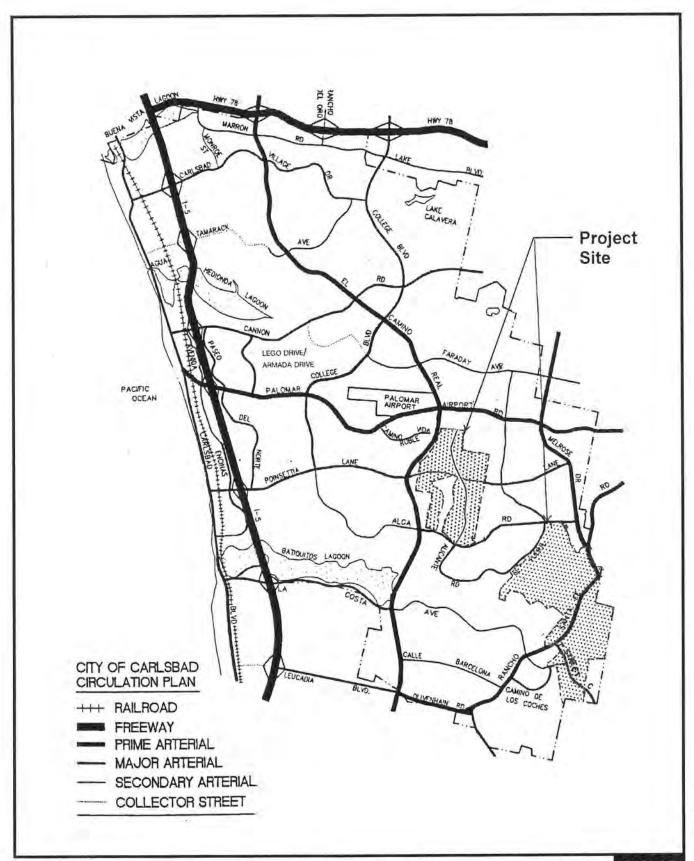
Hillside developments shall be designed to be consistent with the City's Hillside Development Regulations, Chapter 21.95 of the Carlsbad Municipal Code and with the City's Hillside Development and Design Guidelines, unless modified herein. The Design Guidelines include criteria that apply to hillside and hilltop architecture, slope edge building setbacks, roadway design, and hillside drainage.

4.5 Circulation

4.5.1 Regional Circulation

Primary regional circulation in the Master Plan area is provided by the Interstate 5 (I-5) Freeway to the west and by the State Highway 78 (SR-78) Freeway to the north. The regional circulation pattern is illustrated by Exhibit 4-2.

Area roadways designated as Prime Arterials by the Carlsbad Circulation Element include El Camino Real, Palomar Airport Road, Olivenhain Road, Melrose Drive west of Rancho Santa Fe Road and Rancho Santa Fe Road to the north of Olivenhain road. South of Olivenhain Road, Rancho Santa Fe Road becomes a Major Arterial. Alga Road, Poinsettia Lane, and La Costa Avenue west of El Camino Real, are also designated Major Arterials. To the east of El Camino Real, La Costa Avenue becomes a Secondary Arterial. Alicante is also designated a Secondary Arterial with special rights-of-way, as shown on Exhibit 4-6. To the east of Rancho Santa Fe Road, Street "C" (Melrose Drive) is designated a Major Arterial. The right-of-way will be graded for a 102-foot Major Arterial Street and developed to Secondary Arterial standards (64-foot paved section).





4.5.2 Street Standards

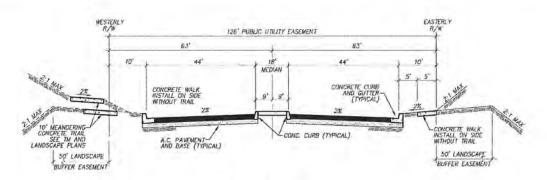
Street standards within the Master Plan area are set forth by Exhibit 4-3 – Street Sections 1, Exhibit 4-4 – Street Sections 2, Exhibit 4-5 – Street Sections 3 and Exhibit 4-6 – Street Sections 4. These street sections include Prime Arterials, Major Arterials, Secondary Arterials, Local Streets and Private Streets. For cul-de-sacs and minor loop streets, the right-of-way may be reduced to 56 feet and the paved way reduced to 36 feet. However, where the number of units on a cul-de-sac street exceeds 20, the minimum paved width shall be 40 feet.

The width of private streets will vary and will be established at the Tentative Tract Map and Site Plan Review stage in accordance with City standards. All private streets within the Villages of La Costa may be gated. Conceptual private street locations are shown on the individual Village Circulation Plans.

Typical street sections are provided within the master plan. In general new local streets within the master plan will include landscaped parkways having a minimum width of four and one-half feet located between the curb and sidewalk. Sidewalks having a minimum width of five feet shall be provided on both sides of all streets unless the Planning Commission or City Council determines that it is appropriate to construct sidewalks on one side of the street only.

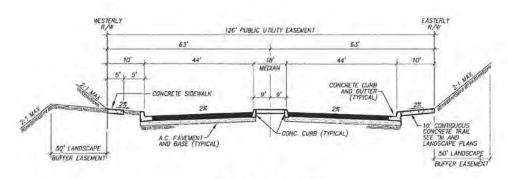
4.5.3 Traffic Calming

During the buildout of the Villages of La Costa Master Plan the City Council may approve standards for the use of traffic calming devices. Should the use of traffic calming devices be approved by the City Council such devices may be incorporated into project designs for neighborhoods which have not yet received discretionary approvals for development or into existing developed neighborhoods. The inclusion of such devices shall not require substantial modifications to the neighborhood concept designs or yields. Recommendations on appropriate locations to achieve better design and slow traffic shall be provided during project review by City departments particularly the Engineering, Fire and Planning Departments.



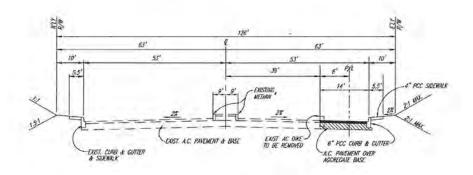
PRIME ARTERIAL

RANCHO SANTA FE ROAD



PRIME ARTERIAL

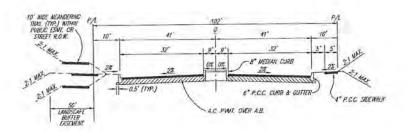
RANCHO SANTA FE ROAD - ABUTTING HCP AREA



PRIME ARTERIAL

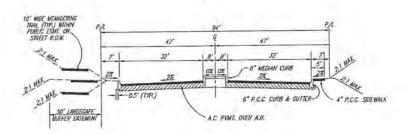
EL CAMINO REAL





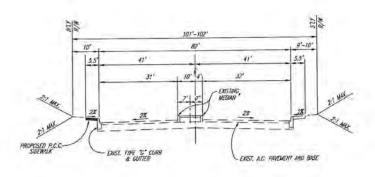
MAJOR ARTERIAL

POINSETTIA LANE - BETWEEN EL CAMINO REAL & ALICANTE ROAD



MAJOR ARTERIAL

POINSETTIA LANE - EAST OF ALICANTE ROAD

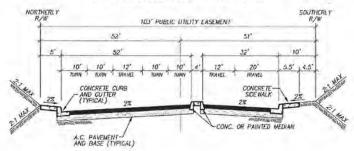


MAJOR ARTERIAL

ALGA ROAD - EAST OF ALICANTE ROAD

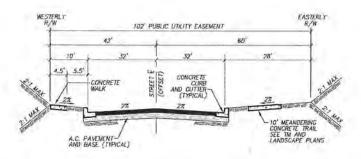


FINAL DESIGN TO BE DETERMINED



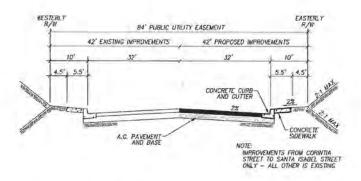
MAJOR ARTERIAL

QUESTHAVEN ROAD



MAJOR ARTERIAL (WITH SECONDARY ARTERIAL IMPROVEMENTS)

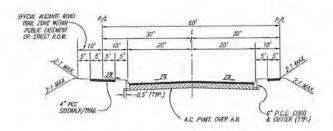
STREET "C"



SECONDARY ARTERIAL

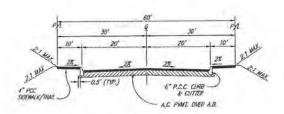
EL FUERTE STREET





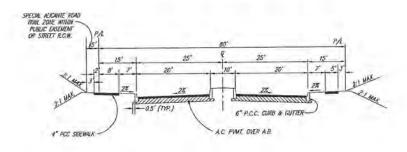
60' COLLECTOR

ALICANTE ROAD - FROM SDG&E EASEMENT TO WETLAND CROSSING



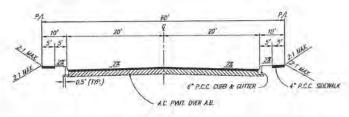
60' COLLECTOR

ALICANTE ROAD - AT WETLANDS CROSSING



80' ENHANCED COLLECTOR

ALICANTE ROAD - FROM ALGA ROAD TO SDG&E EASEMENT



LOCAL STREET

STREETS "A" & "B", LA COSTA AVENUE & CORINTIA*

* 5' CONTIGUOUS SIDEWALK ON ONE SIDE



4.5.4 Cul-De-Sacs

In order to facilitate pedestrian and bicycle access to an area beyond the street, "open cul-de-sacs" shall be used where appropriate. Open cul-de-sacs may be utilized where non-automobile circulation could be enhanced and at development edges where physical or visual access beyond the project is desirable. Sidewalk or trail connections shall be provided where appropriate from the cul-de-sac to the nearest sidewalk or trail beyond the open cul-de-sac. Not all cul-de-sacs need to be opened for these purposes.

4.5.5 Trail Standards

To encourage pedestrian movement within the community, a system of trails has been developed to include both citywide and Master Plan trails. The Master Plan trails allow residents to move freely about the Villages of La Costa and access the community park, open space areas and common recreational areas within the Master Plan. They are also designed to tie into a future citywide trail system as proposed. Each trail segment located within the Villages of La Costa will be privately maintained until such time as it is accepted for purposes of maintenance and liability by the City of Carlsbad.

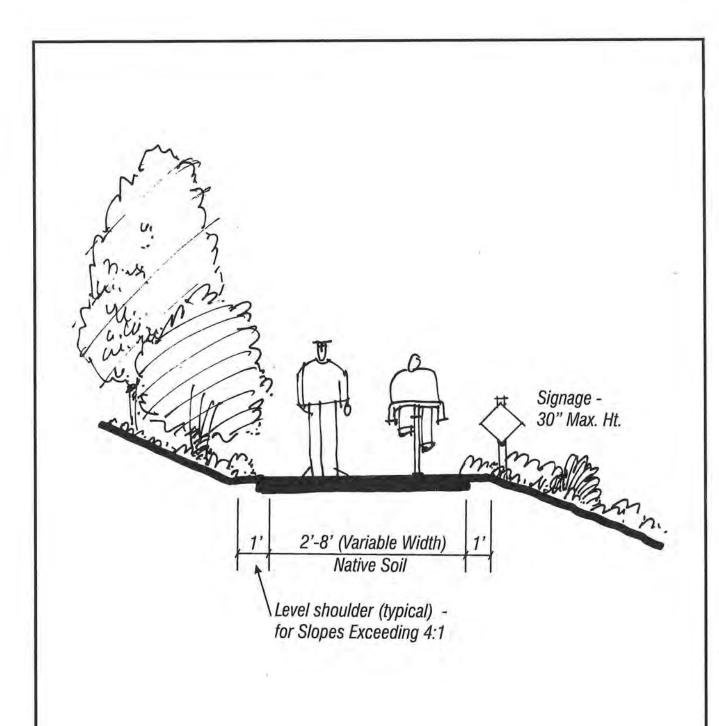
In addition to the general standards set forth below, specific trail types and locations for each village are described in Sections 5.2.5, 6.2.5, and 7.2.5 of the Village Development Plans.

- The trail design is compatible with the guidelines set forth in the Open Space and Conservation Resource Management Plan dated June 1992. The trail links are designated as Class 2 trails which are unpaved hiking and bike paths. These trails will be native soil (treated) with a stabilizer if necessary, woodchips, and or shredded bark. The width of the trail will vary in width from 2 to 8 feet. The trail section is shown on Exhibit 4-7.
- All trails shall be constructed to provide proper drainage. A
 cross slope shall be maintained with a minimum two percent
 (2%) grade with berms and ditches utilized to prevent washout

MASTER PLAN STANDARDS AND GUIDELINES

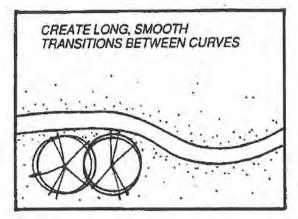
of cuts and fills. Cut and fill slopes created by the construction of the trail system will not exceed 2:1. Trail entrance signs will be posted at trail entrances and street crossings. For any trail crossing a roadway, a crossing sign warning motorists will be posted 300 feet before the crossing.

- All three villages will be connected by a network of trails which will access residential neighborhood, recreational opportunities and natural open space areas.
- 4. Special design guidelines for walk and trail treatments are shown on Exhibit 4-8.

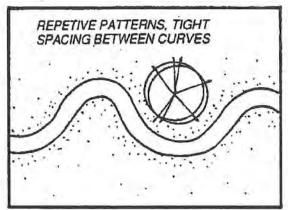


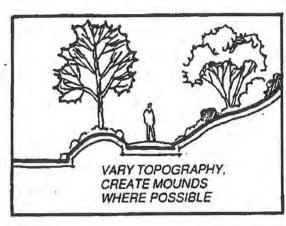


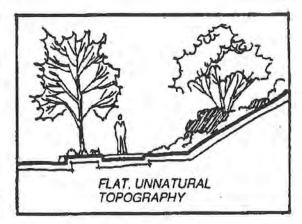
DO THIS

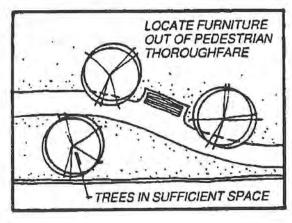


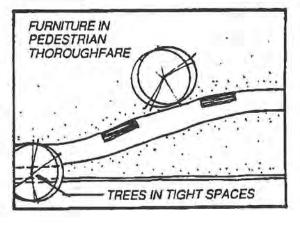
AVOID













4.6 Architecture/Site Planning

The purpose of the Architectural/Site Planning Design Standards and Guidelines is to create a community identity through the implementation of a consistent architectural design program. The intent is to allow neighborhoods to establish individual identities, yet blend strongly with overall community themes. These standards and guidelines should be addressed during final project review unless it is demonstrated that certain standards and guidelines are not applicable, appropriate, or feasible under the circumstances.

The Architectural/Site Planning Design Standards and Guidelines are divided into the following categories:

☐ Goals (4.6.1)

The Goals section outlines the overall concepts that were used in the formation of the Site Planning Standards and Architectural Controls.

☐ Site Planning Standards (4.6.2)

Section 4.6.2 depicts the Master Plan development standards that apply to site planning for all residential development within the Villages of La Costa Master Plan.

☐ Architectural Controls (4.6.3)

Section 4.6.3 sets forth the architectural controls applicable to all residential development within this Master Plan.

☐ Review Process (4.6.4)

The Review Process section outlines the review process for development and how compliance will be maintained with the standards and guidelines established in Section 4.6.2 and 4.6.3.

4.6.1 GOALS

The purpose of the Goals section is to bring forward the basic concepts that were used as the foundation for creating the Site Planning Standards and Architectural Controls in the following sections. These goals were formulated to provide a sense of variety, high level of quality and design unity within the overall community character of the Villages of La Costa.

- Cohesiveness and diversity of architectural style can be made
 to co-exist within the Master Plan. This can be achieved
 through the use of unifying elements in the overall community,
 and by the avoidance of visual conflicts caused by drastically
 dissimilar styles, colors and levels of quality located within the
 same visual area.
- Compliance with the site planning standards and architectural controls required in this Master Plan will result in adequate architectural plane variation and separation between buildings; therefore, the regulations herein take precedence over the Carlsbad Planned Development Ordinance sections related to building separation.

3. Streetscape Concepts

At the time of development for each neighborhood, each builder should provide a diversity of configurations which employ the following, where possible:

- a. Variety of lot sizes;
- Variety of floor plans (such as courtyard plans and rear garage plans); and
- Identification of special lotting locations (such as corner lots as architectural opportunities).

4.6.2 SITE PLANNING STANDARDS

The purpose of this section is to insure that the physical development of the Villages of La Costa avoids monotonous, repetitive appearances within each neighborhood and throughout the community as a whole. All residential neighborhoods within the La Costa Greens, La Costa Ridge, and La Costa Oaks villages shall comply with the neighborhood development standards in this section <u>unless specifically modified in the individual neighborhood Development Standards, Sections</u> 5.7, 6.7, and 7.7.

In addition to the overall site planning standards for residential development, this section includes additional standards that apply to detached residential developments with minimum required lot sizes of 7,500 square feet in addition to single-family cluster home, townhome, stacked flat or carriage unit common lot developments.

A. Goals

Create standards to encourage diversity in site planning while maintaining an overall sense of cohesiveness throughout the Villages of La Costa.

 Add additional flexibility in front and rear yard setbacks to foster a less rigid building line along the residential streets.

2. Neighborhood Identity

The use of entry monuments and village theme walls will be used to provide each neighborhood with its own identity while maintaining the overall community appearance of the Villages of La Costa.

a. Monuments

Each neighborhood or Open Space Area may provide entry monuments at locations shown on the individual Neighborhood Development Plans or Open Space Area exhibits. These monuments shall be constructed in accordance with the specifications <u>described in Section</u> 4.9. Signage, and Sections 5.5.4, 6.5.4, and 7.5.4, Neighborhood Entries.

b. Village Theme Walls

Village theme walls shall be provided at locations shown on the individual Neighborhood Development Plans and Open Space Area exhibits. These walls shall be in accordance with the <u>specifications described in Section 4.8, Walls and Fencing, and Sections 5.5.7, 6.5.7, and 7.5.7, Village Theme Walls.</u>

Neighborhood Development Plans

Neighborhood Development Plans are provided for each residential neighborhood. These exhibits show the location of entry monumentation, walls, trails, community facilities, undeveloped areas, and recreation areas. These exhibits are conceptual in nature and are provided to indicate the proposed development concept for each neighborhood. Precise street configurations, location of slopes and open space as well as other details will be determined during the final design process.

- The Planned Development Ordinance standards addressing tenin-a-row unit separation are not applicable within this Master Plan area.
- Innovative house design and lot configurations that increase
 housing variety, such as wide and shallow lots, alley products,
 zero lot lines, "Z" lots and exclusive use areas are encouraged
 subject to the approval of the final decision making body.

B. Site Planning Standards for All Residential Lots

The following site planning standards are applicable to all of the residential neighborhoods unless specifically modified in <u>sections 4.6.2.C</u> for Lots Smaller than 7,500 square feet, 4.6.2.D for Lots Smaller than 5,000 square feet or 4.6.2.E for Single-Family Cluster Homes, Townhomes, Stacked-flats and Carriage Units of Common Lots.

1. Lot Width and Depth

Lot widths and depths may vary throughout a Neighborhood. The development of a particular area may contain a mixture of lot width and depth combinations. For example, there may be wider, shorter lots adjacent to narrower, longer lots. The required minimum lot widths are <u>established in the individual Neighborhood Development Standards</u>, <u>Sections 5.7.3</u>, <u>6.7.3</u> and 7.7.3.

2. Setbacks

The following habitable area and garage setbacks shall apply for all individual single-family lots:

a. Front Yard - The front yard setback for all habitable areas of all single-family detached dwellings in master plan neighborhoods shall be a minimum of 15 feet with an average setback of 20 feet. It is the intent of this section to provide substantial setback variation from a private or public street and shall not be construed to allow a uniform 15-foot setback.

The front yard setback shall be measured from the right-of-way line in the case of a public street and from the edge of the street, curb or sidewalk whichever is closer to the structure subject to the setback in the case of a private street.

If the single-family house (excluding the porch area) is setback the minimum 15 feet for less than 33% of the

frontage of the house then the setback for that house is an average of the different setbacks of all of the building planes (containing a minimum of 100 square feet and excluding chimneys, porches and other minor architectural features) on the lot.

If the unit is setback the minimum 15 feet for 33% or more of the frontage of the house, the setback for the lot shall be deemed to be the closest point of the unit (excluding the porch) to the front property line. The overall neighborhood average would then be calculated. The developers of individual neighborhoods must submit the necessary plans and calculations at the time of development in order that compliance with the required setbacks can be verified.

A porte cochere or arbor structure is also allowed within the front yard setback to accommodate applicable alternative garage configurations. The cover is not to exceed more than 200 square feet in size and must be setback a minimum of 5 feet from the property line.

- b. Garages All garages shall be setback a minimum of 20 feet from the property line where garage doors face the street to ensure adequate room for parking on the driveway without blocking the sidewalk. Side-loaded garages must maintain a minimum setback of 15 feet from the property line. Side-loaded garages shall be designed with adequate architectural detailing to appear as a livable portion of the home.
- c. <u>Side yards</u> A side yard shall be provided on each side of the lot. The combined side yard setbacks shall be equal to 25% of the width of the minimum standard lot size within a neighborhood for lots less than 60 feet wide and 20% of the width of the minimum standard size lot for lots 60 feet wide and greater. For example, if the standard lot is 70 feet by 100 feet, then the side

yards shall equal 14 feet. One of the two side yards shall be no less than 5 feet, the other the balance of the 25% or 20% whichever is applicable. In no case shall the side yard setback for either side of the lot be less than 5 feet. On the end of cul-de-sacs, both side yards may be reduced to 5 feet each. The maximum side yard setbacks need not exceed 20 feet in aggregate.

At least 50% of the units in each neighborhood shall have one side elevation where there are sufficient off-sets or cutouts so that the side yard setback averages a minimum of 7 feet.

- d. <u>Street Side Yard</u> On any side yard that is adjacent to a street (side corner), the side yard shall be a minimum of ten feet.
- e. <u>Rear Yard</u> Rear yards shall have a minimum area of 15 feet by 15 feet. The required rear yard setback dimension is established herein in the Individual Neighborhood Development Standards section for each village.
- f. Non-enclosed and non-habitable porches may encroach up to 5 feet or balconies up to 8 feet into the required front yard setback, however in no case shall less than a 10-foot setback be maintained. Other architectural elements and features, including courtyard walls with a maximum height of 42 inches and the projections noted below, may encroach standard distances into the required yard areas.

3. Projections

Fireplace structures which are not wider than 8 feet measured in the general direction of the wall for which it is a part, cornices, eaves, belt courses, sills, buttresses, and other similar architectural features projecting from the building may intrude up to two feet into the required setbacks.

a. A round or octagonal entry tower may encroach into the required side setbacks a maximum of 2'-0". The total length of the encroachment may not exceed 8 feet and shall be located within the larger side yard. The roof eave may encroach a maximum of an additional 1'0" into the required side setback. A minimum 5-foot setback must be maintained with the exception of those items listed above.

Parking

Resident Parking

All units shall have at a minimum a two-car garage with interior measurements of 20 feet by 20 feet. As an alternative two one-car garages each having interior measurements of 12 feet in width by 20 feet in length may be provided.

Recreation Area Parking

- Resident parking shall be provided for common active recreation areas per the following standards. Common recreation areas less than 8,000 square feet are not required to provide any offstreet parking. Small neighborhood "pocket parks" are not required to provide parking.
- ii. Common recreation areas located within a quarter mile radius of the units for which they are required to serve shall include parking at the rate of one space for each twenty units for which the recreation area is being provided.
- iii. A common recreation area located <u>more than a</u>

 <u>quarter mile</u> radius from any of the units for
 which it is required to serve (either in the same

neighborhood or in a separate neighborhood) shall include parking for the additional units at the rate of one space for each 15 units for which the recreation area is being provided.

iv. On-street parking located along the frontage of the recreation area may satisfy these parking requirements as long as the spaces are not required to meet the residential visitor parking requirement. Off-street parking spaces shall comply with the size and access requirements contained in Chapter 21.44 of the Carlsbad Municipal Code. Parking bays located adjacent to the public right-of-way may be provided to satisfy the off-street parking criteria, in the absence of traffic and public safety concerns.

Second Dwelling Units

Second dwelling units may be permitted on lots with an area of 7,500 square feet or greater which are developed with detached single-family residences according to the provisions of Section 21.10.015 and Section 21.85, if the units are provided to meet the inclusionary housing requirement, of the Carlsbad Municipal Code.

Landscape

- a. All landscape standards <u>described in Section 4.7, Master Plan Landscape Concept, and the Village Landscape Concept Plan Sections 5.5.8, 6.5.8, and 7.5.8</u> shall be incorporated into each neighborhood and Open Space Area as applicable. All landscape plans shall comply with the requirements of the Landscape Manual of the City of Carlsbad unless deviation is expressly set forth in this Master Plan.
- b. Neighborhood landscaping and street tree planting con-

- cepts shall be developed in conjunction with the architectural concepts for each village and neighborhood.
- c. Safe intersection sight distance shall be maintained on all corner lots. Corner sight distance specifications are described in Section 4.7.3.

C. Additional Site Planning Standards on Lots smaller than 7,500 Square Feet

The following section outlines additional Master Plan design and development standards that will be used to supplement the applicable standards and guidelines <u>presented in Section 4.6.2.B</u>, <u>Site Planning Standards for All Residential Lots</u>. For areas subject to this Master Plan the Small Lot Design Standards contained within this Master Plan shall apply in place of the City of Carlsbad Small Lot Guidelines. In the event that the Master Plan design standards conflict with the provisions of Chapter 21.45 of the Carlsbad Municipal Code or modifications made thereto, the provisions of the Master Plan shall apply.

1. Lot Width and Depths

Lot widths and depths may vary throughout a Neighborhood. The required minimum lot widths are <u>established in the individual Neighborhood Development Standards</u>, <u>Sections 5.7.3</u>, 6.7.3 and 7.7.3.

Setbacks

a. Front Yard Setbacks

- See 4.6.2.B, 2.a above, for habitable area setback requirements.
- See 4.6.2.B, 2.b above, for garage setback requirements.

b. Side and Rear Yard Setbacks

i. See section 4.6.2.B, 2.c and d above, for design

standards which affect the side yard setbacks and apply to the small lots as well.

 See section 4.6.2.B, 2.e above, for design standards which affect the rear yard setbacks, in addition to the specific neighborhood development standards.

3. Projections

Typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code may intrude up to two feet into the required setbacks.

4. Parking

a. Residential Parking

All units must have at least two full-size covered residential parking spaces, except for studio units which shall be provided with a ratio of 1.5 spaces per unit, for which one space shall be covered.

b. Visitor Parking

Visitor parking shall be provided as 5 spaces for the first 10 units plus 1 space for each 4 dwelling units above 10 or fraction thereof. Up to 45% of the visitor parking may be provided as compact spaces (eight feet by fifteen feet).

Credit for visitor parking may be given for frontage on adjacent local streets for detached single-family or duplex projects subject to the approval of the planning commission.

Recreational Vehicle Storage

All projects containing 10 units or more shall provide space to store campers, trailers, boats, etc. The area

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provided for this storage space, exclusive of the driveways and approaches, shall be at least equal to 20 square feet for each dwelling unit in the planned development. However, not less than 200 square feet shall be provided.

The storage space shall be located in the specially designated areas per this Master Plan. Storage shall not be required if the planning commission or city council finds that the planned development provides that each lot will have satisfactory storage on the lot and such storage is compatible with the area.

Second Dwelling Units

Second dwelling units may be permitted on lots with an area less than 7,500 square feet which are developed with detached single-family residences according to the provisions of section 21,10,015(c) and section 21.85, if the units are provided to meet the inclusionary housing requirement, of the Carlsbad Municipal Code. In addition the following requirements are applicable to the development of second dwelling units:

- a. All second dwelling units within a single-family residential planned unit development shall be required to either be approved as part of the planned unit development application or through an amendment to the planned unit development application.
- b. Second dwelling units shall be set back the same distance from the front and side property lines as the primary dwelling unit on the lot.
- Second dwelling units and accessory structures shall be set back a minimum of ten feet from the rear property line.
- d. Second dwelling units shall not be permitted to be located within any portion of the lot which is counted to-

wards satisfying recreation requirements for the primary residence.

e. For detached second dwelling units, the distance between the primary dwelling unit and the second dwelling unit shall be not less than ten feet.

6. Pocket Parks

The use of small pocket parks is intended to provide additional separation and variation along stretches of structures as well as recreation/gathering. Where feasible, these lots shall be located at strategic locations such as where streets intersect and where open space vistas may be achieved. The lots shall be a minimum of 50 feet wide and shall be identified at time of neighborhood tentative map processing. These areas may be counted toward the required neighborhood common recreation area requirement.

Pocket parks are permitted in an effort to supplement the larger common recreation area(s) located within a neighborhood (or within the adjacent neighborhood). These pocket parks may be permitted when a neighborhood's required common recreation area is greater than 10,000 square feet.

D. Specific Site Planning Standards for Detached Single-Family Cluster Homes On Lots Less Than 5,000 Sq. Ft.

The following standards apply specifically to those lots under 5,000 square feet and will supplement the applicable standards outlined above. This product type provides a market option with amenities similar to larger lot single-family homes including separation between units, private rear yards, garages, and increased privacy. The shared common areas and driveways allow for clustered placement of units around a central motor court, driveway or courtyard. This reduces the number of units requiring direct street frontage and provides additional spacing between units across the drive. The result is a street scene with fewer units in a row with typical spacing between units.

1. Lot Widths and Depth

Lot widths and depths may vary throughout a Neighborhood. The required minimum lot widths are <u>established in the individual Neighborhood Development Standards</u>, <u>Sections 5.7.3</u>, 6.7.3 and 7.7.3.

Setbacks

- a. All habitable areas of structures shall maintain a minimum front yard setback of 15 feet from public or private streets and 5 feet from motor courts or driveways, excluding typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code.
- b. The minimum distance between living units shall be 10 feet, excluding architectural feature projections allowed by Section 21.46.120 of the Carlsbad Municipal Code and wrap-around porch encroachments.
- c. Garages shall be setback a minimum of 5 feet from motor courts or driveways. However, if any habitable space is located above the garage, the livable portion of the structure must maintain a minimum 10-foot setback from the front or rear property lines. Garages that front on public or private streets shall be setback a minimum of 20 feet.
- d. All habitable portions of structures shall maintain a minimum internal side yard setback of 5 feet and 10foot minimum side and rear yard setbacks from public or private streets.
- e. Unenclosed porches and side-loaded garages may extend up to 5 feet into the required setbacks, but no closer than 10 feet from the front property line.

3. Projections

Typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code may intrude up to two feet into the required setbacks.

- Lots that contain less than 5,000 square feet in area shall be limited to 12% of the total number of units within the Master Plan.
- 5. The use of single-family ownership units clustered in groups of four is permitted. These units may share a common motor court or cul-de-sac access leading to a driveway, courtyard, individual garages, front yard area and the area fronting the adjacent street(s). Outdoor private use areas may also be provided for each unit.
- 6. Three-car in a row garages are not permitted on lots less than 5,000 square feet in area.
- Motor courts and driveways serving four or less single-family clustered units may be reduced to 24 feet in width.
- Motor court and cul-de-sacs serving these units shall provide enhanced paving treatment such as concrete paving with color, or scoring, or other materials.
- Where lots front along public streets landscaped parkways shall be provided adjacent to the curb to expand front yard areas.

E. Specific Design Standards for Single-Family Cluster Homes on Common Lots (Condominium Ownership)

The use of single-family air space ownership units clustered in groups of four and located on common property owned by the neighborhood homeowners association is permitted. These units may share a common motor court or cul-de-sac access leading to a driveway, courtyard, individual garages, front yard area and the area fronting the adjacent

street(s). Outdoor private use areas may also be provided for each home, within the common property area.

The Site Planning Standards in section 4.6.2 above, also apply to the development of the detached common lot developments (as applicable), unless modified herein.

Lot Width and Depths

These product types do not result in a typical lot width or depth, as the lots are owned in common with no individually owned residential lots.

Setbacks

- a. All structures shall maintain a minimum 10-foot habitable area and garage setback from public or private streets and a 20-foot setback for garages fronting on public or private streets.
- b. The minimum distance between homes on common lots shall be 10 feet excluding architectural feature projections allowed by Section 21.46.120 of the Carlsbad Municipal Code and wrap around porch encroachments.
- c. Garages shall be setback a minimum of 5 feet from motor courts, driveways, or if located at the rear of a lot from private streets. However, if any habitable space is located above the garage, the livable portion of the structure must maintain a minimum 10-foot setback from the front or rear property lines. Garages that front on public or private streets shall be setback a minimum of 20 feet.

3. Projections

Porches and typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code may intrude up to two feet into the required setbacks.

4. Parking

Parking requirements shall be provided per Section 4.6.2 above.

- 5. Enhanced paving treatments shall be used in the motor court entries serving these developments. This may include enhanced features or a variation of materials such as concrete paving with scoring or colored concrete at the entries.
- 6. This product type provides a market option with amenities similar to single-family homes including separation between units, private rear yards, garages, and increased privacy. The shared common property and common driveways allow for clustered placement of units around a central motor court, driveway or courtyard. Thus, reducing the number of units requiring direct street frontage and providing additional spacing between units across the drive. This results in a street scene with fewer units in a row and the typical spacing between units.
- The Planned Development Ordinance standards addressing tenin-a-row unit separation are not applicable within this Master Plan area.
- Motor courts and driveways serving four or less single-family clustered units may be reduced to 24 feet in width.

F. Specific Design Standards for Attached Townhomes, Stacked-flats and Carriage Units on Common Lots (Condominium Ownership)

The construction of multi-family dwelling units on a common lot is permitted. The product types may include air space ownership condominium townhomes, stacked-flats, or carriage-type units (with garages provided below the living area) located on commonly owned property or easements.

The Site Planning Standards in section 4.6.2 above, also apply to the development of the attached common lot developments (as applicable), unless modified herein.

1. Lot Width and Depths

These product types do not result in a typical lot with lot width or depth, as the lots are owned in common with no individually owned residential lots.

Setbacks

- a. All structures shall maintain a minimum 10-foot habitable area and garage setback from public or private streets with a 15-foot average and a 20-foot setback for garages fronting on public or private streets.
- b. All structures shall maintain an average setback of 15 feet from private streets, excluding porches and typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code. Porches and side-loaded garages may intrude into the required setback, but shall maintain a minimum setback of 11 feet for porches and 10 feet for side-loaded garages.
- e. Front yard setbacks off of a motor court or driveway shall be 5 feet for garages and 8 feet for habitable space.
- Rear yard setbacks shall be 20 feet from a public street or 10 feet from a private street.
- e. Buildings internal to the development shall maintain a 10-foot building separation.

3. Projections

Porches and typical architectural feature projections as described by Section 21.46.120 of the Carlsbad Municipal Code may intrude up to two feet into the required setbacks.

4. Parking

Parking requirements shall be provided per Section 4.6.2 above.

- 5. Enhanced paving treatments shall be used in the motor court entries serving these developments. This may include enhanced features or a variation of materials such as concrete paving with scoring or colored concrete at the entries.
- 6. A width of 24 feet is allowed for motor courts or driveways serving 10 units or less, as part of the discretionary review and approval process required for these neighborhoods. All private streets or private driveways serving 11 units or more shall have a minimum width of 30 feet.

4.6.3 ARCHITECTURAL CONTROLS

The purpose of the following section is to supplement the Site Planning Standards in order to create a sense of variety and design unity within the Villages of La Costa. The controls, guidelines and descriptions of architectural styles and elements are intended to impose a strong consistent design direction and high level of quality.

A. Goals

Overview Concepts

- a. Homes that are adjacent to circulation element roads are required to receive special attention to detailing on the elevation fronting the roads. This will include window detailing equal to or better than that of the front elevation. The introduction of additional wall planes and balconies (where noise standards allow) is encouraged.
- b. In an effort to promote a pedestrian scaled community, the use of single-story elements on two-story homes is encouraged. The use of balconies also softens the building mass.
- c. It is intended that a mixture of residential neighbor-hoods utilizing varied architectural styles should be permitted to provide visual interest and diversity. Residential neighborhoods can utilize similar building materials and architectural design elements to provide neighborhood cohesiveness. Adjacent homes with different architectural styles may provide architectural compatibility by utilizing both a complementary color palette and similar exterior accent materials on adjacent residential structures. This compatibility can be further enhanced through the use of common village walls and landscaping.
- d. Provide additional massing criteria to allow the creation of less predictable elevations with a higher degree of

street scene variety;

- Allow substitution of unique design features and special architectural details for some of the specific plane change criteria that will result in a higher degree of visual diversity in each neighborhood; and
- Encourage and obtain "architectural design" credit for special landscape features such as courtyards, patios, and specimen trees.

B. Architectural Controls

Building Height

The maximum building height, as defined by Section 21.04.065 of the Carlsbad Municipal Code, shall be as <u>established within the Individual Neighborhood Development Standards</u>, Sections 5.7.3, 6.7.3 and 7.7.3.

Building Coverage

Building coverage shall be limited to 40% of the net pad area for two-story single-family detached homes, 50% of the net pad area for one-story single-family detached homes, and 60% of the net pad area for apartments, townhomes or attached condominiums, unless a different standard is <u>established within the Individual Neighborhood Development Standards, Sections 5.7.3, 6.7.3 and 7.7.3.</u> (The lot coverage allowance increases for single-story units to encourage their use in the mix and allow for greater coverage).

Building coverage is defined as the net pad area of a site occupied by the habitable area of any building or structure as measured from the outside of its surrounding external walls or supporting members. Building coverage includes garages and the perimeter area of a basement. Building coverage excludes exterior structures such as covered porches, permanent structural elements protruding from buildings such as overhanging balconies that project less than 8 feet from the building, and porte cocheres not exceeding a length of 22 feet and a width of 8 feet. Also excluded from building coverage are roof eaves extending less than 30 inches from the face of any building, awnings, open parking areas, structures under thirty inches in height and masonry walls not greater than six feet in height such as wing-walls, planter walls or grade-separation retaining walls.

Maximum lot coverage ratios are based on the net pad area of the lot, defined as the pad area exclusive of all slopes greater than 3 feet in height, unless the structure is constructed over the slope such as in the example of a split-pad condition, in which case, the slope would be included in the total net pad area.

Accessory Structures

Patio and accessory structures shall comply with development standards set forth in Section 21.10.050 of the Carlsbad Municipal Code.

- The following architectural and site design standards shall be utilized throughout the master plan area to add relief to the design of residences.
 - a. The building materials for each unit shall be compatible and complementary to one another as well as being compatible with surrounding neighborhoods.
 - b. The design of the units shall be varied to create variety and interest within the village. In neighborhoods where there are three two-story units in a row situated less than 15 feet apart, at least one of the three units shall have a single-story building edge. The depth of the single-story edge shall be no less than 10 feet and shall run the length of the building. The roof covering the single-story element shall be substantially lower than the roof for the two-story element to the unit (this is not

intended to preclude long shed-type roofs falling to a single-story element). Single story shall be defined as a plateline maximum of 15 feet. (See Exhibit 4-9.)

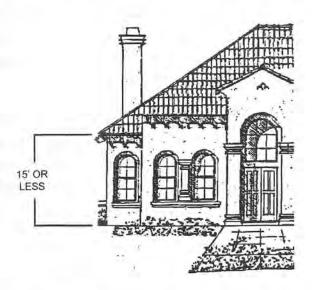


EXHIBIT 4-9 SINGLE-STORY HEIGHT ELEMENT SPECIFICATIONS

- c. In neighborhoods where there are three two-story units in a row situated between 15 and 20 feet apart, at least one of the three units shall have a single story building edge with a depth of not less than 5 feet running the length of the building. The roof of the single story element shall be substantially lower than the roof for the two-story element of the building (this is not intended to preclude long shed-type roofs falling to a single-story element). Single story shall be defined as a plateline maximum of 15 feet.
- d. On a neighborhood basis, thirty-three percent (33%) of the units shall have a single-story element that is forty percent (40%) or greater of the front elevation width. The minimum depth of this element shall be 3'-0". Porches and porte cochere elements shall qualify as a

single-story element (see Exhibit 4-10).

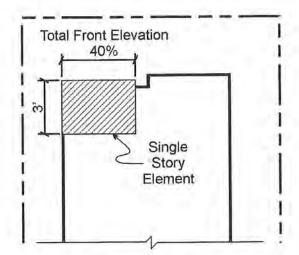


EXHIBIT 4-10 SINGLE-STORY ELEMENT SPECIFICATION

- e. For at least 50% of the units in the neighborhood, there shall be at least three separate building planes on street side elevations (front elevations) of lots with 45 feet of frontage or less, and four separate building planes on street side elevations (front elevations) of lots with a frontage greater than 45 feet. The minimum offset in planes shall be 18 inches and shall include but not be limited to building walls, windows and roofs. The minimum depth between the faces of the forward-most plane and the rear plane on the front elevation shall be 10 feet. A plane must be a minimum of 30 sq. ft. to receive credit under this section. The outside edge of porches and balconies meet this criteria.
- f. Thirty-three percent (33%) of the lots required by letter "e" above may limit the requirement for four separate building planes to two, if a fully landscaped front courtyard is substituted (i.e. one third of the 50% of the units required to have at least 4 separate building planes on the street side elevation (front elevation)). The

courtyard may have a wall with a height of not less than 36 inches and no greater than 42 inches and must be related to the style of architecture (see Exhibit 4-11).



EXHIBIT 4-11 FRONT COURTYARD SPECIFICATIONS

- g. For at least 50% of the units in a neighborhood, there shall be at least three separate building planes on rear elevations of lots with 45 feet of frontage or less, and four separate building planes on rear elevations of lots with a frontage greater than 45 feet. The minimum offset in planes shall be 18 inches and shall include, but not be limited to, building walls, windows, and roofs. The minimum depth between the faces of the forward-most plane, and the rear plane on the rear elevation shall be 3 feet. A plane must be a minimum of 30 square feet to receive credit under this section.
- h. Project units with three car garages shall be a mix of two door garages, three door garages, and offset two door garages (2 planes separated by at least 18 inches).
- Fifty-percent (50%) of exterior openings (doors/ windows) in the front of each unit shall be recessed or projected a minimum of 2 inches or shall be trimmed with wood or raised stucco. Colored aluminum window frames shall be used (no mill finishes).

- The predominant roof framing for each floor plan in a neighborhood shall exhibit directional variety to the other floor plans of the same neighborhood.
- Whenever possible the roof plane of units located at the top of slopes should attempt to parallel the slope.
- For the purpose of these standards, a single story element shall be defined as a plateline maximum of 15 feet (10 feet preferred).
- m. Two or more attached dwellings and covered parking constructed with a zero side yard setback on two or more lots having continuous interior lot lines. The remaining side yards shall not be less than twenty percent of the width of the lot, provided, however that such side yard shall not be less than five feet and need not exceed 10 feet in width. All side street lot lines and interior lot lines adjoining property not part of the development shall not be permitted to have such a reduced side yard. See Exhibit 4-12.

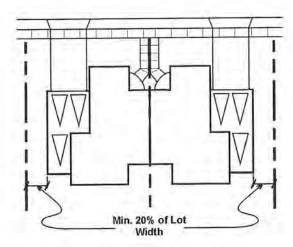


EXHIBIT 4-12 ZERO SIDE SETBACK

 The second story of any house does not exceed 80% of the first story square footage, including all garage area.

5. General Building Elevations

- A combination of 1 and 2-story homes shall be provided in neighborhoods with single-family detached homes on lots over 5,000 square feet.
- For two story homes within a master plan neighborhood a combination of 1 and 2 story elements should be provided.
- A minimum of 3 different floor plans shall be provided within each Master Plan Neighborhood.
- d. Within each master plan neighborhood a minimum of three front elevations shall be provided for each floor plan on all detached residential housing.
- e. "Handcrafted" detailing, exposed rafter tails, knee braces, and columns shall be used when appropriate to the proposed architectural style as depicted within the master plan.
- f. A variety of building architectural accent features and materials shall be incorporated into the exterior elevations when compatible with the style.

6. Front Building Elevations

Front building facades shall incorporate a minimum of four varieties of design elements to create character and interest to the home. These elements may vary depending on the architectural style used. Examples of such elements include:

- a. A variety of roof planes
- Deeply recessed windows and doors
- c. Paned windows and doors
- Exposed roof beams or rafter tails

MASTER PLAN STANDARDS AND GUIDELINES

- e. Decorative window ledges
- f. Accent materials such as stucco, wood, siding and stone
- g. Window and door lintels
- h. Dormers
- i. Accent and varied shape windows
- j. Window boxes and planters with architecturally evident supports
- k. Exterior wood elements
- 1. Variations in colors of stucco and other elements
- m. Accent colors on doors, shutters or other elements
- n. Stucco wainscoting
- o. Covered balconies
- p. Arched elements
- q. Shutters
- r. Raised stucco trim around windows and doors

Side and Rear Elevations

Side and rear elevations adjacent to public or private streets shall include enhanced architectural detailing incorporating elements of good design, such as described in the preceding section for front building facades. The use of a minimum of two of the architectural elements listed above is required for side and rear elevations adjacent to public or private roads.

8. Roofs

 Varied building roof heights and roof massing shall be incorporated into unit designs for each master plan neighborhood.

MASTER PLAN STANDARDS AND GUIDELINES

- Changes in roof direction shall be provided to create diversity and interest.
- A variety of roof colors shall be used within each neighborhood.

9. Entries, Porches, Balconies & Courtyards

An important architectural feature that contributes to the shape and appearance of a building is the front entry. Porches, balconies, courtyards, and entry insets define an entry and create visual interest.

A raised, covered and unenclosed front porch, which projects at least 5 feet from the dwelling and has a width of at least 33% of the width of the dwelling or a balcony or a courtyard, whichever is consistent with the architectural style, shall be constructed on a minimum of 25% of the units within a master plan neighborhood. The front and sidewall of porches shall be open except for required and ornamental guardrails. These features shall qualify as a plane for the purposes of the architectural guidelines.

The design of porches shall also comply with the following standards:

- a. Porches shall maintain a minimum front yard setback of 10 feet. The front yard setback shall be measured from the right-of-way line in the case of a public street and from the edge of the street, curb or sidewalk whichever is closer to the structure subject to the setback in the case of a private street.
- A variety of railing designs or low walls shall be provided around porches.
- Porches shall have a minimum length and depth of five feet.

MASTER PLAN STANDARDS AND GUIDELINES

- d. A variety of roof elements (gable, shed, etc.) shall be provided over porches. A balcony above the porch may also serve this purpose.
- For buildings on corner lots consideration shall be given to having the porch wrap around the side of the building.

10. Window Detailing

The design of windows shall include one or more of the following features:

- a. Deeply recessed windows
- b. Paned windows
- c. Decorative window ledges
- d. Window lintels
- e. Accent and varied shape windows
- f. Window boxes and planters with architecturally evident supports
- g. Exterior wood trim surrounds
- h. Accent colors on shutters or other elements
- Arched elements
- j. Shutters
- k. Raised stucco trim around windows

11. Chimneys

- The chimney and chimney cap shall be in scale with the size of the structure.
- b. No more than 2 chimneys shall be allowed for dwelling

units on lots having an area less than 7,500 square feet.

12. Colors

- a. Colors should be consistent with the architectural style selected. Generally, warm, earth tones are preferred, however other color combinations are acceptable depending upon architectural style. The use of muted, earth-toned colors are required for homes within La Costa Ridge.
- b. Within each master plan neighborhood a minimum of three different exterior color schemes shall be used for each floor plan within the same architectural styles on all detached residential housing.
- c. In all master plan neighborhoods adjacent units within the same architectural style shall not utilize the same color scheme. However, similar or same colors may occur within different color schemes. "Adjacent" includes units on either side of the subject unit as well as those directly across the street.

13. Garages

Alternative garage configurations such as those listed in this section shall be utilized in all residential neighborhoods.

- Three-car in a row garages are not permitted on lots less than 5,000 square feet in area.
- b. Three-car garages in a row facing the street are permitted on 25 percent of the total number of lots in a neighborhood with a minimum lot area greater than 5,000 square feet.
- c. For neighborhoods with a minimum lot size of 5,000 square feet or greater, an additional 25 percent of the units may have three-car in a row garages facing the street provided garages do not exceed more than 50

percent of the units' frontage. The maximum number of units in a neighborhood with three-car in a row garages facing the street shall not exceed a total of 50 percent of the units.

d. Three-car garages in a row must have a plane change of a minimum of 18 inches as illustrated in Exhibit 4-13 (Three-car Garage Plane Changes). This configuration must also break the roof plane with a design device such as a gable or trellis.

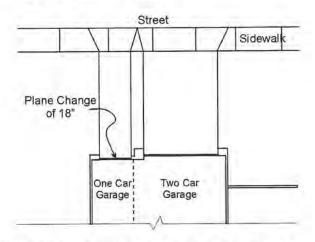


EXHIBIT 4-13 THREE-CAR GARAGE PLANE CHANGES

- e. Three car garages are not considered "in-a-row" or "side-by-side" if split by living space or an open area 10 feet wide or more across (with a minimum plane separation of 6 feet inward or outward). If the combined garage area exceeds more than 50 percent of the home's frontage (see Exhibit 4-17, Three-Car Front-Split Garage) then this configuration shall count as a three-car in a row garage under the provisions of 13b and 13c.
- f. Garage setback shall be measured to the face of door from the right-of-way line in the case of a public street and from the edge of the street, curb or sidewalk, whichever is closer to the structure subject to the set-

back, in the case of a private street. Roll-up garage doors are required. Architectural projections may encroach into the setback a maximum of 18 inches for garages. However, the projection shall not extend to the second story living space above (see Exhibit 4-14 below).

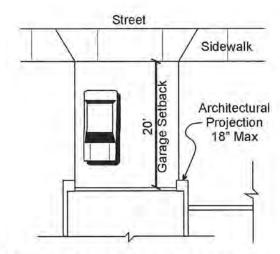


EXHIBIT 4-14 GARAGE SETBACKS

g. A variety of garage configurations should be used within each neighborhood to improve the street scene of master plan neighborhoods. Examples of different sitting configurations for garages on lots which are 5,000 square feet or greater and have a minimum width of 50 feet include the following:

December, 2000

 Side-Loaded Garages — Side loaded garages may turn the garage 90 degrees to hide the doors from the street. Careful attention should be paid to the articulation of the street-facing portion of the garage (see Three Car Swing-in Garage, Exhibit 4-15 below).

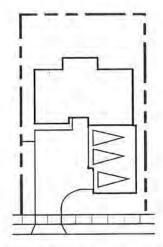


EXHIBIT 4-15 THREE-CAR SWING-IN GARAGE

ii. Split Garage — In this configuration a one-car and a two-car garage are split to provide a variation on the street-facing façade. Either the one or two-car garage is turned 90 degrees to the street to minimize the appearance of garage doors from the street (see Exhibit 4-16 below). Careful attention should be paid to the articulation of the street-facing portion of the sideloaded garage.

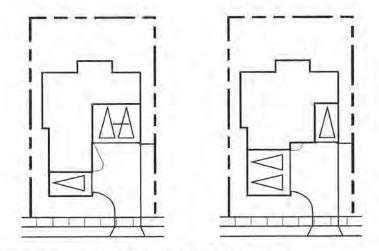


EXHIBIT 4-16 THREE-CAR SPLIT GARAGE

iii. Three-Car Front-Split Garage — Three garages facing the street are not considered three "in a row" (or side-by-side) garages if there is 10 feet or more of open area or living space with a minimum plane separation of 6 feet inward or outward and provided the combined garage area shall not exceed more than 50 percent of the home's frontage (see Exhibit 4-17 below).

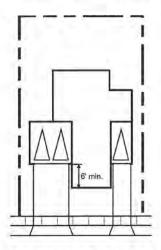


EXHIBIT 4-17 THREE-CAR FRONT-SPLIT GARAGES

iv. Three Car Garage with Tandem Parking — This garage configuration minimizes door openings while parking two cars in line with one another. Additionally, the configurations can be shallow recessed or deep recessed depending upon the lot size (see Exhibit 4-18 below).

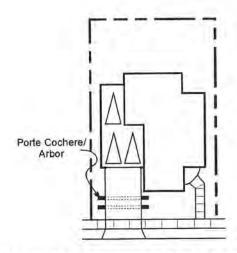


EXHIBIT 4-18 THREE-CAR TANDEM GARAGE WITH ENTRY ARBOR

- v. Attached, Deeply Recessed Garage In this configuration, the garage is located behind the house, but is accessed from the street as seen in some older residential neighborhoods. To further de-emphasize the garage façade, a porte cochere can be provided to create a gateway into a courtyard shared by the garage (see Exhibit 4-19 below). A "recessed garage" must be located a minimum of 5 feet behind habitable area of the front façade.
- vi. Detached, Deeply Recessed Garage The detached garage is deeply recessed, preferably with a porte cochere, providing an enhanced street scene. A "recessed garage" must be located a minimum of 5 feet behind habitable area of the front façade.

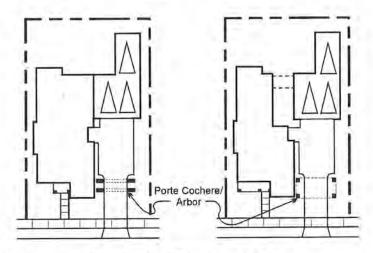


EXHIBIT 4-19 DEEPLY RECESSED GARAGE (ATTACHED/DETACHED)

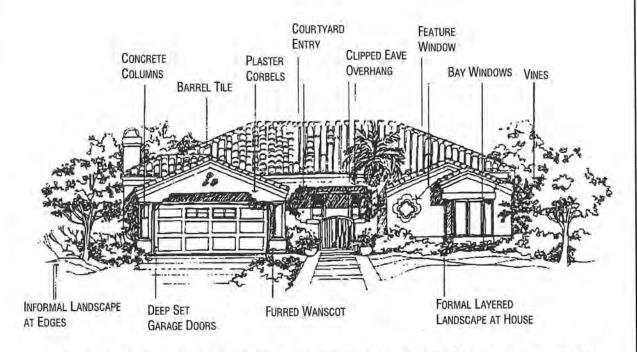
C. Architectural Styles

The architectural theme for the Villages of La Costa finds its roots in the neighborhoods of old Pasadena and Mission Hills and south Sacramento. These fine old communities provide a living example of a varied, eclectic collection of architectural styles. In these neighborhoods we find a collection of differently styled architecture existing harmoniously side-by-side. These collections were unified through strong street tree programs and through the use of colors that are fairly similar in intensity and value. Each of the Villages of La Costa is intended to provide a variety of architectural styles mixed within the neighborhoods and the village itself. This mix of styles will vary from one village to another to help provide some visual distinction between the villages. It is not, however, the intent of this document to establish such a clear distinction between villages, rather a subtle distinction found in a variation of the mix, type of detailing and colors.

Eight architectural styles have been selected for the Master Plan to create cohesiveness within the development and to provide compatibility with adjacent neighborhoods. Each neighborhood shall contain one or more of these architectural styles. The eight proposed architectural styles are discussed below.

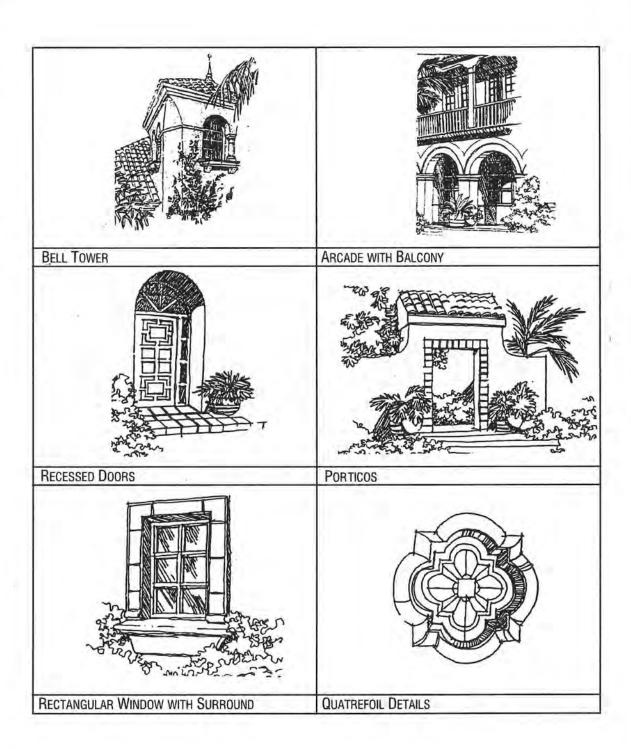
1. Santa Barbara Mediterranean

Introduced to San Diego during the Exposition of 1915, this style is adapted from the architecture of Andalusia in southern Spain and was popularized in Santa Barbara during the 1930's. A typical elevation illustrating the Santa Barbara Mediterranean Style is shown on Exhibit 4-20. Architectural design elements which typify Santa Barbara Mediterranean are shown on Exhibit 4-21.



The Santa Barbara Mediterranean architectural style is characterized by simple massing of stucco walls, barrel tile roofs, and deep-set openings. The simple forms are accented with accents of elaborate details such as wrought iron balconies, pot shelves, tile or stone surrounds, and wood porches. Courtyards and patios are common entry features.







2. Spanish Colonial

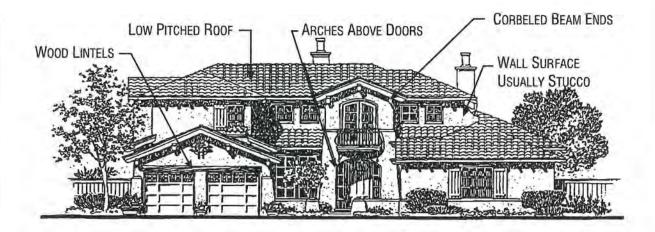
The Spanish Colonial architectural style is similar in scale and massing to the Santa Barbara Mediterranean and has its roots in the architecture of southern Spain and colonial Mexico. It is also adapted from the haciendas of Mexico and the ranch houses of early California. Conceptual sketches illustrating the Spanish Colonial architectural style and design elements are shown on Exhibits 4-22 and 4-23.

3. Monterey Ranch

This style is a combination of the Spanish Adobe Ranchos of early California with the Eastern Seaboard detailing imported by the early settlers of Monterey. This free revival of the Anglo-influenced Spanish Colonial houses of northern California is shown in elevation on Exhibit 4-24. Conceptual sketches which illustrate the Monterey Ranch architectural design elements are shown on Exhibit 4-25.

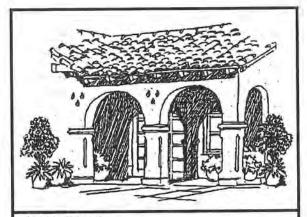
4. Italian/Tuscan

This style is a more formal and ornate adaptation of the Mediterranean vernacular, with details derived from the houses and villas of the Italian region of Tuscany. An elevation typifying the Italian/Tuscan architectural style is shown on Exhibit 4-26. Conceptual sketches of the architectural design elements are shown on Exhibit 4-27.

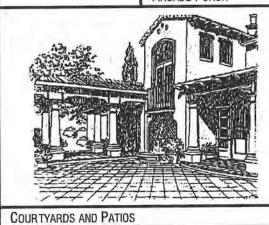


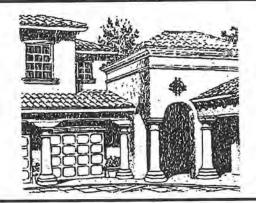
This architectural style is generally derived from the architecture of southern Spain and Colonial Mexico. It usually exhibits either a pitched-roof with traditional European roof framing or a low-pitched roof with a covering of half-cylindrical tiles. This style includes deep roof overhangs and corbelled beam-ends, deep-set porches, and the use of wood lintels.

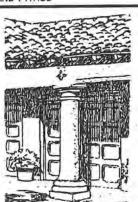




ARCADE PORCH







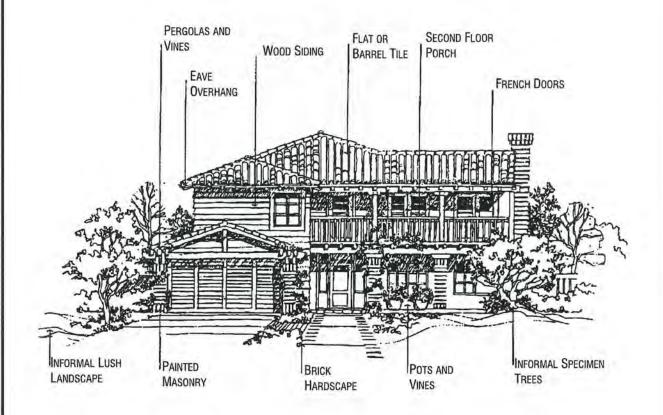
ASYMMETRICAL FACADE



TYPICAL SUPPORTING COLUMN

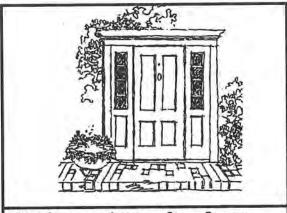
ARCHED WINDOW TREATMENT



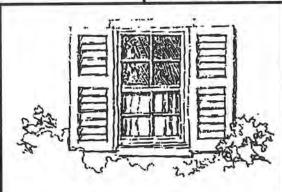


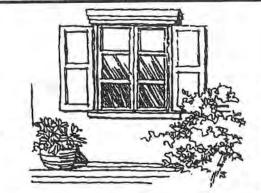
The Monterey Ranch architectural style uses barrel or flat tile roofs of hip and gable form with walls of stucco or painted masonry. Horizontal wood siding is occasionally used on the upper story. The most prominent feature is the horizontal second story balcony.





DOOR SURROUNDS ABSENT OR SIMPLE COLONIAL

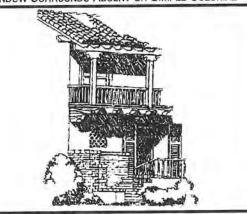




SHUTTERED WINDOWS



WINDOW SURROUNDS ABSENT OR SIMPLE COLONIAL



FRENCH DOORS

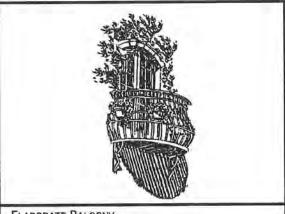
SECOND STORY BALCONY



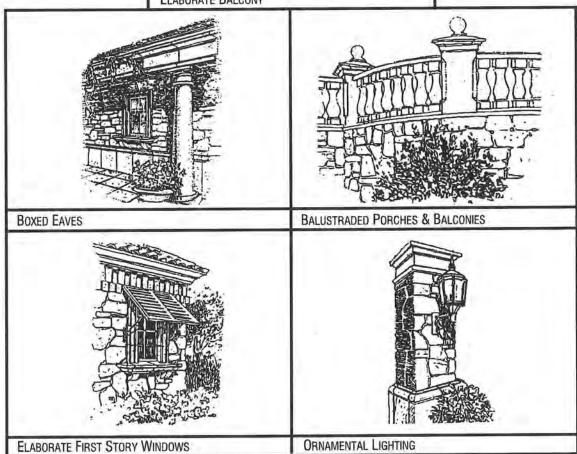


In the Italian/Tuscan architectural style the massing is generally more simplified than the other Spanish influenced architectural styles. Ornate details of dressed stone accents and roof soffits are a typical feature. Shutters of various types are also used with restraint.





ELABORATE BALCONY





5. European Country

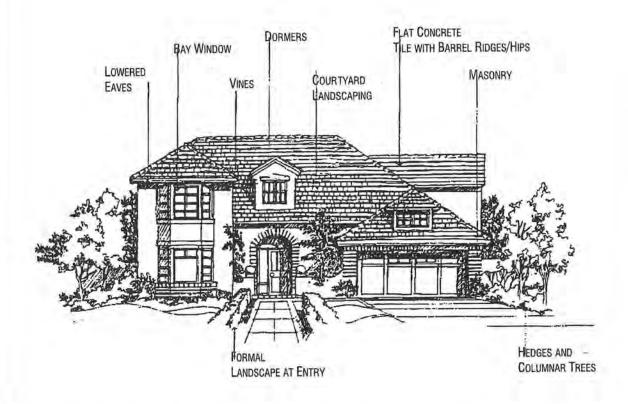
This eclectic style was derived from the English and French country houses which were popularized in the United States during the 1920's and 1930's. The design features were adapted to the climate and terrain of Southern California and are shown on Exhibit 4-28. Conceptual sketches which further illustrate the European Country style design elements are shown on Exhibit 4-29.

6. California Coastal

This architectural style is an adaptation of the Eastern Seaboard cottage and was developed to suite the climate and lifestyle of southern California. An elevation demonstrating this architectural style is shown on Exhibit 4-30. Further design elements typical of the California Coastal style are shown on Exhibit 4-31.

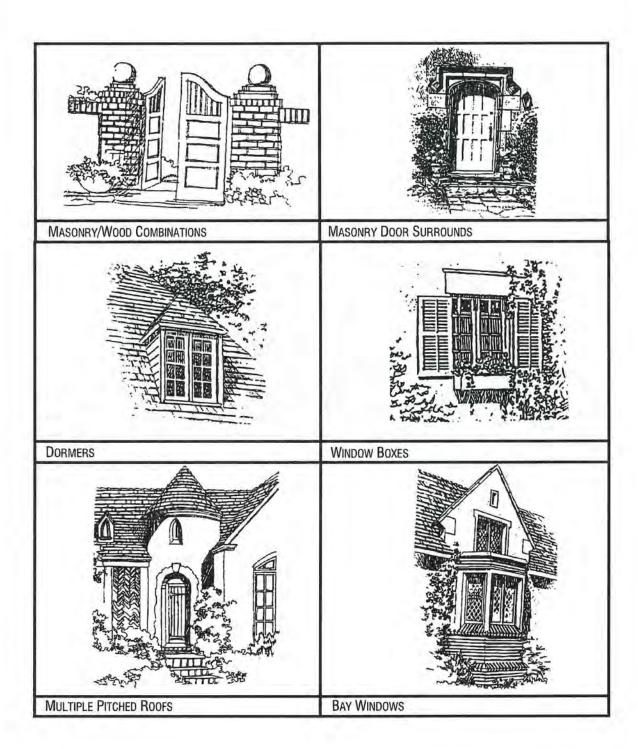
7. Craftsman Bungalow

The Southern California adaptations of this style were inspired by the work of Greene and Greene in Pasadena, as well as the Craftsman movement of the 1920's. A typical adaptation is shown on Exhibit 4-32. Additional conceptual sketches of the Craftsman Bungalow design elements are shown on Exhibit 4-33.

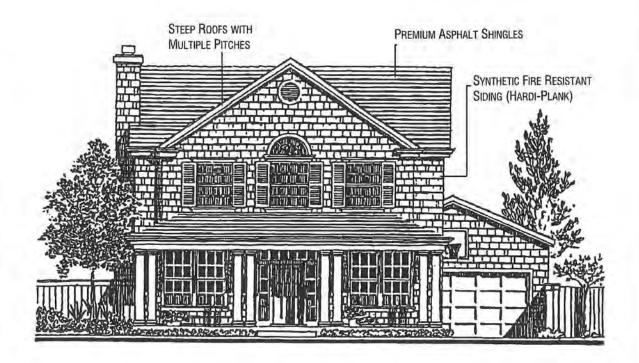


The design features of this architectural style include steep roofs with multiple pitches. Roof materials may be flat tiles, slate or premium asphalt shingles. Walls generally are of stucco, with accents of brick, stone, and wood. A key feature is the use of various types of dormers within the framework of the steeper roofs.



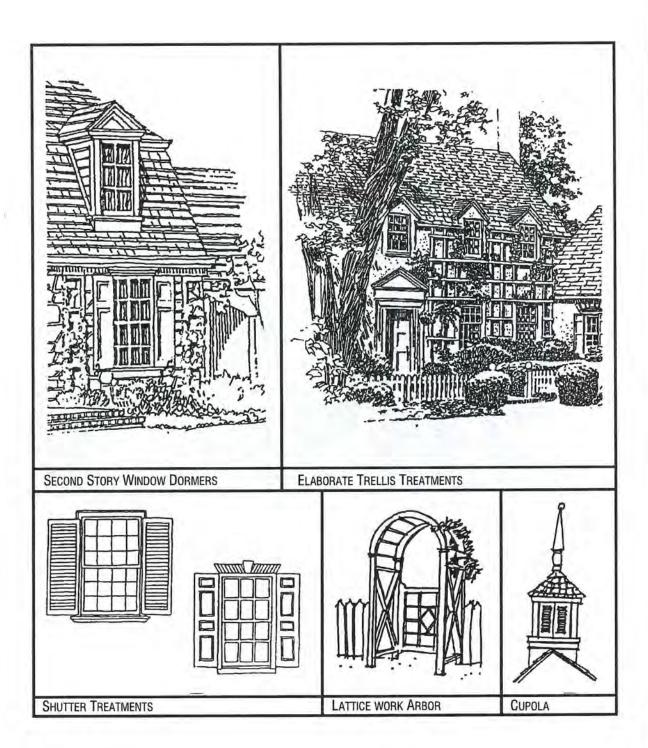




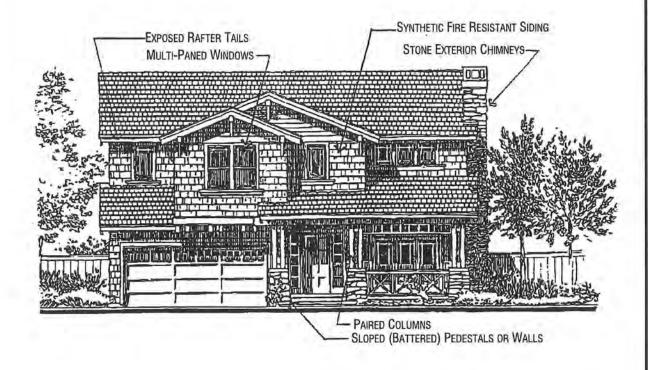


The California Coastal architectural style is generally characterized by steeper pitch roofs of premium asphalt shingles. Shallower pitch roofs are commonly used for porches and out buildings. Walls will typically be of synthetic fire resistant siding that emulates wood (Hardi-Plank) with various types of corner boards and wood trim. Shutters, trellis structures, and flower boxes are common design elements.



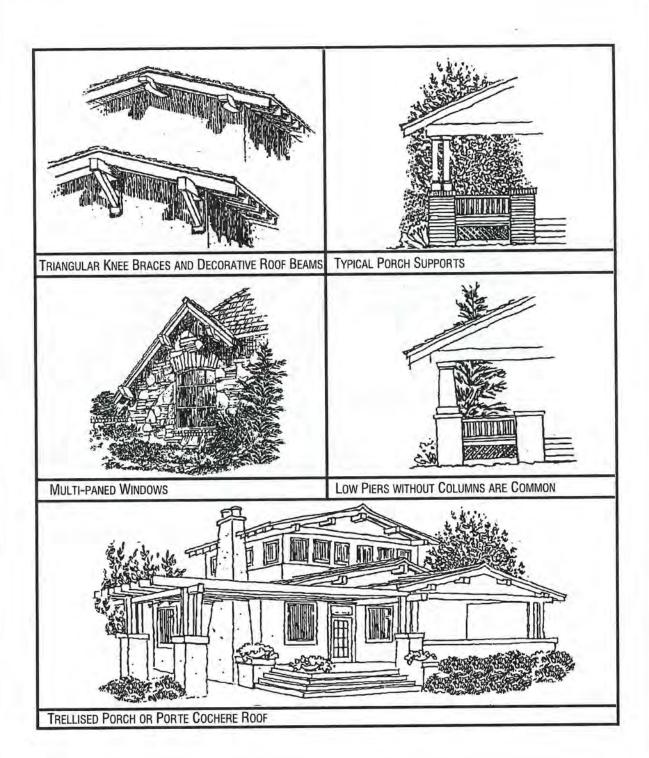






The Craftsman Bungalow architectural style features shallow pitched roofs of premium asphalt shingle or flat tile, and walls of synthetic fire resistant siding that emulates wood (Hardi-Plank) of varying patterns. Roof dormers are flat or pitched, and large roof overhangs of exposed beams ends are used commonly. Windows and doors are generally trimmed in wood. Battered columns are a distinguishing characteristic. Trellis structures and pergolas are also commonly used.



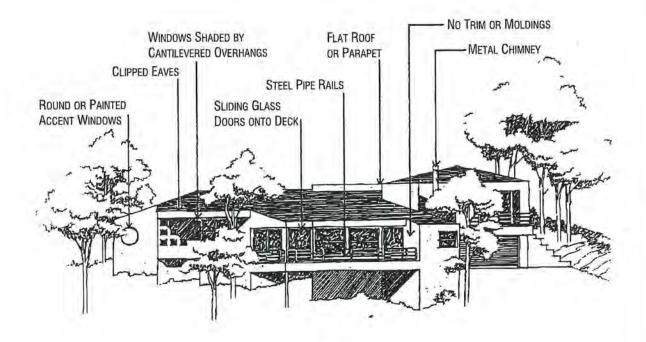




8. California Contemporary

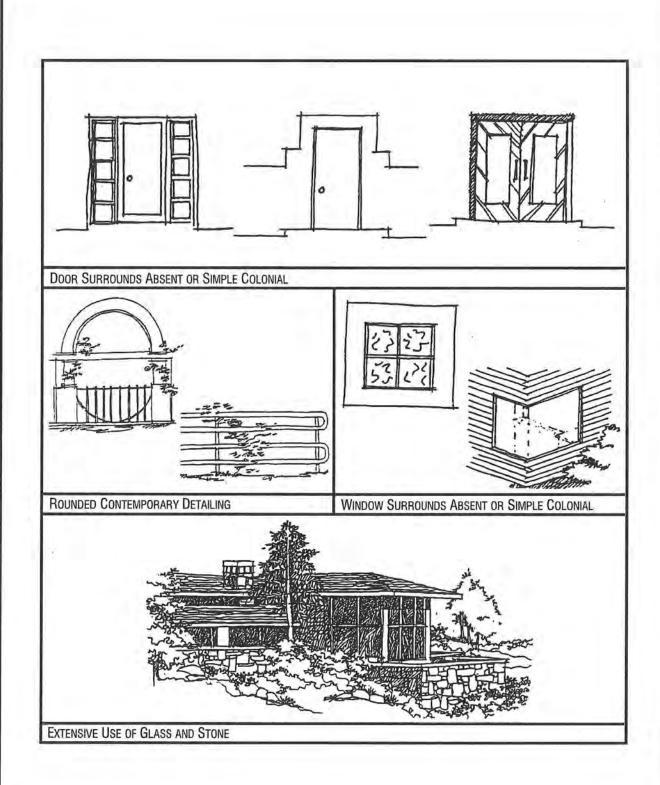
This style is intended to be a blend of the brief, but rich history of Southern California contemporary architecture with the unique traditions of the other characteristic styles of the Villages of La Costa. The use of this style due to its rambling characteristics is limited to use in neighborhoods having a minimum lot size of 9,000 square feet or more.

An elevation illustrating an example of this style is shown on Exhibit 4-34. Typical design elements are further identified by Exhibit 4-35.



This architectural style is more modern in nature. Its character may include large areas of glass, flat or pitched roofs of variable configurations, and the use of metal railings and columns. Adaptations of this style generally have wide eave overhangs and either flat roofs or low-pitched roofs with broad, low, front-facing gables.







4.6.4 REVIEW PROCESS

The purpose of this section is to establish the review process for all residential development within the Villages of La Costa.

 Review Process For Development of Single Family Dwelling Units On 7,500 Square Foot or Larger Lots

To determine compliance with the provisions of the Master Plan, a Site Development Plan (SDP) is required for the development of homes on lots with a minimum required area of 7,500 square feet or greater. A tentative map can be processed separately with an SDP processed at a later date for the architecture and plotting. If a neighborhood is to be developed with custom homes a Site Development Plan is not required.

 Review Process For Development of Dwelling Units On Lots Smaller Than 7,500 Square Feet

Small lot projects with minimum lot sizes less than 7,500 square feet require the approval of a Planned Unit Development Permit concurrent with a Tentative Map. Planned Unit Development Permits may be approved without architecture and plotting. Planned Unit Development Permits approved without architecture and plotting require the approval of a Major Planned Unit Development Permit Amendment at a later date to authorize the proposed structures and their placement.

3. Architectural Review Board (ARB)

The applicant shall establish a Homeowners Association for the La Costa Greens, La Costa Ridge, and La Costa Oaks villages that provides for the Architectural Review Boards for each village. The La Costa Ridge and La Costa Oaks villages may have a combined Architectural Review Board if a combined HOA is provided. Each Architectural Review Board shall be responsible for the aesthetic review and approval of all room additions, patio covers, decks, patios, and other structures requiring a building permit within that village. The ARB's will

be established in the articles, bylaws, or CC&R's as appropriate. These shall be approved by the City prior to the first neighborhood final map for the respective village and recorded prior to the sale of any home-site to an individual.

4. All future room additions by homeowners shall comply with the standards above. This shall be clearly stated in the Master CC&R's for this project and the architectural review manual(s) prepared for the Villages of La Costa Architectural Review Board(s).

4.7 Master Plan Landscape Concept

The Master Landscape Plan proposed by this document is intended to provide identity to the individual neighborhoods and villages while establishing a measure of continuity between the various villages. The plan responds to existing and proposed conditions, as well as various City preset guidelines and establishes the concept and guidelines for development of the landscape within the Villages of La Costa.

Landscape is a key component in the visual identity of the Villages of La Costa. The natural landscape will be a dominant feature that shrouds pockets of development and ties the three villages together. This natural preserve of well over 700 acres will be set-aside in perpetuity. As a design element, this natural area is intended to drift across roads and streets, whenever it occurs on both sides, creating a sense of passing through this natural preserve. The naturalized landscape areas will give way to an ornamental landscape within the specific development areas. The character of the ornamental landscape will vary from village to village. This change of landscape will enhance the individual identity of each village and each neighborhood. From a macro perspective, each village will have a palette of plant material that differs somewhat from the other villages.

4.7.1 Community Landscape Concept

The landscape concept for the Villages of La Costa embodies the central premise that the created landscape should draw from and be empathetic to the pattern and context of the natural landscape. The design for the major landscape components such as edges, interface with existing natural areas, arterial and collector streets, slopes, entries and accent plantings should be based upon this contextual relationship. The Landscape Concept for the Villages of La Costa is summarized below:

La Costa Greens: This Village is intended to have a "Coastal Resort" atmosphere. Reminiscent of other fine coastal and resort communities, the development areas of La Costa Greens will demonstrate a more lush and tropical atmosphere with a predominance of evergreens. The hardscape and wall materials are intended to be more refined and ele-

gant than the other neighborhoods, reinforcing the image that La Costa Greens is the premier community within the Villages of La Costa.

La Costa Ridge: This Village is located high above the other villages and is intended to have a more upland or alpine atmosphere. The materials will tend to be rustic and unrefined, rural. Of all the villages, this one will be more concerned with color. Colors are to be muted and earthen, blending man-made elements into the hillside. The plant material will respect the need to preserve the tremendous view opportunities while softening the architecture. The plant palette will tend to include some Eucalyptus, Pines, Alders and other plant materials, with the predominant color gray-green. Hardscape materials are intended to be more reminiscent of a mountainous environment and very informal in arrangement.

La Costa Oaks: This Village takes its name from a group of existing Sycamore and Live Oaks, located at the south end of the Village. Nestled near a natural spring and seasonal watercourse, this natural feature is riparian in character. The landscape of La Costa Oaks will also be riparian in character. The plant palette will include Sycamores, Oaks, and other watercourse related material.

4.7.2 Streetscapes

The landscape treatment of adjacent and internal arterial streets will be slightly altered from the standards set forth in the City Landscape Manual. These variances were approved by the Parks and Recreation Commission on May 5, 2000 and are set forth in more detail in Sections 5, 6, & 7. In general, some tree species will be changed and the median planted areas will be increased to 70 feet in length with 30 foot paved sections between.

Individual streetscape descriptions of the landscape treatments for arterial and neighborhood streets are provided in each of the village landscape sections (refer to Sections 5.5, 6.5, and 7.5).

4.7.3 Village Themes

Each village will express their individual character through their thematic plant community association and specifically tailored plant palette.

Village	Theme
The Greens	Mediterranean/Coastal Resort
The Ridge	Upland/Alpine
The Oaks	Lowland/Riparian

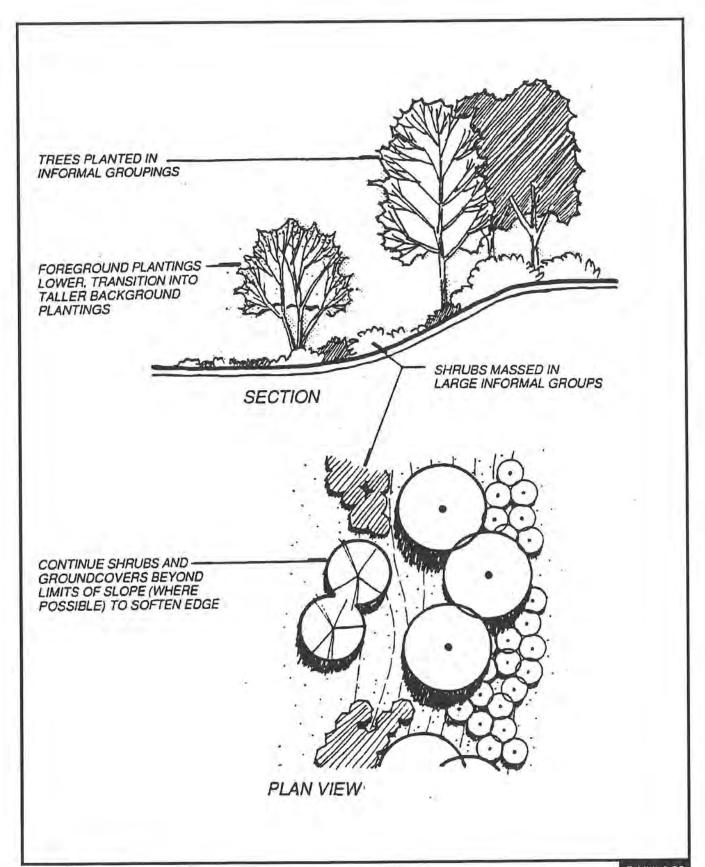
Refer to Section 5.5, 6.5, and 7.5 for more detailed descriptions of each Village theme, concept and palette.

4.7.4 Entry Accent Trees

All primary village entries will be anchored by specimen accent trees arranged in informal groves or clusters. Secondary village entries and neighborhood entries may have accent trees selected by the developer, subject to approval by the City.

4.7.5 Slopes

Permanent landscaping for manufactured slopes will be designed to add variety, texture and interest to slope appearance and to visually soften the plane of the slope and the transition to level pad areas (see Exhibit 4-36, Permanent Slope Landscaping). Plant materials will be selected for the appropriate landscape zone and will complement the applicable plant community association and village theme. Maintaining view opportunities and screening undesirable views are also important considerations when designing permanent slope landscaping. Landscaping will be used to enhance the undulated appearance of manufactured slopes through the use of concentrating high growing species on steeper man-made slope areas while using lower growing grasses and plant species on flattened, man-made slope areas. Refer to Sections 5.5, 6.5, 7.5 for detailed descriptions of appropriate plant palettes.





4.7.6 Landscape Zones

The landscape areas of the community have been assigned landscape zone classifications based on the intensity of maintenance and water requirements per the City of Carlsbad Landscape Manual. The locations of these zones are shown on the individual Landscape Concept Plans for each of the three Villages of La Costa (refer to Sections 5.5, 6.5 and 7.5). A brief description of each zone follows:

1. Zone One — Lush Landscape

Lush landscaping will be restricted to limited areas on certain streets, around entry monuments and at recreation centers where lush, green, flowering landscape is required. These are high maintenance areas and will require significant amounts of irrigation. Consideration will be given to water conservation measures where appropriate.

2. Zone Two — Refined Landscape

Refined landscaping requires less intensive maintenance (such as mowing, pruning, etc.) and less water than Zone One. The appearance is un-manicured, but well kept. These areas are primarily slopes found in private rear yards and along main streets.

3. Zone Three — Naturalizing Landscape

Naturalizing landscape shall be planted in low use areas that are not required to have a refined appearance but are not native — a transition between the two. This zone should be able to naturalize and become self-sustaining once established.

4. Zone Four — Native Landscape

Areas of existing vegetation planned for conservation or lowlevel active use, where vegetation is retained with little or no modification. This zone requires a minimal level of maintenance (usually periodic control of debris and minor clearing for seasonal fire protection) and no supplemental irrigation.

Areas of grading for arterials which are planted and restored to native habitat, shall incorporate plants from the list specified in Section 5.5. Temporary supplemental irrigation may be necessary until the restored habitat becomes established.

5. Zone Five — Fire Protection Zone

This zone is designed to help resolve the potential dangers of development adjacent to fire hazard areas. The Fire Protection Program utilizes Landscape Zones Two, Three, and Four to create and maintain a fire control landscape. Plants used here are specifically selected based on fire retardant and low fuel characteristics.

4.7.7 Landscape and Irrigation Standards

All landscape installation and irrigation systems shall conform to the City of Carlsbad Landscape Manual.

4.7.8 Landscape Maintenance

All landscape maintenance shall conform to the City of Carlsbad Landscape Manual and neighborhood CC&Rs.

In general, the overall appearance of the landscape shall be neat, healthy and free of weeds and debris. All new construction shall be landscaped in accordance with a City-approved Landscape Plan, and subject to City inspection of adequate maintenance levels. If a landscape maintenance district(s) is approved by the City Council in the future, some of the areas maintained by individual Neighborhood Homeowners' Associations and/or Master Homeowners' Associations may be maintained by the maintenance district(s).

4.7.9 Fire Protection Plan

The principal goal of the Fire Protection Plan is to protect homes in the Master Plan area from the hazards of wildfires. The plan has been designed to provide a smooth visual transition from the undisturbed native vegetation to residential backyard landscaping. The Fire Protection Plan described here sets forth the general concepts and patterns for the Master Plan area. A Fire Protection Plan shall be approved by the Fire Department for any areas designated as a Fire Protection Zone on one of the Village Landscape Concept Plans or buildings located adjacent to any natural open space area, prior to the approval of the development permits for the affected area.

In addition to the Fire Protection Plan, residential units located on culde-sacs that contain more than 20 dwelling units shall be protected by residential fire sprinklers and conform to the construction standards of Chapter 5 of the Urban Wildland Interface Code.

Generally, fuel modification zones are managed strips of land consisting of irrigated zones and dry or thinning zones of varying width, depending on local conditions. On natural slopes, existing high fire hazard vegetation is removed and replaced with appropriate plants from the Fire Protection Zone plant list. Existing acceptable vegetation is thinned and pruned to reduce fuel load. Manufactured slopes are planted with acceptable plants from the Fire Protection Zone plant list. Plants are selected based upon the existing adjacent condition.

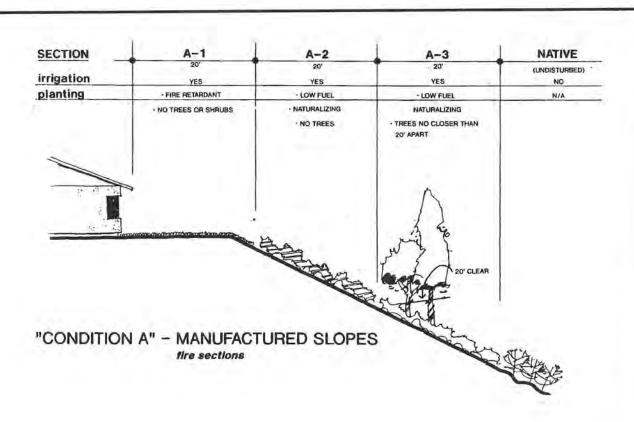
The Fire Protection Plan identifies fuel modification subzones depending on the condition, Manufactured Slopes – Condition A, or Native Slopes – Condition B. The subzones are shown on Exhibit 4-37, Fire Protection Zones, and described as follows:

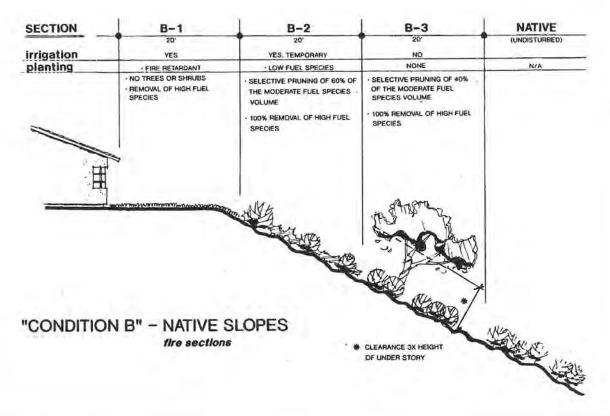
- Condition A Manufactured Slope Fire Protection
 - Section A-1 measured horizontally 20 feet outward from the outlying edge of structure(s).
 - Planted with groundcover or low growing shrub species (less than 3 feet in height) known to

MASTER PLAN STANDARDS AND GUIDELINES

have fire retardant qualities.

- No trees or shrubs allowed.
- No structures allowed including patio trellises, arbors, fire pits, gazebos, enclosed porches and balconies.
- Irrigated.
- Section A-2 measured horizontally 20 feet outward from the outlying edge of Section A-1.
 - Planted with low water use naturalizing plant species known to have low fuel characteristics.
 - No trees allowed.
 - Irrigated.
- c. Section A-3 measured outward from the outlying edge of A-2 to include the remainder of the area between Section A-2 and high risk fire areas. Horizontal distance from the structure(s) to untreated high risk areas shall not be less than 60 feet.
 - Planted with low water use naturalizing plant species known to have low fuel characteristics.
 - Trees are allowed but shall not be planted closer than 20 feet apart.
 - Irrigated.







2. Condition B – Native Slopes-Wild land Fire Suppression

Pertains to areas where removal of environmentally sensitive native vegetation is restricted within the fire sections.

- Section B-1 measured 20 feet horizontally from the outlying edge of the structure(s) toward the environmentally restricted area as defined by the City.
 - Removal of "high fuel and moderate hazard species".
 - Planting with groundcover or low growing shrub species (less than 3 feet in height) known to have fire retardant qualities or as otherwise required by the City.
 - No trees or shrubs allowed.
 - No structures allowed including patio trellises, arbors, fire pits, gazebos, enclosed porches and balconies.
 - Irrigated.
- Section B-2 measured horizontally 20 feet outward from the outlying edge of Section B-1.
 - Removal of "high fuel species".
 - Removal by selective pruning of up to 60 percent of the volume of the "moderate fuel species".
 - Replanting with naturalizing low fuel species.
 - Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance equal to three times the height of the surrounding understory

MASTER PLAN STANDARDS AND GUIDELINES

plant material or 6 feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.

- Temporarily irrigated.
- c. Section B-3 measured horizontally 20 feet outward from the outlying edge of Section B-2. The outer edge of B3 shall extend horizontally to a point at least 60 feet from structures.
 - Removal of "high fuel species".
 - Removal by selective pruning of up to 40 percent of the volume of the "moderate fuel species".
 - Trees and large tree form shrubs (e.g., Oaks, Sumac, Toyon) which are being retained shall be pruned to provide clearance equal to three times the height of the surrounding understory plant material or 6 feet, whichever is higher. Dead and excessively twiggy growth shall also be removed.
 - Not irrigated.

4.8 Walls and Fencing

Walls and fencing are prominent visual elements of any community. They are one of the most easily recognizable design elements of a community and warrant special attention to ensure continuity of design character.

Community theme walls should be consistent in scale, materials, and type within each village. Some variation in design details, such as color, finish, caps and pilasters will be permitted to express a certain individuality for each village. It is intended that the theme walls of all the villages have a degree of overall continuity and identity, but with an individual character expressing the village's theme. Theme walls are those walls or fences which are readily visible from arterial and collector streets or from adjacent or nearby areas outside of the community or village. These walls must comply with the design standards established for each village. Refer to Sections 5.5, 6.5, and 7.5 for complete descriptions of each village's wall and fence design.

All fencing in areas that have Fire Protection Zones in the rear yard either (A) or (B) shall be non-combustible, specifically no wood fencing. All walls and fences shall be designed and located in compliance with Section 4.9.3, Corner Sight Distance Specifications, and Exhibit 4-45, Corner Sight Distance.

4.8.1 Perimeter Neighborhood Walls

The monotony of walls and fences located 15 feet or less from the public right-of-way can be broken up by providing recesses for land-scaping and variations in materials. Such treatment becomes especially important for perimeter walls and fences located along major streets. Long, straight walls and fences, without visual relief, tend to create a tunnel effect and shall be avoided whenever possible.

4.9 Signage

Appropriate signage is important in maintaining the village design theme, as well as providing a system for identifying neighborhood development and giving directional information to residents and visitors. Signs utilized in the Master Plan include both temporary and permanent types.

4.9.1 Temporary Signs

Temporary signs which will be present until the completion of neighborhood construction may include:

- 1. Temporary Subdivision Directional signs
- 2. Model Home Complex signs
- 3. Information Kiosk signs
- 4. Future Facility signs

All temporary community signs shall be consistent with Carlsbad Municipal Code Section 21.41.076. Additional temporary real estate signage may be allowed as described in Section 21.41.070(4)(D) of the Carlsbad Municipal Code. Examples of typical temporary signs are shown on Exhibits 4-38 through 4-39 with a future facility sign shown in the upper example on Exhibit 4-40.

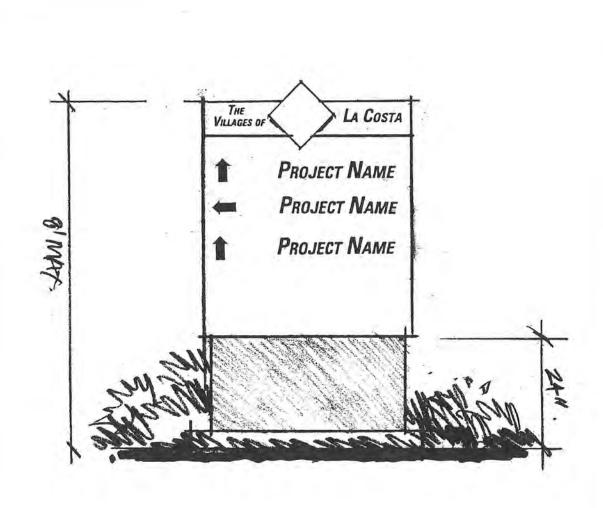
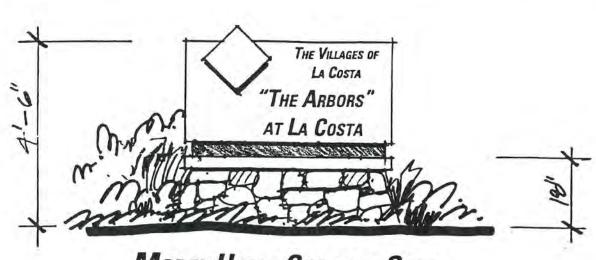


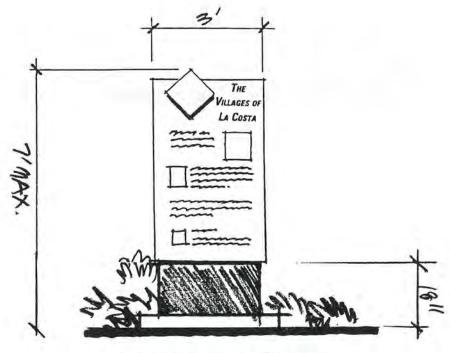


Exhibit 4-38

TEMPORARY SUBDIVISION DIRECTIONAL SIGN



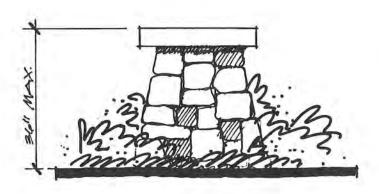
MODEL HOME COMPLEX SIGN



INFORMATION KIOSK







VILLAGE MARKER



Exhibit 4-40

FUTURE FACILITY SIGN/ VILLAGE MARKER

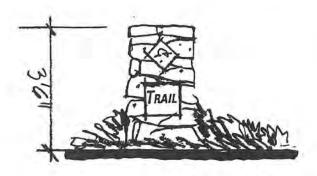
4.9.2 Permanent Signs

Permanent signs include:

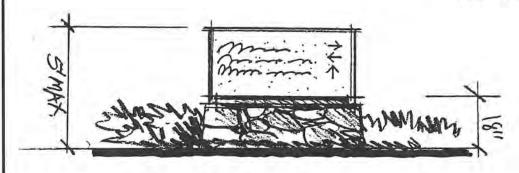
- Village Markers
- 2. Trail Head Markers
- 3. Vehicular Directional signs
- 4. Recreation Center signs
- Village Entry signs
- 6. Neighborhood Entry signs

All of the permanent sign bases will be constructed of masonry block with a light stucco finish or stone clad and natural concrete color cap to match the village walls. Signs and sign supports will be constructed of wood.

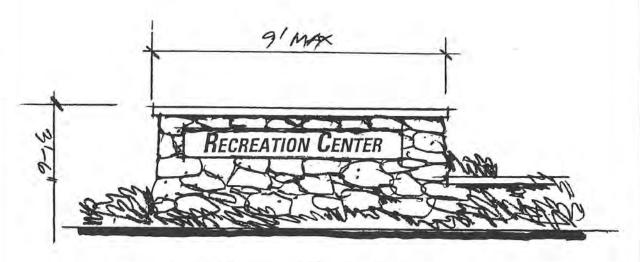
Permanent community identity and freestanding signs shall be subject to the requirements stated in Section 21.41.075 of the Carlsbad Municipal Code. A village marker sign is shown in the lower example on Exhibit 4-40. Typical permanent signage is illustrated on Exhibit 4-41. Village Entry signs and Neighborhood Entry signs are individually described and illustrated within the Landscape Concept Plan section of each Village Development Plan chapter (Section 5.5 for La Costa Greens, Section 6.5 for La Costa Ridge, and Section 7.5 for La Costa Oaks). Signage locations for each Village are shown on Exhibits 4-42 through 4-44.



TRAIL HEAD MARKER



VEHICULAR DIRECTIONAL SIGN



RECREATION CENTER SIGN

VILLAGES OF LA COSTA

Exhibit 4-41

PERMANENT SIGNS

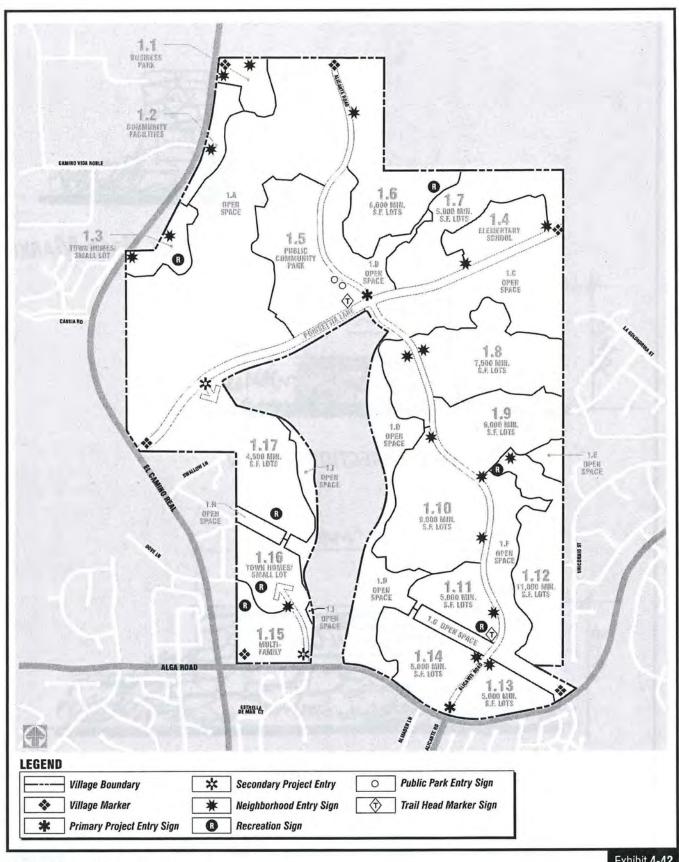
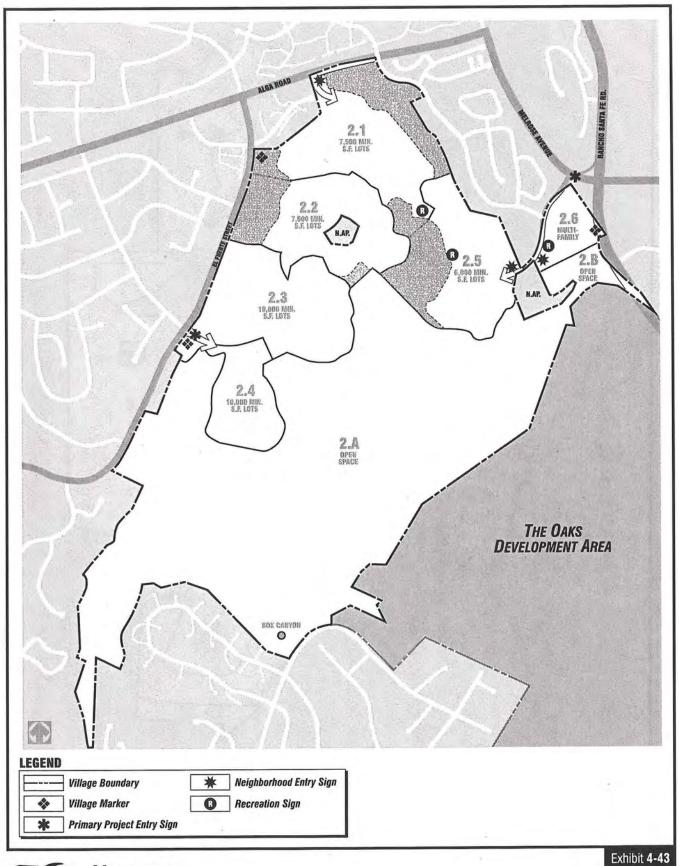




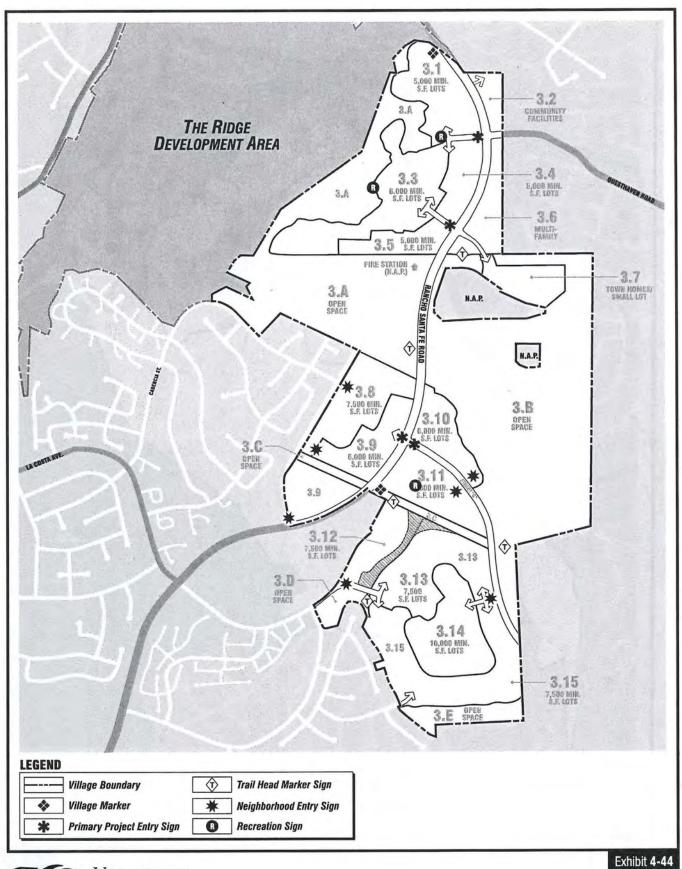
Exhibit 4-42

LA COSTA GREENS SIGN LOCATIONS





LA COSTA RIDGE SIGN LOCATIONS



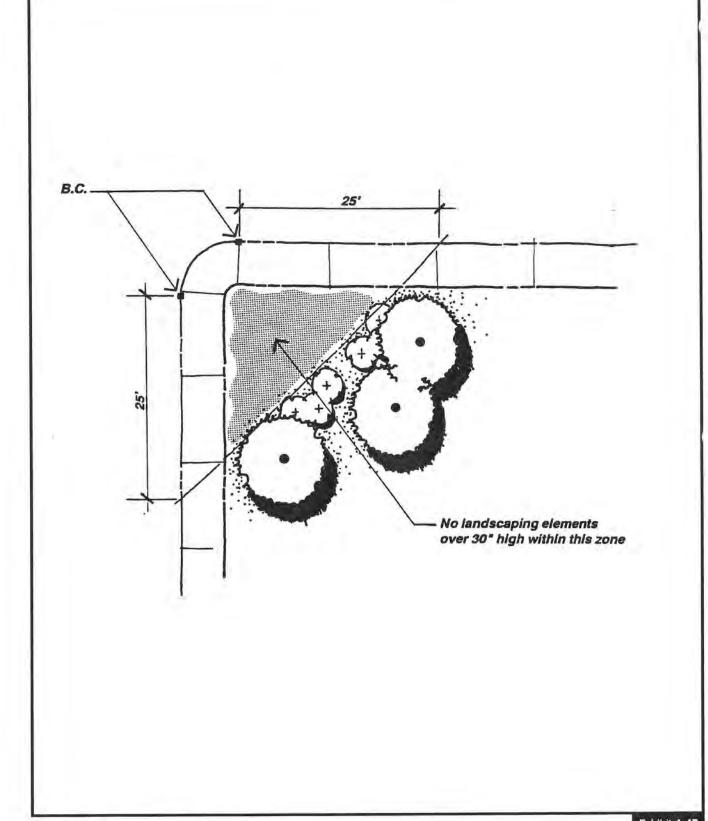


LA COSTA OAKS SIGN LOCATIONS

4.9.3 Corner Sight Distance Specifications

- Roadway Sight Distance: Sight distances shall be in accordance with CALTRANS Highway Design Manual (current edition).
- Intersection Sight Distance: the design of intersection sight distance within the City will be governed by Topic 405 of the California Department of Transportation Highway Design Manual with the following additions and clarifications.
 - Local/collector intersections and above follow CALTRANS requirements. Signalized intersections must be designed with corner sight distance requirements.
 - b. The edge of traveled way shall be considered to be the extension of the face of curb for the purposes of determining driver setbacks. Where temporary or interim connections are made to roads without curbs and gutters, the travel way shall be the edge of pavement.
 - c. For local/local and local/cul-de-sac intersections only, maintain triangular area at intersection, measure 25' back from the points of curb return (P.C.R.) to form a triangle free of any obstructions in excess of 30" in height. A sight/view corridor shall be established to restrict obstructions. This triangular area is in addition to the CALTRANS intersection sight distance requirements. These two sight distance corridors may overlap but the net corridor shall be the effect of both areas.

Exhibit 4-45, Corner Sight Distance Specifications, shows sign and monumentation placement criteria, including the triangular area specified above.





4.10 Lighting

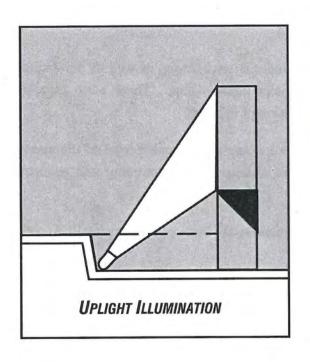
The design issue of lighting includes street lighting, as well as building and landscape accent lighting, and sign illumination. Three basic principles should be considered in the provision of lighting:

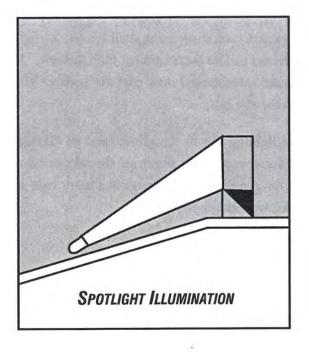
- Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
- Lighting fixtures should relate to the human scale, especially in pedestrian areas.
- Lighting and lighting fixtures should complement the design and character of the environment in which they are placed.

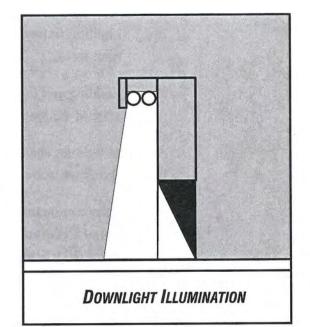
All street lighting shall conform to the City standards or an approved theme lighting program, and shall be approved by the City Engineer.

Lighting for community facilities and recreation areas shall be considered as an element of Conditional Use Permit or Site Development Plan Review. Any such lighting which will illuminate a residential area past the hour of 10:00 PM shall be clearly identified on the site plan.

Illuminated entries should direct lighting low to the ground and be limited to only the immediate vicinity of the entry. Lighted entries should not be distracting, create visual hot spots, or glare, etcetera. Suggested entry sign illumination techniques are illustrated by Exhibit 4-46.





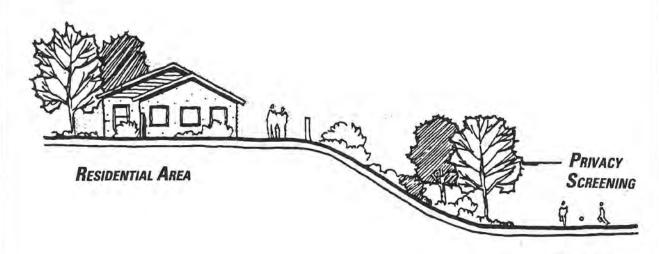




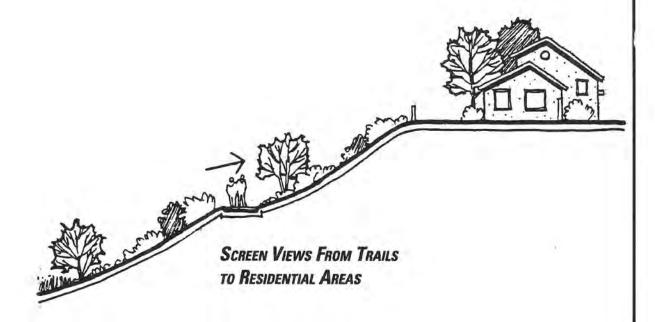
4.11 Screening and Edge Treatments

The placement of plantings may be utilized as a screening technique throughout the Master Plan Area. Privacy screening for recreation areas and community facilities is illustrated by the upper example on Exhibit 4-47. Similarly, residential areas may be screened from trail users as shown on the lower example on Exhibit 4-47.

The treatment of edges between differing land uses is an important consideration in maintaining continuity in the village design. Site planning and land-scape design should make a smooth and logical transition from one area to another without leaving hard edges or abrupt changes. Edge treatment applications for individual villages are further described in Sections 5.5, 6.5, and 7.5.



RECREATION





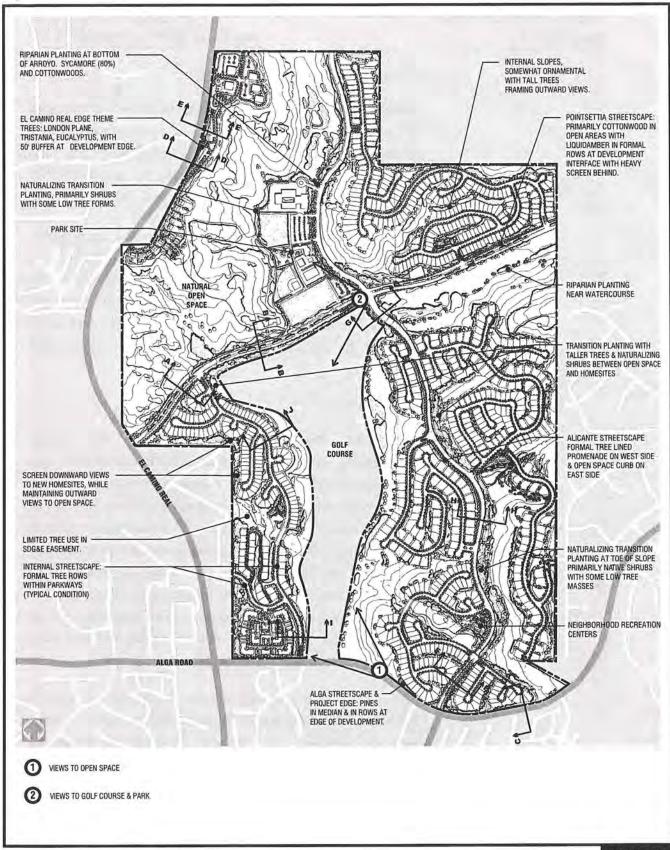




Exhibit 5-11

LA COSTA GREENS LANDSCAPE CONCEPT

El Camino Real

A small portion of the northwest corner of the project fronts on El Camino Real. The landscape character will exceed the City requirements using Eucalyptus, London Plane Tree and Brisbane Box in informal groupings along the edge and within the 50 foot buffer zone.

The frontage includes both development and open space. Where development occurs a berm will be constructed and planted to screen views. When open space occurs the landscape palette will adjust to include fewer trees and more plantings that are consistent with the open space and that will allow views to the landscape. See Exhibit 5-12, El Camino Real Streetscape.

2. Poinsettia Lane

The visual character of Poinsettia Lane will change considerably, as it fronts several distinct developments and types of open space within the Village. Overall, the street will utilize White Alders, Cottonwoods and Sycamores in informal groves, meeting the City requirements. To highlight a grove of existing eucalyptus near the western portion of the street, new eucalyptus will be planted near them at the slopes created by the construction of the road. At development edges, there will be a formal row of Sweet Gums or a similar tree which will act as a community theme tree. This condition will not occur when the street is adjacent to open space.

The pattern of the planting scheme is designed to reflect a naturalized, informal quality through random clusters of trees, irregular spacing and irregular groundplane treatments. Variety and contrast in textures, colors, shapes and forms will be expressive of a rural, agrarian quality. The median

5.0 LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

5.1 Introduction

The La Costa Greens Village Development Plan is consistent with the Master Plan goals and objectives, and its function is to set forth the site-specific plans and standards necessary to implement the development of the La Costa Greens community. Each of the individual neighborhoods of the La Costa Greens Village will be developed per the guidelines and standards set forth in this Village Development Plan, as well as those Master Plan provisions established in Chapters 1-4 above.

It is anticipated that certain modifications to the La Costa Greens Village Development Plan may be necessary during the development of the individual neighborhoods. The criteria for a Village Development Plan Amendment are set forth in Section 3.2.

The individual sections of the La Costa Greens Village Development Plan are as follows:

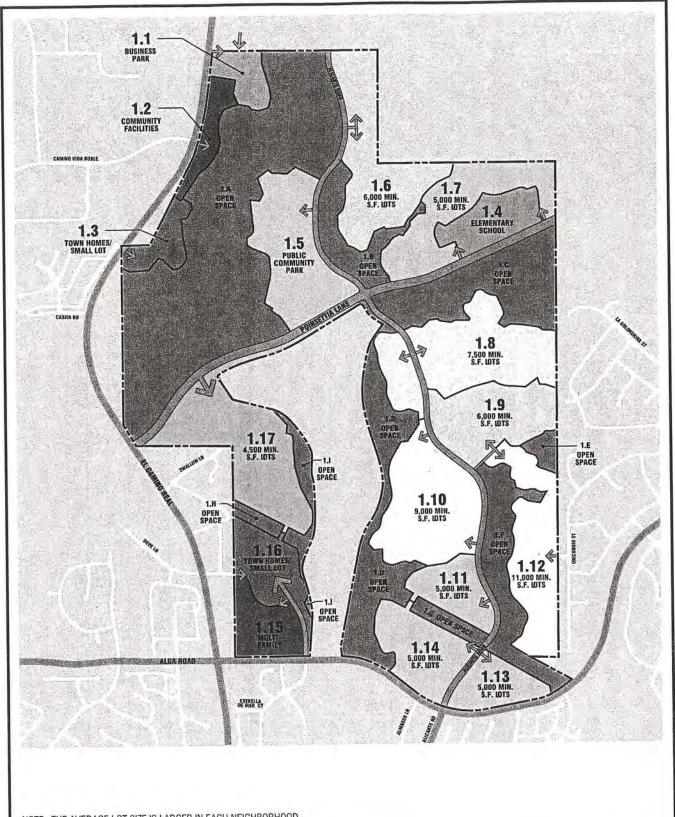
	Village Land Use Plan (Section 5.2)
	Public Facilities (Section 5.3)
а	La Costa Greens Phasing Plan (Section 5.4)
	Village Landscape Concept Plan (Section 5.5)
	Architectural Concept (Section 5.6)
П	La Costa Greens Development Standards (Section 5.7)

5.2 Village Land Use Plan

The La Costa Greens Village consists of approximately 660 acres. Generally located around the north course of the La Costa Resort golf course, the La Costa Greens Village is bounded to the south by Alga Road and by West Bluff Plaza and El Camino Real to the west. Poinsettia Lane, which extends northeasterly from El Camino Real, will serve as a primary pedestrian and vehicular corridor within the community.

The La Costa Greens Village Development Plan, Exhibit 5-1, envisions a full spectrum of land uses for the La Costa Greens Village. As defined by the La Costa Greens Village Development Plan Table, Exhibit 5-A, the La Costa Greens Village will provide for a wide range of residential products, active and passive recreation areas, natural open space, a potential elementary school site, a community facilities site, a child daycare site, an RV storage site, and a an Office site.

As shown on Exhibit 5-2, individual La Costa Greens neighborhoods are located within the larger General Plan Land Use category areas, which are also shown on Exhibit 2-1, General Plan Land Use. In order to determine the number of dwelling units allowed within any particular land use category, the Growth Management Control Point of the category is multiplied by the number of net developable acres located within the category area. number of General Plan Dwelling Units and Maximum Allowable Dwelling Units for each General Plan Land Use category are shown on Exhibit 5-B, Residential Density Consistency Table. Dwelling units may be clustered within a General Plan Land Use Category provided the density of each neighborhood falls within the density range allowed by the General Plan Land Use category (see Section 2.1). The density of an individual neighborhood, therefore, may exceed the Growth Management Control Point as long as all the La Costa Greens Village neighborhoods located within the General Plan category do not, in aggregate, exceed the Allowable Dwelling Units shown in Exhibit 5-B.



NOTE: THE AVERAGE LOT SIZE IS LARGER IN EACH NEIGHBORHOOD THAN THE MINIMUM LOT SIZES SHOWN ABOVE.



Exhibit 5-1

THE GREENS DEVELOPMENT PLAN

LA COSTA GRE...S VILLAGE DEVELOPMENT PLAN

EXHIBIT 5-A VILLAGE DEVELOPMENT PLAN TABLE

LA COSTA GREENS

NEIGHBORHOOD/	The state of the state of			MAST	MASTER PLAN REVIEW PROCESS
OPEN AREA REFERENCE	LAND USE DESIGNATION	ZONING	GROSS	Maximum Allowable Dwelling Units	Development Type
111	0	0	7.9	ı	Office 85,000 Sq. Ft.
1.2	CF	C-F	7.9	J	Community Facilities, 6.85 Net Acres
13	RM	RD-M	8.6	48	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Size
1.4	RLM	R-1	13.9	42	Elementary School
1.5	SO	S-0	34.4	1	Community Park
1.6	RLM	R-1	37.9	96	SFD — 6,000 Sq. Ft. Min. Lot Size
1.7	RLM	R-1	. 28.2	85	SFD — 5,000 Sq. Ft. Min. Lot Size
1.8	RLM	R-1	45.8	83	SFD — 7,500 Sq. Ft. Min. Lot Size
1.9	RLM	R-1	25.9	75	SFD — 6,000 Sq. Ft. Min. Lot Size
1.10	RLM	R-1	40.0	64	SFD — 9,000 Sq. Ft. Min. Lot Size
1.11	RLM	R-1	14.5	35	SFD — 5,000 Sq. Ft. Min. Lot Size
1.12	RLM	R-1	30.4	37	SFD — 11,000 Sq. Ft. Min. Lot Size
1.13	RLM	R-1	12.7	33	SFD — 5,000 Sq. Ft. Min. Lot Size
1.14	RLM	R-1	22.7	61	SFD — 5,000 Sq. Ft. Min. Lot Size
1.15	RMH	RD-M	14.3	180	Multiple Family (Affordable Housing)
1.16	RMH	RD-M	16.0	92	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Size
1.17	RLM	R-1	39.9	107	SFD — 4,500 Sq. Ft. Min. Lot Size
1.A	SO	S-0	124.4	t	HCP/Open Space
1.8	SO	S-0	14.7	Ţ	HCP/Open Space
1.0	SO	S-0	36.4	Ĭ,	HCP/Open Space
1.D	SO	S-0	30.6	ì	HCP/Open Space
Э.	SO	S-0	3.4	Î	HCP/Open Space

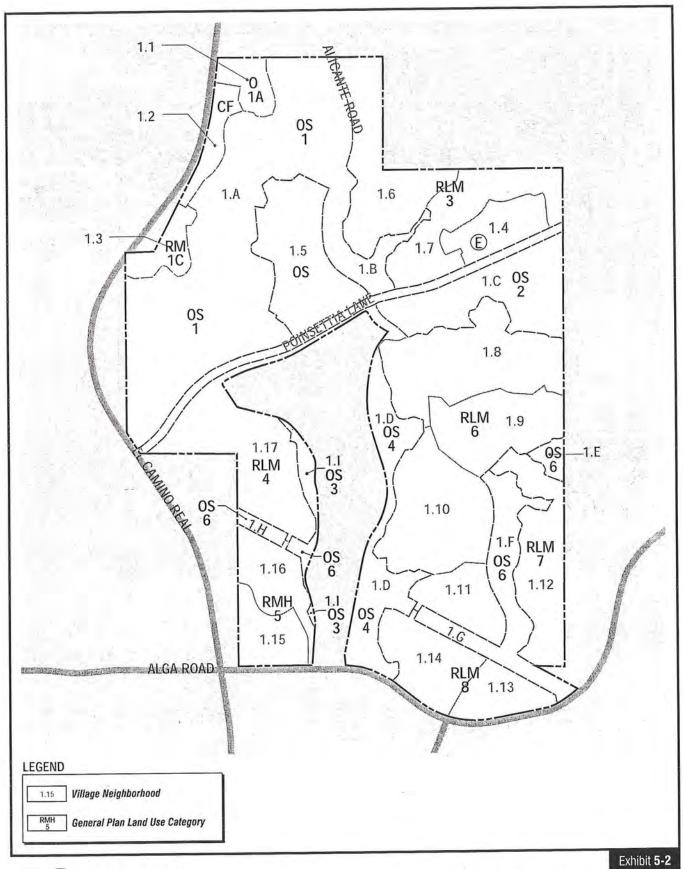
September 2006

EXHIBIT 5-A VILLAGE DEVELOPMENT PLAN TABLE

LA COSTA GREENS

NEIGHBORHOOD/		2000	33000	MASTER	MASTER PLAN REVIEW PROCESS
OPEN AREA REFERENCE	LAND USE DESIGNATION	ZONING	ACRES	Maximum Allowable Dwelling Units	Development Type
1.F	SO	S-0	22.4	1	HCP/Open Space
1.6	SO	S-0	4.5	1	Utility Corridor/Open Space
1.H	SO	S-0	3.1	1	Utility Corridor/Open Space
171	SO	S-0	6.5	1	HCP/Open Space
Circulation Element Roadways	T	l	13.7	1	Circulation Element Roadways
VILLAGE TOTALS:			2.099	1,038	

September 2006





LA COSTA GREENS GENERAL PLAN DENSITY CONSISTENCY

EXHIBIT 5-B RESIDENTIAL DENSITY CONSISTENCY TABLE LA COSTA GREENS

LAND USE	ACI	RES	GROWTH MANAGEMENT	GENERAL PLAN	MAXIMUM ALLOWABLE
CATEGORY	Gross	Net ⁽¹⁾	CONTROL POINT DENSITY	DWELLING UNITS	DWELLING UNITS
RLM-3	80.0	69.8	3.2	223.4	223
RLM-4	39.9	33.6	3.2	107.5	107
RLM-6	126.2	105.1	3.2	336.3	259
RLM-7	30.4	27.4	3.2	87.7	38
RLM-8	35.4	30.2	3.2	96.6	91
RLM Sub	totals:			851.5	718
RM-1C	8.6	7.8	6.0	46.8	48
RM Subt	otals:			46.8	48
RMH-5	30.3	26.9	11.5	309.4	272
RMH Sul	ototals:			309.4	272

⁽¹⁾ To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

A Conceptual Lotting Plan for La Costa Greens is provided in Appendix C of the Master Plan. This composite plan is conceptual in nature. Final lot configurations, street alignments and grading design will be set during tentative subdivision map review. The land uses of the La Costa Greens Village Development Plan are described in more detail below.

5.2.1 Residential

Single-Family Housing

The La Costa Greens Village Development Plan provides for a maximum of 858 single-family detached homes. Within the La Costa Greens Village, all single-family homes on lots of 4,500 sq. ft. or larger will be located within areas of La Costa Greens designated Residential Low-Medium Density (RLM) by the General Plan. The Master Plan allows a maximum of 718 homes within the ten RLM Neighborhoods of La Costa Greens. An additional 140 small-lot homes are allowed within the RM and RMH General Plan designations. The La Costa Greens Neighborhoods will provide a variety of lot sizes ranging from a minimum of 3,500 square feet to a minimum of 11,000 square feet.

Multiple-Family (Apartments or Condominiums) / Townhomes / Small Lot Single-Family Housing

Neighborhood 1.3 is designated Residential Medium (RM). The RM category allows for a density range of 4-8 dwelling units per acre. The Master Plan allows a maximum of 48 units to be located within the RM Neighborhood. The La Costa Greens Village Development Plan allows for a variety of product types to be developed within the RM Neighborhood including townhomes, duplexes, triplexes, and small lot single-family detached homes.

Neighborhoods 1.15 and 1.16 are designated Residential Medium High (RMH) by the General Plan. The RMH category allows for a density range of 8–15 dwelling units per acre. The Master Plan allows a maximum of 272 units to be

located within the two RMH neighborhoods of La Costa Greens. The La Costa Greens Village Development Plan allows for a variety of product types to be developed within the RMH Neighborhoods including high-density single-family detached homes on 3,500 square-foot lots, townhomes, condominiums and apartments.

3. Affordable Housing

Combined Affordable Housing Approach

The units to be constructed within the Villages of La Costa Master Plan will be provided in the La Costa Oaks and La Costa Greens Villages as combined inclusionary housing projects. They will be located in the Oaks and Greens as multifamily rental apartments and up to eight units of the requirement may be allowed as second dwelling units located throughout the project. These units may be used to meet the affordable housing obligations of any development within the Master Plan area subject to the terms and conditions of the approved affordable housing agreement.

The affordable housing requirements of the Master Plan will be met through construction of two combined inclusionary projects and may be also met through the provision of eight second dwelling units. These units may be credited against development within any of the three Villages covered by the Master Plan. A minimum of ten percent of the total lower-income units shall have three or more bedrooms.

One of the sites, a 180-unit affordable housing rental apartment or townhome project will be constructed in the La Costa Greens Neighborhood 1.15. The Greens affordable housing site is located adjacent to the intersection of Estrella de Mar between Dove Lane and Alga Road. This location is close to major routes to jobs throughout north San Diego County and adjacent to bus stops on Alga Road and El Camino Real. The other affordable housing site with 171 units is located in the La

Costa Oaks Village, Neighborhood 3.6, near the intersection of future Questhaven Road and Rancho Santa Fe Road. An additional eight units, inclusive of the total number of allowed units per this Master Plan, will be provided as rent restricted second dwelling units at locations to be selected during the site planning process given that the maximum number of dwelling units for the Village is not exceeded.

The Master Plan's total Inclusionary Housing obligation is based on fifteen percent of the total base residential units proposed. Additional inclusionary housing incentive credits (worth more than one unit) may be obtained by specific means to achieve alternative types of desirable housing pursuant to Carlsbad Municipal Code Section 21.85.060 and as stated in Section 2.5.9 of this Master Plan.

The inclusionary units shall be provided per the phasing schedule of an adopted Affordable Housing Agreement.

5.2.2 Community Facilities

One community facilities site is identified by the La Costa Greens Village Development Plan. Community Facilities Area 1.2 is located on the east side of El Camino Real, opposite the Camino Vida Roble intersection. The area is designated Community Facilities by the General Plan. The 7.9-acre site may include a daycare center, places of worship, youth and/or senior citizen centers, and any other community facilities uses allowed by the Master Plan. The combined community facilities areas must total 1 percent of the net developable acreage of the Master Plan. The La Costa Greens community facilities site must be a minimum of 3.2 acres (in addition to the required daycare site acreage).

A minimum of 2 acres of the entire site is required for use as a daycare center, with the balance eligible for other authorized community facilities uses. This child daycare facility satisfies the daycare requirement for all three Villages within the Master Plan.

5.2.3 Recreational Vehicle Storage

A recreational vehicle (RV) storage site is identified by the La Costa Greens Village Development Plan within the community facilities site in Neighborhood 1.3. The required area of .34 acre, exclusive of driveways and approaches, provides for 20 square feet per dwelling unit within the planned development neighborhoods (those with minimum lot areas less than 7,500 sq. ft. or gated).

The .34 required common area assumes that rental apartments will be provided in Neighborhood 1.15. If ownership units are offered, however, then up to an additional .08 acre of RV storage area is required. If Neighborhood 1.12 applies as a planned development for a gated community, then an additional 760 square feet of RV storage space will be required. Independent storage may be provided onsite, within a particular development to serve the neighborhood. The common storage area may also be reduced if the RV storage spaces required to accommodate a neighborhood are provided for within a particular development. The RV storage site must be screened from public view by a fence, wall, or landscaping.

5.2.4 Office

The La Costa Greens Village Development Plan identifies a 7.9-acre Office site. Planning Area 1.1 is located in the northwest corner of La Costa Greens, to the east side of El Camino Real. The area is designated Office and Related Commercial (O) by the General Plan. This classification designates areas which are compatible with and environmentally- suited for office uses. Permitted uses and potential conditional uses are identified in sections (d) Permitted Uses and (e) Conditional Uses of Neighborhood 1.1 section of this Master Plan.

5.2.5 Open Space

Per Section 21.38.060 of the Carlsbad Municipal Code, all Master Plans must provide fifteen percent (15%) of the total Master Plan area in an integrated open space program which addresses

- Open space for the preservation of natural resources;
- Open space for the managed production of resources;
- Open space for outdoor recreation; and
- Open space for public health and safety.

Land uses considered as open space for purposes of this requirement are properties that are publicly or commonly owned for the benefit and use of the public or residents of the community such as parks, recreation areas, greenbelts that are at least 20 feet wide, natural areas that are at least 10,000 square feet in area, bikeways, and pedestrian paths. The Master Plan open space requirement for La Costa Greens is 99.1 acres. The La Costa Greens open space program exceeds this requirement by providing approximately 246.0 acres or over 37.2 percent of the La Costa Greens Village area as dedicated open space. The 34.4-acre Alga Norte Park and 2 acres of community recreation areas are provided as additional open space (resulting in over 42.7 percent as dedicated open space).

The following components demonstrate how the La Costa Greens Village complies with the Master Plan open space requirements.

1. Open Space for Preservation of Natural Resources

The La Costa Greens Village includes approximately 246.0 acres (37.2%) within Planning Areas 1.A through 1.I which are designated as Open Space (OS) by the Carlsbad General Plan. Within these areas, 212.6 acres are identified as Conserved Habitat area by the Habitat Conservation Plan/Ongoing Multi-Species Plan (HCP/OMSP) and 33.4 acres are non-HCP open space. The non-HCP, Master Plan open space areas include an existing SDGE utility easement, manufactured slopes that occur within the open space planning areas, and a drainage basin within Area 1.I. The developer will be responsible for management of the Conserved Habitat area until fee interest is conveyed or until the recordation of any final map, issuance of a grading permit or building permit in the La Costa Greens

Village, whichever occurs first. Refer to Section 1.7 of the Master Plan for additional HCP/OMSP information.

2. Open Space for the Managed Production of Resources

This area is not currently being used for agricultural purposes and has not been used in the recent past for agricultural purposes. No portion of the La Costa Greens Village will be reserved for the production of agricultural resources by this Master Plan.

Open Space for Outdoor Recreation

The La Costa Greens Village Development Plan establishes Park Area 1.5 in the central portion of the La Costa Greens Village. The approximate 34.4-acre community park is located just north of Poinsettia Lane and is bounded on the east by Alicante Road and portions of the HCP/OMSP conserved habitat on the west and north sides.

School playgrounds will be available in conjunction with the development of the school site within PA 1.4. Playgrounds will be included as part of the project Open Space if the site is developed.

Recreation areas will be constructed per the requirements of the Planned Development Ordinance, Section 21.45 of the Carlsbad Municipal Code and as specified in the Development Standards for neighborhoods requiring the approval of a Planned Development Permit (with lots under 7,500 square feet) or a Condominium Permit. The total required recreation area is 200-square-feet per dwelling unit. This may be comprised of 100 square feet per dwelling unit of common active recreation area and 100 square feet of private passive recreation area. Private yards with a minimum dimension of 15 feet, balconies, decks and patios may satisfy the private recreation area requirement.

Common recreation areas are discussed further in Section 5.2.7

of this Master Plan. A total of 674 "eligible units" in La Costa Greens results in a requirement of 1.55 acres of common recreation areas. A total of 7 common recreation areas will be provided within the La Costa Greens Neighborhoods. The precise size and location of each facility will be determined at the time of Planned Development Permit or Condominium Permit approval. The exact details of landscaping on open space lots shall be approved by the Planning Director.

In addition to the areas listed above, lands associated with the trail system discussed in Section 5.2.6 of this chapter are considered outdoor recreation areas.

4. Open Space for Public Health and Safety

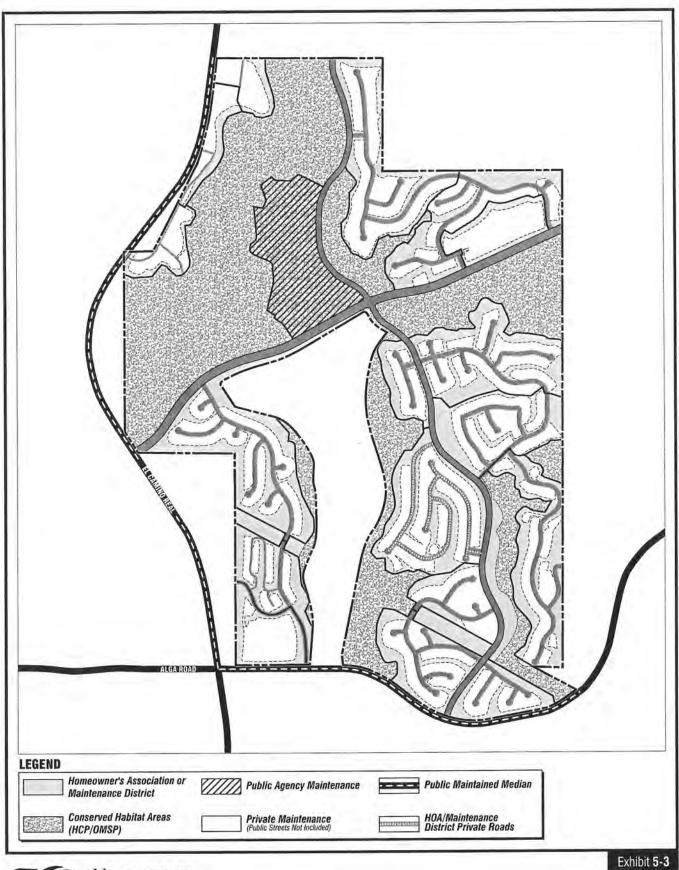
All common maintained slope areas will be maintained as open space. Each neighborhood shall provide for dedication of open space easements or common area lots for slope maintenance purposes at the time of final map approval for that neighborhood.

A Fire Protection Plan shall be approved by the Fire Department for any area designated as a Fire Protection Zone on one of the neighborhood development plans prior to the approval of the tentative subdivision map for the affected neighborhood. The Master Plan Fire Protection Plan is described in Section 4.7.9. A minimum of 60 feet shall be provided within the Fire Protection Zone between the edge of structure and the edge of the HCP/Open Space lots with existing native vegetation.

Open Space Maintenance

Maintenance responsibilities for open space areas of La Costa Greens are described by Exhibit 5-3, Maintenance Areas. Maintenance responsibilities are divided into three categories. Conserved Habitat areas defined by the HCP/OMSP (Open Space Areas 1.A, 1.B, 1.C, 1.D, 1.E, 1.F and 1.I) shall be maintained by an approved conservation entity. Natural areas,

some areas of permanent slope landscaping, Fire Protection Zones, and other neighborhood common areas, including entries and private recreation areas, ultimately will be maintained by a homeowners' association or by a city maintenance district if one is formed and the areas are approved for inclusion into the district by the City of Carlsbad. Areas 1.G and 1.H will be maintained by the Master Homeowners' Association. Publicly owned sites such as the city park and potential school site will be maintained by a public agency. All other areas will be maintained by the private property owner.





LA COSTA GREENS MAINTENANCE AREAS

5.2.6 Circulation

The Zone 10 Local Facilities Management Plan (LFMP) addresses all Circulation Element roads located within the boundaries of La Costa Greens. The La Costa Greens Circulation Plan is illustrated by Exhibit 5-4.

Typical street sections are provided within the master plan. In general new local streets within the master plan will include landscaped parkways having a minimum width of four and one-half feet located between the curb and sidewalk. Sidewalks having a minimum width of five feet shall be provided on both sides of all streets unless the Planning Commission or City Council determines that it is appropriate to construct sidewalks on one side of the street only.

1. Traffic Calming

During the buildout of the Villages of La Costa Master Plan the City Council may approve standards for the use of traffic calming devices. Should the use of traffic calming devices be approved by the City Council such devices may be incorporated into project designs for neighborhoods which have not yet received discretionary approvals for development or into existing developed neighborhoods. The inclusion of such devices shall not require substantial modifications to the neighborhood concept designs or yields. Recommendations on appropriate locations to achieve better design and slow traffic shall be provided during project review by City departments particularly the Engineering, Fire and Planning Departments.

2. Village Circulation Plan

Four Circulation Element roadways are located within or adjacent to La Costa Greens. El Camino Real, a Prime Arterial Street (126-foot divided right-of-way), is adjacent to portions of the western Village boundary. El Camino Real provides access to Office Area 1.1, Community Facilities Area 1.2, and Neighborhood 1.3. El Camino Real intersects with Poinsettia Lane at the west end of Neighborhood 1.17. Improvements to El Camino Real within the segment adjacent

to Neighborhoods 1.1, 1.2, and 1.3 include the construction of an additional northbound lane. Circulation improvements will be made to three intersections along El Camino Real including an eastern leg extension at Camino Vida Roble, and additional turn lanes at the Alga Road and Poinsettia Lane intersections.

Poinsettia Lane, classified as a Major Arterial Street, extends from El Camino Real through the La Costa Greens Village, in a northeasterly direction to the eastern boundary. It will have a 102-foot divided right-of-way with an 18-foot center median. The right-of-way is reduced to 94 feet where it crosses a wetlands area south of open space area 1B. Traffic signals are planned at the intersections of Poinsettia with El Camino Real and Alicante Road.

Alga Road, also classified as a Major Arterial Street, is an existing four-lane divided roadway that establishes the southern boundary of La Costa Greens. Alga Road intersects El Camino Real just west of La Costa Greens. Alga Road provides access to Neighborhoods 1.15, 1.16 and 1.17 via Estrella de Mar Road, a two lane local street, which intersects Poinsettia Lane to the north. Alga Road also provides access to the eastern Neighborhoods of La Costa Greens through the northern extension of Alicante Road. The three-way signal at the intersection of Alga Road and Alicante Road will be improved to a four-way signal. No other circulation improvements are necessary for Alga Road as part of La Costa Greens, however, new medians may be installed or median landscaping upgraded along the project boundary.

Alicante Road is classified as a 60-foot Collector Street through La Costa Greens, with two variations to the right-of-way widths and configurations. Between Alga Road and the SDG&E utility corridor it has a modified 80-foot right-of-way width with a median. From the utility corridor to the entrance to Neighborhood 1.8, Alicante maintains the 60-foot right-of-way. From the Neighborhood 1.8 entrance to Poinsettia Lane through the wetlands crossing, Alicante has a modified 60-foot

right-of-way with parkways eliminated and the trail and sidewalk combined. To the north of Poinsettia, Alicante Road resumes the typical Collector Street standard with a 60-foot right-of-way, past the park site to the northern village boundary.

Internal streets include public and private streets and cul-desacs that provide direct access to residential lots. The streets internal to Neighborhood 1.10 are gated, private streets. Typical Master Plan street sections are illustrated on Exhibits 4-3, 4-4, 4-5 and 4-6.

Precise locations for signals, signage, and project monumentation will be determined at the time of tentative subdivision map approval.

Cul-De-Sacs

In order to facilitate pedestrian and bicycle access as well as provide visual access to an area beyond the street "open cul-desacs" shall be used when appropriate. Open cul-de-sacs shall be utilized where non-automobile circulation could be enhanced and at development edges where physical or visual access beyond the project is desirable. Sidewalk or trail connections shall be provided where appropriate from the cul-de-sac to the nearest sidewalk or trail beyond the open cul-desac.





LA COSTA GREENS CIRCULATION PLAN

4. Bicycle/Pedestrian Trails

El Camino Real, Alga Road, Alicante Road and Poinsettia Lane are all designated bicycle routes by the Circulation Element of the Carlsbad General Plan. Bicycle routes are shown on Exhibit 5-4. Each of these roadways is designed to accommodate bicycle lanes.

Two types of pedestrian trails are shown on the Trails and Recreation Plan, Exhibit 5-5, consistent with the City's Open Space and Conservation Element. Citywide trails are designed to tie in to a future citywide trail system. Within La Costa Greens one citywide trail is located along the north side of Poinsettia Lane and provides access to the community park site. A second citywide trail extends from Alga Road, along the west side of Alicante Road northward to intersect with the Poinsettia trail.

Local trails are the second trail classification. Local trails allow residents to access the citywide trail system, other residential neighborhoods, recreational opportunities, and Open Space Areas. A local trail serves as the extension of the citywide trail along the west side of Alicante Road, north of Poinsettia Lane to La Costa Greens northern boundary. Trails are typically eight to ten feet wide, but may be reduced to five feet and combined with sidewalks where located along sensitive habitat areas to preserve natural resources. Typical trail sections are depicted on Exhibit 4-7.





LA COSTA GREENS TRAILS AND RECREATION PLAN

5.2.7 Common Recreation Areas

Chapter 21.45 of the Carlsbad Municipal Code and the Development Standards in Chapter 4 of this Master Plan provide for common recreation areas for all neighborhoods requiring residential Planned Development Permit or Condominium Permit approvals. Common recreation areas approximate locations within La Costa Greens are illustrated on Exhibit 5-5, Trails and Recreation Plan, and on individual Neighborhood Development Plans in Section 5.7.3. The precise size and location of the areas will be determined at the time of the Tentative Map, Planned Development Permit or Condominium Permit approvals for the Neighborhoods. Exhibit 5-C designates La Costa Greens neighborhoods that require common recreation areas and also indicates the location of the required facilities.

Common active recreation areas shall include resident parking pursuant to the recreation area parking requirements listed in Chapter 4, Master Plan Development Standards and Guidelines.

The common recreation area is based upon a requirement of 100 square feet per dwelling unit on lots under 7,500 square feet. A potential total of 674 "eligible units" equates to a need of 1.55 acres of common recreation facilities. Development within Neighborhood 1.15 must provide an additional 18,000 sq. ft. of common recreation area to serve the inclusionary housing apartment project. The 100 sq. ft. per unit requirement in Neighborhood 1.3 shall be provided within the townhome or small-lot project. This results in a common recreation area requirement of 1.44 acres to accommodate the single-family detached Planned Development homes. The Development Plan exceeds this by providing 3.9 acres of common recreation area, in addition to the 34.4-acre public Alga Norte Park provided in Neighborhood 1.5.

EXHIBIT 5-C COMMON RECREATION AREA LOCATION SUMMARY LA COSTA GREENS

La Costa Greens Neighborhoods Requiring Common Recreation Areas	Locations of Com	non Recreation Areas
Neighborhood 1.3	Neighborhood 1.3,	Exhibit 5-26
Neighborhood 1.6	Naishbashaad 1.6	Exhibit 5-29
Neighborhood 1.7	Neighborhood 1.6,	Exhibit 3-29
Neighborhood 1.9	Neighborhood 1.12,	Exhibit 5-36
Neighborhood 1.11		
Neighborhood 1.13	Neighborhood 1.11,	Exhibit 5-35
Neighborhood 1.14		
Neighborhood 1.15	Neighborhood 1.15,	Exhibit 5-39
Neighborhood 1.16	Neighborhood 1.16,	Exhibit 5-40
Neighborhood 1.17	Neighborhood 1.17,	Exhibit 5-41

5.2.8 Village Development Permits

Prior to the development of each La Costa Greens neighborhood, a series of applications must be submitted to the City for review and approval. Permits required for the development of each individual neighborhood are summarized on the La Costa Greens Village Permit Matrix, Exhibit 5-D. In some cases specific permit requirements will depend on the type of development which is proposed. For example, a neighborhood proposed for small-lot, single-family detached homes would require a Planned Development Permit, while a condominium project would call for a Condominium Permit. In addition to the La Costa Greens Village Permit Matrix provided in this section, development permit requirements are listed under the heading "Required Development Permits," for each neighborhood in Section 5.7.3.

 Review Process For Development of Single Family Detached Dwelling Units On Lots With an Area of 7,500 Square Feet or Larger

To determine compliance with the provisions of the master plan a Site Development Plan is required for development of single family detached dwelling units on lots with a minimum lot area of 7,500 square feet or greater. A tentative map can be processed separately with the Site Development Plan processed at a later date for the architecture and plotting. If a neighborhood is to be developed with custom homes a Site Development Plan is not required. If a Planned Development Permit is required because a private street is proposed it shall take the place of a Site Development Plan.

2. The Review Process for Development of Single Family Detached Dwelling Units/Townhomes on lots with an area less than 7,500 square feet, are as follows:

Small lot projects with minimum lot sizes less than 7,500 square feet require the approval of a Planned Unit Development Permit concurrent with a Tentative Map. Planned Unit Development Permits may be approved without

architecture and plotting. Planned Unit Development Permits approved without architecture and plotting require the approval of a Major Planned Unit Development Permit Amendment at a later date to authorize the proposed structures and their placement.

EXHIBIT 5-D VILLAGE PERMIT MATRIX

LA COSTA GREENS

DEVE	DEVELOPMENT PERMIT	1.1	1.2	1.3	1.4	1.5 1.6 1.7	1.6	1.7	00	1.9	1.10	1.11	1.12	1.13	1.8 1.9 1.10 1.11 1.12 1.13 1.14 1.15 1.16	1.15	1.16	1.17
Tentati	Tentative Subdivision Map	•	•	•			•	•	•	•	•	•	•	•	•	0	•	•
Hillside	Hillside Development Permit	00	0	(3)	@	@	0	<u></u>	0	0	0	0	0	@	0	0	0	0
Plannec	Planned Development Permit			0	1		•					•		•	•	0	0	•
Condor	Condominium Permit			0	I											0	0	
Site De	Site Development Plan	•							•		•		•			0		
Scenic	Scenic Corridor Special Use Permit	•	•	•														
Flood I	Flood Plain Special Use Permit	Ц			0	0	(4)	(0		•					•	0	
Conditi	Conditional Use Permit	0	0										9					
Daycar	Daycare Permit		•		L			Ī		Ĭ.								Ì
Other					Θ	0		Ī			3							771
•	Denotes permit required for development.	ортеп																
0	Denotes permit required for development, depending on type of development.	ортеп	, deper	ding o	n type	of devi	Hopme	nt.										
Θ	All permits are the responsibility of the Carlsbad Unified School District.	of the C	arlsba	1 Unife	ed Scho	sid Joc	trict.											
0	All permits are the responsibility of the City of Carlsbad.	of the C	ity of	Carlsba	d.													
0	A Hillside Development Permit is being processed concurrently with the Master Tentative Map for the La Costa Greens Village. Subsequent Hillside Development Permits may or may not be required for the development of each individual neighborhood depending on the proposed	being ,	process	ed con	current red for	ly with	the M	faster nent o	Tentati f each	ve Ma	to for	the La	Costa	Green. depend	s Villa	ge. St	psedne	ent 1
•	A Floodplain Special Use Permit is being processed concurrently with the Master Tentative Map for the La Costa Greens Village. A subsequent Floodplain Special Use Permit may or may not be required for individual neighborhoods depending on the proposed design.	is being	proce.	sed co.	ing processed concurrently with the Master Tentative Map for the La Costa Greens V. may not be required for individual neighborhoods depending on the proposed design.	r indiv	th the I	Master	- Tenta rrhood.	tive A	fap for ending	the L	a Costa propo	Gree Sed de	ns Vill sign.	age.	sans t	equent
9	A Conditional Use Permit is required for the common recreation facility in Neighborhood 1.12 that serves Neighborhood 1.9.	red for	the co.	поши	recreati	on fac.	ility in	Neigh	borho	1.1 po	2 that	serves	Neigh	porho	.6.1 pc			

September 2006

5.3 Public Facilities

This section addresses the La Costa Greens backbone public facilities system. Exhibits 5-6, 5-7, 5-8 and 5-9 illustrate the general locations and development phasing (also refer to Section 5.4, La Costa Greens Village Phasing Plan) of the backbone facilities, which are further described below.

5.3.1 Drainage and Flood Control

The La Costa Greens Conceptual Drainage Plan, see Exhibit 5-6, provides drainage and flood protection to the site. The 100-year flood plain (after project condition) is shown on the Conceptual Drainage Plan.

Drainage improvements that will be implemented as a result of the Master Plan focus on minimizing the amount of debris that enters the drainage system, minimizing the amount of sedimentation that occurs, and maintaining the quality of water within the drainage system at a level consistent with the federal Clean Water Act. The improvements must address the reduction of peak runoff downstream. alterations to the existing floodplains, such as by Poinsettia Lane grading and channel work, must also be addressed. These improvements will include necessary appurtenant facilities such as catch basins, manholes, inlet and outlet structures, water quality basins, and access roads. New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will also be incorporated into the proposed improvements once such standards are adopted. Locations and sizes of these improvements will be determined as part of the master tentative subdivision map process and the tentative maps for the individual neighborhoods.

La Costa Greens is located in the Batiquitos Lagoon Watershed. The proposed storm drain system for the La Costa Greens will primarily accommodate flows from the north and east and direct them south along the La Costa Golf Course to the San Marcos Creek and the Batiquitos Lagoon. La Costa Greens is located within drainage basin "D" of the City of Carlsbad's Master Drainage and Storm Water

Quality Management Plan. The proposed facilities are consistent with the Management Plan. Per the plan, this area may require detention; however, the ultimate facilities will be determined during final engineering. La Costa Greens will have storm drain facilities ranging in size from 30 to 76 inches that will primarily be located along the major roadways or internal streets and flow southerly in natural drainage courses or major storm drains, crossing Poinsettia Lane, toward the existing La Costa Golf Course and the existing drainage courses. The improvements will include box culverts under Alicante Road and improvements leading to the existing major storm drain facilities in Alga Road.

The proposed phasing will ensure that needed facilities are in place prior to or concurrent with development. Any facilities necessary to accommodate a future phase of development in the La Costa Greens must be financially guaranteed or provided for prior to the recordation of any final map, issuance of a grading permit or building permit. Prior to the recordation of any final map, issuance of grading permit or building permit, whichever occurs first for any specific sub-drainage area within the La Costa Greens, the developers of that project are required to pay or enter into an agreement to pay the drainage area fees established in the current Drainage Master Plan. Prior to the recordation of any final map, issuance of a grading permit or building permit, the developers shall financially guarantee the construction of the storm drain facilities that are listed in the LFMP, that are necessary for that development phase.

New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will be met, as all necessary NPDES requirements will be incorporated into the proposed improvements once such standards are adopted. The developer will also provide best management practices as referenced in the "California Storm Water Best Management Practices Handbook" to reduce surface pollutants to an acceptable level prior to discharge to sensitive areas.

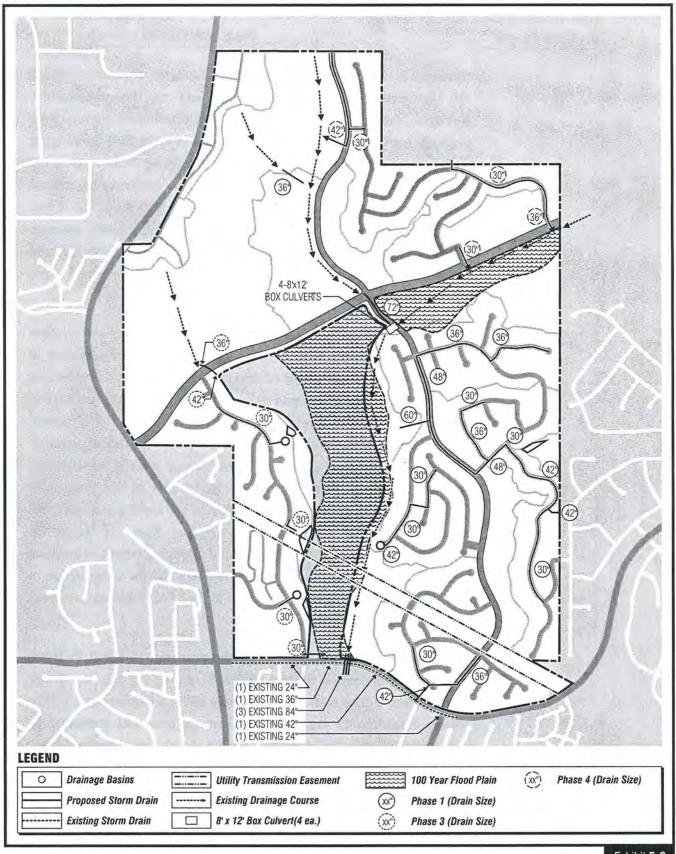




Exhibit 5-6

LA COSTA GREENS DRAINAGE PLAN

5.3.2 Domestic Water Distribution

The La Costa Greens Conceptual Water Plan, see Exhibit 5-7, sets forth on-site water distribution systems to provide adequate fire and domestic service as required. The Master Plan is within the service area of the Carlsbad Municipal Water District. Carlsbad Municipal Water District (CMWD) obtains imported water from the San Diego County Water Authority which in turn obtains water from the Metropolitan Water District. Existing distribution facilities are located north, south, east and west of the project. Domestic water demands for this project are based on projections for specific land uses and their intensities balanced with historical use factors.

The La Costa Greens will be served by the existing water transmission mains in El Camino Real and Alga Road. To complete the system, a 30-inch water main will be installed within the extension of Poinsettia Lane from El Camino Real to the eastern project boundary. This facility is to be funded by CMWD and built concurrent with development, prior to build-out. A 16-inch water line is also proposed to be located in El Camino Real. This offsite pipeline segment will extend between the existing 16-inch water main near the intersection of Camino Vida Roble south in El Camino Real to the intersection of Tobria Terrace. Development internal to the La Costa Greens will be served by proposed 12-inch, 10-inch and 8-inch water lines.

The location and size of the proposed potable water facilities have been approximated for the purposes of this plan. These facilities will be further analyzed and defined during the tentative map process based on CMWD requirements and consistent with the Zone 10 LFMP.





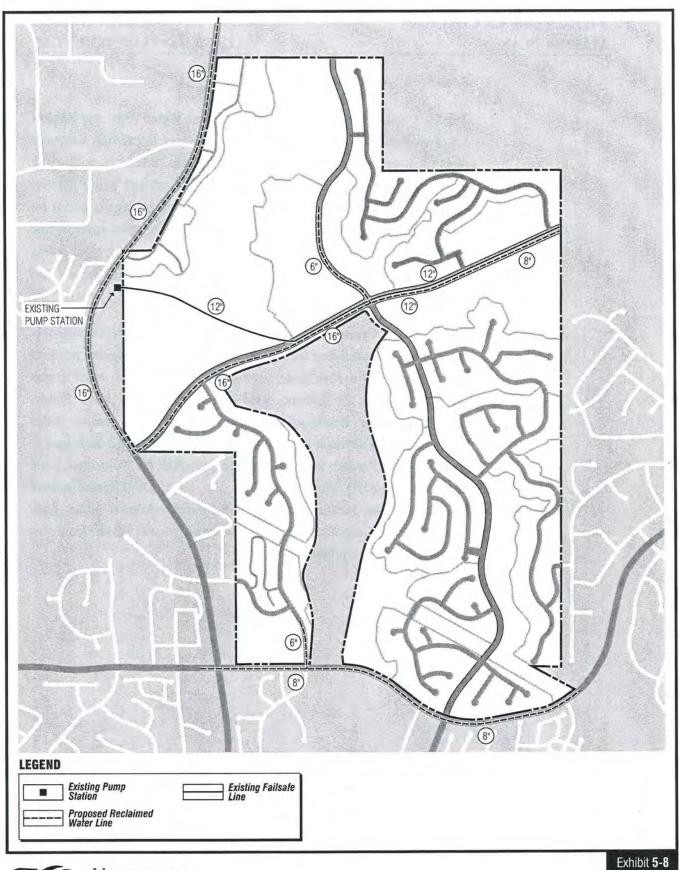
Exhibit 5-7

LA COSTA GREENS WATER PLAN

5.3.3 Reclaimed Water Distribution

The La Costa Greens Conceptual Reclaimed Water Plan, see Exhibit 5-8, sets forth on-site water distribution systems to provide adequate reclaimed water service as required. La Costa Greens is within the reclaimed water service area of the Carlsbad Municipal Water District (CMWD). Reclaimed water use demand for this project is based on the anticipated irrigation needs for large non-native open space areas. Reclaimed water will be used to irrigate major common slope areas and, to the extent available, for irrigating landscaping within park and recreation areas.

The La Costa Greens development will be served by the existing 12-inch reclaimed water line located within the project, along and north of the proposed Poinsettia Lane extension. A reclaimed water pump station exists at El Camino Real south of Camino Vida Roble. CMWD's Water Reclamation Master Plan proposes major water facilities for the ultimate buildout of the area. 16-inch, 12-inch, and 8-inch reclaimed water lines are proposed within the Poinsettia Lane extension from El Camino Real to the La Costa Greens eastern boundary. The location and size of future reclaimed water lines serving the La Costa Greens have been approximated for the purposes of this plan and are tentative only.





LA COSTA GREENS RECLAIMED WATER PLAN

5.3.4 Sanitary Sewer

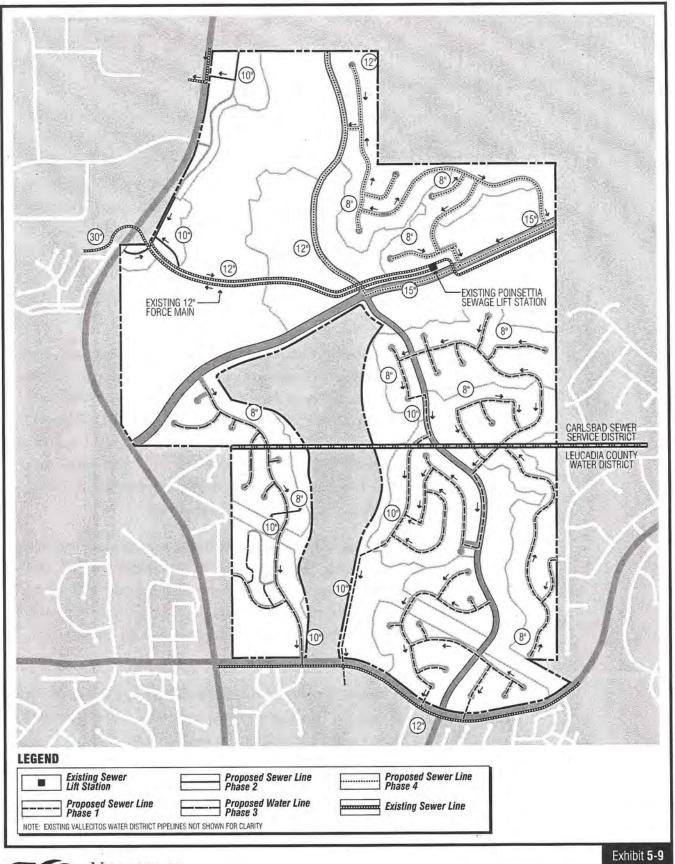
The La Costa Greens Conceptual Sewer Plan, see Exhibit 5-9, sets forth a system for sewage collection for the La Costa Master Plan area. Sewer service will be provided in the north by the City of Carlsbad Sewer Service District (CSSD) and in the south by the Leucadia County Water District (LCWD). An existing on-site pump station will serve the City of Carlsbad service area. The Leucadia service area will flow to the south by gravity sewers. All sewage generated on-site will generally flow to the Encina Water Pollution Control Facility for treatment and disposal. Sewer demands for this project are based on specific land use projections and intensities multiplied by District projected average unit flow factors (based on estimated gallons per day per equivalent dwelling unit).

The northerly portion of the La Costa Greens, served by CSSD, is located in the Buena/Vallecitos Interceptor sewer drainage basin and will sewer into the existing Vallecitos Interceptor owned by the Vallecitos Water District. The City of Carlsbad has capacity rights to this interceptor. The interceptor then follows Palomar Airport Road westerly to the Encinas Water Pollution Control Facility. The remaining portion of the project within the CSSD gravity sewers to the existing Poinsettia Sewage Lift Station (formerly known as the North La Costa Sewage Lift Station). The Poinsettia Sewage Lift Station is located within the La Costa Greens area and can serve the ultimate build-out of the service area.

The Vallecitos Water District has three existing major sewer transmission lines crossing the northern portion of the Greens. Two of these convey raw sewage and the third is the 12-inch fail-safe reclaimed water pipeline. These facilities are planned to be relocated into the future Poinsettia Road right-of-way in order that the existing easements can be quitclaimed and the land incorporated into the development planning for this project.

At build-out, the southerly portion of the La Costa Greens, served by LCWD, will sewer into the existing trunk line located south of the zone boundary. The sewage will be transported by gravity sewers and

the existing La Costa Lift Station to the major lift station (Leucadia Pumping Station) near the intersection of El Camino Real and La Costa Avenue. It is then pumped through a network of existing lift stations to the Encina Water Pollution Control Facility. No sewer facility improvements are required in this District for the La Costa Greens, except for local sewers.





LA COSTA GREENS SEWER PLAN

5.4 La Costa Greens Village Phasing Plan

Implementation of the La Costa Greens Village Development Plan will be accomplished through a multiple phase plan. The objective of the La Costa Greens Village Phasing Plan is to coordinate a logical sequence and pattern of residential development and habitat conservation with the provision of public facilities and services as established by the Zone 10 Local Facilities Management Plan. All public facility performance standards identified in the Zone 10 Local Facilities Management Plan must be complied with by each individual development phase. The boundaries of the La Costa Greens development phases are shown on Exhibit 5-10, La Costa Greens Village Phasing Plan.

The La Costa Greens Village Phasing Plan divides the Village into four development phases: Phase 1 (Southeast) will consist of Neighborhoods 1.8 through 1.15 and the availability of Park Area 1.5; Phase 2 (Southwest) will consist of the development of Neighborhoods 1.16, and 1.17; Phase 3 (Northwest) development will include Neighborhoods 1.1, 1.2, and 1.3; Phase 4 (Northeast) development will add Neighborhoods 1.6, 1.7 and School Area 1.4. Each phase of the Development Plan can be graded independently except for grading necessary to accommodate the major roadways.

The affordable housing site will require an affordable housing agreement and a Site Development Permit approval prior to recordation of the first neighborhood Final Map. Construction of the affordable housing units will be provided in relation to the timing of the market-rate units. The affordable housing agreement will contain the phasing requirements for the affordable units.

The grading and construction of Poinsettia Lane and Alicante Road (southern section from Alga Road to the access for the park site) will be provided concurrent with Phase 1 of the La Costa Greens development.

A recreational vehicle storage site (or temporary facility) must be provided prior to the occupancy of residential units within the planned development neighborhoods. A temporary facility may serve the initial neighborhood development phasing until the final facility is completed.

Fee interest conveyance of the HCP/OMSP Open Space Areas to an appropriate conservator will occur in conjunction with the first development phase of La Costa Greens.

The phasing of La Costa Greens public facilities is illustrated on Exhibits 5-6, 5-7, 5-8 and 5-9. Individual phasing details are described below.

Borrowing and stockpiling between two phases may be necessary to balance a given phase, e.g. for the construction of Poinsettia Lane in Phase 1.

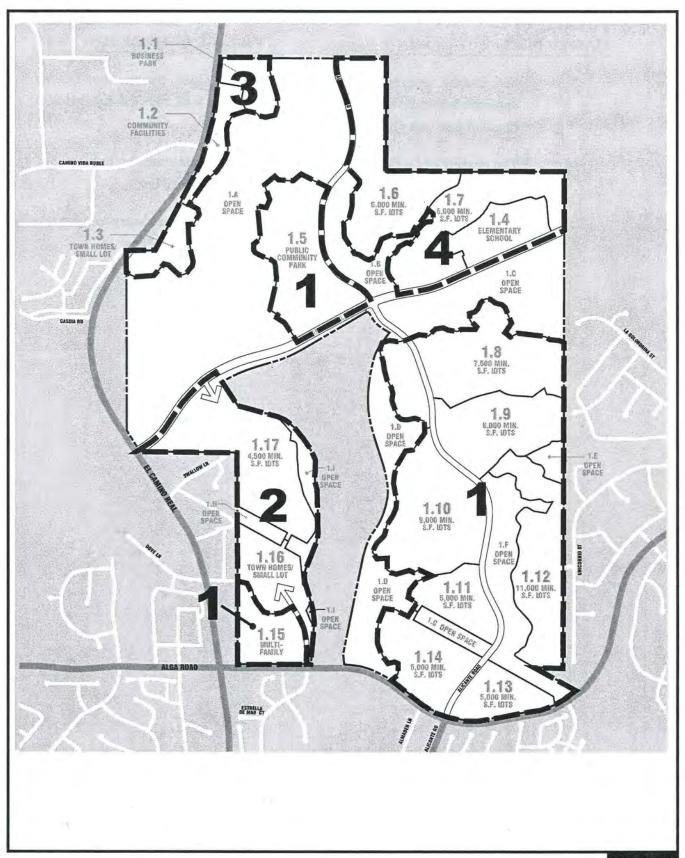




Exhibit 5-10

LA COSTA GREENS PHASING PLAN

5.4.1 Phase 1 - Southeast

Neighborhoods

- Neighborhoods 1.8 through 1.15.
- Park Area 1.5.

2. Grading

 Cut and fill balanced on-site. This phase may include approximately 260,000 cubic yards exported from Phase 2 and 50,000 cubic yards from Phase 2 stockpiled in Phase 4 for the provision of major roadways.

3. Circulation

- All improvements within the phase.
- Extension of Alicante from Alga Road to the northern boundary of Neighborhood 1.5 (Park Area).
- Improve traffic signal at Alga/Alicante.
- Alga Road frontage median improvements, easterly portion.
- Extend Poinsettia Lane from El Camino Real to eastern Village boundary.
- Install traffic signals at Poinsettia Lane/Alicante and El Camino Real/Poinsettia Lane.

4. Sewer

- All improvements within the phase.
- Provide three off-site connections to existing 12-inch Leucadia County Water District line in Alga Road.
- Provide for sewer service stubbed to the Park site.

 Necessary improvements to comply with CMWD & LCWD criteria during final subdivision mapping.

5. Water

- All improvements within the phase.
- Provide two connections to existing 12-inch line in Alga Road.
- Provide connection to existing line in Zodiac Street.
- Provide connection to existing 12-inch line in Dove Lane.
- Provide for water service stubbed to the Park site.
- Improvements identified during final mapping to ensure compliance with CMWD and Fire Department criteria.

Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- Provide an off-site connection to the existing 42-inch drainage line in Alga Road.
- Provide for drainage facilities stubbed to the Park site.

7. Community Improvements

- The school site identified as School Area 1.4 shall be made available for purchase to the Carlsbad Unified School District. Provide for utilities and street right-ofway to serve the accepted school site.
- Provide for utilities and street right-of-way to serve the park site under the terms and conditions of the existing parks agreement. Park site rough grading may be

provided through separate agreement between the City and developer.

 Recreational vehicle storage site (permanent facility or temporary facility within the phase).

5.4.2 Phase 2 - Southwest

Neighborhoods

Neighborhoods 1.16, and 1.17.

2. Grading

 Cut and fill balanced on-site. This phase may include approximately 310,000 cubic yards of fill being exported during Phase 1. 260,000 cubic yards will be exported to Phase 1 and 50,000 cubic yards will be exported to Phase 4.

3. Circulation

- All improvements within the phase.
- No off-site improvements.

4. Sewer

- All improvements within the phase.
- Necessary improvements to comply with LCWD criteria during final subdivision mapping.
- No additional off site improvements.

5. Water

- All improvements within the phase.
- Improvements identified during final mapping to ensure compliance with CMWD and Fire Department criteria.
- No additional off-site improvements.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- Provide a connection to the existing 36-inch drainage line in Alga Road.
- No off-site improvements.

7. Community Improvements

 Alga Road frontage median improvements, westerly portion (if not completed in Phase 1).

5.4.3 Phase 3 – Northwest

1. Neighborhoods

Neighborhoods 1.1, 1.2, and 1.3.

2. Grading

Cut and fill balanced on-site.

Circulation

- All improvements within the phase.
- Complete frontage improvements on El Camino Real from Cassia Road north to Village boundary along developer owned frontage.

- Improve intersection and traffic signal at El Camino Real/Camino Vida Roble.
- Extend private access road from Camino Vida Roble through Neighborhoods 1.2 and 1.1 to northern Village boundary.
- Provide bus transit stop improvements as necessary to comply with NCTD criteria based on final improvement plan input.

Sewer

- All improvements within the phase.
- Provide off-site connections to El Camino Real.
- Necessary improvements to comply with CMWD criteria during final subdivision mapping.
- No other off-site improvements.

5. Water

- All improvements within the phase.
- Provide off-site connections to existing lines across El Camino Real.
- Improvements identified during final mapping to ensure compliance with CMWD and Fire Department criteria.
- No other off-site improvements.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- No off-site improvements.

7. Community Improvements

 Provide sites for community facilities, child daycare, place of worship, and permanent RV storage facility (if not provided within Phase 1).

5.4.4 Phase 4 - Northeast

1. Neighborhoods

Neighborhoods 1.6, 1.7 and School Area 1.4.

2. Grading

 Cut and fill balanced on-site. This phase may include approximately 100,000 cubic yards of fill stockpiled from Phase 1.

3. Circulation

- All improvements within the phase.
- Extend Alicante from Northern boundary of Neighborhood 1.5 to north project boundary.
- No off-site improvements.

4. Sewer

- All improvements within the phase.
- Provide connection to existing lift station.
- Necessary improvements to comply with CMWD criteria during final subdivision mapping.
- No off-site improvements.

5. Water

- All improvements within the phase.
- Provide connection to existing 12-inch lines in

Poinsettia Lane and Alicante.

- Improvements identified during final mapping to ensure compliance with CMWD and Fire Department criteria.
- No other off-site improvements.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- No off-site improvements.

7. Community Improvements

 Provide bus transit stop improvements as necessary to comply with NCTD criteria.

5.5 Landscape Concept Plan

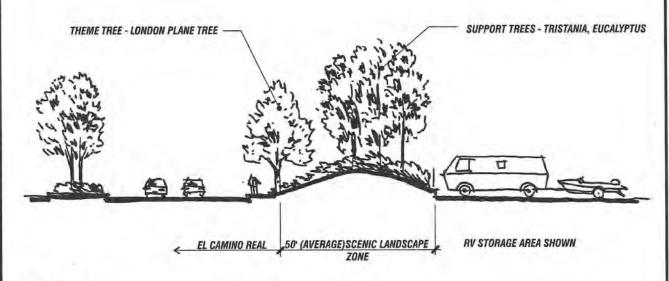
5.5.1 Village Landscape Character

The Village of La Costa Greens is located within two converging valleys, one of which cradles a portion of the La Costa Resort golf course. The La Costa Greens is intended to express a Mediterranean resort setting within and surrounded by natural hillsides and landscape with a specific reference to the refined nature of the golf course.

Over two-thirds of the valley is comprised of golf course, dry valley and natural hillside, the remainder consisting of hillside residential development. This adjacency of contrasting characters will form the basis for the landscape theme of La Costa Greens. Developed areas will be highly manicured and ornamental to contrast with the natural ruggedness of the adjacent open space. People driving or walking through the Village's roads and trails will experience both characteristics often at nearly the same time, strengthening both the naturalness of the region and the exclusivity of the residential areas. See Exhibit 5-11, La Costa Greens Landscape Concept.

5.5.2 Arterial Street Landscape

Three arterial streets surround and/or penetrate La Costa Greens; El Camino Real (Community Theme Corridor), Alga Road and Poinsettia Lane (both Scenic Corridors). The character of these streets will be developed in concert with the City guidelines, Village landscape characteristics and the visual nature of adjacent open space. The parkways will be augmented with additional tree and understory plantings on adjacent slopes to reinforce the character and identity of La Costa Greens. Alicante Road is a Collector (modified) street, important to the theme development of La Costa Greens, and is described in some detail below.



Section D

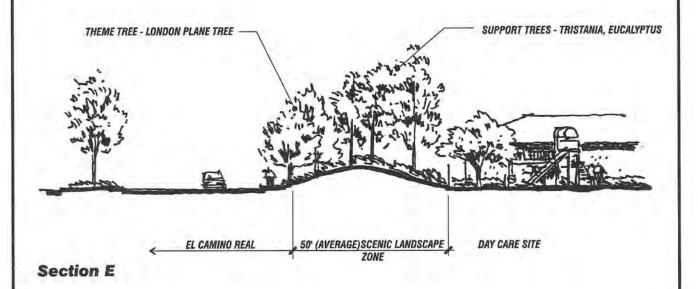
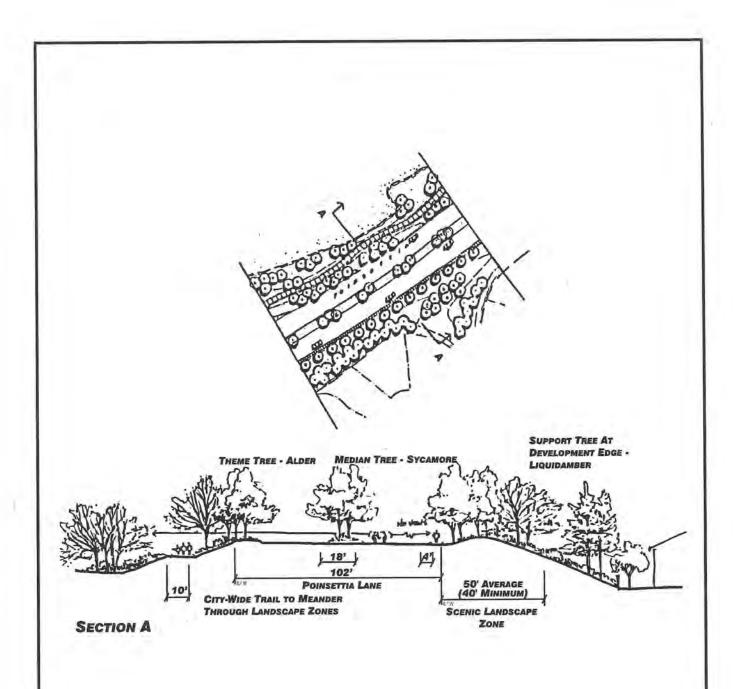




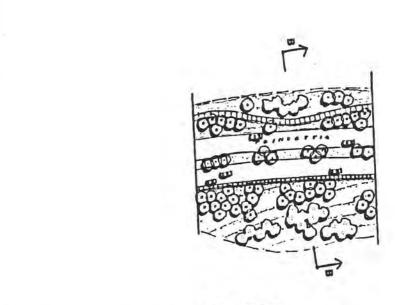
Exhibit 5-12

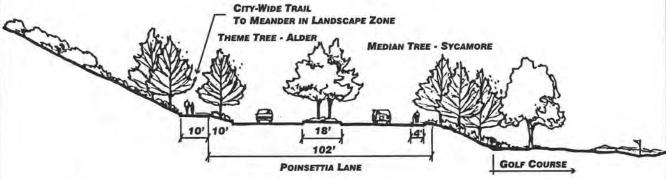
VILLAGE EDGE EL CAMINO REAL treatment will also be informal, with random spacing of Sycamores in groups and individuals, variety in understory species and irregular planter shapes and spacing. The larger median planting areas as discussed in Section 4.7.2 will be utilized in this village. See Exhibits 5-13 and 5-14, Poinsettia Streetscape. The median treatment shall transition to match the existing plantings currently in place in the median on Poinsettia Lane in Rancho Carrillo.

The streetscape character of Poinsettia Lane will change dramatically where it passes through Conserved Habitat areas. This stretch will be designed to create a seamless expanse of native habitat. Sensitively sculpted grading and use of native and naturalized trees, shrubs, grasses and groundcovers will soften and integrate the roadway's passage through this unique zone. The standard parkway and median trees used in the Village Zone portion of this arterial will be deleted and replaced with natives such as Toyon and Lemonade Berry. The median hardscape will continue the paving used in the Village Zone design.









SECTION B

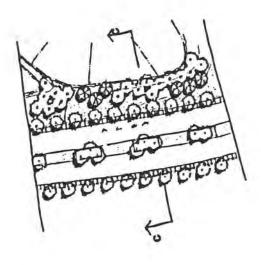


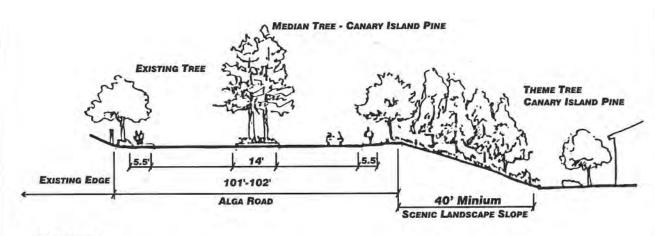
Alga Road

Alga Road will use the Pine as the predominate tree along the project development edge and within the medians. A formal row of Mondale Pines will be installed along the frontage of the project with the areas in front of the development using more pines in informal groups and groves to screen views. The ground-plane adjacent to open space will have fewer trees to retain views to the open areas and the golf course and utilize more native and naturalizing shrubs and groundcovers to blend with the existing landscape. The median planting in front of the project is intended to be upgraded and/or new medians installed with canary pines and appropriate groundcovers to augment the existing pine plantings. The planted areas in the median will be built to the dimensions established in the City's current Landscape Manual. See Exhibit 5-15, Alga Road Streetscape.

4. Alicante Road

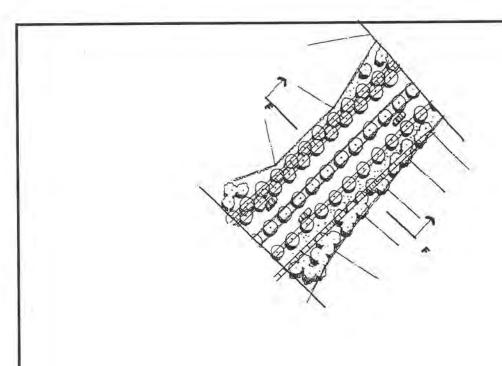
Alicante Road, between Poinsettia and Alga is classified as a Collector (modified) street and, as such, is important to the largest development area within the La Costa Greens Village. The intent for a portion of this road is to have a combined Citywide trail and local Village trail on the west side of the road only. The trail will be set back from the curb with a parkway, with a second landscape strip at the back of walk. This will provide space for a double row of trees, creating a pleasant pedestrian environment. The east side of the road will have a more open space character coming to the road's edge and will be planted with natural and naturalizing materials to blend with existing open space. See Exhibits 5-16, 5-17 and 5-18 for illustration.

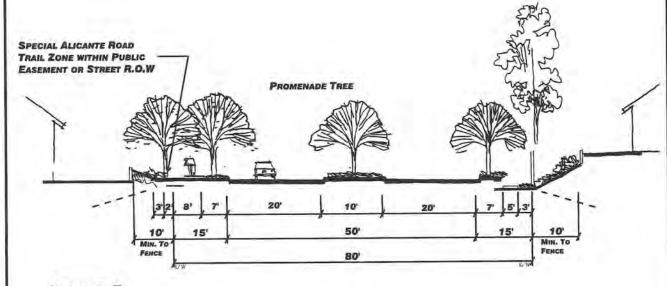




SECTION C

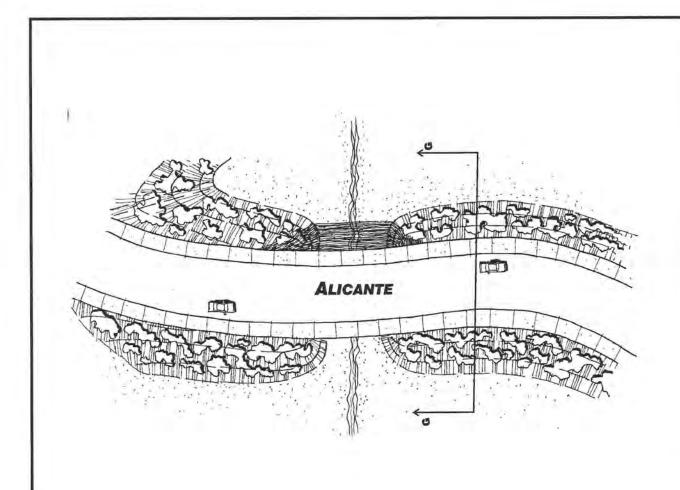


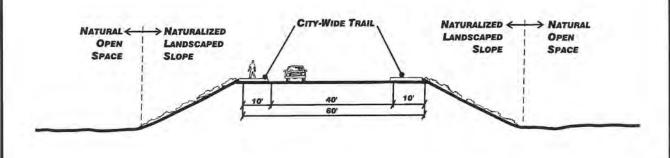




SECTION F

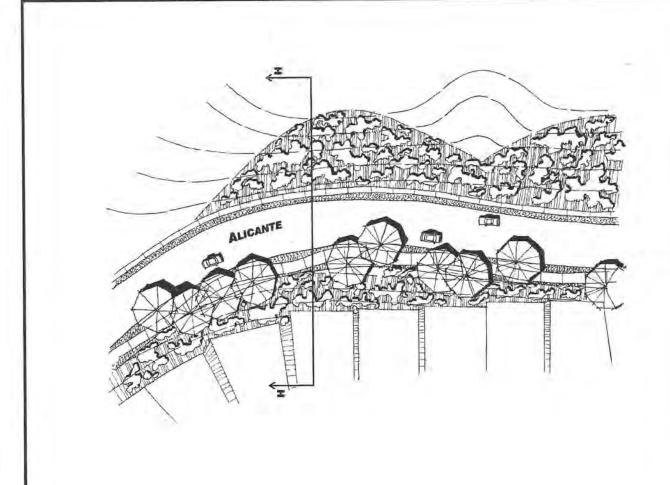


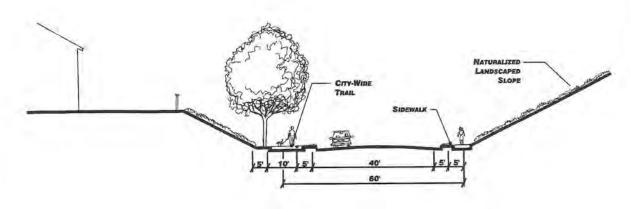




SECTION G







SECTION H



5.5.3 Village Entries

Village entries are prominent design elements which communicate identity, establish its quality and character, and provide a unifying accent statement to link The Villages of La Costa as a recognizable cohesive community. Key elements repeated in the entries of all Villages are the layout and use of specimen trees, low serpentine stone walls and similar logo formats. The La Costa Greens entry is unique in its use of manicured turf and a more tailored appearance suggesting the entry to a resort community.

The open areas in front of the curving walls will be a raised hillock of mowed turf (golf reference) and a refined use of stone and cut stone cap at the low serpentine walls. The project entry signage will be on a smooth faced stone piece mounted on a low-profile stone clad pilaster floating in the turf area or could possibly be mounted on the wall system.

Informal groves of evergreen canopy trees will be placed behind the wall and will blend into the regular street pattern along Alicante Road.

Exhibit 5-19A-D, Village Entry, illustrates the design concept, and Exhibit 5-19C depicts Major Project Entry concepts and Exhibit 5-19D illustrates public Village Entry concepts.

5.5.4 Neighborhood Entries

Entries into Neighborhoods within La Costa Greens will be identified with small-scale design statements. Low stone pilasters (approximately 42-48 inches high and five feet square at the base) with straight vertical sides and a simple logo plaque will be set in a small turf foreground. Vertical accent trees will form a simple backdrop to the entry statement. Exhibits 5-19A and B, Neighborhood Entry, illustrates possible design solutions for non-gated and gated conditions.

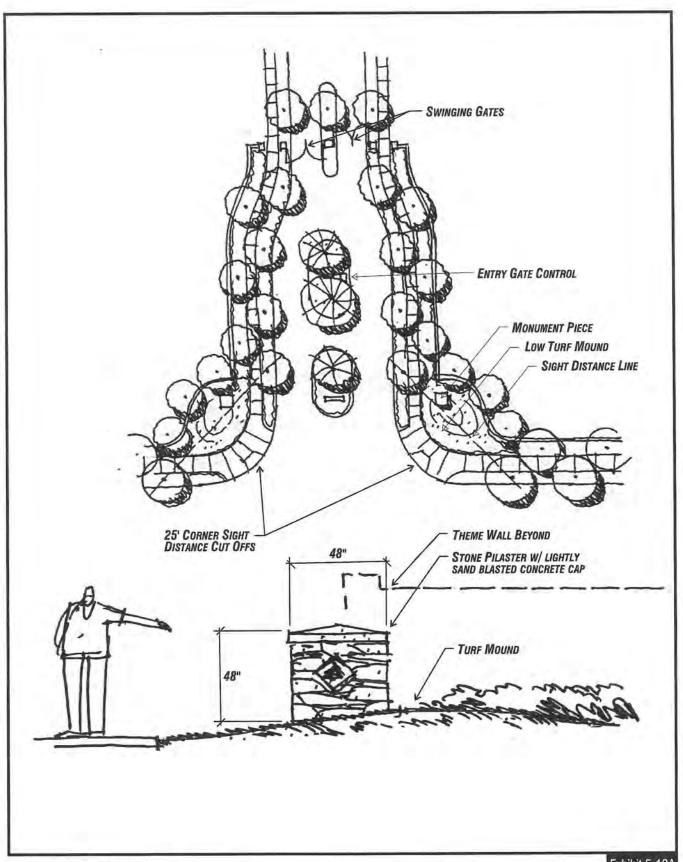
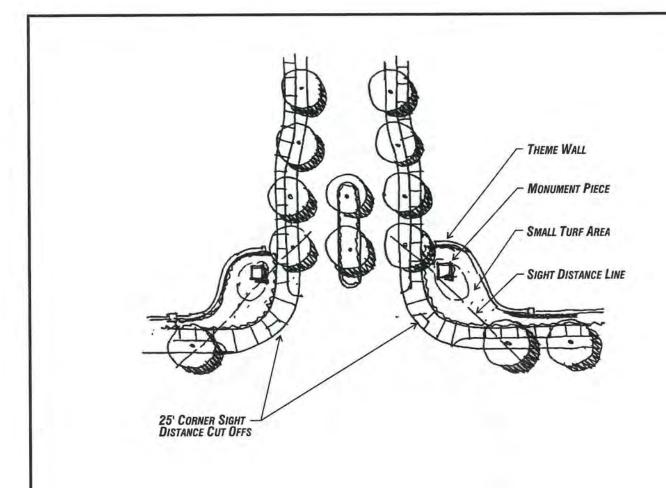




Exhibit 5-19A

LA COSTA GREENS NEIGHBORHOOD ENTRY-GATED



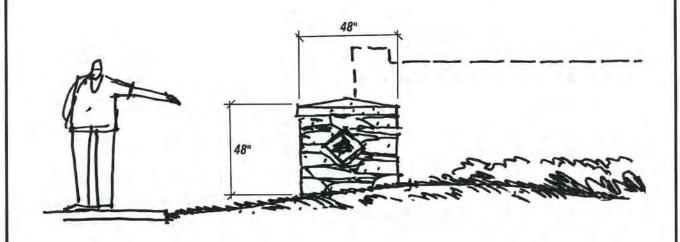
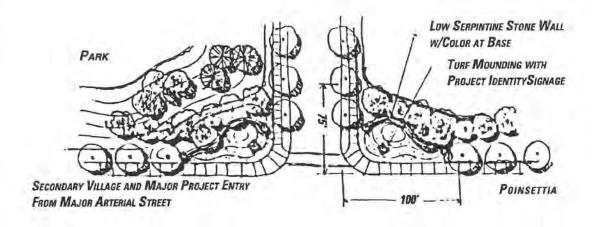




Exhibit 5-19B

LA COSTA GREENS NEIGHBORHOOD ENTRY NON-GATED



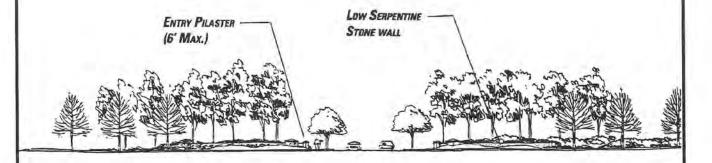
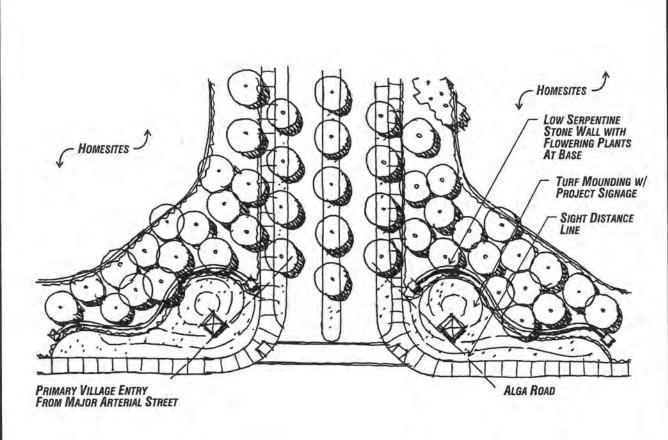
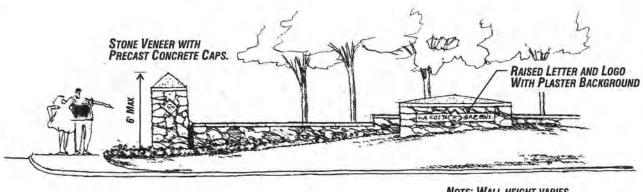




Exhibit 5-19C





Note: Wall height varies and shall be lower than pilaster on the end of wall.



4"=110".

Exhibit 5-19D

LA COSTA GREENS VILLAGE ENTRY PUBLIC

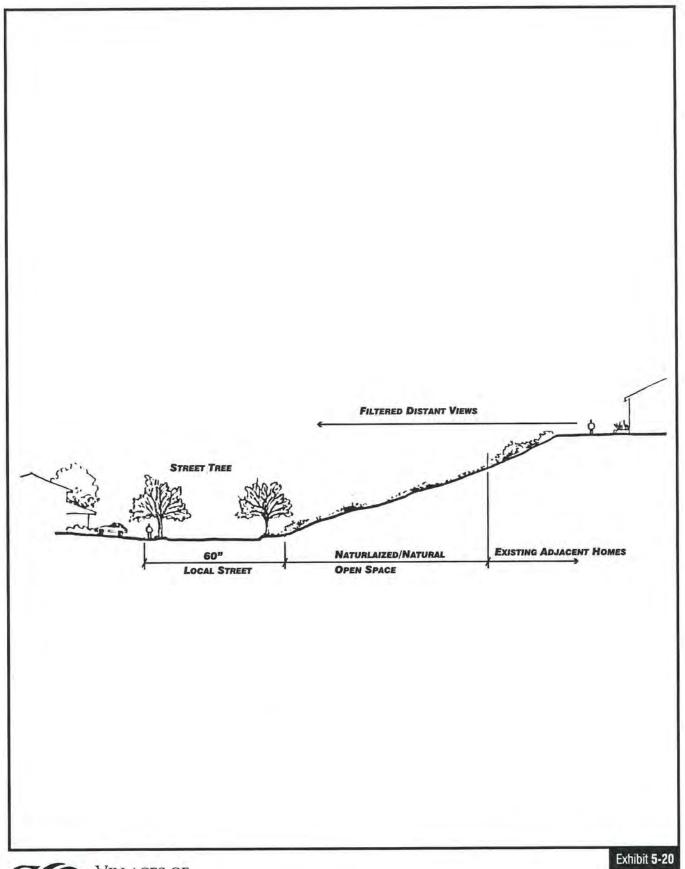
5.5.5 Village Edges

La Costa Greens has several different edge conditions: at open space, where a property boundary needs to disappear with the open space character flowing over it; near adjoining offsite view lots in which certain screening is needed yet views over are attempted to be preserved; and at adjoining properties where screening is needed in both directions. Arterial streets also form pieces of the Village edge in which view and screening needs are varied. Functionally, these edge conditions will be resolved through the use of appropriate plant materials. See Exhibit 5-20, Village Edges.

Where the development edge abuts natural open space, the goal of the design treatment is to blend the introduced landscape with the existing vegetation. Gradual transitions of foliage color, texture and form will help "blur" the edge, between landscape zones avoiding a harsh artificial line which would be visually disturbing in an abrupt change. Exhibit 5-20 illustrates the typical treatment of this zone.

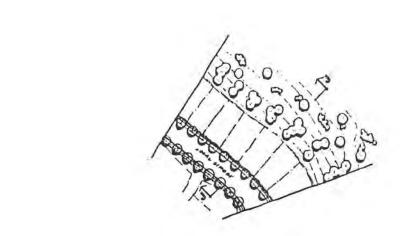
5.5.6 Neighborhood Street Landscaping

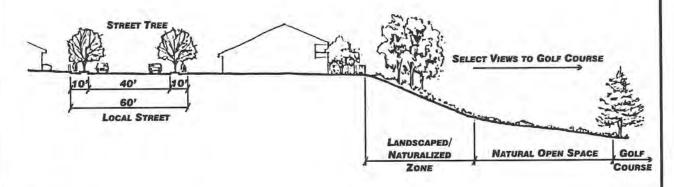
Internal streets (collectors and locals) in La Costa Greens will express their individuality through formally spaced street trees in parkways. Where the streets abut open space, the open space character will prevail coming to the edge of pavement. More natural and naturalized trees and shrubs may be used as transition planting in these zones, but ornamental trees such as palms or Coral trees are to be avoided. Exhibits 5-21 and 5-22, Neighborhood Streetscape, depict typical local residential street treatments.





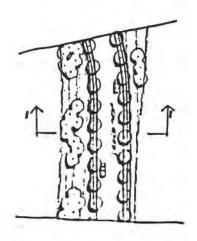
VILLAGE EDGE/ TYPICAL EXISTING RESIDENTIAL

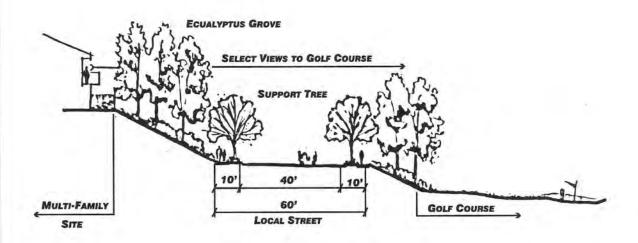




SECTION J







SECTION I



5.5.7 Village Theme Walls

Theme walls for La Costa Greens will be employed along arterial streets and major collectors, or where a perimeter wall condition is visible from outside the Village. Walls will be constructed of precision concrete block with a special color and texture unique to La Costa Greens. The character of the walls will be more refined and tailored than La Costa Oaks or La Costa Ridge. The color will be in the darker earth tone ranges. Wall heights will be a minimum five feet and six inches. Simple pilasters (of the same materials) will have a pre-cast concrete cap and will be slightly taller than the actual wall, to a maximum height of six feet. These pilasters will be used sparingly at the ends of walls, at changes in wall/fence type and at significant changes in grade or horizontal direction. The pilasters may exceed the maximum height of 6 feet where significant changes in grade make it necessary to maintain a consistent wall height at specific locations subject to Planning Director approval. Where possible, changes in horizontal direction should be accomplished with a smooth radiused curve.

Long straight walls along major streets may include recesses for landscaping to provide visual relief. The monotony of walls and fences located 15 feet or less from the public right-of-way can be broken up by providing recesses for landscaping and variations in materials. Such treatment becomes especially important for perimeter walls and fences located along major streets. Straight walls and fences in excess of 200 feet in length, without visual relief, tend to create a tunnel effect and shall be avoided whenever possible.

Where view conditions warrant, the theme wall may be changed to an open picket fence of tubular steel. If noise attenuation is an issue, the view fence may consist of a plexiglass upper panel over a masonry base wall. Exhibit 5-23, Village Theme Walls, illustrates the designs for La Costa Greens theme walls and fencing.

5.5.8 Entry, Wall and Planting Standards

1. Sight Distance:

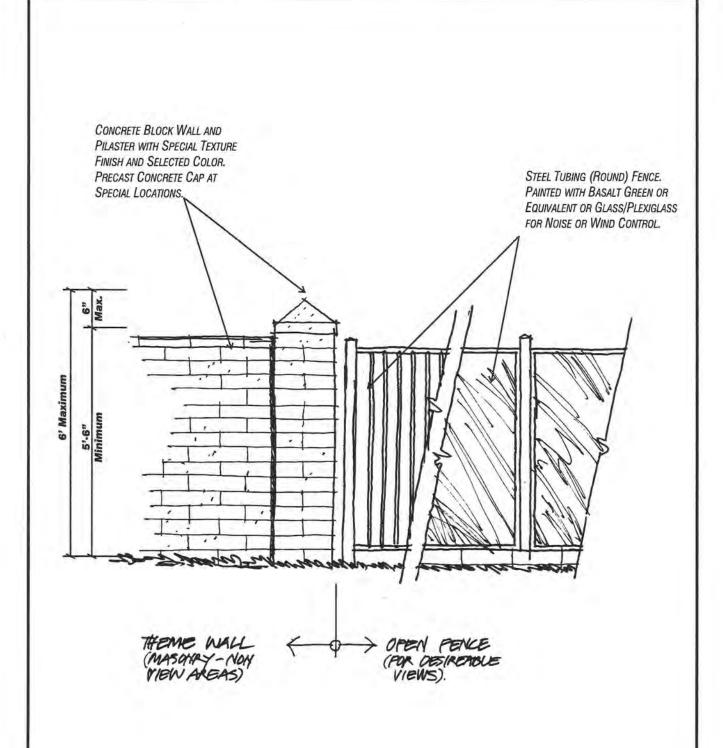
- Landscape elements over 30" in height (including planting measured at maturity) are not allowed at street corners within a triangular area drawn from two points measured 25 feet from the point of the curb returns (P.C.R.).
- The same height limitation applies at high use driveways 25 feet from the edge of the apron outward along the curb then 45 degrees in toward the property.
- On Collector streets and greater, Cal Trans Sight Distance Standards shall also apply to the height restriction stated above.
- These height restrictions also apply to street trees, entry monuments, theme walls and project signage located within the sight distance corridors.

2. General Planting Requirements:

- The spacing of plants shall allow for their size at maturity.
- Trees with surface root systems and/or broad branch structures shall be planted only where sufficient space is available.
- Street trees shall generally be located a minimum of 5 feet from paving, except where a landscape parkway is proposed, 7 feet from sewer lines, and not in conflict with public utilities.
- Trees planted within 5 feet of public sidewalks shall be installed with root barriers approved by the City.

3. Maintenance:

 The areas of landscape maintenance responsibilities (private, common area/homeowners' association, City, etc.) are illustrated on Exhibit 5-3 and shall be designated on the Village Landscape Concept Plan.





5.5.9 Plant Palettes

The plant palettes for the various zones of the community have been selected to ensure that the integrity of the overall concepts are properly implemented throughout all stages of the project's development. Special use areas pertain to recreation centers, village and neighborhood entries and other sensitive areas requiring specialized landscaping.

Tree species vary in their root system and subsequent effect on adjoining walks and structures. Care will be given to locating trees to avoid such issues, however, the City will have final approval for final clearances when public facilities could be affected. Species are noted by an asterisk (*).

Scientific Name

Common Name

Theme Tree

ARTERIAL STREETS

Alga Road:

Trees

Support Tree Eucalyptus spp. Theme Tree Pinus canariensis (Canary Island Pine) Median Tree Pinus canariensis (Canary Island Pine) Support Tree Pinus spp.

Poinsettia Lane:

Trees

Almus rhombifolia (White Alder)* Liquidambar (Sweet Gum)* Support Tree (California Sycamore) Platanus racemosa Median Tree Platanus racemosa (California Sycamore) Support Tree Populus fremontii (Western Cottonwood)

El Camino Real:

Trees

Support Tree Eucalyptus spp. Theme Tree Platanus acerifolia (London Plane Tree) Median Tree Tristania conferta (Brisbane box)

VILLAGES OF LA COSTA MASTER PLAN

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name

Common Name

Tristania conferta (Brisbane box)

Support Tree

Alga Road, Poinsettia Lane & El Camino Real:

Median Shrubs

JHA\VLC MP

Arctostaphylos 'Emerald Carpet' Manzanita
Arctostaphylos 'Pacific Mist' Manzanita
Baccharis pilularis 'Twin Peaks' Coyote Brush

Bougainvillea spp. NCN

Ceanothus griseus 'Horizontalis' Carmel Creeper

Coprosma kirkii NCN

Cotoneaster dammeri Bearberry Cotoneaster

Hypericum spp. St. John's Wort

Lantana montevidensis (Hybrids) NCN

Rosmarinus officinalis 'Collingwood Ingram' Rosemary

Alga Road, Poinsettia Lane & El Camino Real:

Parkway and Slope Shrubs/Vines/Groundcover

Acacia redolens Acacia

Agave americana Century Plant

Agave attenuata NCN

Arbutus unedo Strawberry Tree

Arbutus 'Marina' NCN

Arctostaphylos 'Emerald Carpet' Manzanita
Arctostaphylos 'Pacific Mist' Manzanita

Artemisia californica California Sagebrush

Baccharis pilularis 'Twin Peaks' Coyote Brush

Bougainvillea spp. NCN

Calliandra haematocephala Pink Powder Puff
Ceanothus griseus 'Horizontalis' Carmel Creeper

Ceanothus "Julia Phelps" NCN

Cercis occidentalis Western Redbud

Cistus Rockrose

Coprosma kirkii NCN

Cotoneaster dammeri Bearberry Cotoneaster

Cotoneaster lacteus NCN

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name	Common Name
Dietes bicolor	Fortnight Lily
Echium fastuosum	Pride of Madeira
Elaeagnus pungens	Silverberry
Elymus	Lyme Grass
Eriogonum	Buckwheat
Escallonia spp.	NCN
Eschscholzia californica	California Poppy
Feijoa sellowiana	Pineapple Guava
Hedera helix 'Hahnii'	Hahn's Ivy
Hemerocallis hybrids	Daylily
Heteromeles arbutifolia	Toyon
Hypericum spp.	St. John's Wort
Juglans californica	Southern California Black Walnut
Kniphofia uvaria	Red-Hot Poker Plant
Lantana montevidensis (Hybrids)	NCN
Lavatera assurgentiflora	Tree Mallow
Leptoespermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger
Limonium perezii	Sea Lavender
Liriope muscari	Big Blue Lily Turf
Lupinus arboreus	Lupine
Mahonia'Golden Abundance'	NCN
Melaleuca armillaris	Drooping Melaleuca
Melaleuca nesophila	Pink Melaleuca
Mimulus	Monkey Flower
Muhlenbergia regens	Deer Grass
Myoporum pacificum	NCN
Myoporum parvifolium	NCN
Parthenocissus tricuspidata	Boston Ivy
Pennisetum setaceum 'cufreum'	Fountain Grass
Phormium tenax	New Zealand Flax
Pittosporum tobira	Tobira
Rhamnus californica	Coffee Berry
Rhaphiolepis indica hybrids	NCN
Rhaphiolepis "Majestic Beauty"	NCN

VILLAGES OF LA COSTA MASTER PLAN

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name	Common Name
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Ribes speciosum	Currant
Ribes viburnifolium	Evergreen Currant
Romneya coulteri	Matilija Poppy
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Salvia greggii	Autumn Sage
Salvia mellifera	NCN
Sambucus mexicana	Elderberry
Stipa pulchra	Purple Needle Grass
Teucrium fruticans	Bush Germander
Vinca minor	Dwarf Periwinkle
Westringia fruticosa	NCN
Poinsettia Lane – HCP Zone:	
<u>Trees</u>	
Cercis occidentalis	Western Redbud
Fremontia mexicanum	Southern Flannel Bush
Heteromeles arbutifolia	Toyon
Quercus dumosa	Nuttal's Scrub Oak
Rhus integrifolia	Lemonade Berry
Sambucus mexicana	Mexican Elderberry
Median Shrubs	
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Bougainvillea spp.	NCN
Ceanothus griseus 'Horizontalis'	Carmel Creeper
Coprosma kirkii	NCN
Cotoneaster dammeri	Bearberry Cotoneaster
Lantana montevidensis (Hybrids)	NCN
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary

Scientific Name

Common Name

Parkway and Slope Shrubs/Vines/Ground	cover
---------------------------------------	-------

Artemisia californica

Atriplex canescens

Encelia californica

Erigonum fasciculatum

Eriophyllum confertiflorum

Eschscholzia californica

Coastal Encelia

Fourwing Saltbush

California Encelia

Flat-top Buckwheat

Golden Yarrow

California Poppy

Heteromeles arbutifolia Toyon
Lotus scoparius Deerweed

Lupinus succulentus

Lupinus succulentus

Mimulus puniceus

Red Bush Monkey Flower

Mimulus puniceus
Plantago insularis
Plantain

Rhus integrifolia Lemonade Berry
Salvia munzii Munz's Sage

Sisyrinchium bellum
Adophia californica
Ambrosia pumila
Artemisia palmeri

Blue-eyed Grass
California Adophia
San Diego Ambrosia
San Diego Sagewort

Baccharis vanessae Encinitas Baccharis
Wart-stemmed Ceanothus

Ceanothus verrucosus wart-steinined Ceanothus

Comarostaphylis diversifolia ssp. diversifolia Summer Holly
Dichondra occidentalis Western Dichondra

Dudleya viscida Sticky-leafed Liveforever

Euphydryas editha quino

Ferocactus viridescens

Quino Checkerspot

Coast Barrel Cactus

Relmande Grapplinghook

Harpagonella palmeri Palmer's Grapplinghook
Lycaena hermes Hermes Copper

Muilla clevelandii

Quercus dumosa

San Diego Golden Star

Nuttall's Scrub Oak

Selaginella cinerascens
Viguiera laciniata

Ashy Spike-moss
San Diego Viguiera

Plus appropriate and available species form the following "HCP/OMSP Species of Concern" list. (1)

(1)

Source: Habitat Conservation Plan/Ongoing Multi-species Plan for properties in the southeast quadrant of the City of Carlsbad, revised draft, 3/28/94.

Scientific Name

Common Name

NEIGHBORHOOD STREETS

(Including Alicante):

Trees

Agonis flexuosa Peppermint Tree
Alnus rhombifolia White Alder
Arbutus 'Marina' NCN

Arbutus 'Marina'

Arbutus unedo

Strawberry Tree

Brachychiton acerifolius

Flame Tree

Eucalyptus leucoxylan

White Ironbark

Eucalyptus ficifolia Red Gum
Eucalyptus nicholii Willow-Leafed Peppermint

Eucalyptus sideroxylonRed IronbarkKoeleuteria paniculataGoldenrain TreeLagerstroernia i.Crape Myrtle

Liquidambar styraciflua* American Sweet Gum
Melaleuca linariifolia Flaxleaf Paperbark
Melaleuca quinquenervia Cajeput Tree

Metrosideros excelsus New Zealand Christmas Tree

Pinus pinea*Italian Stone PinePinus canariensisCanary Island PinePlatanus acerifoliaLondon Plane TreePlatanus racemosaCalifornia Sycamore

Quercus ilexHolly OakQuercus suberCork OakRobinia pseudoacacia*Black Locust

Schinus terebinthifolius⁽²⁾
Schinus molle⁽³⁾
Brazilian Pepper Tree
California Pepper Tree

Tipuana tipuTipu TreeTristania confertaBrisbane BoxUmbellularia californicaCalifornia Laurel

Ulmus parvifolia Chinese Elm
Zelkova serrata Sawleaf Zelkova

⁽²⁾ To be used in hillside locations only.

⁽³⁾ Ibid.

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name

Common Name

Parkway	and Slope Shrubs/Vines/Groundcover
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Acacia redolens Acacia

Agave americana Century Plant

Agave attenuata NCN

Arbutus unedo Strawberry Tree

Arctostaphylos 'Emerald Carpet' Manzanita
Arctostaphylos 'Pacific Mist' Manzanita

Artemisia californica California Sagebrush

Baccharis pilularis 'Twin Peaks' Coyote Brush

Bougainvillea spp. NCN

Calliandra haematocephala Pink Powder Puff
Ceanothus griseus 'Horizontalis' Carmel Creeper

Ceanothus "Julia Phelps" NCN

Cercis occidentalis Western Redbud

Cistus Rockrose

Clytostoma callistegioides Violet Trumpet Vine

Coprosma kirkii NCN

Cotoneaster dammeri Bearberry Cotoneaster

Cotoneaster lacteus NCN

Dietes bicolor Fortnight Lily

Echium fastuosum Pride of Madeira

Echium fastuosum

Flacagnus pungens

Silverberry

Elymus Lyme Grass

Enjageners Buckwheat

Escallonia spp. NCN

Eschscholzia californica California Poppy
Feijog sellowiana Pineapple Guava

Feijoa sellowiana Pineapple Gua
Festuca ovina 'Glauca' Blue Fescue
Hedera helix 'Hahnii' Hahn's Ivy
Hemerocallis hybrids Daylily

Heteromeles arbutifolia Toyon

Hypericum spp. St. John's Wort

Juglans californica Southern California Black Walnut

Kniphofia uvaria Red-Hot Poker Plant

Lantana montevidensis (Hybrids) NCN

Scientific Name	Common Name	
Lavatera assurgentiflora	Tree Mallow	
Leptoespermum scoparium	New Zealand Tea Tree	
Leucophylium frutescens	Texas Ranger	
Limonium perezii	Sea Lavender	
Liriope muscari	Big Blue Lily Turf	
Lupinus arboreus	Lupine	
Melaleuca armillaris	Drooping Melaleuca	
Melaleuca nesophila	Pink Melaleuca	
Mimulus	Monkey Flower	
Muhlenbergia regens	Deer Grass	
Myoporum pacificum	NCN	
Pandorea jasminoides	Bower Vine	
Parthenocissus tricuspidata	Boston Ivy	
Pennisetum setaceum 'cufreum'	Fountain Grass	
Phormium tenax	New Zealand Flax	
Pittosporum tobira	Tobira	
Rhamnus californica	Coffee Berry	
Rhaphiolepis indica hybrids	NCN	
Rhaphiolepis "Majestic Beauty"	NCN	
Rhus integrifolia	Lemonade Berry	
Ribes speciosum	Currant	
Romneya coulteri	Matilija Poppy	
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary	
Salvia greggii	Autumn Sage	
Salvia mellifera	NCN	
Sambucus mexicana	Elderberry	
Stipa pulchra	Purple Needle Grass	
Teucrium fruticans	Bush Germander	
Vinca minor	Dwarf Periwinkle	
Westringia fruticosa	NCN	

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name

Common Name

SPECIAL USE AREAS:

Riparian Planting:

Trees

Alnus rhombifolia White Alder

Platanus racemosa California Sycamore
Populus fremontii Fremont Cottonwood
Populus trichocarpa Black Cottonwood
Quercus agrifolia Coast Live Oak

Salix spp. Willow

Shrubs

Artemisia douglasiana Mugwort
Amorpha fruticosa False Indigo
Baccharis glutinosa Mule-fat
Muhlenbergia rigens Deer Grass
Muhlenbergia spp. NCN
Vitis girdiana Wild grape

Wetland/Pond:

Shrubs and Perennials

Carex spp. Sedge / Rush

Pluchera odorata Salt Marsh Fleabane

Salix spp. Willow
Scirpus spp. Bulrushes
Typha latifolia Cattails

Ornamental Planting:

Trees

Albizia julibrissinPersian Silk TreeAraucaria araucanaMonkey Puzzle TreeArbutus hybrid 'Marina'Marina Strawberry Tree

Brugmansia 'Charles Grimaldi' Angel's Trumpet
Callistemon viminalis Weeping Bottlebrush

Cinnamomum camphora Camphor Tree

Citrus species Citrus

Cupaniopis anacardioides Carrotwood

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Scientific Name	Common Name
Dombeya wallichii	Pink Ball Tree
Dracena draco	Dragon Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus ficifolia	Red-Flowering Gum
Feijoa sellowiana	Pineapple Guava
Jacaranda mimosifolia	Jacaranda
Koelreuteria paniculata	Goldenrain Tree
Laurus nobilis	Bay Laurel
Leptospermum laevigatum	Australian Tea Tree
Magnolia grandiflora hybrids	Southern Magnolia
Metrosideros excelsus	New Zealand Christmas Tree
Olea europaea (fruitless)	Olive
Pinus halepensis	Aleppo Pine
Pinus pinea	Stone Pine
Pittosporum species	NCN
Platanus racemosa	California Sycamore
Plumeria rubra	NCN
Podocarpus gracilior	Fern Pine
Punica granatum	Pomegranate
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Quercus virginiana	Southern Live Oak
Schinus molle	California Pepper
Sophora japonica	Japanese Pagoda Tree
Strelitzia nicolai	Giant Bird Of Paradise
Tabebuia species	Trumpet Tree
Ulmus parvifolia 'True Green'	Chinese Elm
Palms and Cycads	
Archontophoenix cunninghamiana	King Palm
Brahea armata	Mexican Blue Palm
Butia capitata	Pindo Palm
Ceratozamia latifolia	NCN
Ceratozamia mexicana	NCN

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name	Common Name
Chamaerops humilis	Mediterranean Fan Palm
Cycas revoluta	Sago Palm
Dioon edule	Mexican Cycad
Phoenix canariensis	Canary Island Date Palm
Phoenix reclinata	Senegal Date Palm
Phoenix roebelenii	Pygmy Date Palm
Ravenala madagascariensis	Traveler's Palm
Ravenea glauca	Majesty Palm
Rhapis excelsa	Lady Palm
Syagrus romanzoffianum	Queen Palm
Trachycarpus fortunei	Windmill Palm
Washingtonia filifera	California Fan Palm
Washingtonia robusta	Mexican Fan Palm
Zamia furfuracea	Cardboard Palm
Columns and Large Accents	
Cupressus sempervirens	Italian Cypress
Grewia occidentalis	Lavender Starflower
Heteromeles arbutifolia	Toyon
Juniperus chinensis 'Spartan'	Juniper
Laurus nobilis	Sweet Bay
Ligustrum japonicum 'Texanum'	Texas Privet
Ligustrum lucidum	Glossy Privet
Podocarpus species	Fern Pine
Prunus caroliniana 'Bright and Tight'	Carolina Laurel Cherry
Shrubs and Perennials	
Abutilon hybridum	Flowering maple
Acanthus mollis	Bear's Breech
Agapanthus species	Lily-Of-The-Nile
Alpinia speciosa	Shell Ginger
Alstroemeria hybrids	Peruvian Lily
Alyogyne huegelii 'Santa Cruz'	Blue Hibiscus
Committee of the Commit	

Japanese Anemone

Kangaroo Paw

Anemone x hybrid 'Whirlwind'

Anigozanthus hybrids

Scientific Name	Common Name
Annual Color	Annual Color
Arbutus unedo	Strawberry Tree
Armeria maritima	Common Thrift
Aspidistra elatior	Cast-Iron Plant
Asplenium bulbiferum	Mother Fern
Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo
Bambusa oldhamii	Clumping Giant Timber Bamboo
Begonia 'Richmondensis'	NCN
Bergenia crassifolia	Winter-Blooming Bergenia
Blechnum 'Silver Queen'	Fern
Bougainvillea hybrids	NCN
Breynia nevosa	Hawaiian Sno Bush
Buddleia davidii	Butterfly Bush
Calliandra haematocephala	Pink Powder Puff
Camellia japonica	Camellia
Camellia sasanqua	Sun Camellia
Campanula poscharskyana	Serbian Bellflower
Canna hybrids	NCN
Carissa macrocarpa	Natal Plum
Chrysanthemum maximum 'Alaska'	Shasta Daisy
Cissus rhombifolia	Grape Ivy
Cistus species	Rockrose
Clivia miniata	Kaffir Lily
Colocasia esculenta	Elephant's Ear
Convolvulus cneorum	Bush Morning Glory
Coprosma kirkii	NCN
Cyperus papyrus	Papyrus
Cyrtomium falcatum	Japanese Holly Fern
Dicksonia antarctica	Tasmanian Tree Fern
Dryopteris arguta	Coastal Wood Fern
Echinacea purpurea 'Magnus'	Purple Cone Flower
Echium fastuosum	Pride Of Madeira
Elaeagnus pungens	Silverberry
Erigeron karvinskianus	Santa Barbara Daisy
Eriobotrya deflexa 'Coppertone'	NCN

Scientific Name	Common Name	
Euonymous japonicus	Evergreen Euonymus	
Euphorbia ingens	Candelabra Tree	
Euryops pectinatus 'Viridis'	Euryops	
Fatsia japonica	Japanese Aralia	
Gardenia jasminoides 'Mystery'	Gardenia	
Gaura lindheimeri	Gaura	
Grewia occidentalis	Lavender Starflower	
Hedychium coronarium	White Ginger	
Hemerocallis hybrids	Hybrid Daylily	
Heteromeles arbutifolia	Toyon	
Heuchera hybrids	Coral Bells	
Hibbertia scandens	Guinea Gold Vine	
Ilex vomitoria 'Nana'	Yaupon	
Impatiens wallerana	Busy Lizzie	
Iris douglasiana	NCN	
Juniperus chinensis 'Spartan'	NCN	
Juniperus chinensis 'Torulosa'	Hollywood Juniper	
Kniphofia uvaria	Red Hot Poker	
Lantana species	Lantana	
Laurus nobilis	Bay Laurel	
Lavandula species	Lavender	
Lavatera assurgentiflora	California Tree Mallow	
Leonotis leonurus	Lion's Tail	
Leptospermum scoparium	New Zealand Tea Tree	
Ligularia tussilaginea	Leopard Plant	
Ligustrum japonicum 'Texanum'	Texas Privet	
Liriope gigantea	Big Blue Lily Turf	
Loropetalum chinense 'Razzleberri'	NCN	
Lotus berthelotii	Parrot's Beak	
Mahonia aquifolium	Oregon Grape	
Microlepia strigosa	Lace Fern	
Miscanthus sinensis 'Morning Light'	Japanese Silver Grass	
Myoporum 'Pacificum'	NCN	
Myrsine africana	African Boxwood	
Myrtus communis 'Compacta'	Myrtle	

Scientific Name	Common Name
Nandina domestica hybrids	Heavenly Bamboo
Nephrolepis cordifolia	Southern Sword Fern
Ophiopogon japonicus	Mondo Grass
Pelargonium species	Geranium
Penstemon hybrids	Beard Tongue
Philodendron 'Xanadu'	Dwarf Philodendron
Phormium cookianum	Mountain Flax
Phormium tenax	New Zealand Flax
Pittosporum species	NCN
Pyracantha 'Santa Cruz'	Firethorn
Rhaphiolepis species	NCN
Rhododendron Azalea	Azalea
Rosa bracteata	NCN
Rosa 'White Carpet'	White Shrub Rose
Rosmarinus officinalis hybrids	Rosemary
Rudbeckia hirta 'Indian Summer'	Gloriosa Daisy
Rumohra adiantiformis	Leatherleaf Fern
Salvia species	Sage
Schefflera arboricola	Hawaiian Elf Schefflera
Sesleria autumnalis	Autumn Deer Grass
Sollya heterophylla	Australian Bluebell Creeper
Strelitzia reginae	Bird Of Paradise
Tecomaria capensis	Cape Honeysuckle
Thymus vulgaris	Thyme
Tibouchina urvilleana	Princess Flower
Trachelospermum jasminoides	Star Jasmine
Viburnum japonicum	NCN
Viola odorata	Viola
Watsonia borbonica 'Flamboyant'	NCN
Westringia fruticosa	Coast Rosemary
Woodwardia fimbriata	Giant Chain Fern
Xylosma congestum	Shiny Xylosma
Zantedeschia aethiopica	Common Calla

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

Scientific Name	Common Name

Succulent and Cactus Accents

Aeonium speciesNCNAgave speciesAgaveAloe speciesAloeCrassula argenteaJade Plant

Crassula falcata NCN

Dracena draco Dragon Tree

Dracena marginata NCN
Echeveria species NCN

Euphorbia ingensCandelabra TreeEuphorbia 'Jerry's Choice'Dwarf EuphorbiaKalanchoe thyrsifloraNo CommonOpuntia speciesOpuntia

Portulacaria afra Elephant's Food

Sedum species Stonecrop
Senecio mandraliscae NCN
Yucca species Yucca

Vines & Espaliers

Bougainvillea hybrids NCN

Calliandra haematocephala Pink Powder Puff

Camellia japonica Camellia

Cissus antarctica Kangaroo Treebine
Clytostoma callistegioides Violet Trumpet Vine
Distintio Investmentaria Pland Pad Trumpet Vine

Distictis buccinatoria Blood-Red Trumpet Vine
Distictis 'Rivers' Royal Trumpet Vine
Existential dell'area

Eriobotrya deflexa Bronze Loquat
Ficus pumila Creeping Fig
Hibbertia scandens Guinea Gold Vine

Jasminum polyanthum Jasmine

Magnolia grandiflora 'Little Gem' Southern Magnolia

Malus 'Anna' Apple

Passiflora alatocaeruleaPassion VinePodocarpus graciliorFern PinePyrostegia venustaFlame Vine

Scientific Name	Common Name
Solandra maxima	Cup-of-Gold Vine
Stephanotis floribunda	Madagascar Jasmine
Trachelospermum jasminoides	Star Jasmine

5.6 Architectural Concept

Eight architectural styles are described in the Master Plan Standards and Guidelines. Each of the styles is considered appropriate for La Costa Greens. The selected architectural styles include:

- Santa Barbara Mediterranean
- Spanish Colonial
- Monterey Ranch
- Italian/Tuscan
- European Country
- California Coastal
- Craftsman Bungalow
- California Contemporary (Neighborhoods 1.10 and 1.12 only)

Neighborhoods may contain one style or a mixture of styles depending on the type and density of product. Master Plan architectural styles and related elements are described in Section 4.6.4 of the Master Plan.

5.7 La Costa Greens Development Standards

5.7.1 Introduction

The La Costa Greens Village is composed of a variety of residential products ranging from 11,000-square-foot lots for single-family detached dwellings to townhomes and multi-family residences with each product being discretely designed within 13 distinct These residential products are located in Neighborhoods. Neighborhoods 1.3 and 1.6 through 1.17. Area 1.3 also includes a permanent Recreational Vehicle storage facility. Additionally, Neighborhood 1.1 has been established for Office uses, including medical offices, and Neighborhood 1.2 is planned for Community Facilities. It is intended that day-care facilities, places of worship, youth and/or senior center activities, and other community facilities may be situated on the Community Facilities parcel. Active recreation is provided by a Community Park, located in Park Area 1.5, and an elementary school is expected to be constructed in School Area 1.4.

These 17 Neighborhoods are encompassed within a vast Habitat Conservation Plan area, which itself is divided into seven individual Open Space Areas. These HCP Open Space Areas are located in Open Space Areas A through F and I. No residential, commercial or industrial development will occur in any of these HCP Open Space Areas. HCP Open Space Areas will remain in their natural state except for the provision of road, drainage and utility crossings as well as City-Wide or Local Pedestrian Trails as detailed in Section 5.2.6. In addition to the HCP Open Space Areas, Open Space Areas 1.G and 1.H provide for utility corridors.

Specific development standards and criteria for office, commercial and residential uses are detailed in Section 5.7.3 below, and Open Space Area standards and criteria are provided in the Open Space Area Section, 5.7.4. Also provided below are Neighborhood Development Plans, Exhibits 5-24 through 5-41, for each Neighborhood and Open Space Area exhibits for each of the nine sub-areas of Open Space, Exhibits 5-42 through 5-50. These exhibits show, as appropriate, location and type of road entry monumentation, walls, trails,

community facilities and recreation facilities. These exhibits are conceptual in nature and are provided to show the proposed development concept for each Neighborhood or Area. These exhibits show only conceptual street layouts, as the exact numbers of lots (though not to exceed the maximum allowed), street configurations and other details will be determined during the individual (or Neighborhood) tentative maps.

5.7.2 Common Neighborhood Development Standards

All neighborhoods within the La Costa Greens Village shall comply with the Master Plan Development Standards and Guidelines contained in Chapter 4 unless modified by the specific Neighborhood Development Standards.

1. Neighborhood Development Plans

Neighborhood Development Plans are provided for each residential Neighborhood. These exhibits show the location of entry monumentation, walls, trails, community facilities, landscaped slopes/undeveloped areas and recreation areas. These exhibits are conceptual in nature and are provided to indicate the proposed development concept for each Neighborhood. Precise street configurations, location of slopes and open space as well as other details will be determined during the final design process.

5.7.3 Individual Neighborhood Development Standards

La Costa Greens Office Area 1.1

a. Description

Area 1.1 is located in the northwest corner of La Costa Greens and is devoted to office uses, including medical The Area is bounded to the north by the proposed Bressi Ranch industrial uses, to the east by open space, to the south by the onsite Community Facilities Area 1.2, and by El Camino Real and the adjacent industrial park to the west. Area 1.1 consists of approximately 7.9 gross acres. Access will be provided by one or more of the following: a frontage road from El Camino Real, a right-in-right-out access onto El Camino Real pursuant to City Engineer approval or through the property to the north. The access shown in the following exhibit is conceptual in nature and may be relocated or deleted without the necessity of an amendment to this Master Plan. Details for this area are illustrated on Office Area 1.1 Development Plan, Exhibit 5-24.

b. Use Allocation

The General Plan designation for this Neighborhood is O (Office) and the (O) Development Standards, as established by Carlsbad Municipal Code Section 21.27 et seq., shall be utilized, unless otherwise modified within this Master Plan.

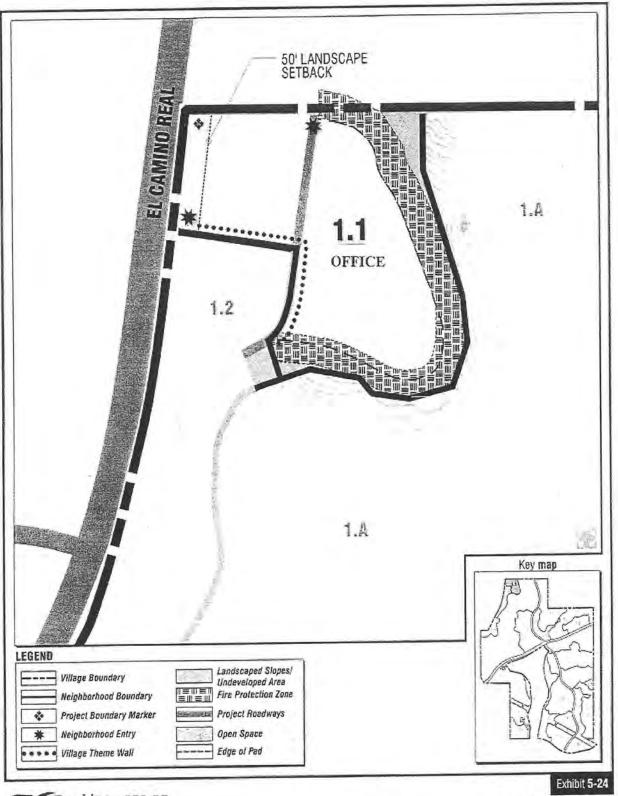
c. Required Development Permits

The following development permits are required: Tentative Map (may be required), Hillside Development Permit (may be required), Scenic Corridor Special Use Permit, Conditional Use Permit (may be required), and Site Development Plan for Office Uses. A Hillside Development Permit (HDP)

LA COSTA GREENS VILLAGE DEVELOPMENT PLAN

VILLAGES OF LA COSTA MASTER PLAN

will be processed with the master tentative map for La Costa Greens





OFFICE AREA 1.1 DEVELOPMENT PLAN

Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this zone shall be all those allowed under Carlsbad Municipal Code Section 21.27.020.

e. Conditional Uses

Conditional uses on this planning area shall be those allowed under Carlsbad Municipal Code Section 21.27.030.

f. Minimum Lot Size

Minimum lot size shall be one acre.

g. Lot Coverage

Maximum lot coverage shall be fifty percent (50%) of the gross lot area. Open parking areas shall not be counted in determining lot coverage.

h. Setbacks

Front: 50' from R.O.W., if facing El Camino

Real

20' from curb of internal private roads

Street Side: 50' from R.O.W., if facing El Camino

Real

20' from curb of internal private roads

Rear: 20' or 50' from R.O.W. if on El Camino

Real side of lot

All other setbacks apply per Carlsbad Municipal Code Section 21, 27,020 unless modified herein.

i. Height Limits

Height limitations shall be as provided for within Carlsbad Municipal Code Section 21. 27.050.

j. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Office Area 1.1.

- Special attention relative to sitting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and El Camino Real, which is a Community Theme Corridor, as defined within the Circulation Element of the City of Carlsbad General Plan. Large expanses of unarticulated structure or roofline should not be viewable to passers by.
- Because of the Area's proximity to El Camino Real, an acoustic study shall be undertaken in conjunction with the tentative subdivision map or permit process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Lighting adjacent to Open Space Area 1.A shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Area 1.A shall be compatible with existing natural vegetation.
- Disturbance to Open Space Area 1.A will be

avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.

- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map or other permit process applicable to development of the neighborhood.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, etc., have been selected to provide consistency in design and quality.
- Sight distance and open corridors shall be required per Section 4.9.3.

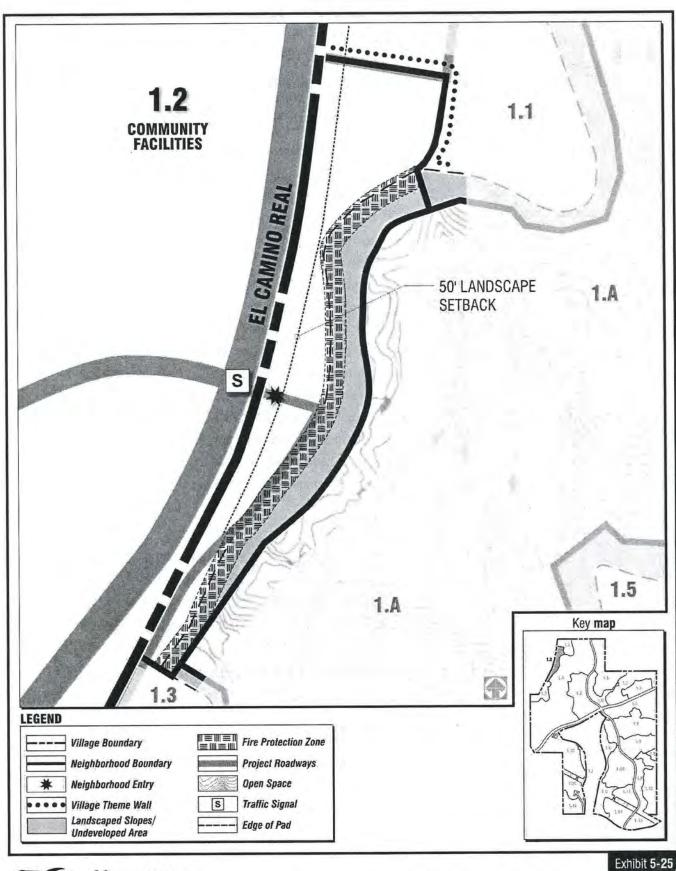
2. La Costa Greens Community Facilities Area 1.2

a. Description

Area 1.2, which is to be devoted to Community Facilities uses, is located in the central northwest corner of La Costa Greens. It is intended that a commercial child daycare center operate within this site in addition to places of worship, youth and/or senior citizen activity centers and any other community facilities uses required for the Master Plan. Area 1.2 is bounded to a small extent by Area 1.1 to the north and Neighborhood 1.3 to the south. This development area is surrounded on the east by Open Space and on the west by El Camino Real, with an existing industrial park across the street. Area 1.2 consists of approximately 7.9 gross acres. It is expected that access will be provided by a private road from El Camino Real. Details for this area are shown on Community Facilities Area 1.2 Development Plan, Exhibit 5-25.

b. Use Allocation

The General Plan designation for this Neighborhood is C-F and the C-F Development Standards, as established by Carlsbad Municipal Code Section 21.25 et. seq., shall be utilized unless otherwise modified within this Master Plan. A 2-acre minimum site will also be provided for a child daycare center.





LA COSTA GREENS NEIGHBORHOOD 1.2 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map (may be required), Hillside Development Permit, Scenic Corridor Special Use Permit, Child Daycare Administrative Permit required for the child daycare center, Conditional Use Permit required for places of worship, youth and/or senior citizen activity centers and any other community facilities uses. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this area shall be only child daycare centers, places of worship, youth and/or senior citizen activity centers and any other community facilities uses required for the Master Plan as a use requiring a Child Daycare Center Administrative Permit or Conditional Use Permit.

e. Minimum Lot Size

Minimum lot size shall be one acre. Lots may be less than one acre if utilizing shared facilities, for example, parking.

f. Lot Coverage

Maximum lot coverage shall be fifty percent (50%) of the gross lot area. Open parking areas shall not be counted in determining lot coverage.

g. Setbacks

Front: 50 feet from R.O.W. of El Camino Real

20' from curb of internal private roads or

private driveways

Side: 10 feet minimum

Street Side: 20 feet from R.O.W. or curb of internal

private roads or private driveways

Rear: 20 feet minimum

All required setbacks shall be permanently landscaped and maintained.

h. Height Limits

35' or 3 stories with a minimum roof pitch of 3:12

i. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code.

Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

k. Development Phasing

The relationship of Neighborhood 1.2 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Area 1.2.

- Child daycare centers shall comply with Sections 21.83.070 and 21.83.080 of the Carlsbad Municipal Code.
- Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and El Camino Real, which is a scenic highway. Large expanses of unarticulated structure or roofline should not be viewable to passers by.
- Because of the Area's proximity to El Camino Real, an acoustic study shall be undertaken in conjunction with the tentative subdivision map or other permit process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Lighting adjacent to the adjoining Open Space Area 1.A shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Area 1.A shall be compatible with existing natural vegetation and the Fire Protection Zone.
- Disturbance to the adjoining Open Space Area will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates

developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map or other permit process applicable to development of the neighborhood.

- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, etc., have been selected to provide consistency in design and quality.
- The solid Village Theme Wall adjacent to El Camino Real will only be required if future site designs warrant it to obstruct negative views from El Camino Real to the site or for noise attenuation.
- Sight distance and open corridors shall be required per Section 4.9.3.

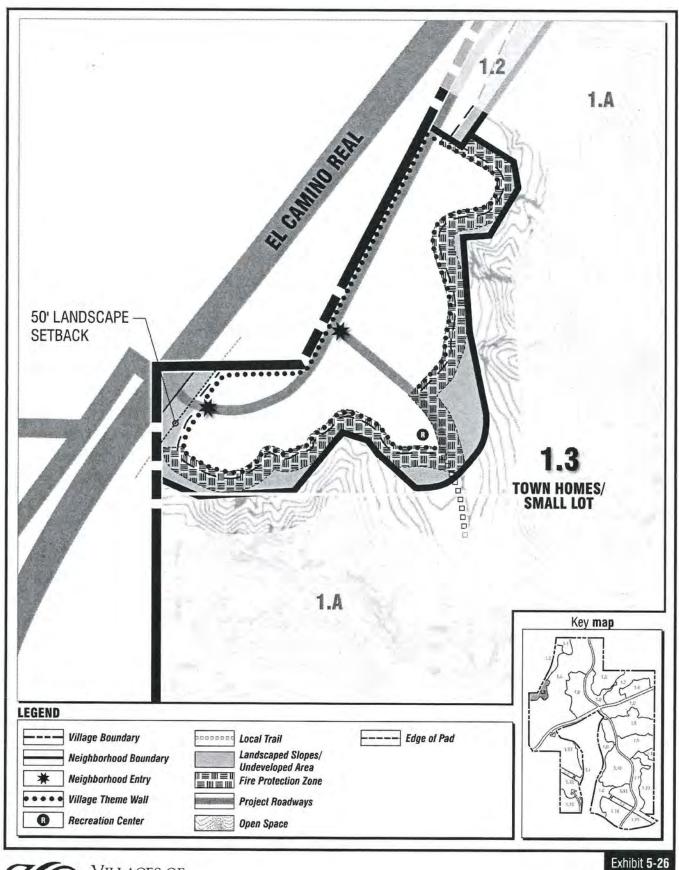
La Costa Greens Neighborhood 1.3

a. Description

Neighborhood 1.3 is located in the southernmost portion of the northwest section of La Costa Greens. It is intended that the specific product be small lot singlefamily detached homes or townhomes, but any use allowed within the underlying General Plan designation and zone established for this Neighborhood may be allowed. A permanent RV storage site for the La Costa Greens neighborhoods will also be located within Neighborhood 1.3. The area is bounded almost entirely by Open Space with just a narrow band of land existing at the northern boundary where the area connects with Neighborhood 1.3 consists of Neighborhood 1.2. approximately 8.6 gross acres. Access will be provided from both El Camino Real and Neighborhood 1.2 by a private road. Details for this area are illustrated on Neighborhood 1.3 Development Plan, Exhibit 5-26.

b. Use Allocation

The General Plan Designation for this Neighborhood is RM (4-8 du/ac.) with a Growth Management Control Point of 6.0 du/ac. The RD-M Development Standards, as established by Carlsbad Municipal Code Section 21.24 et seq., including accessory structures shall be utilized, unless otherwise modified within this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized, unless otherwise modified within this Master Plan. The number of Master Plan units planned for this Neighborhood is 48. Dwelling unit transfers between Neighborhood 1.3 and other Neighborhoods in La Costa Greens may occur as described in Section 2.5.2. The RV storage site shall be developed pursuant to the



LA COSTA GREENS NEIGHBORHOOD 1.3 DEVELOPMENT PLAN development standards of Carlsbad Municipal Code Section 21.42.010(9) and the approval of a conditional use permit. A maximum of 0.34 acre of RV storage, exclusive of driveways and circulation, will be required for La Costa Greens. This is based on a requirement of 20 square feet per dwelling unit for lots less than 7,500 square feet that require the approval of a Planned Development Permit or Condominium Permit. In the event that the Master or Neighborhood CC&R's prohibit RV parking on individual lots then the RV parking requirement shall be complied with even if the minimum lot size is 7,500 square feet or greater.

Required Development Permits

The following development permits are required: Tentative Map, residential Planned Development Permit or Condominium Permit, Hillside Development Permit (may be required), Scenic Corridor Special Use Permit, and Conditional Use Permit required for an RV storage site. A Hillside Development Permit (HDP) will be processed with the master tentative map for La Costa Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative subdivision map design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all those allowed under Carlsbad Municipal Code Section 21.24 and an RV storage facility. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Townhomes.

Small lot single-family detached homes.



f. Minimum Lot Size

3,500 s.f.

g. Minimum Lot Width

40 feet

h. Lot Coverage

Refer to section 4.6 of this Master Plan. Maximum lot coverage shall be sixty percent (60%) of the net pad area.

i. Setbacks

Front: Setback standards are listed in section

4.6 by product type.

RV storage will be setback a minimum of 20 feet from curb of internal private

roads or private driveways

Side: Setback standards are listed in section

4.6 by product type.

RV storage will be setback a minimum of 10 feet from curb of internal private

roads or private driveways

Street Side: 10 feet minimum

Rear: 10 feet minimum

RV storage will be setback a minimum

of 15 feet

All required setbacks for RV storage lots shall be permanently landscaped and maintained.

j. Height Limits

35' and 3 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

An RV parking site will be provided for the La Costa Greens Village within this Neighborhood. The RV storage facility shall be provided per the design standards in Chapter 4.

1. Neighborhood Circulation Details

Neighborhood circulation details such as primary and secondary points of access and traffic signal locations are described and illustrated in Section 5.2.6, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.3 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.3.

 Special attention shall be devoted to the interface between any development of this Neighborhood and El Camino Real, which is a scenic highway.

- Because of the Neighborhood's proximity to El Camino Real, an acoustic study shall be undertaken in conjunction with the tentative subdivision map or permit process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided in the Neighborhood.
- It is anticipated that access to an existing, unimproved Pedestrian Trail, as detailed in Section 5.2.7, will be provided as indicated on the Neighborhood 1.3 Development Plan, Exhibit 5-26.
- Lighting adjacent to Open Space Area 1.A shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Area 1.A shall be compatible with the existing natural vegetation.
- Disturbance to Open Space Area 1.A will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.

- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map or other permit process applicable to development of the neighborhood.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.
- The site planning, stall dimensions, configuration, and aisle design for the RV storage lot shall meet the requirements of the Carlsbad Municipal Code and City Engineering standards.
- Landscaping shall be provided on all sides of the RV storage lot to ensure that the light and aesthetic impacts of the lot are sufficiently screened from adjacent development.
- The RV storage area shall be screened from all views by a minimum eight-foot-high wall. Said screening shall entirely surround the site and shall observe a minimum setback equal to the required setbacks of the Neighborhood.

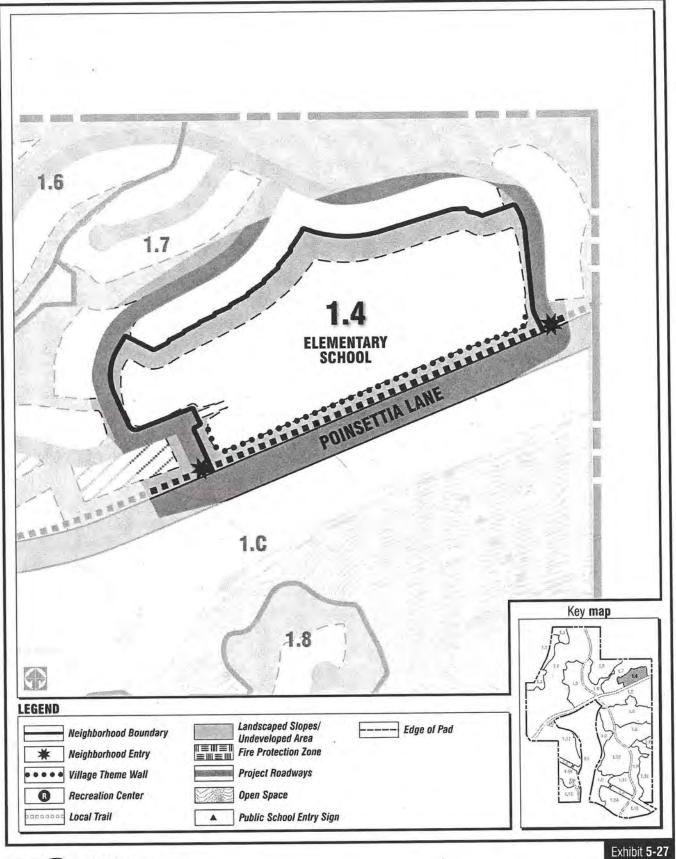
La Costa Greens School Area 1.4

a. Description

School Area 1.4, which is proposed to be developed as an elementary school, is located in the north eastern portion of the La Costa Greens Village. If a school is not constructed within this area, it is intended that Area 1.4 provide for the construction of single-family detached homes developed on minimum 5,000 s.f. lots. This Area is bound on the north, east and west by Neighborhood 1.7, and on the south side by Poinsettia Lane. Area 1.4 consists of approximately 13.9 gross acres. Access will be provided by public streets along the western and eastern boundaries of the area from Poinsettia Lane. Details for this area are depicted on School Area 1.4 Development Plan, Exhibit 5-27.

b. Use Allocation

The General Plan Designation for this area in conjunction with Neighborhood 1.7 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. This area also includes a floating designation for an elementary school site. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified within this Master Plan. Lots of 5,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of Master Plan units planned for





LA COSTA GREENS SCHOOL AREA 1.4 DEVELOPMENT PLAN

this area is 56. Dwelling unit transfers between Area 1.4 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2. At such time Carlsbad Unified School District acquires the site and confirms development, a General Plan Amendment shall be processed in order to delineate the precise boundaries of the confirmed school site.

c. Required Development Permits

A Conditional Use Permit, Hillside Development Permit, General Plan Amendment and Flood Plain Special Use Permit are required for the development of an elementary school. For residential uses, a Tentative Development Map, Planned Permit. Hillside Development Permit, and Flood Plain Special Use Permit would be required. A Hillside Development (HDP) and Flood Plain Special Use Permit (FPSUP) will be processed with the master tentative map for La Costa Greens Village. Compliance with the FPSUP conditions and certifications may be necessary in this Neighborhood. Additional HDP and FPSUP permits may be necessary for individual Neighborhoods depending on the final grading plan and tentative subdivision map design. All permits associated with the school use are the responsibility of the Carlsbad Unified School District.

d. Permitted Uses

Uses in this Area shall be restricted to educational purposes or public recreation. Should an educational institution or recreational uses not be sited in this area, residential uses may be permitted, so long as the total number of units do not exceed that provided by this Master Plan and the Growth Management Control Point for the entire Village. Development of an elementary school would require an amendment to the General

Plan. The development of residential uses within this neighborhood would require an amendment to this Village Development Plan.

e. Setbacks

No structures, parking lot, recreation area or other development shall be constructed within fifty (50) feet, of Poinsettia Lane. A minimum 50-foot landscape setback shall be provided adjacent to Poinsettia Lane.

f. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code.

g. Height Limits

No structure shall exceed 35 feet in height measured from the final grade. Exceptions may be granted by the Planning Commission at the specific request and need of an educational institution.

h. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in School Area 1.4.

Special attention relative to siting of structures shall be devoted to the interface between the residential areas that adjoins the northern, western and eastern boundaries of this Neighborhood and any parking lots or buildings. Landscaping shall be employed to soften the views of structures and parking lots from pedestrians and bicyclists using the City-wide Trail Link that passes along the southern boundary of this area. Large expanses of unarticulated structure or roofline should not be viewable to passers-by.

- It is anticipated that a City-wide Trail Link, as detailed in Section 5.2.6, will be provided along the southern edge of this area as indicated on the School Area 1.4 Development Plan, Exhibit 5-27.
- Special landscape treatment, as detailed in Section 5.4 shall be provided in the fifty-foot (50') setback zone required adjacent to Poinsettia Lane. A City-Wide Trail is proposed to be included within this setback zone. The required landscape setback zone/manufactured slopes shall be placed in a separate open space lot and be subject to an open space easement.
- Lighting adjacent to Neighborhood 1.7 shall be selectively placed, shielded and directed away from the residential units.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.
- Sight distance and open corridors shall be required per Section 4.9.3.

La Costa Greens Park Area 1.5

a. Description

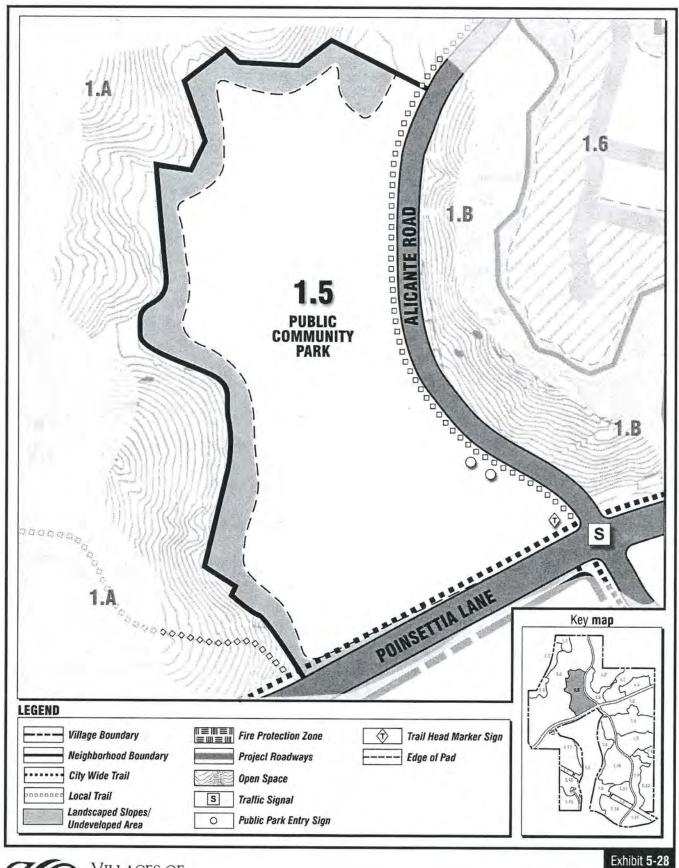
Park Area 1.5 is located in the north central portion of La Costa Greens and is intended to support a Community Park. This Area is bound on the west and north by Open Space, on the east by Alicante Road and on the south side by Poinsettia Lane. Area 1.5 consists of approximately 34.4 gross acres. Access will be provided by Alicante Road, which establishes the Neighborhood's eastern boundary. Details for this area are depicted on Park Area 1.5 Development Plan, Exhibit 5-28.

b. Use Allocation

The General Plan designation and zone for this Neighborhood is OS, as established by Carlsbad Municipal Code Section 21.33 et seq., unless otherwise modified within this Master Plan.

c. Required Development Permits

The following development permits are required: Conditional Use Permit, Hillside Development Permit and Flood Plain Special Use Permit. A Hillside Development Permit (HDP) and Flood Plain Special Use Permit (FPSUP) will be processed with the Master Tentative Maps for La Costa Greens Village. Additional HDP and FPSUP permits may be necessary for this Neighborhood depending on the final grading plan and park design and would be the responsibility of the City of Carlsbad, along with the Conditional Use Permit.





LA COSTA GREENS PARK AREA 1.5 DEVELOPMENT PLAN

d. Permitted Uses

Uses permitted in this zone shall be all those allowed under Carlsbad Municipal Code Section 21.33 and such conditional uses as those provided by Zone Section 21.33.040.

e. Setbacks

No structure shall be constructed within fifty (50) feet of Alicante Road or Poinsettia Lane and no parking lot shall be established within thirty (30) feet of Alicante Road or fifty (50) feet of Poinsettia Lane. The parking setbacks shall be landscaped.

f. Height Limits

Height limits shall be as required in Section 21.33.060 of the Carlsbad Municipal Code.

g. Accessory Structures

Accessory structures shall be permitted pursuant to Zone Section 21.33.030.

h. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Park Area 1.5.

Special attention relative to siting of structures shall be devoted to the interface between the riparian corridor that adjoins the eastern boundary of this Neighborhood and any parking lots or buildings. Landscaping should be employed judiciously to soften views of the structures and parking lots from pedestrians and bicyclists using the Local Trail Link that passes through this area. Large expanses of unarticulated structure or roof-line should not be viewable to passers-by.

- It is anticipated that a Local Trail Link, as detailed in Section 5.2.6, will be provided along the eastern edge of this area and a Citywide Trail Link will be provided along the southern edge as indicated on the Park Area 1.5 Development Plan, Exhibit 5-28.
- Landscaping adjacent to Open Space Area 1.A shall be compatible with existing natural vegetation.
- Lighting adjacent to Open Space Area 1.A shall be selectively placed, shielded and directed away from the Open Space Area.
- Disturbance to Open Space Area 1.A will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the development permits required for this neighborhood.
- Common streetscape and landscape areas shall conform to community requirements as

established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Greens Neighborhood 1.6

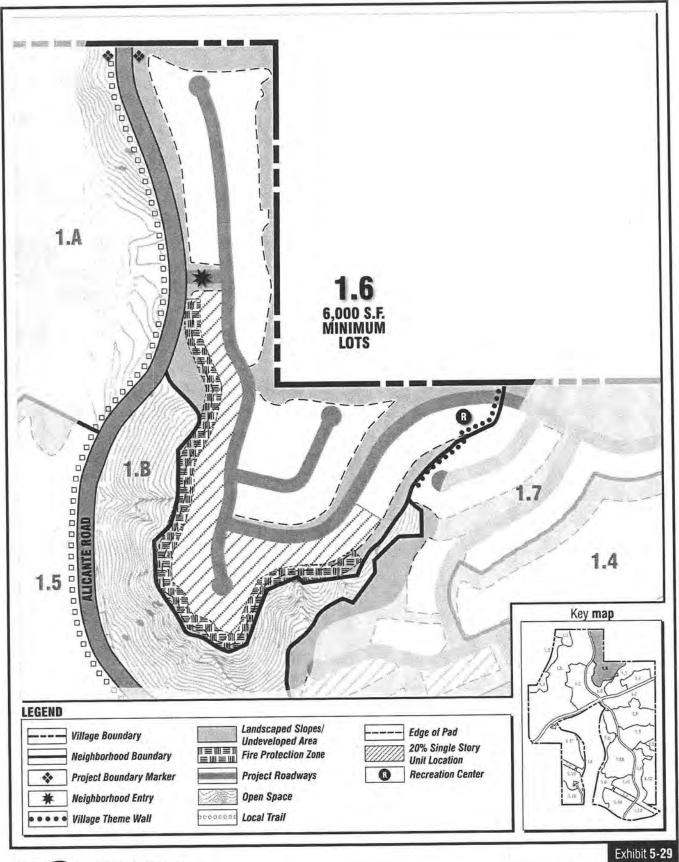
a. Description

Neighborhood 1.6 is located in the central northeast section of La Costa Greens and is devoted to single-family detached homes. It is intended that the homes be developed on minimum 6,000 s.f. lots. The area is bounded on the west and most of the south by Open Space, while its northern and eastern boundaries adjoin a separate project, Bressi Ranch. Neighborhood 1.6 consists of approximately 37.9 gross acres. Access will be provided by Alicante Road, and by a public street, which enters at the far eastern edge from adjoining Neighborhood 1.7. Details for this area are illustrated on Neighborhood 1.6 Development Plan, Exhibit 5-29.

Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1.7 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. Lots of 6,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of Master Plan units planned for this neighborhood is 96. Dwelling unit

December, 2000





LA COSTA GREENS NEIGHBORHOOD 1.6 DEVELOPMENT PLAN transfers between Neighborhood 1.6 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for La Costa Greens Village. Additional HDP permits may be necessary for the development of individual neighborhoods depending on the final grading plan and tentative subdivision map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, are as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

6,000 s.f.

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of the Master Plan.

i. Setbacks

Front: Setback standards are listed in section

4.6 of this Master Plan

Side: Setback standards are listed in section

4.6 of this Master Plan

Street Side: 10 feet minimum

Rear: 15 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for La Costa Greens Village within Area 1.2. The RV parking area required for this Neighborhood shall be constructed and be available for use (or a temporary facility provided) prior to occupancy of any units within this Neighborhood.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, north of Poinsettia Lane. This will be a minor, non-gated type of entry with a median. A second point of access is via the internal public street that enters at the far eastern edge from Neighborhood 1.7.

The internal Neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.6 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.6.

 For the areas identified on Exhibit 5-29, 20 % of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in section 4.4 of this Master Plan.

- Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and the adjoining Bressi Ranch project to the north and east.
- It is anticipated that a Local Trail Link and access to an existing, unimproved Pedestrian Trail, as detailed in Section 5.2.6.2, will be provided at the western boundary of Neighborhood 1.6, along the west side of Alicante Road, to the northern boundary as indicated on the Neighborhood 1.6 Development Plan, Exhibit 5-29.
- Common recreation areas shall be provided within this Neighborhood to serve Neighborhoods 1.6 and 1.7. The required area shall begin construction prior to the occupancy of the first unit and approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Lighting adjacent to the adjoining Open Space Area shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Areas 1.A and 1.B shall be compatible with the existing natural vegetation.
- Because of this Neighborhood's proximity to Alicante Road, an acoustic study shall be undertaken in conjunction with the tentative subdivision map process, and any recommended noise attenuation measures including, but not

limited to the erection of sound walls, shall be implemented as necessary.

- Disturbance to Open Space Areas 1.A and 1.B
 will be avoided to the maximum extent possible
 during and after construction. Where
 disturbance is unavoidable and has been
 authorized by the HCP/OMSP, the disturbed
 area shall be restored and/or revegetated as
 appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

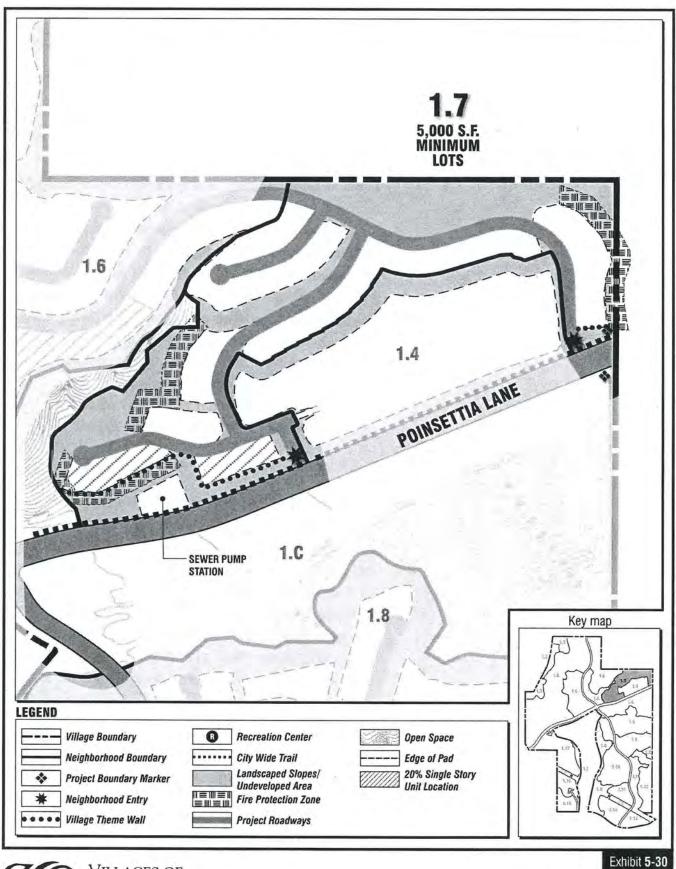
7. La Costa Greens Neighborhood 1.7

a. Description

Neighborhood 1.7, situated in the northeast corner of La Costa Greens, provides for the construction of singlefamily detached homes. It is intended that the homes be developed on minimum 5,000 s.f. lots. Neighborhood is bounded on the west by Open Space and Neighborhood 1.6, at the south by Poinsettia Lane and School Area 1.4, and on the north and east by an Ranch. project, Bressi adjoining separate Neighborhood 1.7 consists of approximately 28.2 gross Access will be provided by Poinsettia Lane, which abuts the area at the south and by a public street, which enters at the northwestern edge from adjoining Neighborhood 1.6. Details for this area are illustrated on Neighborhood 1.7 Development Plan, Exhibit 5-30.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1.6 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified within this Master Plan. Lots of 5,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of Master Plan units planned for this neighborhood is 71. Dwelling unit





LA COSTA GREENS NEIGHBORHOOD 1.7 DEVELOPMENT AREA

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transfers between Neighborhood 1.7 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, Hillside Development Permit, and Flood Plain Special Use Permit. A Hillside Development (HDP) and Flood Plain Special Use Permit (FPSUP) will be processed with the master tentative map for La Costa Greens Village. Compliance with the FPSUP conditions and certifications may be necessary in this Neighborhood. Additional HDP and FPSUP permits may be necessary for individual Neighborhoods depending on the final grading plan and tentative subdivision map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

5,000 s.f.

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section

4.6 of this Master Plan.

Side: Setback standards are listed in Section

4.6 of this Master Plan.

Street Side: 10 feet minimum

Rear: 15 feet minimum from the residential lot

line at the top of slope and 50' from Poinsettia Lane to the residential lot line.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for the La Costa Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and be available for use (or a temporary

facility provided) prior to occupancy of any units within this neighborhood.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways, improvements and signals are described in Section 5.4.

The primary and secondary points of access for this Neighborhood will be via Poinsettia Lane, east of Alicante Road. These will have major and minor, nongated types of entries with medians. The primary Neighborhood access point is located near the eastern Village boundary. This is anticipated to be a signalized intersection, however, the precise location will be determined at map approval. A third point of access is via the internal public street that enters at the far northwestern edge from Neighborhood 1.6.

The internal Neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.7 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.7.

- For the areas identified on Exhibits 5-30 and 5-31 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and the adjoining Bressi Ranch project to the north and east.
- Special attention also should be devoted to the landscape treatment to be provided between the sewer pump station at the southwest corner of the Neighborhood and the residences that will adjoin it. Use of manufactured slopes, screen walls and appropriate landscape will assist in providing a visual and aesthetic separation between the two uses.
- Special attention also should be devoted to the landscape treatment to be provided between the sewer pump station at the southwest corner of the Neighborhood and Poinsettia Lane.
- Special landscape treatment, as detailed in Section 5.4 shall be provided in the fifty-foot (50') setback zone required between residential property lines and Poinsettia Lane. A City-Wide Trail is proposed to be included within

this setback zone. The required landscape setback zone/manufactured slopes shall be placed in a separate open space lot and be subject to an open space easement.

- Because of the Neighborhood's proximity to Poinsettia Lane, an acoustic study shall be undertaken in conjunction with the tentative subdivision map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided within Neighborhood 1.6 to serve this Neighborhood. The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- Lighting adjacent to Open Space Area 1.B shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Area 1.B shall be compatible with the existing natural vegetation.
- Disturbance to Open Space Area 1.B will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates

developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.

Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

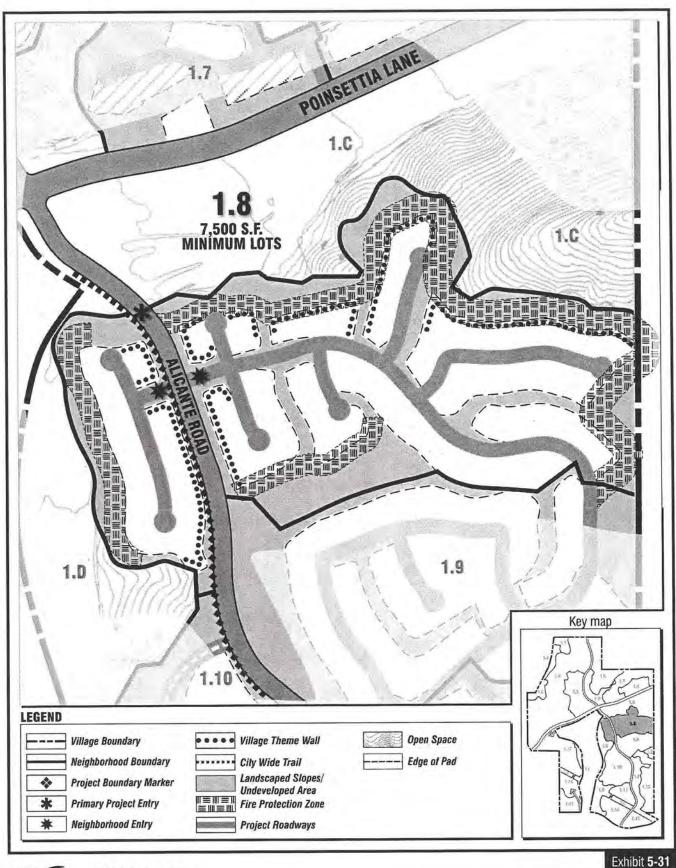
8. La Costa Greens Neighborhood 1.8

a. Description

Neighborhood 1.8 is located in the central northeast portion of La Costa Greens and is devoted to singlefamily detached homes. It is intended that the homes be developed on minimum 7,500 s.f. lots. The area is bounded on the west by Open Space and the La Costa Resort Golf Course, on the north by Open Space, on the east by the project boundary and an existing singlefamily home neighborhood, and on the south by Neighborhood 1.9. The Neighborhood Area includes approximately 45.8 gross acres. Access will be provided by Alicante Road and by a public street, which enters at the far southeastern edge from adjoining Neighborhood 1.9. The final elevations of this Neighborhood will result in pad grades ranging from about 50 feet to close to 200 feet lower than the adjacent existing residential Neighborhood offsite to the Details for this area are illustrated on Neighborhood 1.8 Development Plan, Exhibit 5-32.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhoods 1.9, 1.10, 1.11 and 1.12 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq, including accessory structures, building heights, and lot coverages shall be utilized unless otherwise modified within this Master Plan. The number of Master Plan units planned for this neighborhood is 83. Dwelling unit transfers between Neighborhood 1.8 and other neighborhoods in La Costa





LA COSTA GREENS NEIGHBORHOOD 1.8 DEVELOPMENT PLAN Greens may occur as described in Section 2.5.2

c. Required Development Permits

The following development permits are required: Tentative Map, Site Development Plan, Hillside Development Permit, and Flood Plain Special Use Permit if required by final grading plan. A Hillside Development (HDP) and Flood Plain Special Use Permit (FPSUP) will be processed with the master tentative map for La Costa Greens Village. Compliance with the FPSUP conditions and certifications may be necessary in this Neighborhood. Additional HDP and FPSUP permits may be necessary for individual Neighborhoods depending on the final grading plan and tentative subdivision map design. A Site Development Permit is required to determine compliance with the provisions of this Master Plan.

d. Permitted Uses

Uses permitted in this zone shall be all of those allowed under Zone Section 21.10.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

7,500 s.f.

g. Minimum Lot Width

60 feet

Lot Coverage

Refer to Section 4.6 of this Master Plan

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21,44 of the Carlsbad Municipal Code and section 4.6 of this Master Plan.

Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, south of Poinsettia Lane. This will be a minor, non-gated type of entry with a median. A second point of access is via the internal public street that enters at the far southeastern edge from Neighborhood 1.9.

The internal Neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.8 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.8.

- Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and Open Space Areas 1.C and 1.D, as well as the natural, undeveloped area at the Neighborhood's eastern boundary.
- Because of the Neighborhood's proximity to Alicante Road, an acoustic study shall be undertaken in conjunction with the tentative subdivision map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- It is anticipated that a Citywide Trail, as detailed in Section 5.2.6, will be provided along the west side of Alicante Road as it goes through Neighborhood 1.8 as indicated on the Neighborhood 1.8 Development Plan, Exhibit 5-

32.

- Lighting adjacent to Open Space Areas 1.C and 1.D shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to Open Space Areas 1.C and 1.D shall be compatible with the existing natural vegetation.
- Disturbance to Open Space Areas 1,C and 1.D
 will be avoided to the maximum extent possible
 during and after construction. Where
 disturbance is unavoidable and has been
 authorized by the HCP/OMSP, the disturbed
 area shall be restored and/or revegetated as
 appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

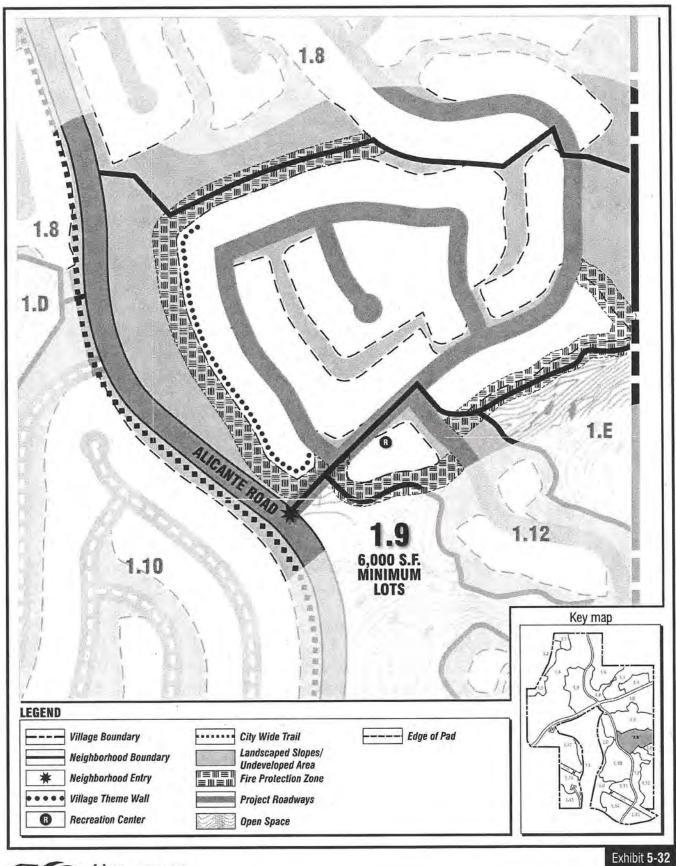
La Costa Greens Neighborhood 1.9

a. Description

Neighborhood 1.9, situated in the central eastern portion of the La Costa Greens Village, allows for the construction of single-family detached homes. It is intended that the homes be developed on minimum 6,000 s.f. lots. This Neighborhood is bounded on the west by Alicante Road, on the north by Neighborhood 1.8, at the east by undeveloped land at the project boundary and on the south by Neighborhood 1.12 and Open Space Areas 1.E and 1.F. Neighborhood 1.9 consists of approximately 25.9 gross acres. Access will be provided at the southwest corner of the area by Alicante Road and by a public street, which enters at the northeastern edge from adjoining Neighborhood 1.8. Details for this area are illustrated on Neighborhood 1.9 Development Plan, Exhibit 5-33.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhoods 1.8, 1.10, 1.11 and 1.12 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq, including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified within this Master Plan. Lots of 6,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Development Ordinance Development Planned Standards, as established by Carlsbad Municipal Code Section 21.45 et seg. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should





LA COSTA GREENS NEIGHBORHOOD 1.9 DEVELOPMENT PLAN arise. The number of units planned for this neighborhood is 75. Dwelling unit transfers between Neighborhood 1.9 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for La Costa Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative subdivision map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. The development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

6,000 s.f.

g. Minimum Lot Width

50 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan

i. Setbacks

Front: Setback standards are listed in Section

4.6 of this Master Plan.

Side: Setback standards are listed in Section

4.6 of this Master Plan.

Street Side: 10 feet minimum
Rear: 15 feet minimum

Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for La Costa Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and available for use (or a temporary facility provided) prior to occupancy of any units within this neighborhood.

Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5,2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, south of Poinsettia Lane. This will be a minor, non-gated type of entry with a median. Secondary points of access are via the internal public street that enters at the northwestern edge from Neighborhood 1.8 and the southeastern edge from Neighborhood 1.12.

The internal Neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

Development Phasing

The relationship of Neighborhood 1.9 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.9.

 Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and the adjoining Neighborhoods,

- Because of the Neighborhood's proximity to Alicante Road, an acoustic study shall be undertaken in conjunction with the tentative subdivision map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided for this Neighborhood within Neighborhood 1.12.
 The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- An open space easement shall be placed on manufactured slopes adjacent to the adjoining undeveloped area at the Neighborhood's eastern boundary.
- Lighting adjacent to the adjoining Open Space Areas 1.E, 1.F and offsite shall be selectively placed, shielded and directed away from the Open Space Area.
- Landscaping adjacent to the adjoining undeveloped area and Open Space Area 1.E shall be compatible with the existing natural vegetation.
- Disturbance to Open Space Areas 1.E and 1.F
 will be avoided to the maximum extent possible
 during and after construction. Where
 disturbance is unavoidable and has been
 authorized by the HCP/OMSP, the disturbed

area shall be restored and/or revegetated as appropriate.

- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

10. La Costa Greens Neighborhood 1.10

a. Description

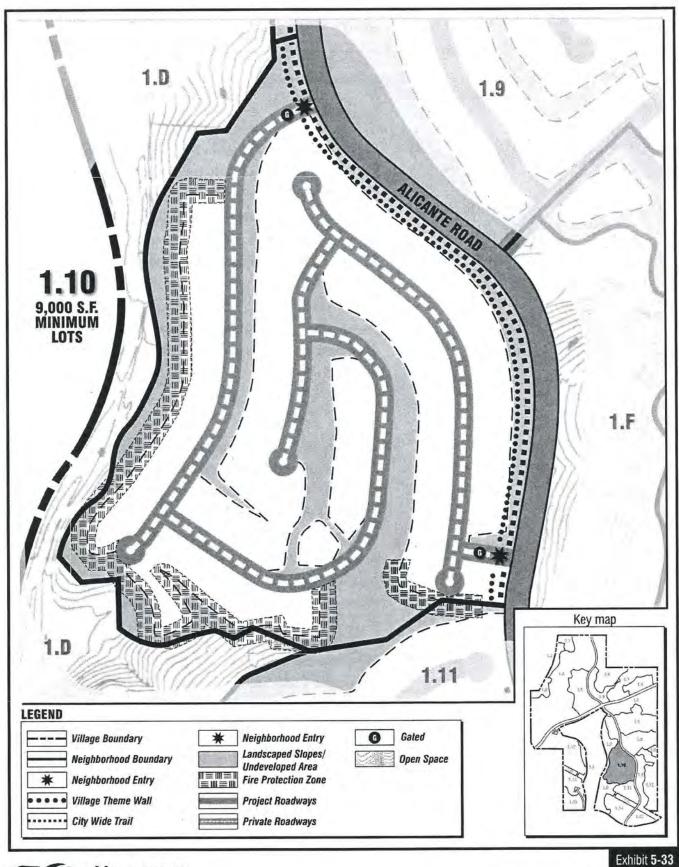
Neighborhood 1.10 is located in the central portion of La Costa Greens and will be developed with single-family detached homes. It is intended that the homes be constructed on minimum 9,000 s.f. lots. The area is bounded on the west, north and south by Open Space, on the east by Alicante Road and on the south by Neighborhood 1.11. The Neighborhood Area is approximately 40.0 gross acres. Access will be provided by Alicante Road. Details for this area are illustrated on Neighborhood 1.10 Development Plan, Exhibit 5-34.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhoods 1.8, 1.9, 1.11 and 1.12 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq. including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified by this Master Plan.

In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 *et seq.* shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise.

The number of units planned for this neighborhood is 64. Dwelling unit transfers between Neighborhood 1.10 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.





LA COSTA GREENS NEIGHBORHOOD 1.10 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, Hillside Development Permit, and Flood Plain Special Use Permit (SUP). A Hillside Development (HDP) and Flood Plain SUP will be processed with the master tentative map for the Greens Village. Compliance with the Flood Plain SUP conditions and certifications may be necessary in this Neighborhood. Additional HDP and Flood Plain SUP permits may be necessary for individual Neighborhoods depending on the final grading plan and tentative map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Uses permitted in this zone shall be all of those allowed under Zone Section 21.10. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes.

Minimum Lot Size

9,000 s.f.

g. Minimum Lot Width

70 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

Rear yards adjacent to Alicante Road: 30 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for the Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and be available for use (or a temporary facility provided) prior to occupancy of any units within this neighborhood.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways, improvements and signals are described in Section 5.4.

The primary point of access to this Neighborhood will be located in the southeastern corner of the Neighborhood via Alicante Road and will be a gated entry. The secondary point of access with a smaller gated entry is located northerly along Alicante Road. These will not be signalized intersections. The internal neighborhood circulation will be provided by private roads with 36-foot paved sections.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.10 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.10.

 Special attention relative to siting of structures and landscape treatment shall be devoted to the

- interface between any development of this Neighborhood and Open Space Area 1.D.
- Because of the Neighborhood's proximity to Alicante Road, an acoustic study shall be undertaken in conjunction with the tentative subdivision map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- It is anticipated that a City-Wide Trail, as detailed in Section 5.2.6, will be provided at the eastern edge of this area as indicated on the Neighborhood 1.10 Development Plan, Exhibit 5-34.
- Landscaping adjacent to Open Space Area 1.D shall be compatible with the existing natural vegetation.
- Lighting adjacent to Open Space Area 1.D shall be selectively placed, shielded and directed away from the Open Space Area.
- Disturbance to Open Space Area 1.D will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final

location of the zone will be determined during review of the Tentative Subdivision Map.

 Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

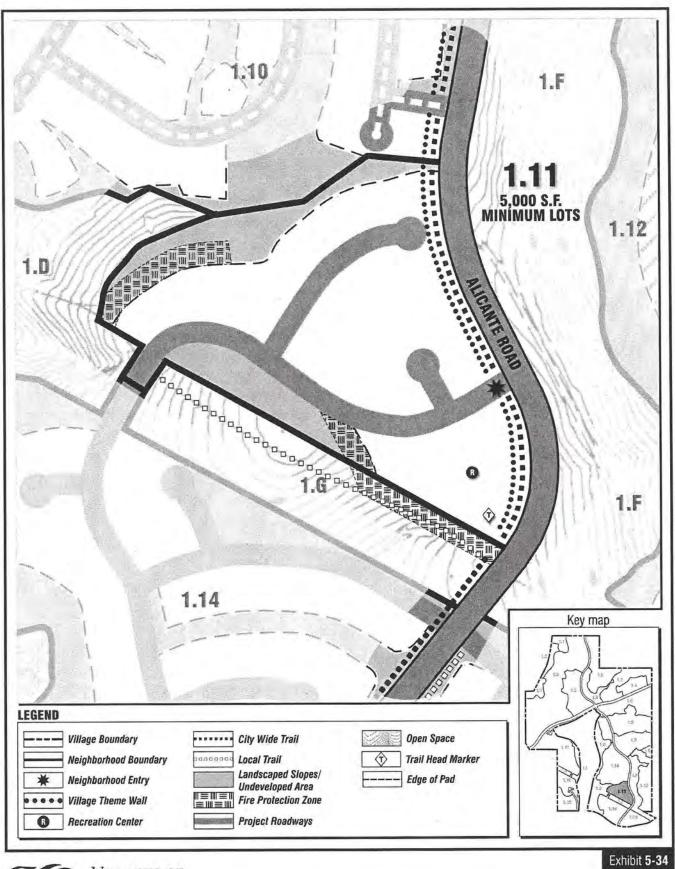
11. La Costa Greens Neighborhood 1.11

a. Description

Neighborhood 1.11, situated in the south central portion of La Costa Greens Village, allows for the construction of single-family detached homes. It is intended that the homes be developed on minimum 5,000 s.f. lots. Neighborhood 1.11 is bounded on the west and south by Open Space, on the north by Neighborhood 1.10 and at the east by Alicante Road. The Open Space Area to the south consists of an SDG&E utility easement. Neighborhood 1.11 consists of approximately 14.5 gross acres. Access will be provided by Alicante Road and by a public street, which enters at the southwestern corner adjoining the SDG&E easement Neighborhood 1.14. Details for this area are illustrated on Neighborhood 1.11 Development Plan, Exhibit 5-35.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhoods 1.8, 1.9, 1.10 and 1.12 is RLM (0-4 du/ac.) with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified by this Master Plan. Lots of 5,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seg. shall be utilized unless otherwise modified in the Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of units planned for this neighborhood is 35. Dwelling





LA COSTA GREENS NEIGHBORHOOD 1.11 DEVELOPMENT PLAN unit transfers between Neighborhood 1.11 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. The development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

5,000 s.f.

g. Minimum Lot Width

50 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section

4.6 of this Master Plan.

Side: Setback standards are listed in Section

4.6 of this Master Plan.

Street Side: 10 feet minimum

Rear: 15 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for the Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and available for use (or a temporary site provided) prior to occupancy of any units within this neighborhood.

Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, north of the utility easement. This will be a minor, non-gated type of entry with a median. This will not be a signalized intersection. A second point of access is via the internal public street that enters at the southwestern corner from Neighborhood 1.14 across the SDG&E utility easement.

The internal neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

Access to the recreation lot will be from the internal public road off of Alicante Road as shown on Exhibit 5-35. The specific location, parking, circulation and improvements associated with this use will be provided concurrent with development permits.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.11 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as

applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.11.

- Because of the Neighborhood's proximity to Alicante Road, an acoustic study shall be undertaken in conjunction with the tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided in this Neighborhood for Neighborhoods 1.11, 1.13 and 1.14. The required area shall begin construction prior to the occupancy of the first unit and approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- It is anticipated that a City-Wide Trail, as detailed in Section 5.2.6, will be provided at the eastern edge of this area as indicated on the Neighborhood 1.11 Development Plan, Exhibit 5-35.
- All landscaping and grading in the SDG&E utility easement corridor portions of Open Space Areas 1.D and 1.G shall meet with the approval of SDG&E.
- Landscaping adjacent to Open Space Areas shall be compatible with the existing natural vegetation.
- Lighting adjacent to Open Space Areas 1.D and 1.G shall be selectively placed, shielded and directed away from the Open Space Areas.

- Disturbance to Open Space Area 1.D will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Greens Neighborhood 1.12

a. Description

Neighborhood 1.12 is located at the eastern edge of La Costa Greens Village and provides for the development of single-family detached homes. It is intended that the homes be developed on minimum 11,000 s.f. lots. This Neighborhood is bounded on the west and northeast by Open Space, on the north by Neighborhood 1.9, at the east primarily by an existing residential neighborhood and on the south by a portion of Open Space Area 1.F, which includes the SDG&E utility easement corridor. Neighborhood 1.12 is composed of approximately 30.4 gross acres. Access will be provided at the northwest corner of the area by Alicante Road and by Zodiac Street, an existing public street that enters the area on its eastern edge. Details for this area are illustrated on Neighborhood 1.12 Development Plan, Exhibit 5-36.

b. Use Allocation

The General Plan Designation for this Neighborhood is RLM (0-4 du/ac.) and the Growth Management Control Point is 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified by this Master Plan. The number of units planned for this neighborhood is 37. Dwelling unit transfers between Neighborhood 1.12 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

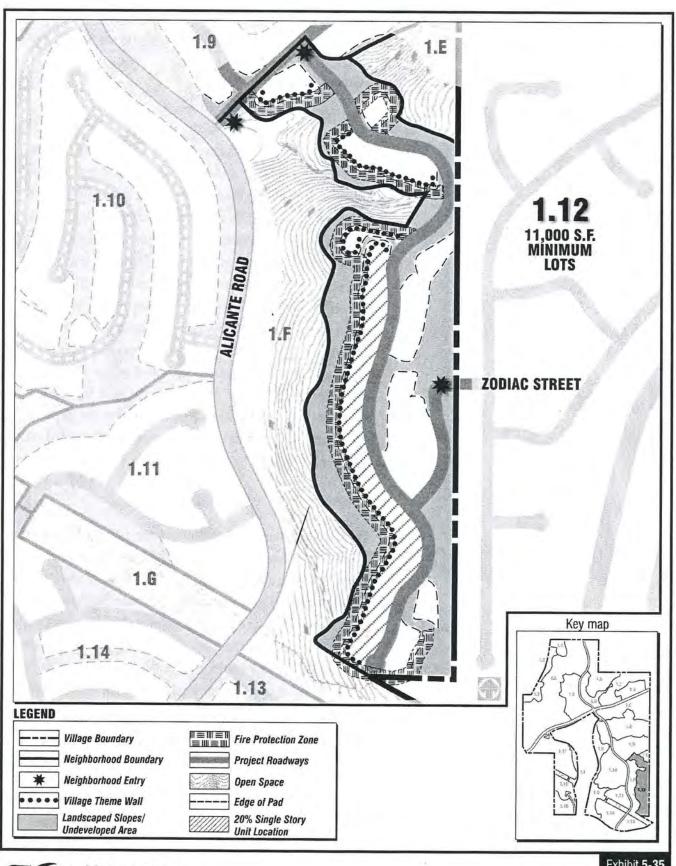




Exhibit 5-35

c. Required Development Permits

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative map design. A Site Development Permit is required to determine compliance with the provisions of this Master Plan.

d. Permitted Uses

Uses permitted in this zone shall be all of those allowed under Carlsbad Municipal Code Section 21.10. The recreation area is a permitted use to serve the recreation requirements of Neighborhood 1.9.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

11,000 s.f.

g. Minimum Lot Width

70 feet.

Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

The elevation of the top of the roof shall not extend above the elevation of the pad elevation of the existing residence directly to the east.

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code and Section 4.6 of this Master Plan.

1. Neighborhood Circulation Details

Neighborhood circulation details such as primary and secondary points of access and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road. This will be a minor, non-gated type of entry with a median. This is not anticipated to be a signalized intersection. A second point of access is via Zodiac Street, an existing public street that enters at the eastern boundary.

The internal neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.12 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.12.

- The maximum heights of the units in Area 1.12
 adjacent to the existing residential enclave to the
 east shall not exceed the pad elevations of the
 existing homes on the lots directly abutting Area
 1.12.
- For the areas identified on Exhibits 5-36 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- Landscaping adjacent to the undeveloped area at the Neighborhood's northeastern, western and southern boundaries shall be compatible with the existing natural vegetation.
- Lighting adjacent to Open Space Areas 1.E and
 1.F shall be selectively placed, shielded and

directed away from the Open Space Areas.

- All landscaping and grading in the SDG&E
 utility easement corridor portion of Open Space
 Area 1.F shall meet with the approval of
 SDG&E.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality. Street trees shall be selected from those with anticipated maximum heights (per the Sunset Western Gardens Book) of less than 30 feet.

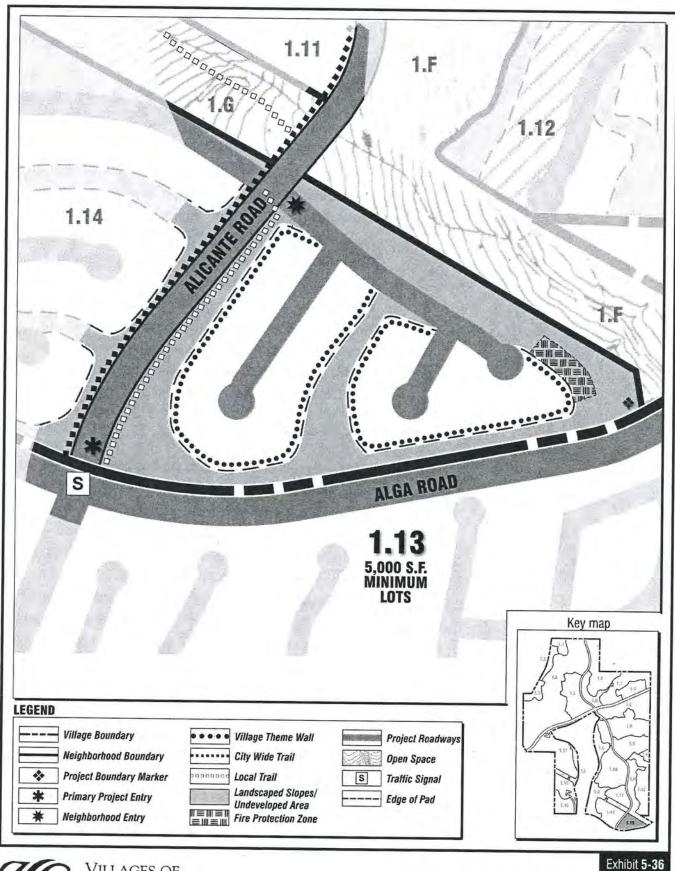
13. La Costa Greens Neighborhood 1.13

a. Description

Neighborhood 1.13, located in the southeast corner of La Costa Greens, provides for the construction of single-family detached homes. It is intended that the homes be developed on minimum 5,000 s.f. lots. Neighborhood 1.13 is bounded on the west by Alicante Road, on the north and east by Open Space Area 1.F and on the south by Alga Road. The Open Space Area to the north consists of an SDG&E utility easement. Neighborhood 1.13 consists of approximately 12.7 gross acres. Access will be provided by Alicante Road. Details for this area are illustrated on Neighborhood 1.13 Development Plan, Exhibit 5-37.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1.14 is RLM (0-4 du/ac.) and the Growth Management Control Point is The R-1 Development Standards, as 3.2 du/ac. established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified by this Master Plan. Lots of 5,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. Master Plan development standards shall prevail if conflicts should arise. The number of units planned for Dwelling unit transfers this neighborhood is 33.





LA COSTA GREENS NEIGHBORHOOD 1.13 DEVELOPMENT PLAN

between Neighborhood 1.13 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory structures.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

5,000 s.f.

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

All units adjacent to Alga Road shall maintain a minimum of a 40 foot setback from the right-of-way.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV Parking Site has been provided for The Greens Village within Area 1.2. The RV Parking area required for this neighborhood shall be constructed and available for use (or a temporary site provided) prior to occupancy of any units within this neighborhood.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, south of the SDG&E utility easement. This will be a minor, non-gated type of entry with a median. This is not a signalized intersection.

Internal neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.13 to the overall development of La Costa Greens is described in Section 5.5, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.13.

 Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this Neighborhood and the portion of Open Space Area 1.F that consists of the SDG&E utility easement corridor to the north.

- Special landscape treatment, as detailed in Section 5.5, shall be provided in the average thirty-foot (30') landscape zone required between residential property lines and Alga Road. This will fall within the forty-foot (40') building setback from Alga Road.
- Because of the Neighborhood's proximity to Alga and Alicante Road, an acoustic study shall be undertaken in conjunction with the tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- It is anticipated that a City-Wide Trail, as detailed in Section 5.2.6, will be provided in the SDG&E utility easement along the northern boundary of this area, as indicated on the Neighborhood 1.13 Development Plan, Exhibit 5-37.
- Manufactured slopes adjacent to Alga Road shall be placed in a separate open space lot and be subject to an open space easement.
- Common recreation areas shall be provided in Neighborhood 1.11 for the residents of this Neighborhood and Neighborhood 1.14. The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.

- All landscaping and grading in the SDG&E utility easement corridor portion of Open Space Area 1.F shall meet with the approval of SDG&E.
- Landscaping adjacent to Open Space Areas shall be compatible with the existing natural vegetation.
- Lighting adjacent to Open Space Area 1.F shall be selectively placed, shielded and directed away from the Open Space Area.
- Disturbance to Open Space Area 1.F will be avoided to the extent possible during and after construction. Where disturbance is unavoidable and has been authorized, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

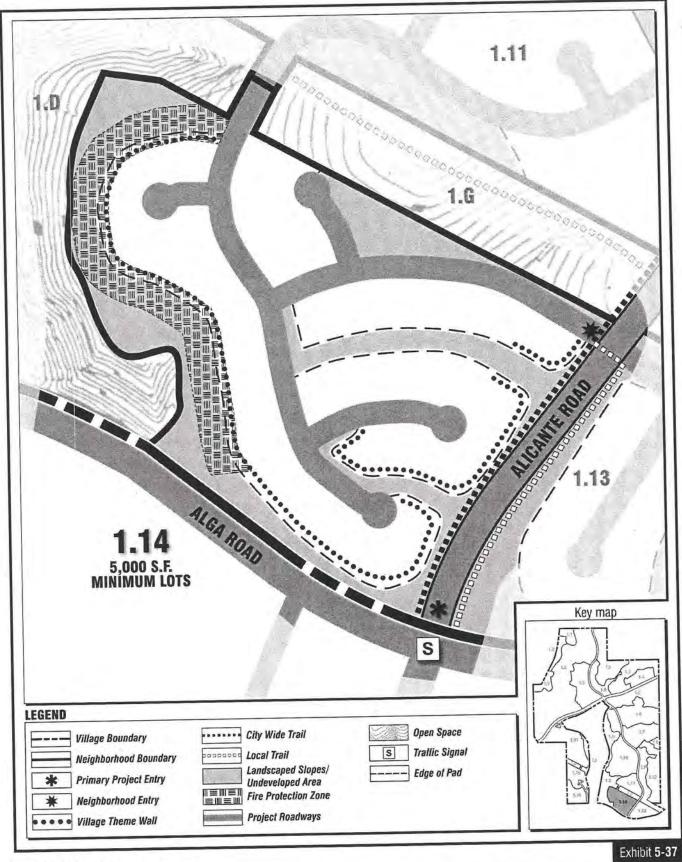
La Costa Greens Neighborhood 1.14

a. Description

Neighborhood 1.14 is located in the extreme south-central section of La Costa Greens Village and will consist of single-family detached homes. It is intended that the homes be developed on minimum 5,000 s.f. lots. Neighborhood 1.14 is bounded on the west and north by Open Space, at the east by Alicante Road and on the south by Alga Road. The Open Space Area to the north consists of an SDG&E utility easement. Neighborhood 1.14 is composed of approximately 22.7 gross acres. Access will be provided by Alicante Road. Details for this area are illustrated on Neighborhood 1.14 Development Plan, Exhibit 5-38.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1.13 is RLM (0-4 du/ac.) and the Growth Management Control Point is 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified within this Master Plan. Lots of 5,000 square foot minimums are permitted in this Master Plan in the In addition, the Planned Development R-1 zone. Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of units planned for this neighborhood is 61. Dwelling unit transfers between Neighborhood 1.14 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.





LA COSTA GREENS NEIGHBORHOOD 1.14 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the La Costa Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative subdivision map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. The development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as accessory uses.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

5,000 s.f.

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan

Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

All units adjacent to Alga Road shall maintain a minimum of a 40-foot setback from the right-of-way.

Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV Parking site has been provided for The Greens Village within Area 1.2. The RV Parking Area for this neighborhood shall be constructed and be available for use (or a temporary site provided) prior to occupancy of any units within this neighborhood.

Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Alicante Road, south of the SDG&E utility easement. This will be a minor, non-gated type of entry with a median. This is not a signalized intersection. A second point of access is via the internal public street that enters at the northwestern corner from Neighborhood 1.11 across the SDG&E utility easement.

Internal neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-de-sac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.14 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.14.

 Special attention relative to siting of structures and landscape treatment shall be devoted to the interface between any development of this

- Neighborhood and the adjoining portion of Open Space Area 1.D and 1.G.
- Special landscape treatment, as detailed in Section 5.5, shall be provided in the average thirty-foot (30') landscape zone required between residential property lines and Alga Road. This will fall within the forty-foot (40') building setback from Alga Road.
- Because of the Neighborhood's proximity to Alga Road and Alicante Road, an acoustic study shall be undertaken in conjunction with the tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Pedestrian Trail, as detailed in Section 5.2.6 will meander through the SDG&E utility easement/Open Space Area 1.G north of this area as indicated on the Neighborhood 1.14 Development Plan, Exhibit 5-38.
- Manufactured slopes adjacent to Alga Road shall be placed in a separate open space lot and be subject to an open space easement.
- Common recreation areas shall be provided in Neighborhood 1.11 for the residents of this Neighborhood and Neighborhood 1.13. The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.

- All landscaping and grading in the SDG&E utility easement corridor portions of Open Space Area 1.D and 1.G shall meet with the approval of SDG&E.
- Landscaping adjacent to Open Space Areas shall be compatible with the existing natural vegetation.
- Lighting adjacent to Open Space Areas 1.D and 1.G shall be selectively placed, shielded and directed away from the Open Space Area.
- Disturbance to Open Space Area 1.D will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Greens Neighborhood 1.15

a. Description

Neighborhood 1.15, situated in the southwest corner of La Costa Greens, will be devoted to the construction of multi-family attached homes. It is intended that the specific product be multiple family apartments, The units in this condominiums, or townhomes. neighborhood will be utilized to comply with the Inclusionary (Affordable) Housing requirement for the La Costa Greens Village. The area is bounded by an existing retail/office center to the west, Dove Lane to the north, Street "A" to the east and Alga Road to the south. Neighborhood 1.15 consists of approximately 14.3 gross acres. Access will be provided by Street "A", Dove Lane or potentially an emergency vehicle access onto Alga Road pursuant to City Engineer Details for this area are illustrated on Neighborhood 1.15 Development Plan, Exhibit 5-39.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1.16 is RMH (8-15 du/ac.) and the Growth Management Control Point is 11.5 du/ac. The RD-M Development Standards, as established by Carlsbad Municipal Code Section 21.24 et seq., including accessory structures and building height requirements shall be utilized, unless otherwise modified by this Master Plan. In addition, unless the proposed development consists entirely of a rental apartment project, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if

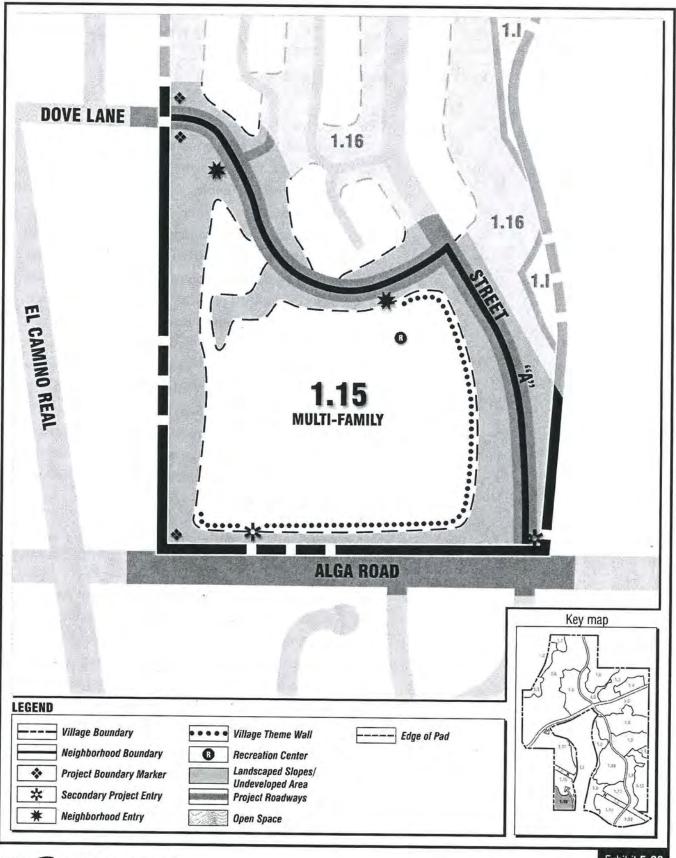




Exhibit 5-38

LA COSTA GREENS NEIGHBORHOOD 1.15 DEVELOPMENT PLAN conflicts should arise. The number of units planned for this neighborhood is 180.

Dwelling unit transfers between Neighborhood 1.15 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2. The maximum number of units allowed in this neighborhood is below the maximum density set forth by the RMH General Plan designation range. Together with Neighborhood 1.16, the combined RMH density allowed by this Master Plan is below the number of units permitted based on the RMH Growth Management Control Point of 11.5.

c. Required Development Permits

The following development permits are required: Hillside required), (may Map Tentative Condominium Planned Development Permit. Development Permit (may be required), and Site Development Plan (may be required). A Hillside Development Permit (HDP) will be processed with the master tentative map for the La Costa Greens Village. Additional HDP permits may be necessary for the development of individual neighborhoods depending on the final grading plan and tentative subdivision map design.

The Condominium Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. The development standards, however, will be as defined in this Master Plan. Where omissions occur, the Planned Development Ordinance shall apply. If conflicts arise between the standards, the Master Plan shall prevail. The Site Development Plan will be processed pursuant to Section 21.53.120 for multi-family residential development or an affordable housing project.

d. Permitted Uses

Permitted uses in this Neighborhood shall be all of those allowed in the RD-M Zone. Senior citizen housing is permitted. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Multiple family dwellings (apartments)

Condominiums

Townhomes

f. Minimum Lot Size

3,500 s.f.

g. Minimum Lot Width

Planned Development projects shall have a minimum lot width of 40 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

Setbacks for townhomes or condominiums

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

10 feet minimum

All units adjacent to Alga Road shall maintain a minimum of a 40-foot setback from the right-of-way.

- j. Setbacks for apartments from property lines/street rightof-ways:
 - 40 feet from Alga Road
 - 30 feet from Dove Lane
 - 30 feet from Street "A"
 - 30 feet from the western property line

Minimum separation between buildings: 10 feet.

k. Height

35 feet and 3 stories with a minimum roof pitch of 3:12

1. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage. Apartment parking shall be provided per Section 21.44 of the Municipal Code.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV Parking Site has been provided for The Greens Village within Area 1.2. The RV Parking Area for this neighborhood shall be constructed and be available for use (or a temporary site provided) prior to occupancy of any units within this neighborhood.

m. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary point of access for this Neighborhood will be via Dove Lane from the northwest. This will be a typical residential entry without gates or a median.

n. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

o. Development Phasing

The relationship of Neighborhood 1.15 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10. The affordable housing units shall be constructed and approved for occupancy pursuant to the schedule established by an Affordable Housing Agreement.

p. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.15.

- Special landscape treatment, as detailed in Section 5.5 shall be provided in the average thirty-foot (30') landscape zone required between parking and driveways and the edge of right of way for Alga Road. This will fall within the forty-foot (40') building setback from Alga Road.
- Because of the Neighborhood's proximity to Alga Road, an acoustic study shall be undertaken in conjunction with the permitting process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided in Neighborhood 1.15 to serve this Neighborhood.
 The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- This neighborhood, or portion thereof, is designated as a location for the provision of onsite affordable housing, which per the Housing Element and Carlsbad Municipal Code, may allow for modifications to the Carlsbad Zoning Ordinance, Planning Department Policies and this Master Plan.

 Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Greens Neighborhood 1.16

a. Description

Neighborhood 1.16 is located in the southwest portion of La Costa Greens Villages. It is intended that the specific product be townhomes or small lot singlefamily detached homes but any use allowed within the underlying General Plan designation and zone established for this Neighborhood shall be allowed. The area is bounded by an existing multi-family complex to the west, Dove Lane to the south, Open Space Area 1.I and La Costa Golf Course to the east, and the SDG&E utility easement/Open Space Area 1.H Neighborhood 1.16 is composed of to the north. approximately 16.0 gross acres. Access will be provided by Street "A" and Dove Lane. Details for this area are illustrated on Neighborhood 1.16 Development Plan, Exhibit 5-40.

b. Use Allocation

The General Plan Designation for this Neighborhood in conjunction with Neighborhood 1-15 is RMH (8-15 du/ac.) and the Growth Management Control Point is The RD-M Development Standards, as 11.5 du/ac. established by Carlsbad Municipal Code Section 21.24 et seq., including accessory structures and building heights, shall be utilized, unless otherwise modified In addition, the Planned within this Master Plan. Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified within this Master Plan. The Master Plan development standards shall prevail if conflicts should arise. The number of units planned for this neighborhood is 96.

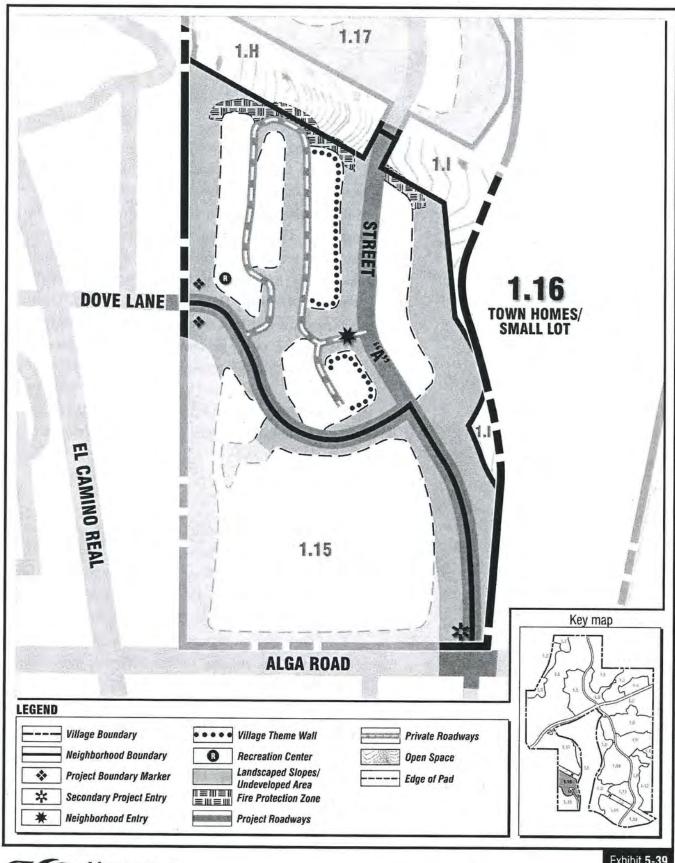




Exhibit 5-39

LA COSTA GREENS NEIGHBORHOOD 1.16 DEVELOPMENT PLAN

Dwelling unit transfers between Neighborhood 1.16 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit (may be required) or Condominium Development Permit (may be required), and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative map design.

The Planned Development Permit or Condominium Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed in the RD-M Zone. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Townhomes

Small lot single-family detached homes

f. Minimum Lot Size

3,500 s.f.

g. Minimum Lot Width

Planned Development projects shall have a minimum lot width of 40 feet.

h. Lot Coverage

Refer to section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

10 feet minimum

j. Height

35' and 3 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for the Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and available for use (or a temporary site provided) prior to occupancy of any units within this neighborhood.

Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary entry points for this Neighborhood will be off of "A" Street and Dove Lane. These will be minor residential entries without gates or medians and will not be signalized. Internal neighborhood circulation will be provided by private roads within the multi-family development.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.16 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.16.

 Special attention shall be given to unit elevations adjoining the existing residential enclave to the west to ensure that a "wall affect" does not arise between new and existing structures.

- Common recreation areas shall be provided in Neighborhood 1.16 to serve this Neighborhood.
 The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- An open space easement shall be placed on manufactured slopes adjacent to roadways.
- Landscaping adjacent to the existing, off-site development and Open Space Areas 1.H and 1.I shall be compatible.
- All landscaping and grading in the SDG&E utility easement corridor portions of Open Space Areas 1.H and 1.I shall meet with the approval of SDG&E.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

17. La Costa Greens Neighborhood 1.17

a. Description

Neighborhood 1.17, situated in the central western portion of La Costa Greens Village, provides for the development of single-family detached homes. It is intended that the homes be developed on minimum Neighborhood 1.17 is bounded by 4,500 s.f. lots. Poinsettia Lane on the north, Open Space Area 1.I and the La Costa Resort golf course on the east, Open Space Area 1.H on the lower south portion, and by existing, off-site development and undeveloped area to the west and along the upper southern boundary. The Open Space Area at the lower southern end consists of an An additional SDG&E utility easement corridor. biologically sensitive Open Space Area 1.I exists on the Neighborhood 1.17 consists of eastern edge. approximately 39.9 gross acres. Access will be provided by Street "A". Details for this area are illustrated on Neighborhood 1.17 Development Plan, Exhibit 5-41.

b. Use Allocation

The General Plan Designation for this Neighborhood is RLM (0-4 du/ac.) and the Growth Management Control Point is 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10 et seq., including accessory structures, building heights, and lot coverages shall be utilized, unless otherwise modified by this Master Plan. Lots of 4,500 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in this Master Plan. The

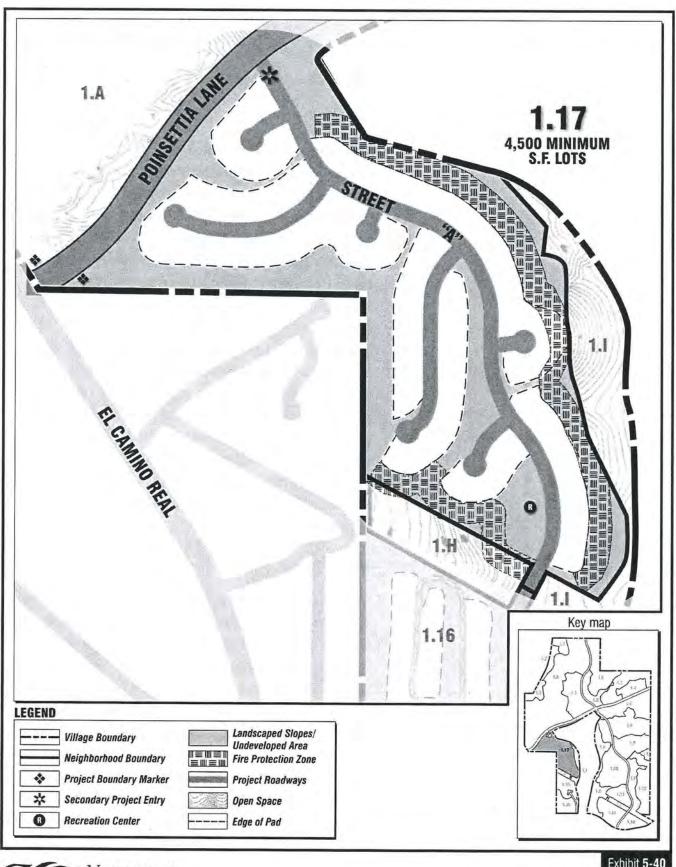




Exhibit 5-40

LA COSTA GREENS NEIGHBORHOOD 1.17 DEVELOPMENT PLAN

Master Plan development standards shall prevail if conflicts should arise. The number of units planned for this neighborhood is 107. Dwelling unit transfers between Neighborhood 1.17 and other neighborhoods in La Costa Greens may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Hillside Development Permit and Planned Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative map for the Greens Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and tentative subdivision map design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. The development standards, however, will be as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

4,500 s.f.

g. Minimum Lot Width

45 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section

4.6 of this Master Plan.

Side:

Setback standards are listed in Section

4.6 of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

All units adjacent to Poinsettia Lane shall maintain a minimum of a 50-foot setback from the right-of-way.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. An RV parking site has been provided for the Greens Village within Area 1.2. The RV parking area required for this neighborhood shall be constructed and available for use (or a temporary site provided)

prior to occupancy of any units within this neighborhood.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major access roadways, points of entry and traffic signal locations are described and illustrated in Section 5.2.6, Circulation. The phasing of the major roadways and improvements are described in Section 5.4.

The primary points of access for this Neighborhood will be "A" Street from Poinsettia Lane and Alga Road. There will be a major, non-gated entry with a median at the intersection with Poinsettia Lane. Internal neighborhood circulation will be provided by local public streets within a 60-foot right-of-way (ROW) with a sidewalk and parkway along each side. Cul-desac streets may have a reduced ROW of 56 feet.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 5.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 1.17 to the overall development of La Costa Greens is described in Section 5.4, La Costa Greens Village Phasing Plan and illustrated on Exhibit 5-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria also shall be incorporated in Neighborhood 1.17.

- Special landscape treatment, as detailed in Section 5.5, shall be provided in the fifty-foot (50') setback zone required between residential structures and Poinsettia Lane.
- Because of the Neighborhood's proximity to Poinsettia Lane, an acoustic study shall be undertaken in conjunction with the tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Common recreation areas shall be provided in Neighborhood 1.17 to serve this Neighborhood.
 The required area shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Manufactured slopes adjacent to Poinsettia Lane shall be placed in a separate open space lot and be subject to an open space easement.
- An open space easement shall be placed on manufactured slopes adjacent to arterial roadways.
- Landscaping adjacent to Open Space Areas 1.H and 1.I shall be compatible with the existing natural vegetation.
- All landscaping and grading in the SDG&E utility easement corridor portion of Open Space Area 1.H and 1.I shall meet with the approval of SDG&E.
- No grading shall be allowed within Open Space
 Area 1.I other than necessary temporary

intrusions to build public facilities.

- Lighting adjacent to Open Space Areas 1.H and
 1.I shall be selectively placed, shielded and directed away from the open space areas.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during review of the Tentative Subdivision Map.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

5.7.4 Open Space Areas

1. Open Space Area 1.A

a. Description

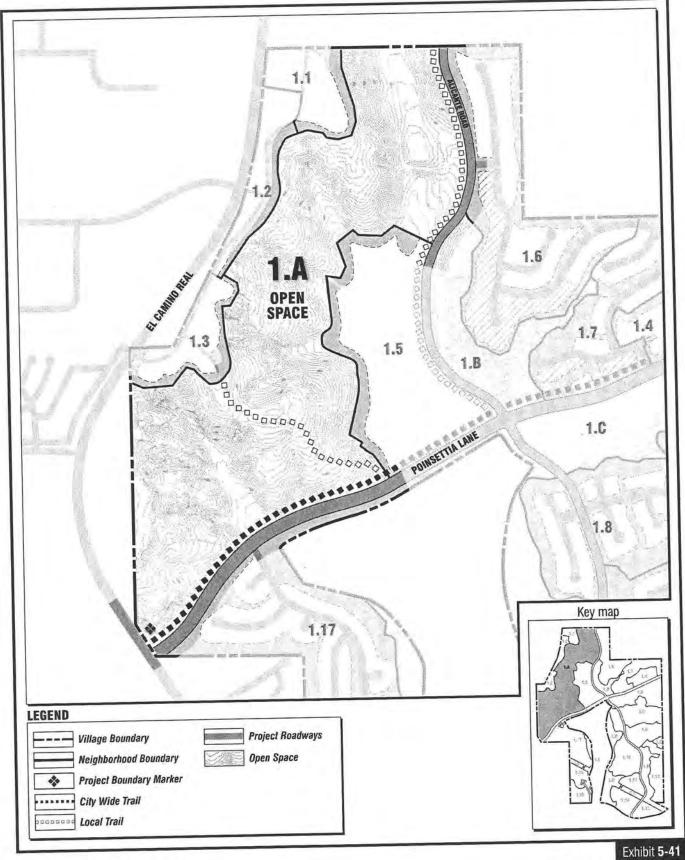
Open Space Area 1.A, which is composed of 124.4 gross acres, encompasses all the undeveloped area north of Poinsettia Lane and west of Alicante Road. It is bounded by Neighborhoods 1.1, 1.2 and 1.3 to the northwest; Bressi Ranch to the north, Neighborhood 1.6, Alicante Road and the Park to the east and Poinsettia Lane to the south. This undeveloped area includes vast rolling hills, a watershed area and sensitive biological species. Open Space Area 1.A, which shall be preserved in its natural state, is detailed on the Open Space Area 1.A Plan, Exhibit 5-42.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the surrounding Neighborhoods, Community Park, roads and trails. Public facilities such as drainage improvements or improvements necessary to the existing sewer line and associated disturbances may be constructed to serve adjacent Neighborhoods as needed.

c. Trails

As addressed in Section 5.2.6 and illustrated in the Open Space Area 1.A Plan, Exhibit 5-42, existing, undeveloped Pedestrian Trails may be extended through this Open Space Area, and the City-Wide and Local Trails shall be constructed within this area along Poinsettia Lane and Alicante Road.





LA COSTA GREENS OPEN SPACE AREA 1.A PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.A.

- Grading shall be allowed in this area within 200-feet of Poinsettia Lane and within 120 feet of Alicante Road in order to accommodate construction of these roadways.
- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in disturbed areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

2. Open Space Area 1.B

a. Description

Open Space Area 1.B consists of 14.7 acres and is located between Alicante Road, Neighborhood 1.6, Neighborhood 1.7 and Poinsettia Lane. This undeveloped area includes rolling hills and sensitive biological species. Open Space Area 1.B, which shall be preserved in its natural state, is detailed on the Open Space Area 1.B Plan, Exhibit 5-43.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the surrounding Neighborhoods and roads.

c. Trails

As addressed in Section 5.2.6 and illustrated in the Open Space Area 1.B Plan, Exhibit 5-43, a City-Wide Trail shall be constructed within this area along Poinsettia Lane.

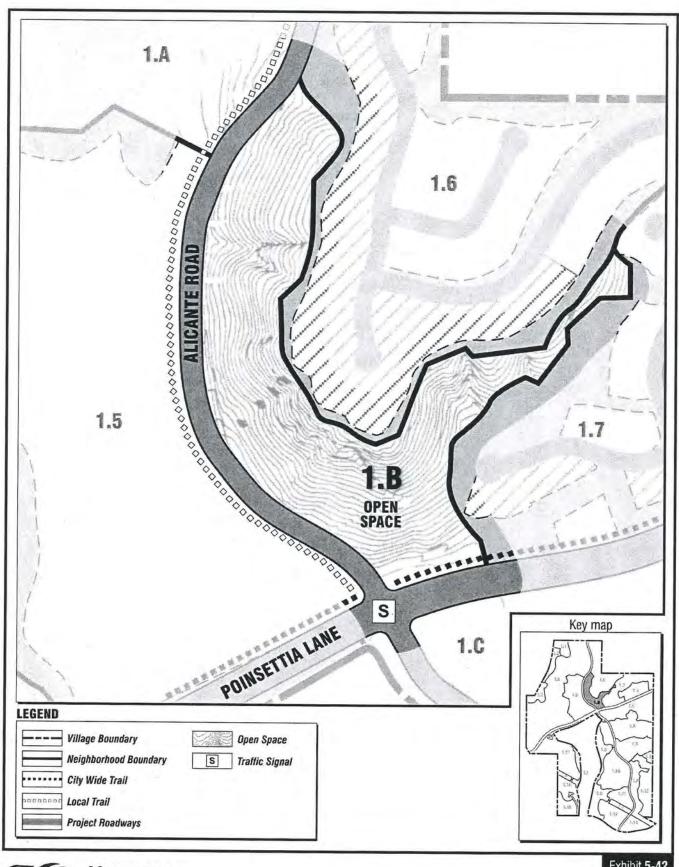




Exhibit 5-42

LA COSTA GREENS OPEN SPACE AREA 1.B PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.B.

- Grading shall be allowed in this area within 200-feet of Poinsettia Lane and within 120-feet of Alicante Road in order to accommodate construction of these roadways.
- from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

Open Space Area 1.C

a. Description

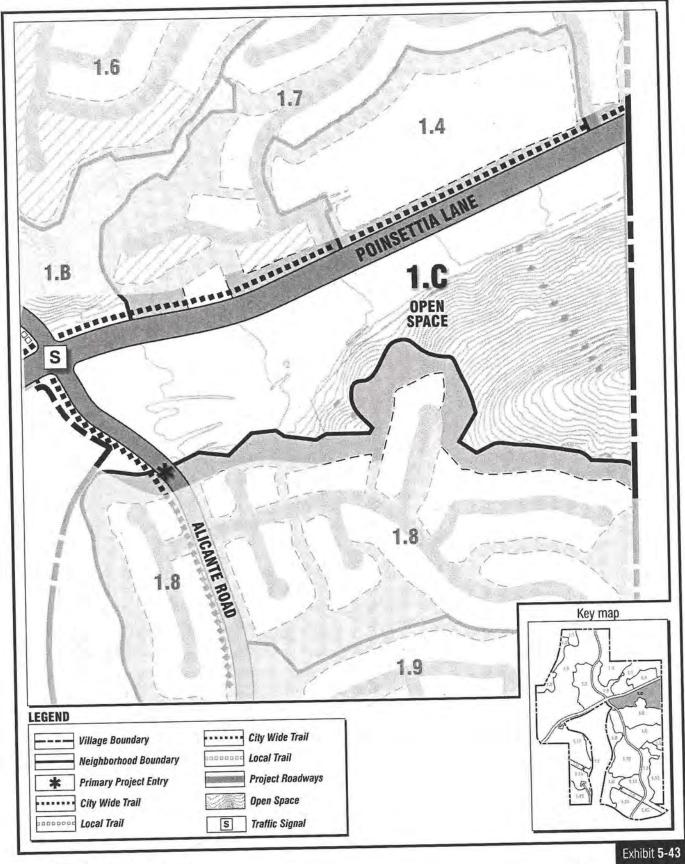
Open Space Area 1.C, which is composed of 36.4 gross acres, consists primarily of riparian low lands abutting Poinsettia Lane and rolling hills. It is bounded by Alicante Road on the west, Poinsettia Lane on the north, adjoining undeveloped land on the east and Neighborhood 1.8 on the south. Open Space Area 1.C, which shall be preserved in its natural state, is detailed on the Open Space Area 1.C Plan, Exhibit 5-44.

Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the adjacent Neighborhoods and roads. Public facilities such as drainage improvements may be constructed to serve adjacent Neighborhoods as needed.

c. Trails

No Trails are anticipated in this Open Space Area in the effort to better preserve sensitive natural habitat.





LA COSTA GREENS OPEN SPACE AREA 1.C PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.C.

- Grading shall be allowed in this area within 200-feet of Poinsettia Lane and within 120-feet of Alicante Road in order to accommodate construction of these roadways.
- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in disturbed areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

4. Open Space Area 1.D

a. Description

Open Space Area 1.D, which is composed of 30.6 gross acres, encompasses all the undeveloped and primarily riparian area that abuts the eastern edge of the La Costa Resort golf course. The riparian area is bounded by the golf course on the west, Neighborhood 1.8 on the north, Neighborhoods 1.8, 1.10, 1.11 and 1.14 on the east and Alga Road on the south. This undeveloped area consists primarily of a natural watercourse and riparian habitat. Open Space Area 1.D, which shall be preserved in its natural state, is detailed on the Open Space Area 1.D Plan, Exhibit 5-45.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the surrounding Neighborhoods, roads and trails. Public facilities such as drainage improvements may be constructed to serve adjacent Neighborhoods as needed.

c. Trails

As addressed in Section 5.2.6 and depicted on the Open Space Area 1.D Plan, Exhibit 5-45, a Pedestrian Trail may be extended through this Open Space Area.

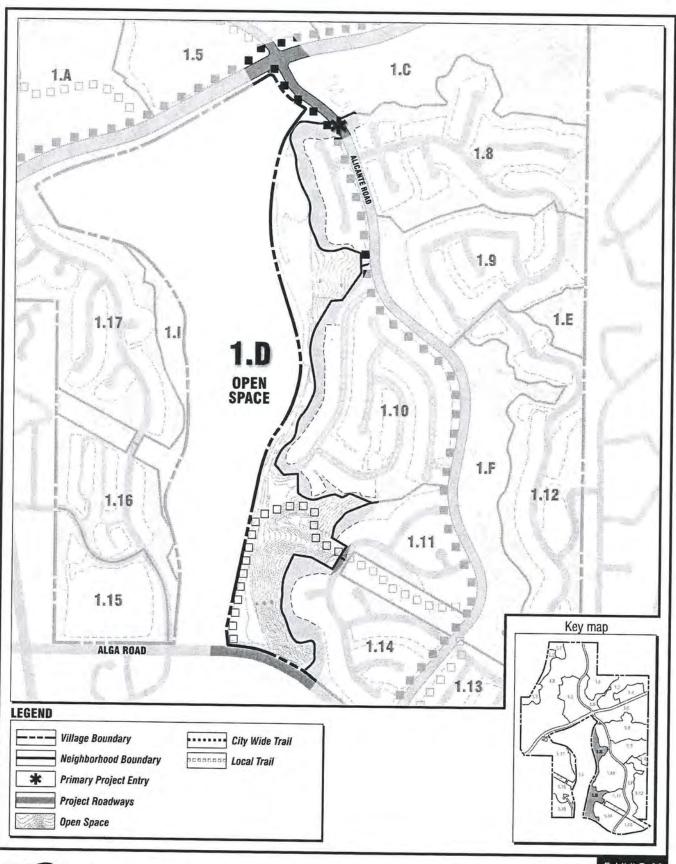




Exhibit 5-44

LA COSTA GREENS OPEN SPACE AREA 1.D PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.D.

- Grading shall be allowed in this area within 200-feet of Poinsettia Lane and within 120-feet of Alicante Road in order to accommodate construction of these roadways.
- from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

5. Open Space Area 1.E

a. Description

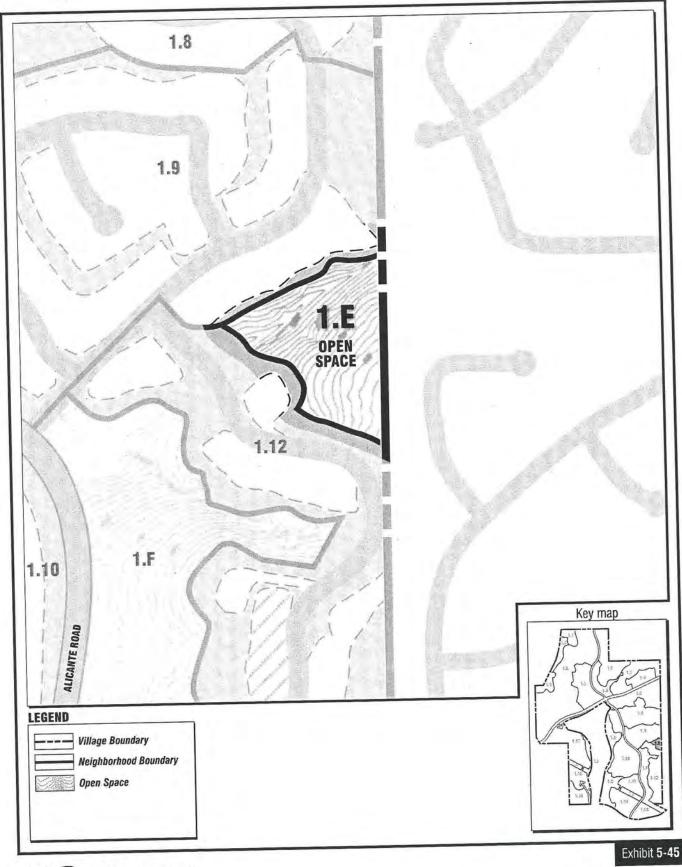
Open Space Area 1.E consists of 3.4 gross acres and is located along the eastern Village boundary. It is bounded by Neighborhoods 1.9 to the north, 1.12 to the southwest, and undeveloped land and existing development to the east. This undeveloped area includes a rolling hill with some sensitive biological species. Open Space Area 1.E, which shall be preserved in its natural state, is detailed on the Open Space Area 1.E Plan, Exhibit 5-46.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the surrounding Neighborhoods. Public facilities such as drainage improvements may be constructed to serve adjacent Neighborhoods as needed.

c. Trails

No trails are proposed within this Open Space Area.





LA COSTA GREENS OPEN SPACE AREA 1.E PLAN

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also apply to Open Space Area 1.E.

- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

6. Open Space Area 1.F

a. Description

Open Space Area 1.F consists of 22.4 acres located adjacent to Alicante Road to the west. This Area includes a portion of the SDG&E utility easement corridor from the Village southeastern corner to Alicante Road. It is also bounded by Neighborhood 1.12 to the east, Neighborhood 1.9 to the north and Neighborhood 1.13 to the south. This unimproved area includes rolling hills, some sensitive biological species and unimproved service roads. Open Space Area 1.F, which shall be preserved in its natural state, is detailed on the Open Space Area 1.F Plan, Exhibit 5-47.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the adjacent Neighborhoods, Alicante Road and trails. Public facilities such as drainage improvements may be constructed to serve adjacent Neighborhoods as needed. Utility access is also permitted.

c. Trails

As addressed in Section 5.2.6 and depicted on the Open space Area 1.F Plan, Exhibit 5-47, the City-Wide Trail shall be constructed within a portion of the SDG&E utility corridor.

Trails shall utilize the existing SDG&E roads, where feasible.

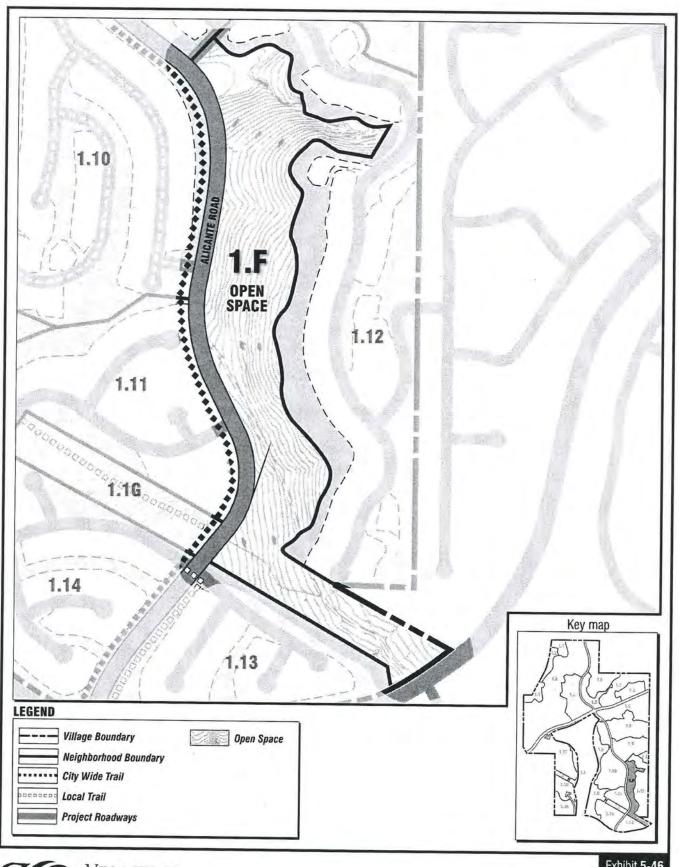




Exhibit 5-46

LA COSTA GREENS OPEN SPACE AREA 1.F PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also apply to Open Space Area 1.F.

- An open space easement shall be placed on the manufactured slopes adjacent to Alicante and Neighborhoods 1.12 and 1.13, and landscaping of these slopes shall be compatible with the existing natural vegetation.
- All landscaping and grading in the SDG&E easement portion of Open Space Area 1.F shall meet with the approval of SDG&E.
- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

Open Space Area 1.G

a. Description

Open Space Area 1.G, which is composed of 4.5 gross acres, encompasses the SDG&E utility easement corridor on the eastern side of the La Costa Resort golf course, west of Alicante Road. The utility corridor is adjacent to Neighborhoods 1.11 on the north and 1.14 on the south. This unimproved area includes rolling hills, some sensitive biological species and unimproved service roads. Open Space Area 1.G is detailed on the Open Space Area 1.G Plan, Exhibit 5-48.

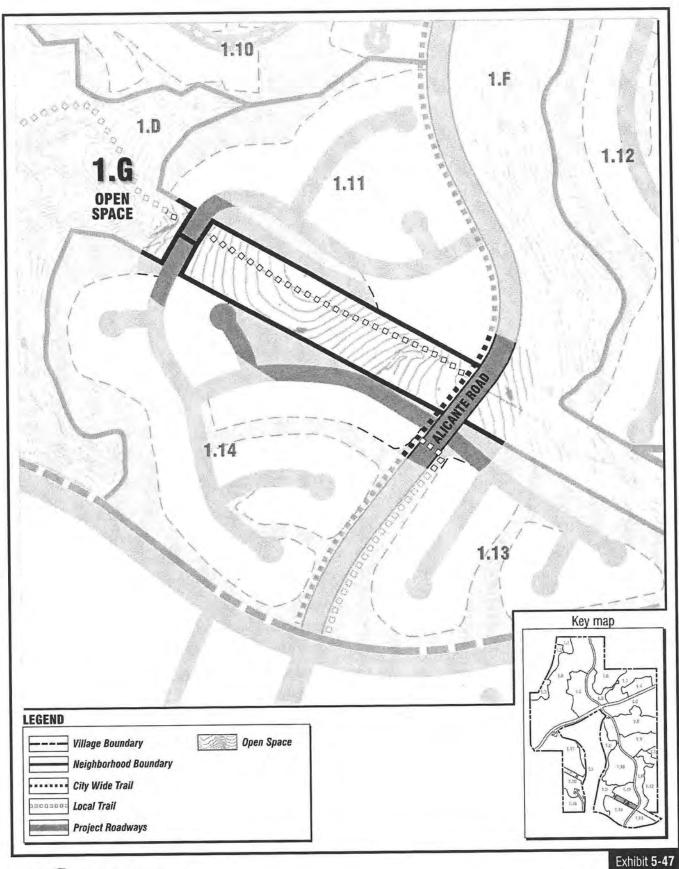
b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for the surrounding Neighborhoods and for roads/utility access.

c. Trails

As addressed in Section 5.2.6 and depicted on the Open Space Area 1.G Plan, Exhibit 5-48, existing, undeveloped Pedestrian Trails may be extended through this Open Space Area within the SDG&E utility corridor.

Trails shall utilize the existing SDG&E roads, where feasible.





LA COSTA GREENS OPEN SPACE AREA 1.G PLAN

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also apply to Open Space Area 1.G.

- Grading shall be allowed in this area for the purpose of roadways and in order to support development of the surrounding Neighborhoods.
- An open space easement shall be placed on the manufactured slopes adjacent to roadways and Neighborhoods 1.11 and 1.14, and landscaping of these slopes shall be compatible with the existing natural vegetation.
- All landscaping and grading in the SDG&E easement portion of Open Space Area 1.G shall meet with the approval of SDG&E.
- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

Open Space Area 1.H

a. Description

Open Space Area 1.H, which consists of 3.1 gross acres, encompasses the SDG&E utility easement on the western side of the La Costa Resort golf course, west of "A" Street. It is bounded to the northeast by Neighborhood 1.17 and to the southwest by Neighborhood 1.16. Open Space Area 1.H is detailed on the Open Space Area 1.H Plan, Exhibit 5-49.

b. Use Allocation

The General Plan designation and zone for this Area is Open Space (OS). This Master Plan allows Street A to be extended through the Open Space Area. Utility access is also permitted.

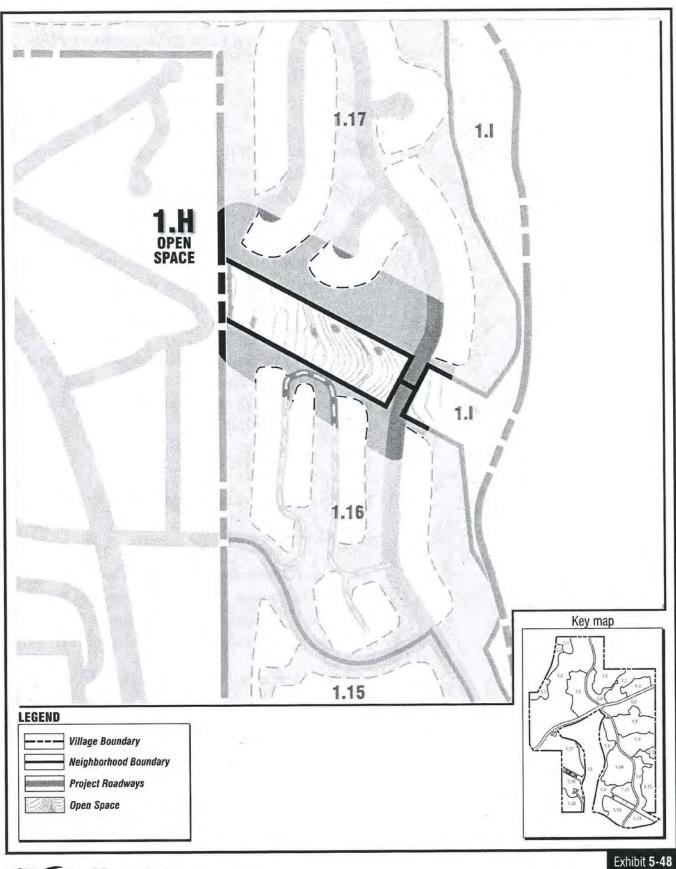
c. Trails

No trails are proposed for this Open Space Area.

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.H.

 Grading may be allowed in this area for the purpose of roadways and in order to support development of the adjacent Neighborhoods.





LA COSTA GREENS OPEN SPACE AREA 1.H PLAN

- An open space easement shall be placed on the manufactured slopes adjacent to roadways and Neighborhoods 1.16 and 1.17, and landscaping of these slopes shall be compatible with the existing vegetation.
- All landscaping and grading in the SDG&E easement portion of Open Space Area 1.H shall meet with the approval of SDG&E.
- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

9. Open Space Area 1.I

a. Description

Open Space Area 1.I, which consists of 6.5 gross acres, is located along the eastern edge of Neighborhoods 1.16 and 1.17. It is bounded on the east by the La Costa Resort golf course and on the west by "A" Street. It is composed of sensitive biological species. Open Space Area 1.I, which shall be preserved in its natural state, is detailed on the Open Space Area 1.I Plan, Exhibit 5-50.

b. Use Allocation

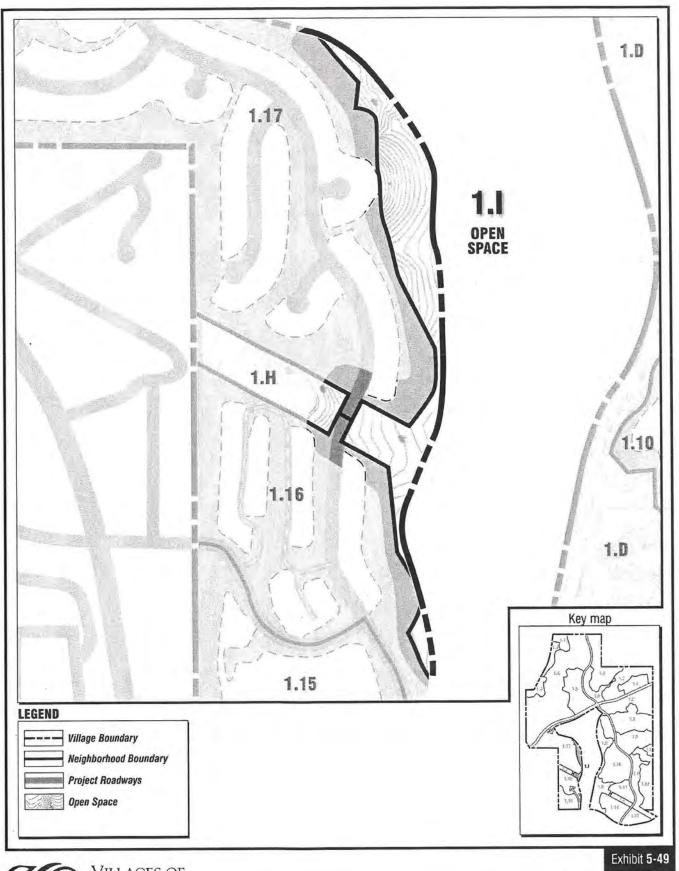
The General Plan designation and zone for this Area is Open Space (OS). This Master Plan does not allow any development in this Area other than slope grading for Street "A". Public facilities such as drainage improvements may be constructed to serve adjacent Neighborhoods as needed. Utility access is also permitted.

c. Trails

No trails are proposed for this Open Space Area.

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines also shall apply to Open Space Area 1.I.





LA COSTA GREENS OPEN SPACE AREA 1.1 PLAN

- Disturbance in this Open Space Area arising from construction efforts required to support development of surrounding Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored/or revegetated as appropriate. Landscaping in these disturbed areas shall be compatible with the existing, natural vegetation.
- All landscaping and grading in the SDG&E easement portion of Open Space Area 1.I shall meet with the approval of SDG&E.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area. Sufficient open space shall occur within the adjacent developing neighborhoods to provide a minimum of 60-feet from the structure to native vegetation.

6.0 LA COSTA RIDGE VILLAGE DEVELOPMENT PLAN

6.1 Introduction

The La Costa Ridge Village Development Plan is consistent with the Master Plan goals and objectives, and its function is to set forth the site-specific plans and standards necessary to implement the development of the La Costa Ridge community. Each of the individual neighborhoods of the La Costa Ridge Village will be developed per the guidelines and standards set forth in this Village Development Plan, as well as those Master Plan provisions established in Chapters 1-4 above.

It is anticipated that certain modifications to the La Costa Ridge Village Development Plan may be necessary during the development of the individual neighborhoods. The criteria for a Village Development Plan Amendment are set forth in Section 3.2.

The individual sections of the La Costa Ridge Village Development Plan are as follows:

	Village Land Use Plan (Section 6.2)
	Public Facilities (Section 6.3)
	La Costa Ridge Phasing Plan (Section 6.4)
0	Village Landscape Concept Plan (Section 6.5)
	Architectural Concept (Section 6.6)
	La Costa Ridge Development Standards (Section 6.7)

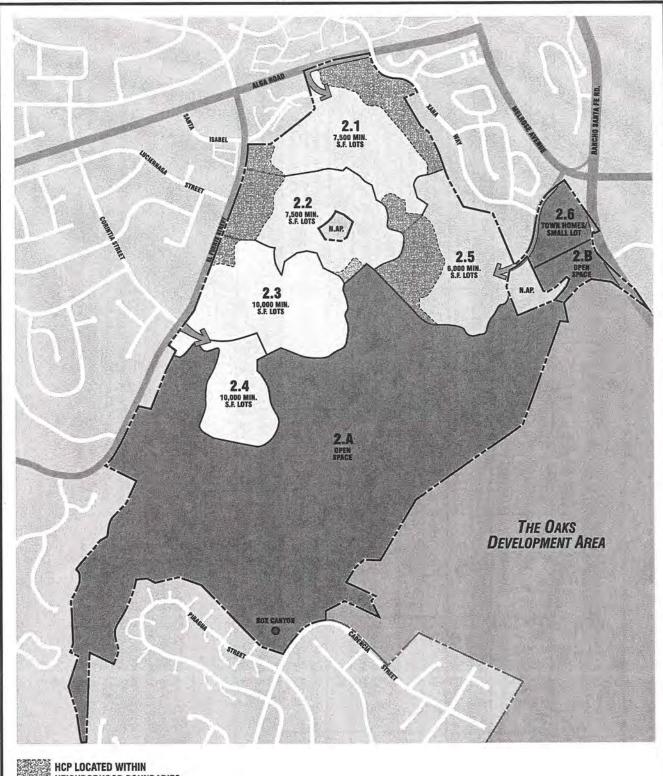
6.2 Village Land Use Plan

The La Costa Ridge Village consists of approximately 493 acres generally bounded to the west by El Fuerte, to the north by Alga Road, and to the east by San Marcos Creek and the Master Plan Village of La Costa Oaks.

The land uses for La Costa Ridge are set forth on Exhibit 6-1, La Costa Ridge Development Plan, and further defined in Exhibit 6-A, La Costa Ridge Village Development Plan Table. A Conceptual Lotting Study for La Costa Ridge is included in Appendix C of the Master Plan.

Exhibit 6-2 illustrates how La Costa Ridge neighborhoods are located within the larger General Plan Land Use category areas. The General Plan Land Use areas are also shown on Exhibit 2-1, General Plan Land Use. To determine the number of dwelling units allowed within any particular land use category, the Growth Management Control Point for the category is multiplied by the number of net developable acres located within the category area. The number of General Plan Dwelling Units and Maximum Allowable Dwelling Units for each General Plan Land Use category within the village are shown on Exhibit 6-B, Residential Density Consistency Table. Dwelling units may be clustered within a General Plan Land Use category provided the density of each neighborhood falls within the density range allowed by the General Plan Land use category (see Section 2.1). The density of the individual neighborhood, therefore, may exceed the Growth Management Control Point as long as all the La Costa Ridge Village neighborhoods located within the General Plan category do not, in aggregate, exceed the Allowable Dwelling Units shown on Exhibit 6-B.

Final lotting configurations, street alignments and grading design will be set during tentative subdivision map review. The residential and open space land uses of the La Costa Ridge Village Development Plan are described below.





HCP LOCATED WITHIN NEIGHBORHOOD BOUNDARIES

NOTE: THE AVERAGE LOT SIZE IS LARGER IN EACH NEIGHBORHOOD THAN THE MINIMUM LOT SIZES SHOWN ABOVE.



Exhibit 6-1

THE RIDGE DEVELOPMENT PLAN

EXHIBIT 6-A VILLAGE DEVELOPMENT PLAN TABLE

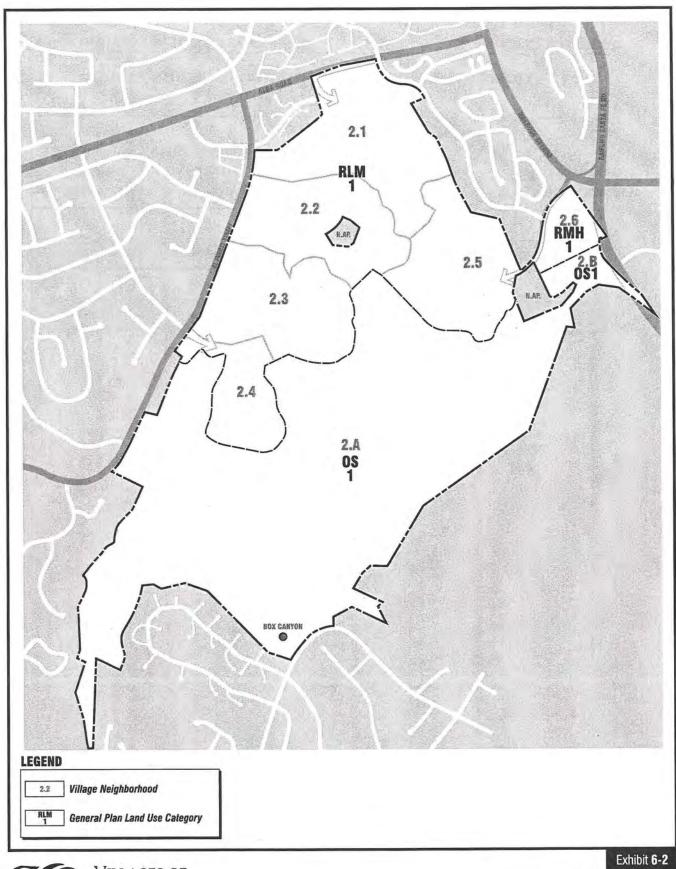
LA COSTA RIDGE

NEIGHBORHOOD/				MAST	MASTER PLAN REVIEW PROCESS
OPEN AREA REFERENCE	LAND USE DESIGNATION	ZONING	GROSS ACRES	Maximum Allowable Dwelling Units	Development Type
	2000	-	1004	33	SED - 7 500 So Et Minimum I of Size / HCP
2.1	KLM	K-1	49.4	23	3rD = 7,500 3q; 1 t. Millimum 200 5,7 = 135
2.2	RLM	R-1	37.5²	38	SFD - 7,500 Sq. Ft. Minimum Lot Size / HCP
2.3	RLM	R-1	41.03	70	SFD - 10,000 Sq. Ft. Minimum Lot Size / HCP
2.4	RLM	R-1	22.3	34	SFD - 10,000 Sq. Ft. Minimum Lot Size
2.5	RLM	R-1	40.44	99	SFD - 6,000 Sq. Ft. Minimum Lot Size / HCP
2.6	RMH	RD-M	11.5	57	Townhomes/Small Lot Single Family Units
2.A	so	S-0	284.5 ⁵	T	HCP/Open Space
2.B	so	S-0	6.5	1	HCP Open Space
ILLAGE TOTALS:			493.1	320	

Neighborhood 2.1 includes 16.1 acres of HCP open space.

December, 2000

Neighborhood 2.2 includes 8.1 acres of HCP open space.
 Neighborhood 2.3 includes 1.2 acres of HCP open space.
 Neighborhood 2.5 includes 9.8 acres of HCP open space.
 Neighborhood 2.5 includes 2.8 acres of HCP open space and 1.9 acres of Non-HCP open space to accommodate a sewer easement and service road.





LA COSTA RIDGE GENERAL PLAN CONSISTENCY

EXHIBIT 6-B RESIDENTIAL DENSITY CONSISTENCY TABLE LA COSTA RIDGE

	ACRES		GROWTH		MAXIMUM		
LAND USE CATEGORY	Gross	Net ⁽¹⁾	MANAGEMENT CONTROL POINT DENSITY	GENERAL PLAN DWELLING UNITS	ALLOWABLE DWELLING UNITS		
RLM-1	LM-1 190.6 152.2		3.2	487.0	263		
RLM Subtotals:				487.0	263		
RMH-1	MH-1 11.5 10.4		11.5	119.6	57		
RMH Subtotals:				119.6	57		

⁽¹⁾ To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

6.2.1 Residential

Single-Family Housing

The La Costa Ridge Village Development Plan provides for five neighborhoods which will accommodate single-family detached homes (Neighborhoods 2.1 through 2.5 on Exhibit 6-1). Each of these neighborhoods is designated Residential Low Medium (RLM) by the General Plan. Based on the RLM Growth Management Control Point of 3.2 dwelling units per net developable acre, the General Plan would allow a maximum of 487 dwelling units to be developed within the neighborhoods. A total of 263 single-family detached homes have been planned for Neighborhoods 2.1 through 2.5 by the La Costa Ridge Village Development Plan.

The La Costa Ridge Village Development Plan allows for a variety of single-family housing opportunities. Neighborhoods include minimum lot sizes of 6,000 square feet, 7,500 square feet, and 10,000 square feet.

2. Townhomes / Small Lot Single-Family Housing

Neighborhood 2.6 of the La Costa Village Development Plan is designated Residential Medium High (RMH) by the General Plan. The RMH designation anticipates residential densities of 8-15 dwelling units per acre, with a Growth Management Control Point of 11.5 dwelling units per net developable acre. Application of the RMH Growth Management Control Point to the 10.4 net developable acres within Neighborhood 2.6 would allow a maximum of 119.6 dwelling units. The La Costa Ridge Village Development Plan provides for 57 dwelling units in Neighborhood 2.6. Different product types may be developed within the RMH Neighborhood including attached townhomes and single-family detached homes on 3,500 square-foot lots.

Affordable Housing

Combined Affordable Housing Approach

The units to be constructed within the Villages of La Costa Master Plan will be provided in the La Costa Oaks and La Costa Greens Villages as combined inclusionary housing projects. They will be located in the Oaks and Greens as multi-family rental apartments and up to eight units of the requirement may be allowed as second dwelling units located throughout the project. These units may be used to meet the affordable housing obligations of any development within the Master Plan area subject to the terms and conditions of the approved affordable housing agreement.

The affordable housing requirements of the Master Plan will be met through construction of two combined inclusionary projects and may be also met through the provision of eight second dwelling units. These units may be credited against development within any of the three Villages covered by the Master Plan. A minimum of ten percent of the total lower-income units shall have three or more bedrooms.

One of the sites, a 180-unit affordable housing rental apartment or townhome project will be constructed in the La Costa Greens Neighborhood 1.15. The Greens affordable housing site is located adjacent to the intersection of Estrella de Mar between Dove Lane and Alga Road. This location is close to major routes to jobs throughout north San Diego County and adjacent to bus stops on Alga Road and El Camino Real. The other affordable housing site with 171 units is located in the La Costa Oaks Village, Neighborhood 3.6, near the intersection of future Questhaven Road and Rancho Santa Fe Road. An additional eight units, inclusive of the total number of allowed units per this Master Plan, will be provided as rent restricted second dwelling units at locations to be selected during the site planning process given that the maximum number of dwelling units for the Village is not exceeded.

The Master Plan's total Inclusionary Housing obligation is based on fifteen percent of the total base residential units proposed. Additional inclusionary housing incentive credits (worth more than one unit) may be obtained by specific means to achieve alternative types of desirable housing pursuant to Carlsbad Municipal Code Section 21.85.060 and as stated in Section 2.5.9 of this Master Plan.

The inclusionary units shall be provided per the phasing schedule of an adopted Affordable Housing Agreement.

6.2.2 Community Facilities

La Costa Ridge will share Community Facilities Area 3.2 with La Costa Oaks. The 6.4-acre site is located near La Costa Ridge at the northeast corner of Rancho Santa Fe Road and Questhaven Road. The site will include adequate RV storage for both La Costa Oaks and La Costa Ridge. The remainder of the site will be devoted to other authorized Community Facilities uses. The community facilities areas must total 1 percent of the net developable acreage of the Master Plan. La Costa Ridge and Oaks Villages combined community facilities site must be a minimum of 4.9 acres, in addition to the required recreational vehicle parking area.

A minimum 2-acre daycare center site will be provided within the La Costa Greens community facility site that will also serve La Costa Ridge and La Costa Oaks. This child daycare facility satisfies the daycare requirement for all three Villages within the Master Plan.

6.2.3 Recreational Vehicle Storage

A recreational vehicle (RV) storage site is identified by the La Costa Oaks Village Development Plan within the community facilities site in Neighborhood 3.2. The maximum required area of 0.47 acre, exclusive of driveways and approaches, provides for 20 square feet per dwelling unit within the planned developments (neighborhoods with minimum lot areas less than 7,500 square feet and neighborhoods with larger lots that are gated). The required area may be reduced if apartment units are built instead of townhomes or small-lot single-family units. The RV storage site must be screened from public view by a wall and landscaping.

6.2.4 Open Space

Per Section 21.38.060 of the Carlsbad Municipal Code, all Master Plans must provide fifteen percent (15%) of the total Master Plan area in an integrated open space program which addresses:

- Open space for the preservation of natural resources;
- Open space for the managed production of resources;
- Open space for outdoor recreation; and
- Open space for public health and safety.

Land uses considered as open space for purposes of this requirement are properties that are publicly or commonly owned for the benefit and use of the public or residents of the community such as parks, recreation facilities, greenbelts that are at least 20 feet wide, natural areas that are at least 10,000 square feet in area, bikeways, and pedestrian paths. The Master Plan open space requirement for La Costa Ridge is 74 acres. The La Costa Ridge open space program exceeds this requirement by providing in excess of 330.9 acres or over 67 percent of the La Costa Ridge Village area as dedicated open space.

The following components demonstrate how La Costa Ridge complies with the Master Plan open space requirement.

Open Space for the Preservation of Natural Resources

The La Costa Ridge Village includes approximately 324.3 acres (66%) of Habitat Conservation Plan (HCP) habitat area that will be permanently preserved as open space. Within Planning Areas 2A and 2B, 291 acres are designated as Open Space by the Carlsbad General Plan. These areas include 289.1 acres identified as conserved habitat by the HCP/Ongoing Multi-Species Plan (OMSP), with a small 1.9-acre portion of Area 2.A that will accommodate a sewer easement and service road. Neighborhoods 2.1, 2.2, 2.3 and 2.5 include an additional 35.2 acres of HCP area that will be preserved in perpetuity in open

space easements. The developer will be responsible for management of the Conserved Habitat area until fee interest is conveyed to a conservancy, CDFG, or other approved entity, or until the recordation of any final map, issuance of a grading permit or building permit in the La Costa Ridge Village, whichever occurs first. Refer to Section 1.7 of the Master Plan for additional HCP/OMSP information.

2. Open Space for the Managed Production of Resources

This area has not been used for agricultural purposes in the recent past. No portion of the La Costa Ridge Village will be reserved for the production of agricultural resources.

3. Open Space for Outdoor Recreation

Common recreation facilities, per the requirements of the Planned Development Ordinance, Section 21.45.090(g) of the Carlsbad Municipal Code, will be constructed within Neighborhoods 2.5 and 2.6 with a combined area of approximately 1.3 acres. This exceeds the common recreation area requirement within La Costa Ridge of 0.28 acre based on 100 square feet per unit for neighborhoods requiring the approval of a Planned Development Permit (with minimum lots less than 7,500 square feet) or a Condominium Permit. Conceptual locations are shown on Exhibit 6-5, Trails and Recreation Plan. The precise size and location of the facilities will be determined at the time of the Tentative Map, Planned Development Permit or Condominium Permit approval for Neighborhoods 2.5 and 2.6. To satisfy the total 200 square-foot per unit recreation requirement, 100 square feet per unit may be provided as private passive recreation in single-family private yard or deck areas and multifamily/townhome unit patios and balconies.

Open space lots will be located within Neighborhoods 2.5, and 2.6 during the final map or permit process. The landscaping in these areas will be designed to provide maximum visibility for police surveillance and to create a safe feeling for users of the

facilities. The exact details of landscaping on these open space lots shall be approved by the Planning Director.

In addition to the areas listed above, lands associated with the trail system discussed in Section 6.2.5 of this chapter are considered Master Plan outdoor recreation areas.

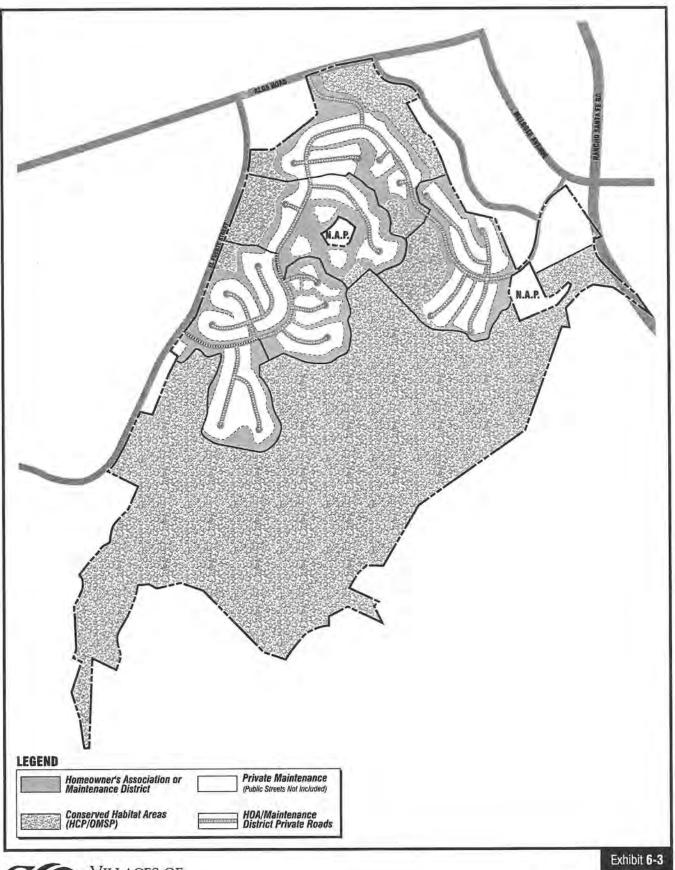
4. Open Space for Public Health and Safety

All common maintained slope areas will be maintained as open space. Each neighborhood shall provide for dedication of open space easements or common area lots for slope maintenance at the time of final map approval for that neighborhood.

A Fire Protection Plan shall be approved by the Fire Department for any area designated as a Fire Protection Zone on one of the neighborhood development plans prior to the approval of the tentative subdivision map for the affected neighborhood. The Fire Protection Plan is described in Section 4.7.9 of the Master Plan. A minimum of 60 feet shall be provided within the Fire Protection Zone between the edge of structure and the edge of the HCP/Open Space lots with existing native vegetation.

5. Open Space Maintenance

The responsibilities for the maintenance of the open space areas of La Costa Ridge are described by Exhibit 6-3. Maintenance responsibilities are divided into two categories. Natural open space, some areas of permanent slope landscaping, Fire Protection Zones, and other neighborhood common areas, including private recreation facilities, will ultimately be maintained by a homeowners' association or by a city maintenance district. Conserved Habitat areas (Open Space Areas 2.A and 2.B and HCP areas within Neighborhoods 2.1, 2.2, 2.3 and 2.5) defined by the HCP/OMSP shall be maintained by an approved conservation entity. All other areas will be maintained by the private property owner.





LA COSTA RIDGE MAINTENANCE AREAS

6.2.5 Circulation

The Zone 11 Local Facilities Management Plan (LFMP) addresses all Circulation Element roads located within the area of the Master Plan. The La Costa Ridge Circulation Plan is illustrated by Exhibit 6-4.

In general new local streets within the master plan will include landscaped parkways having a minimum width of four and one-half feet located between the curb and sidewalk. Sidewalks having a minimum width of five feet shall be provided on both sides of all streets unless the Planning Commission or City Council determines that it is appropriate to construct sidewalks on one side of the street only.

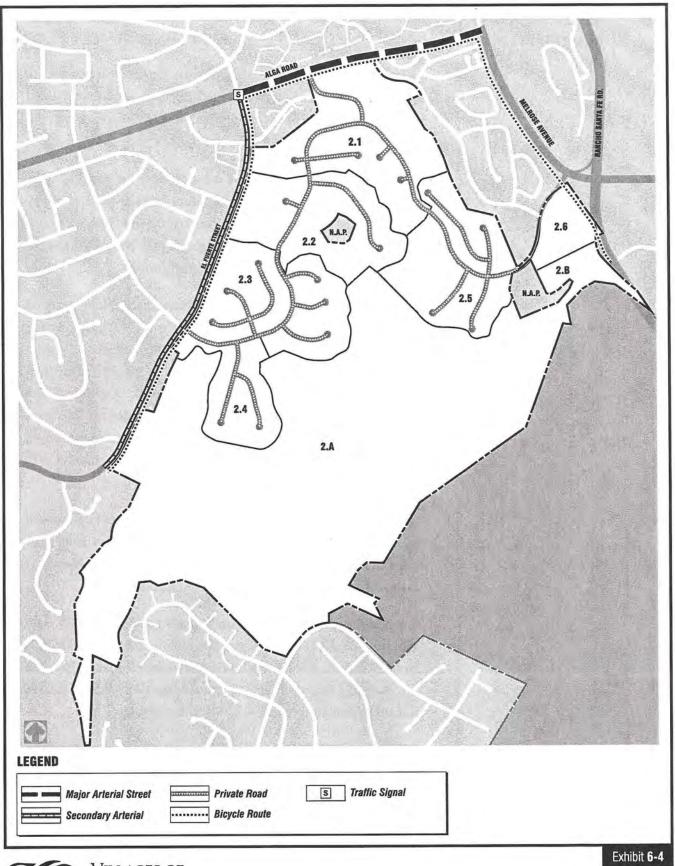
1. Traffic Calming

During the buildout of the Villages of La Costa Master Plan the City Council may approve standards for the use of traffic calming devices. Should the use of traffic calming devices be approved by the City Council such devices may be incorporated into project designs for neighborhoods which have not yet received discretionary approvals for development or into existing developed neighborhoods. The inclusion of such devices shall not require substantial modifications to the neighborhood concept designs or yields. Recommendations on appropriate locations to achieve better design and slow traffic shall be provided during project review by City departments particularly the Engineering, Fire and Planning Departments.

2. Village Circulation Plan

La Costa Ridge is bordered by three Circulation Element roads. To the west, El Fuerte is classified as a Secondary Arterial Street (84-foot right-of-way) and is built at full width to the north and south of La Costa Ridge. El Fuerte is adjacent to Neighborhoods 2.1, 2.2, 2.3, and 2.4. Improvements to El Fuerte Street will involve the construction of half street improvements, between Corintia and Santa Isabel Street only.

Corintia Street (private street) extends from El Fuerte to the northerly terminus of existing Corintia Street near Xana Way and





LA COSTA RIDGE CIRCULATION PLAN provides access to these neighborhoods. Corintia Street (private street) may include a gated entry at El Fuerte and a second gated entry at the western limit of Neighborhood 2.6, where it enters the neighborhood and becomes a public local street.

A portion of Neighborhood 2.1 is bordered to the north by Alga Road. Alga Road is an existing four-lane divided roadway classified as a Major Arterial Street (102-foot right-of-way). Access is provided to La Costa Ridge, through Neighborhood 2.1 from Alga Road via a private, gated entry road.

Melrose is located adjacent to the northeast side of Neighborhood 2.6 and Open Space Area 2.B. Melrose is classified as a Prime Arterial Street (126-foot right-of-way) and built to full-width standards adjacent to La Costa Ridge. Neighborhood 2.6 will take no direct access from Melrose Avenue. Corintia Street extends southwesterly from Melrose and provides public access to Neighborhood 2.6 and private access to the Meadowlark Reclamation Facility, and Neighborhood 2.5, then continues to El Fuerte.

The intersection of Melrose Drive and Rancho Santa Fe Road will be realigned with an additional eastbound right turn lane. The intersection of Rancho Santa Fe Road and La Costa Meadows will require an additional northbound right-turn lane.

Internal streets include public and private streets and cul-de-sacs that provide direct access to residential lots. The streets internal to the La Costa Ridge neighborhoods except for Neighborhood 2.6 are gated, private streets. Typical Master Plan street sections are illustrated on Exhibits 4-3, 4-4, 4-5 and 4-6.

Exhibit 6-4 shows conceptual locations for circulation details for La Costa Ridge. Precise locations for signals, signage, and project monumentation will be determined at the time of tentative subdivision map approval.

Cul-De-Sacs

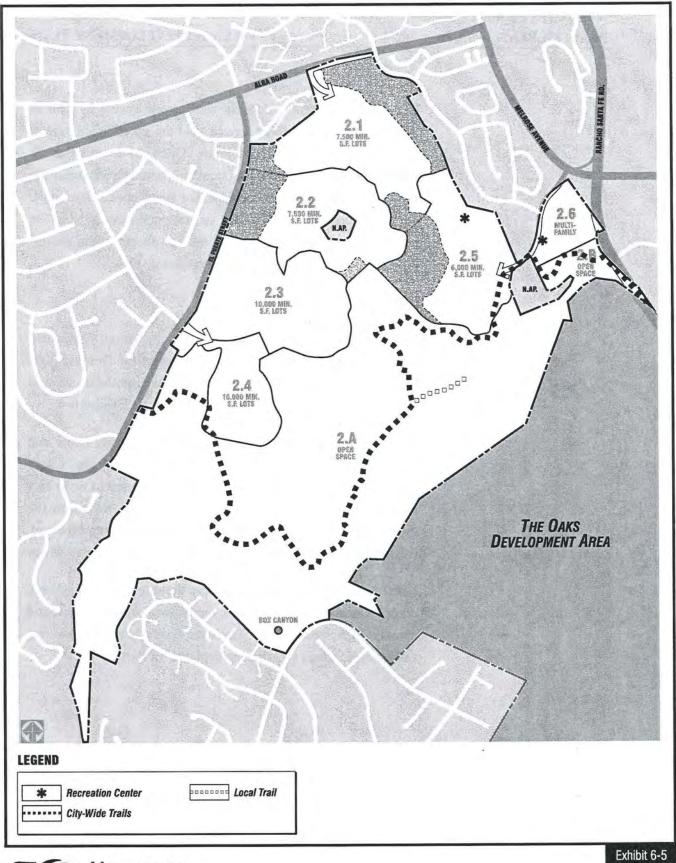
In order to facilitate pedestrian and bicycle access as well as provide visual access to an area beyond the street "open cul-desacs" shall be used when appropriate. Open cul-de-sacs shall be utilized where non-automobile circulation could be enhanced and at development edges where physical or visual access beyond the project is desirable. Sidewalk or trail connections shall be provided where appropriate from the cul-de-sac to the nearest sidewalk or trail beyond the open cul-de-sac

4. Bicycle/Pedestrian Trails

El Fuerte, Alga Road and Melrose Avenue are all designated bicycle routes by the Circulation Element of the General Plan. Each of these roadways is designed to accommodate bicycle lanes. Designated bicycle routes are shown on Exhibit 6-4.

Two types of pedestrian trails are shown on the Trails and Recreation Plan, Exhibit 6-5, consistent with the City's Circulation Element. Citywide trails are designed to tie in to a future citywide trail system. A Citywide Trail link leads from the trail within La Costa Oaks adjacent to Rancho Santa Fe Road, westerly across the interior of La Costa Ridge to El Fuerte Street.

Local trails allow residents to access the citywide trail system, other residential neighborhoods, recreational opportunities, and natural Open Space Areas. Trails are typically eight to ten feet wide. Typical trail sections are depicted on Exhibit 4-7.





LA COSTA RIDGE TRAILS AND RECREATION PLAN

6.2.6 Common Recreation Areas

The Development Standards in Chapter 4, herein (and Section 21.45 of the Carlsbad Municipal Code) call for the provision of common recreation areas for all neighborhoods that require a Planned Development Permit (with lots less than 7,500 square feet). Townhome and apartment projects must also comply with this criterion. Within La Costa Ridge, Neighborhoods 2.5 and 2.6 shall include common recreation areas. The approximate locations of the recreation areas are shown on Exhibit 6-5, Trails and Recreation Plan, and on individual Neighborhood Development Plans, Exhibits 6-20 and 6-21. The precise size and location of the facilities will be determined at the time of the Tentative Subdivision Map, Planned Development Permit or Condominium Permit approval for the neighborhoods. Exhibit 6-C designates La Costa Ridge Neighborhoods that require common recreation areas and the location of the required areas.

Common active recreation areas shall include an area for resident parking. The recreation area parking requirements are listed in Chapter 4, Master Plan Development Standards and Guidelines.

The common recreation area is based upon a requirement of 100 square feet per dwelling unit for Neighborhoods with lots less than 7,500 square feet and for townhome or apartment projects. A potential of 123 "eligible units" results in a total of 0.28 acre of common recreation area required within La Costa Ridge. This total includes 5,700 sq. ft. common recreation area that will be provided within Neighborhood 2.6 to serve the townhome project. The resulting common recreation area of 0.15 acre is required to accommodate the single-family detached planned development homes in Neighborhood 2.5.

EXHIBIT 6-C COMMON RECREATION AREA LOCATION SUMMARY LA COSTA RIDGE

La Costa Ridge Neighborhoods Requiring Common Recreation Areas	Locations of Com	mon Recreation Areas
Neighborhood 2.5	Neighborhood 2.5,	Exhibit 6-20
Neighborhood 2.6	Neighborhood 2.6,	Exhibit 6-21

6.2.7 Village Development Permits

Prior to the development of each La Costa Ridge neighborhood, a series of applications must be submitted to the City for review and approval. Permits required for the development of each individual neighborhood are summarized on the Village Permit Matrix, Exhibit 6-D. In Neighborhood 2.6 the specific permit requirements will depend on the type of development that is proposed. For example, a condominium project would call for a Condominium Permit and an apartment project would require a Site Development Plan, whereas, a small-lot, single-family detached home development would require a residential Planned Development Permit. In addition to the La Costa Ridge Village Permit Matrix provided in this section, development permit requirements are listed under the heading, "Required Development Permits" for each neighborhood in Section 6.7.3.

 The Review Process for Development of Single Family Detached Dwelling Units on lots with an area of 7,500 square feet or larger, are as follows:

To determine compliance with the provisions of the master plan a Site Development Plan is required for development of single family detached dwelling units on lots with a minimum lot area of 7,500 square feet or greater. A tentative map can be processed separately with the Site Development Plan processed at a later date for the architecture and plotting. If a neighborhood is to be developed with custom homes a Site Development Plan is not required. If a Planned Development Permit is required because a private street is proposed it shall take the place of a Site Development Plan.

 The Review Process for Development of Single Family Detached Dwelling Units/Townhomes on lots with an area less than 7,500 square feet, are as follows:

Small lot projects with minimum lot sizes less than 7,500 square feet require the approval of a Planned Unit Development Permit concurrent with a Tentative Map. Planned Unit Development Permits may be approved without architecture and plotting.

Planned Unit Development Permits approved without architecture and plotting require the approval of a Major Planned Unit Development Permit Amendment at a later date to authorize the proposed structures and their placement.

EXHIBIT 6-D VILLAGE PERMIT MATRIX LA COSTA RIDGE

	NEIGHBORHOODS						
DEVELOPMENT PERMIT	2.1	2.2	2.3	2.4	2.5	2.6	
Tentative Subdivision Map	•	•	•	•		0	
Hillside Development Permit	0	0	0	1	0	0	
Planned Development Permit	•	•	•		•	0	
Condominium Permit						0	

Denotes permit required for development.

O Denotes permit required for development, depending on type of development.

A Hillside Development Permit is being processed concurrently with the Master Tentative Map for La Costa Ridge and La Costa Oaks Villages. A subsequent Hillside Development Permit may or may not be required for each individual neighborhood depending on the final development proposal.

6.3 Village Public Facilities

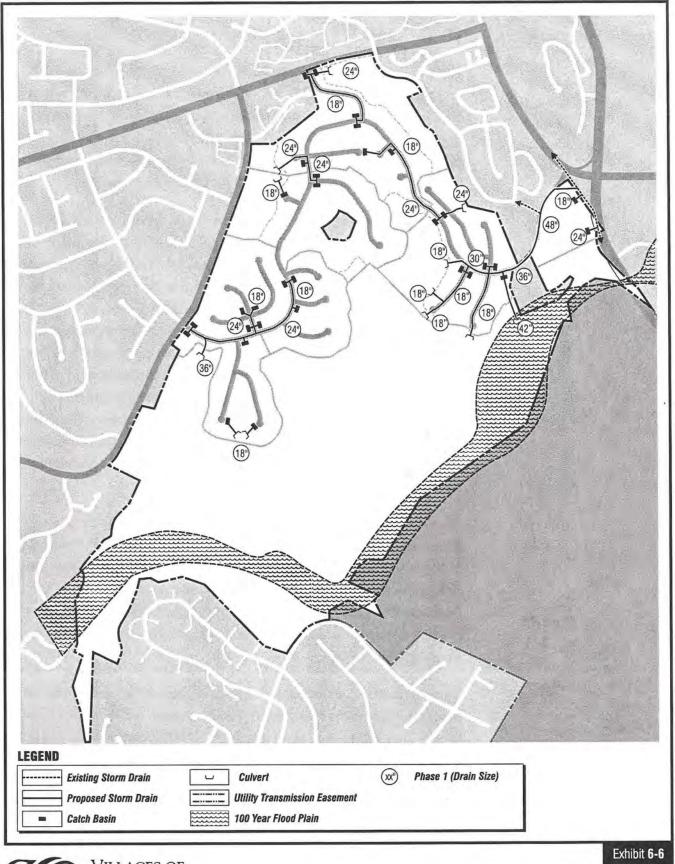
This section addresses the La Costa Ridge backbone public facilities system. Exhibits 6-6 through 6-8 illustrate the general locations and development phasing (also refer to Section 6.4, La Costa Ridge Village Phasing Plan) of the backbone facilities, which are further described below.

6.3.1 Drainage and Flood Control

The La Costa Ridge Conceptual Drainage Plan, Exhibit 6-6, provides drainage and flood protection to the site. The location of the 100-year floodplain (after project condition) is shown on the plan.

Drainage improvements that will be implemented as a result of the Master Plan focus on minimizing the amount of debris that enters the drainage system, minimizing the amount of sedimentation that occurs, and maintaining the quality of water within the drainage system at a level consistent with the federal Clean Water Act. The improvements must address the reduction of peak runoff downstream. These improvements will include necessary appurtenant facilities such as catch basins, manholes, inlet and outlet structures, water quality basins, detention basin(s), and access roads. New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will also be incorporated into the proposed improvements once such standards are adopted. Locations and sizes of these improvements will be determined as part of the master subdivision process and the tentative maps for the individual neighborhoods.

La Costa Ridge is located in the Batiquitos Lagoon Watershed. The storm water within this watershed flows through storm drains, man-made channels and natural drainage ways in open space areas to San Marcos Creek, which then flows into the Batiquitos Lagoon. The proposed facilities are consistent with the City of Carlsbad's Master Drainage and Storm Water Quality Management Plan. The Ridge is located within drainage basin "D" of the Management Plan. Per the plan this area will not require detention, however, the need for additional detention, either interim or long term, will be determined during final engineering.





LA COSTA RIDGE DRAINAGE PLAN

The proposed storm drain system to serve La Costa Ridge will primarily be located along the extension of Corintia Street with two outlets discharging to the existing storm drain system in Xana Way, and several smaller outlets into the open space area. The largest system will tie into an existing storm drain in Melrose Drive, which discharges to San Marcos Creek at the intersection with Rancho Santa Fe Road.

The proposed phasing will ensure that needed facilities are in place prior to or concurrent with development. Any facilities necessary to accommodate a future phase of development in the La Costa Ridge must be financially guaranteed or provided for prior to the recordation of any final map, issuance of a grading permit or building permit. Prior to the recordation of any final map, issuance of grading permit or building permit, whichever occurs first for any specific sub-drainage area within the La Costa Ridge, the developers of that project are required to pay or enter into an agreement to pay the drainage area fees established. Prior to the recordation of any final map, issuance of a grading permit or building permit, the developers shall financially guarantee the construction of the storm drain facilities that are listed in the LFMP, that are necessary for that development phase.

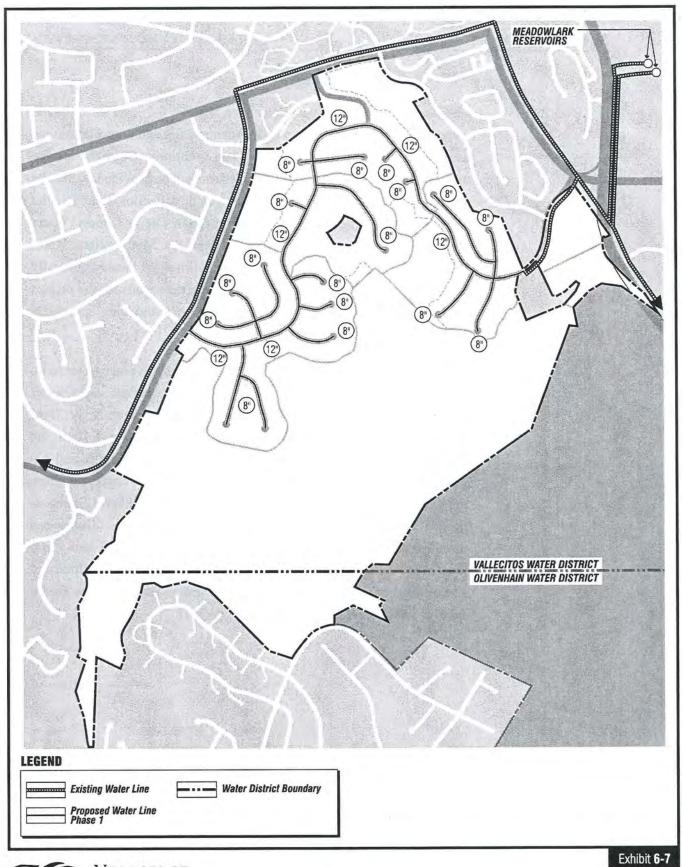
All development in La Costa Ridge shall comply with current city standards in effect at the time of issuance of any permit. Drainage facilities will be provided at the time of development based on the Villages of La Costa hydrologic study, to the satisfaction of the City Engineer. Prior to approval of any final map, the developer shall pay or enter into an agreement to pay any drainage area fees established by the Drainage Master Plan.

New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will be met, as all necessary NPDES requirements will be incorporated into the proposed improvements once such standards are adopted. The developer will also provide best management practices as referenced in the "California Storm Water Best Management Practices Handbook" to reduce surface pollutants to an acceptable level prior to discharge to sensitive areas.

6.3.2 Domestic Water Distribution

La Costa Ridge Conceptual Water Plan, Exhibit 6-7, sets forth on-site water distribution systems to provide adequate fire and domestic service as required. The La Costa Ridge Village is entirely within the service area of the Vallecitos Water District. Service will be provided by the 686 and 815 Zones of the Vallecitos Water District. Vallecitos Water District (VWD) obtains imported water from the San Diego County Water authority which in turn obtains water from the Metropolitan Water District. Existing Vallecitos distribution facilities are located generally north and east of the property. Domestic water demands for the project are based on projections for specific land uses and their intensities balanced with historical use factors.

All of the major off-site water distribution lines are in place to serve La Costa Ridge, as anticipated through build-out. For example, major water mains exist along El Fuerte Street, Alga Road and Melrose Drive. Two major lines also follow along Rancho Santa Fe Road from the Meadowlark Reservoir to Melrose Drive. However, an additional 12-inch water main is proposed along the alignment of Corintia Street from the existing stub at Melrose Avenue, westerly to El Fuerte Street, as needed to serve the La Costa Ridge development. Cul-de-sac developments internal to La Costa Ridge will be served by 8-inch water lines off of the main 12-inch line along Corintia. The final location and size of the proposed water lines will be determined as part of the master subdivision process to the satisfaction of VWD.





LA COSTA RIDGE WATER PLAN

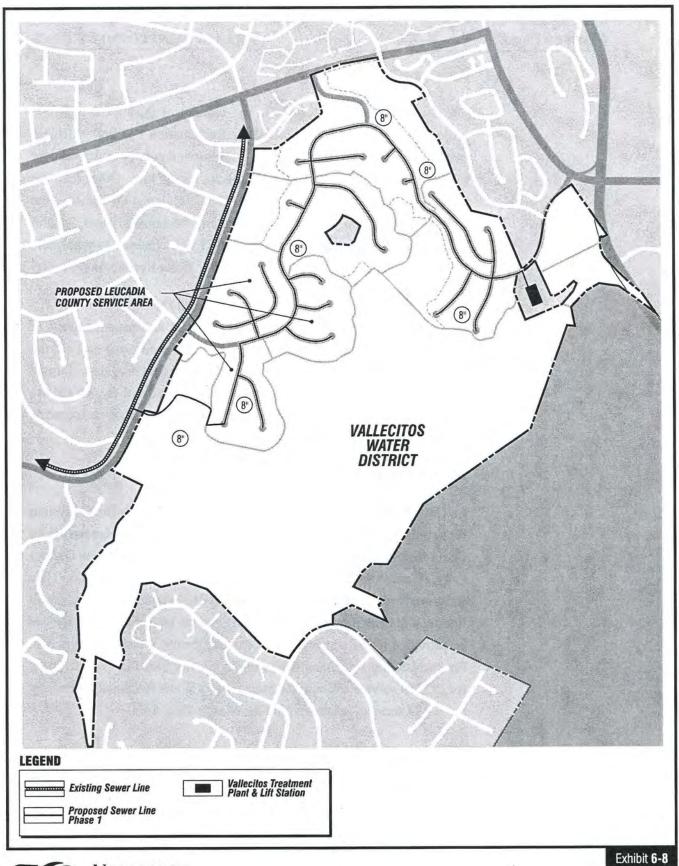
6.3.3 Reclaimed Water Distribution

The source of reclaimed water in the vicinity of the La Costa Ridge project is VWD's Meadowlark Water Reclamation Facility. Effluent from this facility is stored at Mahr Reservoir and conveyed through the City of Carlsbad through a 12-inch failsafe outfall line. Other than the future expansion of the Meadowlark Water Reclamation Facility, the VWD Master Plan does not include any reclaimed water system improvements. It is anticipated that VWD will continue to wholesale reclaimed water produced at the Meadowlark Water Reclamation Facility to other agencies.

Since the La Costa Ridge project is proposed to consist entirely of residential development, the potential for reclaimed water use on the project is limited. Although the City of Carlsbad could provide reclaimed water service to the project, it would not be feasible due to the limited use areas. For this reason, no onsite reclaimed water system improvements are being shown for the La Costa Ridge project.

6.3.4 Sanitary Sewer

La Costa Ridge Conceptual Sewer Plan, Exhibit 6-8, sets forth a system for sewage collection for the Master Plan Area. Sewer service for the La Costa Ridge project will be provided by the Vallecitos Water District (VWD) and the Leucadia County Water District (LCWD). The southwest area of La Costa Ridge, which will ultimately drain towards El Fuerte, will be annexed into the LCWD service area. Sewer service can be provided to the project by constructing onsite 8-inch gravity sewer lines and connecting them to the existing gravity lines in El Fuerte Street for LCWD service and near the Meadowlark Water Reclamation Facility for VWD service, located within the Master Plan Area.





LA COSTA RIDGE SEWER PLAN

6.4 La Costa Ridge Village Phasing Plan

Implementation of the La Costa Ridge Village Development Plan will be accomplished through a single-phase phasing plan (see Exhibit 6-9). The objective of the La Costa Ridge Village Phasing Plan is to coordinate a logical sequence and pattern of residential development and habitat conservation with the provision of public facilities and services as established by the Zone 11 Local Facilities Management Plan. The development phase shall comply with all public facility performance standards identified in the Zone 11 Local Facilities Management Plan.

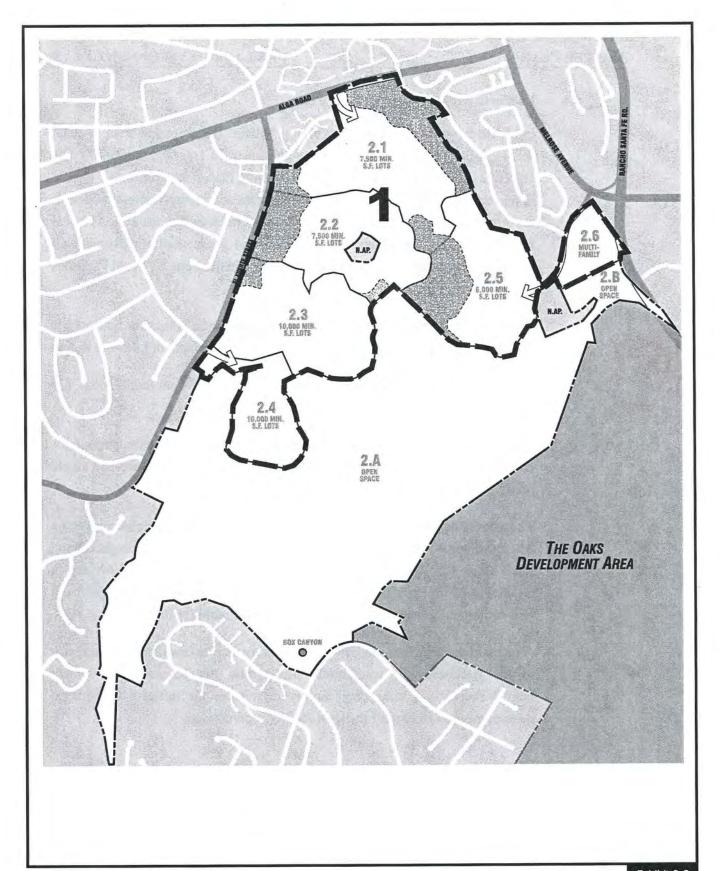
Fee interest conveyance of the HCP/OMSP Open Space Areas to an appropriate conservator will occur in conformance with the development of La Costa Ridge.

The phasing of La Costa Ridge public facilities are shown on Exhibits 6-6, 6-7 and 6-8. Individual phasing details are described below.

Development of the Neighborhoods, circulation and utility improvements, community facilities, and mass grading activities will be completed in a single phase.

The affordable housing site will require an affordable housing agreement and a Site Development Permit approval prior to recordation of the first neighborhood Final Map. Construction of the affordable housing units will be provided in relation to the timing of the market-rate units. The affordable housing agreement will contain the phasing requirements for the affordable units.

A recreational vehicle storage site (or temporary facility) must be provided prior to the occupancy of residential units within the planned development neighborhoods. A temporary facility may serve the initial neighborhood development phasing until the final facility is completed.





LA COSTA RIDGE PHASING PLAN

6.4.1 Phase 1 – All Areas

1. Neighborhoods

Neighborhoods 2.1 through 2.6.

2. Grading

Cut and fill balanced on-site.

Circulation

- All improvements within the phase.
- No off-site improvements.

4. Sewer

- All improvements within the phase.
- Provide a connection to existing Meadowlark Reclamation Plant.
- Provide an off-site connection to the existing 8-inch Vallecitos line in El Fuerte.
- No other off-site improvements.
- Necessary improvements to comply with VWD criteria during final subdivision mapping.

5. Water

- All improvements within the phase.
- Provide connections to existing 12-inch lines in El Fuerte and Corintia Street.
- No off-site improvements.
- Improvements identified during final mapping to ensure compliance with VWD and Fire Department criteria.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- Provide water quality facilities.
- Provide an off-site connection to the existing storm drain line in Corintia Street.
- No other off-site improvements.

7. Community Improvements

 Provide community facilities site including recreational vehicle storage.

6.5 Village Landscape Concept Plan

6.5.1 Village Landscape Character

The Village of La Costa Ridge is situated on the highest elevations, thereby deriving its identity and theme. "The Ridge" will express a more upland or alpine character and rusticated quality, but within a recognizable and unique community image.

La Costa Ridge is also adjacent to a large expanse of permanent open space set aside by the Habitat Conservation Plan/Ongoing Multi-Species Plan. The landscape concept for this Village is designed to integrate the native habitat of the adjoining open spaces with the developed areas by the use of more natural-like clusters of tree and understory plantings within the developed area. The neighborhoods will take on a seminatural character, but within a more structured framework. See Exhibit 6-10, La Costa Ridge Landscape Concept.

6.5.2 Arterial Street Landscape

Three arterial streets, El Fuerte Street, Alga Road and Melrose Drive form partial perimeters of this Village. The character of these arterial streetscapes will be developed in conformance with this landscape treatment. The parkways will be augmented with additional tree and understory plantings on adjacent slopes to reinforce the character and identity of "The Ridge".

1. El Fuerte Street

Although El Fuerte is not listed in the City Landscape Manual it is an important edge to help create the image of La Costa Ridge. Eucalyptus and pine species will be used with native and indigenous plantings to create a naturalized-upland quality. El Fuerte Street does not have a median.

6.5.3 Village Entries

Village entries are prominent design elements which communicate identity, establish its quality and character, and provide a unifying accent statement to link The Villages of La Costa as a recognizable cohesive community. Key elements repeated at this Village entry are specimen and accent trees, low serpentine stonewalls and similar logo formats. The La Costa Ridge entry is distinguished by its guard-gated nature and asymmetrical design. A taller (5 to 10 feet) stone clad wall maybe used similar to an entry theme wall in order to provide a place for the village gates.

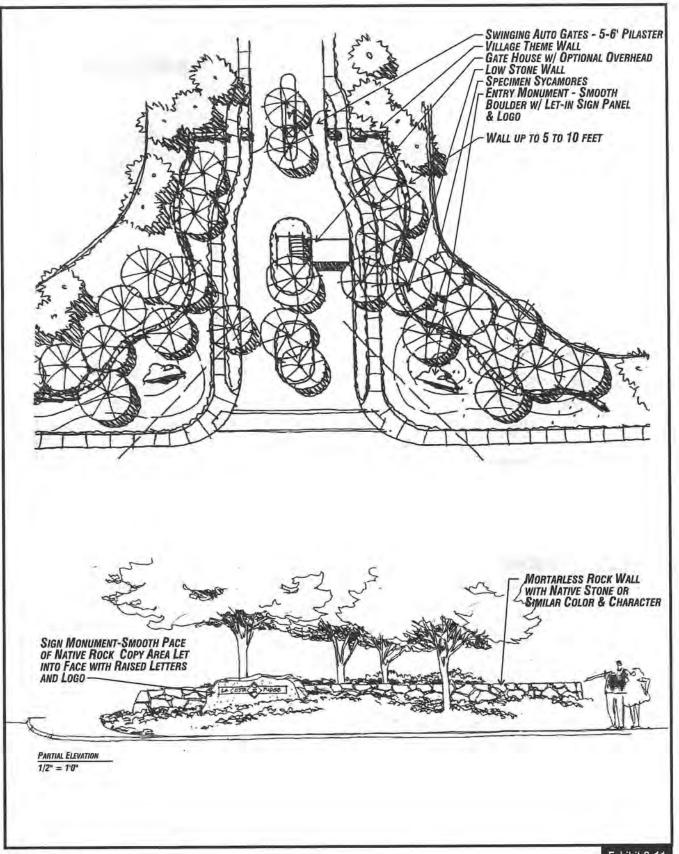
Open areas will be covered in semi-native grasses and wildflowers forming the foreground to the entry area. Informal serpentine walls of stone, three feet in height form the edge for the "meadow" area. The walls will be asymmetrical in layout and undulate with the gently rolling terrain. The walls will have a "rubble" quality, with no grout apparent and without a cap. The project signage will be on a large smooth-faced stone set in front of the low wall or will be mounted on the stone faced walls.

Informal groves of accent canopy trees will be placed on both sides of the curving wall to provide the entry accent. Evergreen tree masses will form a backdrop for the accent trees. A grove theme may also be employed to express an agrarian idea.

Exhibits 6-11, La Costa Ridge Village Entry, depicts a conceptual design.

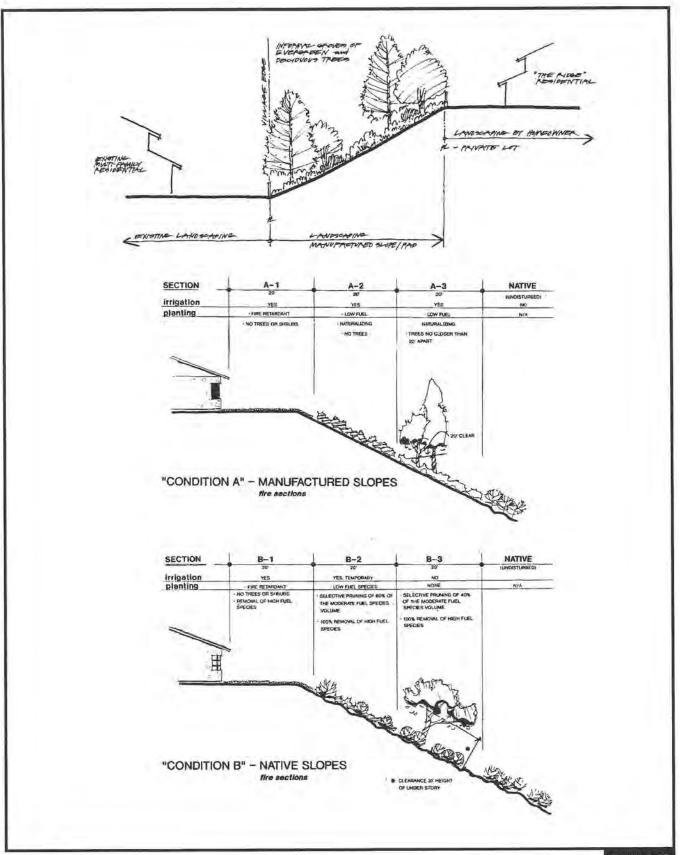
6.5.4 Neighborhood Entries

Entries into neighborhoods within La Costa Ridge will be identified with smaller scale design statements. Low stone pilasters (approximately 42-48 inches high and five feet square at the base) with battered vertical sides and a simple La Costa Ridge Village logo plaque will be set in a small "meadow" foreground. Vertical accent trees will form a simple backdrop to the entry statement. Exhibit 6-12, Typical Neighborhood Entry illustrates a possible design.

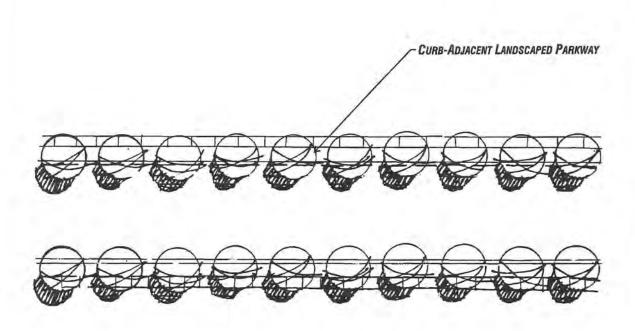




LA COSTA RIDGE VILLAGE ENTRY









6.5.8 Entry, Wall and Planting Standards

Sight Distance:

- Landscape elements over 30" in height (including planting measured at maturity) are not allowed at street corners within a triangular area drawn from two points measured 25 feet from the point of the curb returns (P.C.R.). A tree may be permitted in this zone with a minimum canopy height of 8 feet.
- The same height limitation applies to high use driveways
 25 feet from the edge of the apron outward along the curb then 45 degrees in toward the property.
- On Collector streets and greater, Cal Trans Sight Distance Standards shall also apply to the height restriction stated above.
- These height restrictions also apply to street trees, entry monuments, theme walls and project signage located within the sight distance corridors.

2. General Planting Requirements:

- The spacing of plants shall allow for their size at maturity.
- Trees with surface root systems and/or broad branch structures shall be planted only where sufficient space is available.
- Street trees shall generally be located a minimum of 5 feet from paving except where a landscape parkway is proposed, 7 feet from sewer lines, and not in conflict with public utilities.
- Trees planted within 5 feet of public sidewalks shall be installed with root barriers approved by the City.

LA COSTA RIDGE VILLAGE DEVELOPMENT PLAN

Scientific Name	Common Name
Aloe Striata	Coral Aloe
Arbutus Unedo	Strawberry Tree
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita
Artemisia californica	California Sagebrush
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Bougainvillea Spp.	Bougainvillea
Carex Tumulicola	Berkeley Sedge
Ceanothus 'Concha'	NCN
Ceanothus griseus 'Horizontalis'	Carmel Creeper
Ceanothus "Julia Phelps"	NCN
Cistus	Rockrose
Coprosma kirkii	NCN
Cotoneaster dammeri	Bearberry Cotoneaster
Cotoneaster lacteus	NCN
Dietes bicolor	Fortnight Lily
Echium Fastuosum	Pride of Madeira
Eleagnus pungens	Silverberry
Elymus	Lyme Grass
Eriogonum	Buckwheat
Escallonia spp.	NCN
Eschscholzia californica	California Poppy
Festuca Mairei	Atlas Fescue
Hedera helix 'Hahnii'	Hahn's Ivy
Hemerocallis hybrids	Daylily
Heteromeles arbutifolia	Toyon
Hypericum spp.	St. John's Wort
Juglans californica	Southern California Black Walnut
Lantana montevidensis (Hybrids)	NCN
Lavatera assurgentiflora	Tree Mallow
Lavandula dentata	Lavendar
Leptospermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger

Scientific Name	Common Name
Aloe Striata	Coral Aloe
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Ceanothus "Julia Phelps"	NCN
Cistus	Rockrose
Coprosma kirkii	NCN
Cotoneaster dammeri	Bearberry Cotoneaster
Cotoneaster lacteus	NCN
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Eleagnus pungens	Silverberry
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Lavatera assurgentiflora	Tree Mallow
Lavandula dentata	Lavendar
Leptospermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger

Scientific Name	Common Name
Koeleuteria paniculata	Goldenrain Tree
Ligustrum lucidum	Glossy Privet
Liquidambar styraciflua*	American Sweet Gum
Liriodendron tulipifera	Tulip Tree
Metrosideros excelsus	New Zealand Christmas Tree
Olea europaea	Olive
Phoenix canariensis	Canary Island Date Palm
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Pinus halepensis	Aleppo Pine
Pinus pinea*	Italian Stone Pine
Pinus torreyana*	Torrey Pine
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Populus nigra 'Halica'*	Lombardy Poplar
Podocarpus gracilior	Fern Pine
Quercus agrifolia	Coast Live Oak
Quercus engelmannii	Mesa Oak
Quercus ilex	Holly Oak
Quercus suber	Cork Oak
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box
Umbellularia californica	California Laurel
Zelkova serrata	Sawleaf Zelkova
Parkway and Slope Shrubs	
Acacia redolens	Acacia
Agave americana	Century Plant
Agave attenuata	NCN
Aloe Arborescens	Tree Aloe
Aloe Striata	Coral Aloe
Arbutus Unedo	Strawberry Tree
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita

Scientific Name	Common Name
Muhlenbergia regens	Deer Grass
Myoporum pacificum	NCN
Parthenocissus tricuspidata	Boston Ivy
Pennisetum setaceum 'cufreum'	Fountain Grass
Rhamnus californica	Coffee Berry
Rhus integrifolia	Lemonade Berry
Ribes speciosum	Currant
Romneya coulteri	Matilija Poppy
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Rosmarinus officinalis 'Tuscan Blue'	Rosemary
Salvia greggii	Autumn Sage
Salvia mellifera	NCN
Sambucus mexicana	Elderberry
Teucrium fruticans	Bush Germander
Vinca minor	Dwarf Periwinkle
Westringia fruticosa	NCN

6.7 La Costa Ridge Development Standards

6.7.1 Introduction

The La Costa Ridge Village has been divided into six Neighborhoods and two Open Space Areas. Neighborhoods 2.1 to 2.5 will be developed with detached single-family residences. Neighborhood 2.6 will consist of attached townhomes or small-lot detached homes.

No residential development will occur in the Open Space Areas. All Open Space Areas will be left in their natural state with the exception of trails and public utilities. Each Neighborhood and Open Space Area subsection of this chapter includes an exhibit and special design criteria applicable to that particular planning area.

6.7.2 Common Neighborhood Development Standards

All residential neighborhoods within the La Costa Ridge Village shall comply with the Master Plan Development Standards and Guidelines contained in Chapter 4 unless modified by the specific neighborhood development standards.

1. Neighborhood Development Plans

Neighborhood Development Plans are provided for each residential neighborhood. These exhibits show the location of entry monumentation, walls, trails, community facilities, landscaped slopes/undeveloped areas, and recreation areas. These exhibits are conceptual in nature and are provided to indicate the proposed development concept for each neighborhood. Precise street configurations, location of slopes and open space as well as other details will be determined during the final design process.

6.7.3 Individual Neighborhood Development Standards

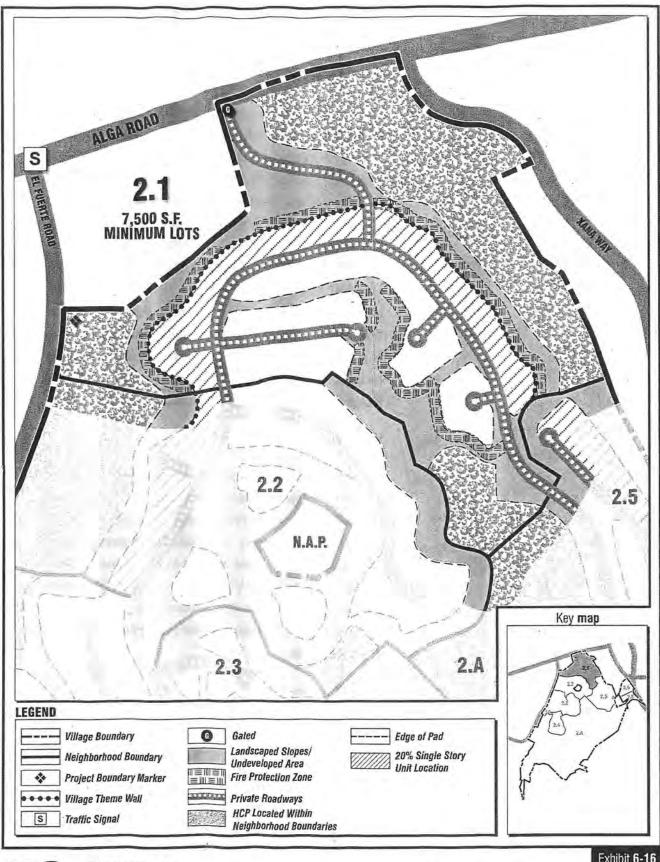
La Costa Ridge Neighborhood 2.1

Description

Neighborhood 2.1 is located in the northerly-most area of La Costa Ridge and is devoted to single-family detached homes. It is intended that the homes be developed on minimum 7,500 square foot lots. A small part of the western corner of Neighborhood 2.1 includes frontage on El Fuerte, but does not take access from El Fuerte. The northerly portion of the Neighborhood lies adjacent to Alga Road. Access to Alga Road is provided by a private gated road as shown on the Neighborhood Development Plan.

Easterly access is provided to Neighborhood 2.1 via the extension of Corintia Street from Melrose, through Neighborhoods 2.6 and 2.5. A gated entry is provided at the eastern boundary of Neighborhood 2.5. Corintia Street becomes a private road at the gated entry to Neighborhood 2.5. All streets within the boundaries of Neighborhood 2.1 are private and shall be maintained by the homeowners' association.

Corintia Street continues through the Neighborhood and passes into Neighborhood 2.2 to the southwest. The private roadway continues through Neighborhoods 2.2, 2.3, and 2.4 where a gated access point is provided at El Fuerte. Neighborhood 2.1 consists of approximately 49.4 gross acres. Neighborhood 2.1 includes 16.1 acres of dedicated HCP open space. The Neighborhood 2.1 Development Plan is shown on Exhibit 6-16.





LA COSTA RIDGE NEIGHBORHOOD 2.1 DEVELOPMENT PLAN

b. Use Allocation

The General Plan Designation for Neighborhood 2.1 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 development standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, building height, and lot coverage, shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this neighborhood is 55. Dwelling unit transfers between Neighborhood 2.1 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Hillside Development Permit, and Planned Development Permit (required for private streets and gated communities). A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this neighborhood shall be all of those allowed under Section 21.10 of the Carlsbad Municipal Code. A gated entry is specifically permitted. Private streets are permitted subject to the approval of a Planned Development Permit. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be

met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

I. Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be via Corintia Street from Neighborhood 2.2. Corintia Street is gated at El Fuerte Street then leads through the La Costa Ridge neighborhoods as a 56-foot private local street with a sidewalk and parkway along each side. The second point of access is via Corintia Street to the southeast from Neighborhood 2.5, which has a minor gated entry from Neighborhood 2.6. A third access point is via the minor gated entry and private street from Alga Road to the north.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 2.1 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.1:

- For the areas identified on Exhibit 6-16 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- Landscaping adjacent to the adjoining undeveloped area shall be compatible with the existing native vegetation.
- Neighborhood 2.1 will gain access from Neighborhoods 2.2 and 2.5, as well as from the private street off of Alga Road. At least two points of access must be provided for this neighborhood.
- Whenever possible, units should be designed to take advantage of the views offered by this Neighborhood.
- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- An open space easement shall be placed on natural and manufactured slopes around the perimeter of the areas within Neighborhood 2.1

which are outside the boundaries of the Habitat Conservation Plan Preserve Areas.

 Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Ridge Neighborhood 2.2

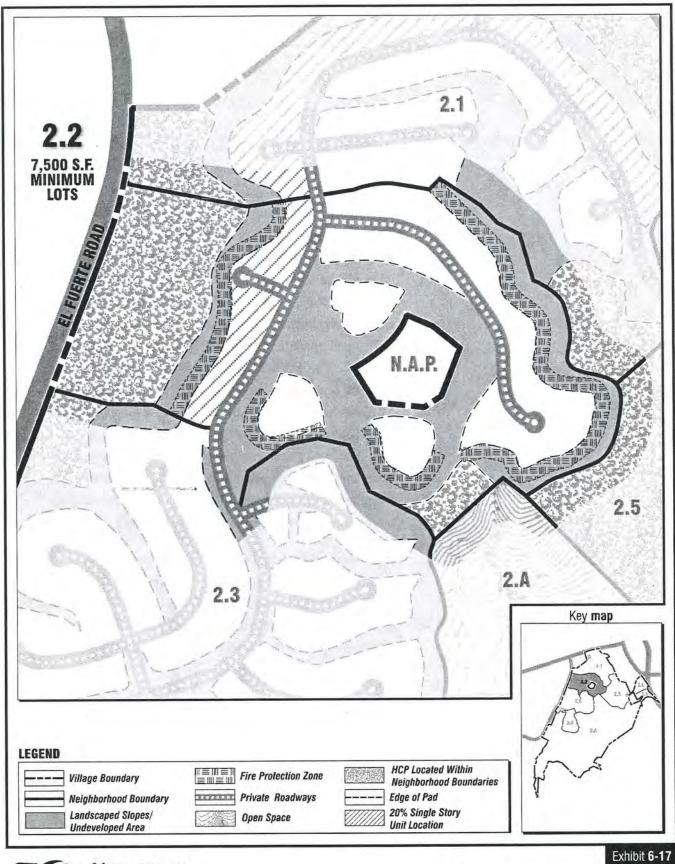
a. Description

Neighborhood 2.2 is situated in the northwest portion of the La Costa Ridge between Neighborhood 2.1 to the north and Neighborhood 2.3 and Open Space 2.A to the south. This single-family detached home Neighborhood is also bounded by El Fuerte to the west and Neighborhood 2.5 to the east. It is intended that the homes be developed on minimum 7,500 square foot lots. Neighborhood 2.2 consists of approximately 37.5 gross acres. Neighborhood 2.2 includes 8.1 acres of dedicated HCP open space and may include a private recreation facility. The hillside enclave is provided access via Corintia Street from the gated entry at El Fuerte Street. Neighborhood access is also provided via Corintia Street from Melrose Avenue through Neighborhoods 2.6, 2.5 and 2.1. A gated entry is provided at the eastern boundary of Neighborhood 2.5. All streets within the boundaries of Neighborhood 2.2 are private and shall be maintained by the homeowners' association.

A Carlsbad Municipal Water District reservoir site is located in the central portion of the Neighborhood and is not a part of the Master Plan. Access is provided to the reservoir via a private easement road. The Neighborhood 2.2 Development Plan is shown on Exhibit 6-17.

b. Use Allocation

The General Plan Designation for Neighborhood 2.2 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, building height, and lot coverage, shall be utilized, unless otherwise modified by





LA COSTA RIDGE NEIGHBORHOOD 2.2 DEVELOPMENT PLAN this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this neighborhood is 38. Dwelling unit transfers between Neighborhood 2.2 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit (required for private streets and gated communities), and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10. Private streets are permitted subject to the approval of a Planned Development Permit. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing

of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be via Corintia Street from Neighborhood 2.3. Corintia Street is gated at El Fuerte Street then leads through the La Costa Ridge neighborhoods as a 56-foot private local street with a sidewalk and parkway along each side. The second point of access is via Corintia Street to the north from Neighborhood 2.1, which has a minor gated entry at Neighborhood 2.5. A third access point is via the minor gated entry and private street from Alga Road to the north.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 2.2 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.2:

 For the areas identified on Exhibit 6-17 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.

- Slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from El Fuerte.
- Neighborhood 2.2 will gain access from Neighborhoods 2.1 and 2.3. These two points of access must be provided for this neighborhood.
- 32-foot wide curb-to-curb private hillside streets shall be allowed for unloaded streets that traverse steep topography. Parking shall be permitted along one side of the street.
- Manufactured slopes shall be planted per the requirements of Section 6.5, Landscape Concept Plan.
- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.
- Development edges between natural open space and development areas should maximize view potentials.
- An open space easement shall be placed on natural and manufactured slopes around the perimeter of Neighborhood 2.2, which are outside the boundaries of the Habitat Conservation Plan

Preserve Areas.

Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

3. La Costa Ridge Neighborhood 2.3

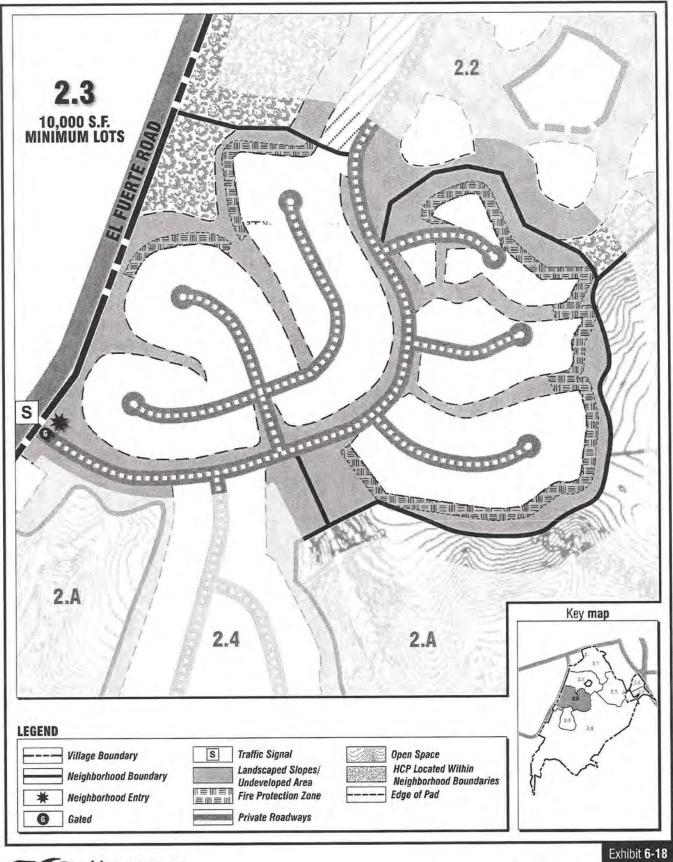
a. Description

Neighborhood 2.3 is located to the east of El Fuerte in the western portion of La Costa Ridge. The Neighborhood is bounded by Neighborhood 2.2 to the north, Open Space Area 2.A to the east, and Open Space Area 2.A and Neighborhood 2.4 to the south. Access is provided via Corintia Street from the gated entry at El Fuerte Street, which extends from El Fuerte in an easterly and northerly direction and also provides access to other La Costa Ridge Neighborhoods to the north. Gated entries are provided at the entrance to La Costa Ridge off of El Fuerte in Neighborhood 2.4, at the eastern boundary of Neighborhood 2.5 and off of Alga Road at the north boundary of Neighborhood 2.3 are private and shall be maintained by the homeowners' association.

Many of the home sites in the eastern half of the Neighborhood are afforded scenic views of preserved habitat to the south and east. It is intended that the homes be developed on minimum 10,000 square foot lots. Neighborhood 2.3 consists of approximately 41.0 gross acres. Neighborhood 2.3 includes 1.2 acres of dedicated HCP open space. The Neighborhood 2.3 Development Plan is shown on Exhibit 6-18.

b. Use Allocation

The General Plan Designation for Neighborhood 2.3 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, building height, and lot coverage, shall be utilized, unless otherwise modified by





LA COSTA RIDGE NEIGHBORHOOD 2.3 DEVELOPMENT PLAN

this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units for this neighborhood is 70. Dwelling unit transfers between Neighborhood 2.3 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

Required Development Permits

The following development permits are required: Tentative Map and Planned Development Permit (required for private streets and gated communities), and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10. Private streets are permitted subject to the approval of a Planned Development Permit.

e. Product Type

Single-family detached homes.

f. Minimum Lot Size

10,000 square feet.

g. Minimum Lot Width

70 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setbacks are listed in Section 4.6 of this

Master Plan.

Side:

Setbacks are listed in Section 4.6 of this

Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing

of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be via Corintia Street from Neighborhood 2.4. Corintia Street is gated at El Fuerte Street then leads through the La Costa Ridge neighborhoods as a 56-foot private local street with a sidewalk and parkway along each side. The second point of access is via Corintia Street to the north, from Neighborhood 2.2, which has a minor gated entry at Neighborhood 2.5.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 2.3 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.3:

- Slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from El Fuerte.
- Neighborhood 2.3 will gain access from Neighborhoods 2.2 and 2.4. These two points of access must be provided for this Neighborhood.
- · Whenever possible, units should be designed to

- take advantage of the views offered by this Neighborhood.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to incorporating the adjacent Open Space Area as an amenity to the Neighborhood.
- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded and directed away from Conserved Habitat to the maximum extent feasible.
- An open space easement shall be placed on natural and manufactured slopes around the perimeter of Neighborhood 2.3, which are outside the boundaries of the Habitat Conservation Plan Preserve Areas.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Ridge Neighborhood 2.4

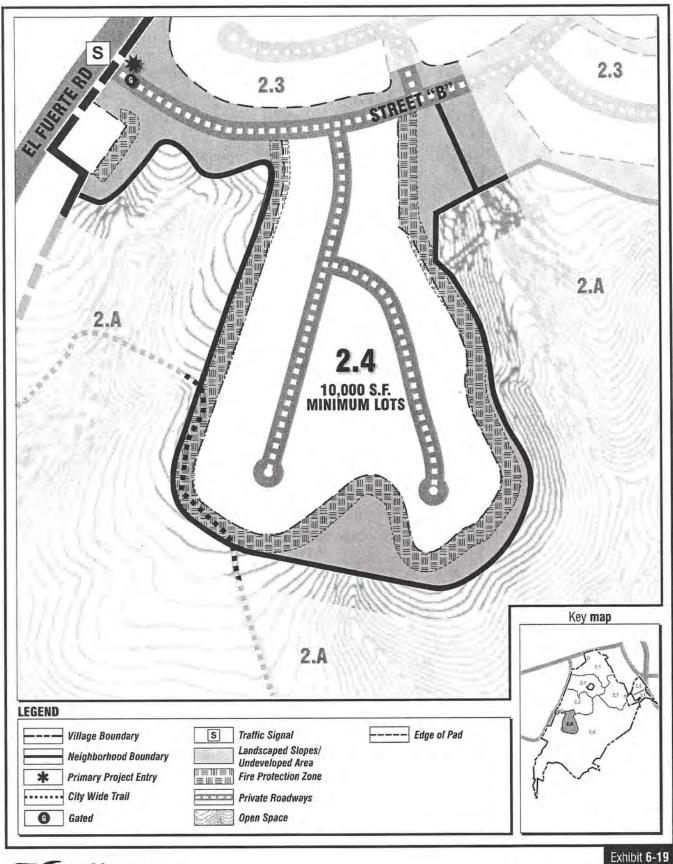
a. Description

Neighborhood 2.4 is located in the southwest area of La Costa Ridge. The single-family detached home neighborhood receives access via Corintia Street from the gated entry at El Fuerte Street into the Neighborhood and Neighborhood 2.3 to the north. All streets within Neighborhood 2.4 shall be private and will be maintained by the homeowners' association.

Open Space Area 2.A borders Neighborhood 2.4 to the east, south, and west. Neighborhood 2.3 is located to the north. There is access to the Citywide Trail within Open Space Area 2.A from this Neighborhood. It is intended that the homes in Neighborhood 2.4 be developed on minimum 10,000 square foot lots. This neighborhood consists of approximately 22.3 gross acres. Exhibit 6-19 depicts the Neighborhood 2.4 Development Plan.

b. Use Allocation

The General Plan Designation for Neighborhood 2.4 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, building height, and lot coverage, shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this





LA COSTA RIDGE NEIGHBORHOOD 2.4 DEVELOPMENT PLAN neighborhood is 34. Dwelling unit transfers between Neighborhood 2.4 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit (required for private streets and gated communities), and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10. A gated entry is specifically permitted. A Planned Development Permit is required to be approved because of the inclusion of a gated entry and private streets.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

10,000 square feet

g. Minimum Lot Width

70 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be at the gated intersection of Corintia Street and El Fuerte Street. Corintia Street then leads northeasterly through Neighborhood 2.4 to Neighborhood 2.3 as a 56-foot private local street with a sidewalk and parkway along each side.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 2.4 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.4:

- Slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from El Fuerte.
- Whenever possible, units should be designed to take advantage of views into the adjacent open space area.
- Neighborhood 2.4 will take access from a single point off of Street B, with an outlet to Neighborhood 2.3 to the north.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

6,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be

met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be at the gated entrance to Neighborhood 2.5 along Corintia Street, west of Melrose Drive. "B" Street then leads northwesterly to Neighborhood 2.1 as a 56-foot private local street with a sidewalk and parkway along each side.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

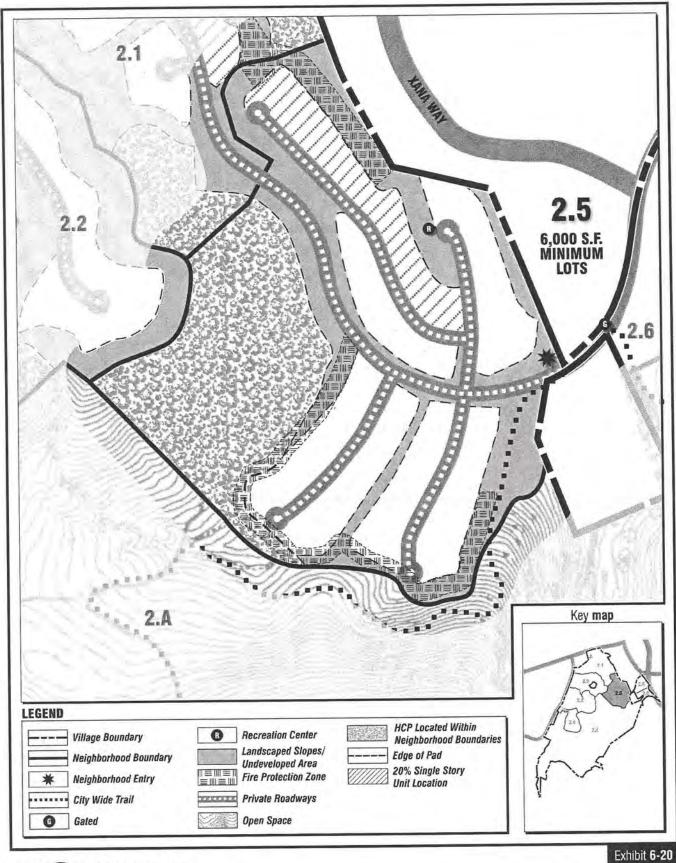
n. Development Phasing

The relationship of Neighborhood 2.5 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.5:

 For the areas identified on Exhibit 6-20 20% of the units along a ridgeline/hilltop, which are





modified by this Master Plan. Lots of 6,000 square foot minimums are permitted in this Master Plan in the R-1 zone. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this neighborhood is 66. Dwelling unit transfers between Neighborhood 2.5 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Hillside Development Permit, and Planned Development Permit. A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

The Planned Development Permit will be processed pursuant to the procedures identified in the City's Planned Development Ordinance, Carlsbad Municipal Code Section 21.45. Particular development standards, however, are as defined in this Master Plan. Any development standards not specified in this Master Plan are as required in the Planned Development Ordinance. If there are any conflicts between the two, the Master Plan prevails.

d. Permitted Uses

Single dwellings. Common recreation facilities are specifically permitted as an accessory use. A gated entry and private streets are permitted with the approval of the Planned Development Permit.

- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.
- An open space easement shall be placed on natural and manufactured slopes around the perimeter of Neighborhood 2.4 which are outside the boundaries of the Habitat Conservation Plan Preserve Areas.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Ridge Neighborhood 2.5

a. Description

Neighborhood 2.5 is situated in the northeastern portion of La Costa Ridge. The neighborhood will be developed with single-family detached homes. It is intended that the homes be developed on minimum 6,000 square foot lots. To the east is the Village boundary and the Meadowlark Reclamation Facility. Neighborhoods 2.1 and 2.2 are located to the west and Open Space Area 2.A is to the south. Access from the northeast is provided by the extension of Corintia Street from Melrose Avenue. Corintia Street extends through Neighborhood 2.6 to the Neighborhood 2.5 entry point. Within this neighborhood, Corintia Street becomes private Street B, which extends through Neighborhoods 2.1, 2.2, 2.3, and 2.4 where it intersects El Fuerte. Lots in the southern portion of the site will overlook San Marcos Creek and conserved habitat of the HCP/OMSP.

A Citywide Trail extends from Melrose, through Neighborhood 2.5, with two access points, to Open Space Area 2.A. Neighborhood 2.5 consists of approximately 40.4 gross acres and will include a private recreation area. Neighborhood 2.5 also includes 9.8 acres of dedicated HCP open space. The Neighborhood 2.5 Development Plan is shown on Exhibit 6-20.

b. Use Allocation

The General Plan Designation for Neighborhood 2.5 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including accessory uses, building height, and recreation area requirements, shall be utilized, unless otherwise

visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.

- Manufactured slopes shall be planted per the requirements of Section 6.5, Landscape Concept Plan.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to incorporating the adjacent Open Space Area as an amenity to the Neighborhood.
- Common recreation areas shall be provided in this Neighborhood for its requirement. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Lighting within new development projects adjacent to Conserved Habitat shall be selectively placed, shielded, and directed away from Conserved Habitat.
- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees,

- landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.
- The development of this Neighborhood shall be designed to incorporate a buffer area between this area and the existing Meadowlark Reclamation Facility to the east.

6. La Costa Ridge Neighborhood 2.6

a. Description

Neighborhood 2.6 is located in the northeast area of La Costa Ridge. This enclave of multiple-family attached townhomes or single-family small lot detached homes is generally bounded by Corintia Street to the west and northwest, by Melrose to the northeast, and by Open Space Area 2.B to the southeast. The southwest tip of the Neighborhood is also adjacent to the Meadowlark Reclamation Facility. All Neighborhood access is from Corintia Street. No direct access will be allowed from Melrose Avenue.

Neighborhood 2.6 will include a private recreation facility. The area of Neighborhood 2.6 consists of approximately 11.5 gross acres. Exhibit 6-21 depicts the Neighborhood 2.6 Development Plan.

b. Use Allocation

The General Plan Designation for Neighborhood 2.6 is RMH (8-15 du/ac), with a Growth Management Control Point of 11.5 du/ac. The RD-M Development Standards, as established by Carlsbad Municipal Code Section 21.24, including accessory uses, building height, and recreation area requirements, shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this neighborhood is 57. Dwelling unit transfers between Neighborhood 2.6 and other neighborhoods in La Costa Ridge may occur as described in Section 2.5.2.

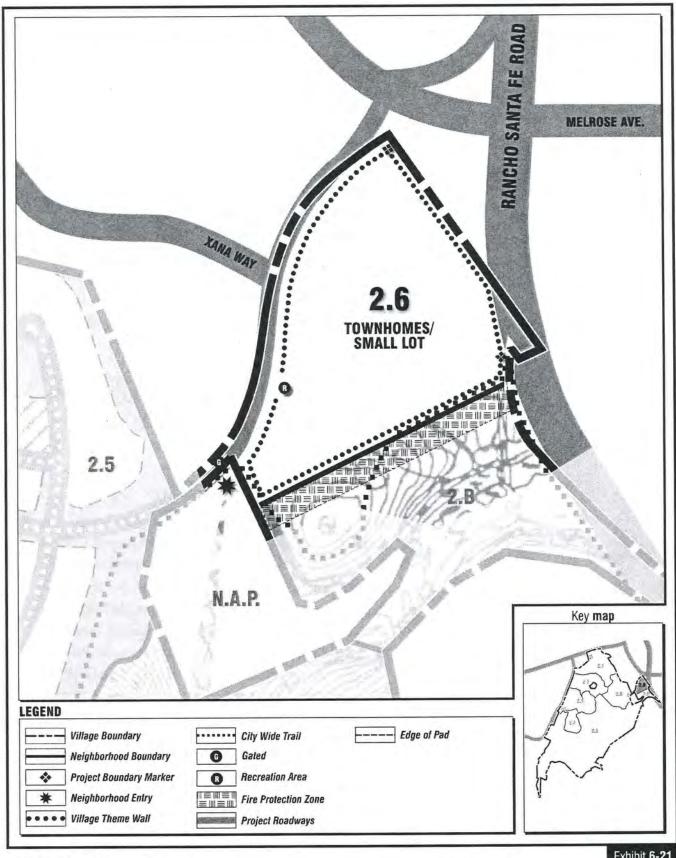




Exhibit 6-21

LA COSTA RIDGE NEIGHBORHOOD 2.6 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Hillside Development Permit, Planned Development Permit and/or Condominium Permit may be required depending on the specific type of housing to be provided. A Hillside Development Permit (HDP) will be processed with the Master Tentative Map for the La Costa Ridge Village. Additional HDP permits may be necessary for the development of individual neighborhoods, depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall include all of those allowed in the RD-M zone including single dwellings and attached townhomes. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Multiple-family attached townhomes or single-family small lot detached homes.

f. Minimum Lot Size

3,500

g. Minimum Lot Width

Planned Development projects shall have a minimum lot width of 40 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan by product type.

Side:

Setback standards are listed in Section 4.6

of this Master Plan by product type.

Street Side:

10 feet

Rear:

10 feet

Height Limits

35 feet and 3 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV parking for La Costa Ridge and La Costa Oaks will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major roadways, points of access and traffic signal locations are described and illustrated in Section 6.2.5, Circulation. The phasing of the major roadways and improvements are described in Section 6.4.

The primary point of access for this neighborhood will be from Corintia Street, off of Melrose Drive. Corintia Street then leads southwesterly to the gated entrance to Neighborhood 2.5 as a 60-foot right-of-way local public street with a sidewalk and parkway along each side.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 6.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 2.6 to the overall development of La Costa Ridge is described in Section 6.4, La Costa Ridge Village Phasing Plan and illustrated on Exhibit 6-9.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 2.6:

- Because of the Neighborhood's proximity to Melrose Drive, an acoustic study shall be undertaken in conjunction with the Tentative Map and Planned Development Permit or Condominium Permit, and any noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All units in this Neighborhood shall be setback a minimum of 50 feet from the right-of-way of Melrose.
- Special landscape treatment, as detailed in Section

- 6.5 shall be provided in an average thirty-foot (30') setback zone required between residential property lines (individual lots) and Melrose Drive.
- Landscape screening of the dwelling units shall be incorporated to soften views of these structures from Melrose.
- Common recreation areas shall be provided in this Neighborhood for its requirement. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Lighting within new development projects adjacent to Conserved Habitat shall be selectively placed, shielded, and directed away from Conserved Habitat.
- All parking lots along Melrose shall be fully landscaped and bermed to screen them from view.
 The Master Plan Village Theme Wall along Melrose shall be fully landscaped.
- This Neighborhood shall provide common open space and recreation areas and a common pedestrian linkage.
- Open parking and carports should be clustered in parking courts and along internal private drives to enhance security. Pedestrian and automobile circulation should be clearly defined.
- A Fire Protection Zone as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on

- the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Landscaping adjacent to Open Space Area 2.B shall be compatible with the existing natural vegetation.
- Disturbance to Open Space Area 2.B will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- Common streetscape and landscape areas shall conform to community requirements as established within this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.
- The development of this Neighborhood shall be designed to incorporate a buffer area between this area and the existing Meadowlark Reclamation Facility to the west.

6.7.4 Open Space Areas

Open Space Area 2.A

a. Description

Open Space Area 2.A, which is composed of 284.5 gross acres, encompasses all of the undeveloped Village area to the south of Neighborhoods 2.2, 2.3, 2.4, and 2.5. The Open Space Area is also bounded by San Marcos Creek to the east and the Village boundary to the south and west.

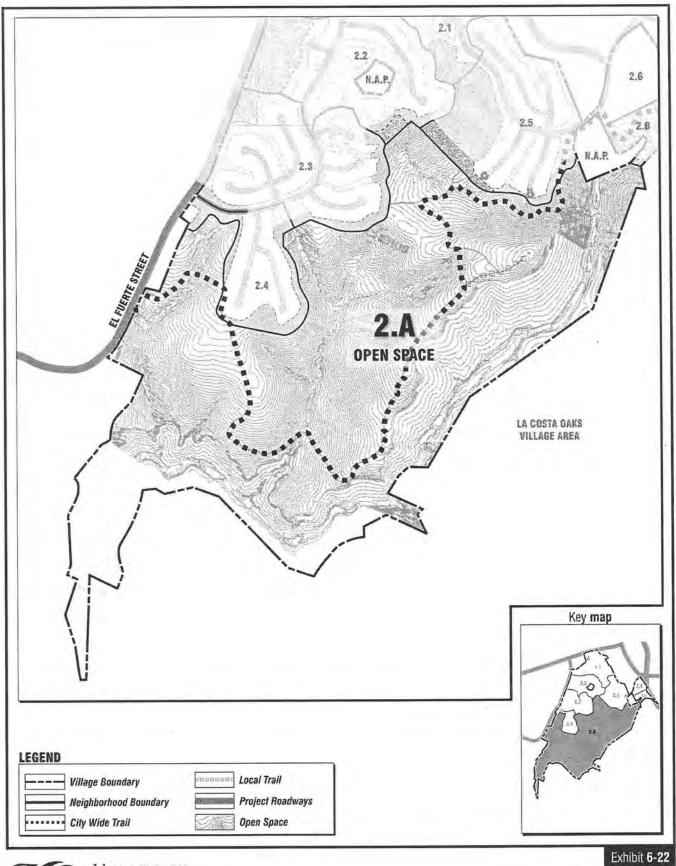
The entire area is designated conserved habitat by the HCP/OMSP and will be preserved in its natural state, with the exception of public utility corridors and the Village trail system. The Open Space Area 2.A Plan is shown on Exhibit 6-22.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). The Master Plan does not allow any development in this area other than slope grading for adjacent Neighborhoods, roads and trails, and public utilities within the designated utility corridors.

c. Trails

As addressed in Section 6.2,5 and illustrated on Exhibit 6-22, the Citywide Trail shall be extended through this Open Space Area, and Local Pedestrian Trails may also link to the Citywide Trail.





LA COSTA RIDGE OPEN SPACE AREA 2.A PLAN

d. Special Design Criteria:

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Open Space Area 2.A:

- Disturbance to this Open Space Area arising from construction efforts required to support development of adjacent Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored or revegetated as appropriate. Landscaping of these disturbed areas shall be compatible with the existing, natural vegetation.
- Fuel Management Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area unless such inclusion is authorized by the HCP/OMSP. If and where it becomes necessary to accommodate a Fuel Management Zone within the existing HCP area, a modification of the HCP boundary shall be undertaken and an equivalent amount of open space located outside the current HCP area shall be incorporated within the newly modified HCP area.

2. Open Space Area 2.B

Description

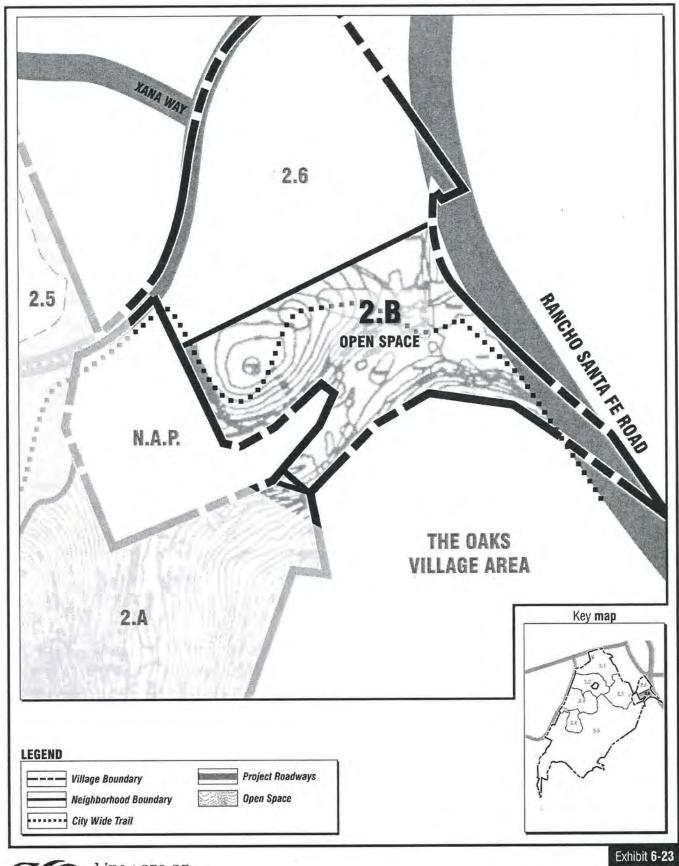
Open Space Area 2.B, is located in the northeast area of La Costa Ridge. The site includes a gross area of 6.5 acres and includes a portion of San Marcos Creek. Open Space Area 2.B is bounded by the Village of La Costa Oaks to the south, the Meadowlark Reclamation Facility to the west, Neighborhood 2.6 to the north and Rancho Santa Fe Road to the east. The entire area is designated conserved habitat by the HCP/OMSP and will be preserved in its natural state, with the exception of a Citywide Trail located along the west edge of Rancho Santa Fe Road and through the open space to connect with Neighborhood 2.6. The La Costa Ridge Open Space Area 2.B Plan is shown on Exhibit 6-23.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). The Master Plan does not allow any development in this area other than slope grading for adjacent Neighborhood 2.6, roads, and trails.

c. Trails

As addressed in Section 6.2.5 and illustrated on Exhibit 6-23, a Citywide Trail shall be constructed within the area along Rancho Santa Fe Road and extended through this Open Space Area to the northwestern corner.





LA COSTA RIDGE OPEN SPACE AREA 2.B PLAN

d. Special Design Criteria:

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also apply to Open Space Area 2.B:

- Disturbance to this Open Space Area arising from construction efforts required to support development of adjacent Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored or revegetated as appropriate. Landscaping of these disturbed areas shall be compatible with the existing, natural vegetation.
- Fuel Management Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area unless such inclusion is authorized by the HCP/OMSP. If and where it becomes necessary to accommodate a Fuel Management Zone within the existing HCP area, a modification of the HCP boundary shall be undertaken and an equivalent amount of open space located outside the current HCP area shall be incorporated within the newly modified HCP area.

7.0 LA COSTA OAKS VILLAGE DEVELOPMENT PLAN

7.1 Introduction

The La Costa Oaks Village Development Plan is consistent with the Master Plan goals and objectives, and its function is to set forth the site specific plans and standards necessary to implement the development of the La Costa Oaks community. Each of the individual neighborhoods of the La Costa Oaks village will be developed per the guidelines and standards set forth in this Village Development Plan, as well as those Master Plan provisions established in Chapters 1-4 above.

It is anticipated that certain modifications to the La Costa Oaks Village Development Plan may be necessary during the development of the individual neighborhoods. The criteria for a Village Development Plan Amendment are set forth in Section 3.2.

The individual sections of the La Costa Oaks Village Development Plan are as follows:

	Village Land Use Plan (Section 7.2)
	Public Facilities (Section 7.3)
	La Costa Oaks Phasing Plan (Section 7.4)
	Village Landscape Concept Plan (Section 7.5)
۵	Architectural Concept (Section 7.6)
	La Costa Oaks Development Standards (Section 7.7)

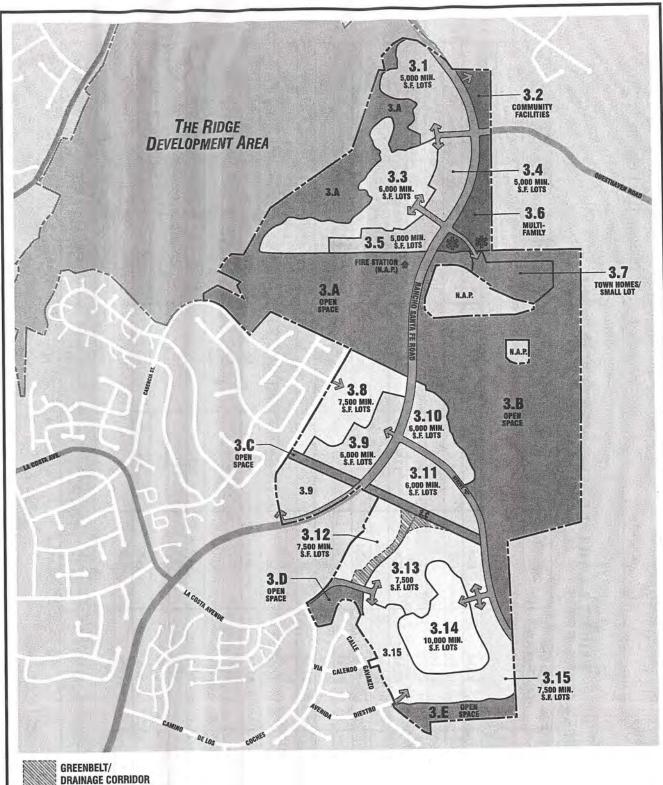
7.2 Village Land Use Plan

The La Costa Oaks Village includes approximately 712 acres generally bounded to the east by the City of San Marcos, the unincorporated area of San Diego County and the City of Encinitas. The Village is bounded to the west by existing development and the Village of La Costa Ridge. The north and south areas of development are separated by the more than 300 acres of Conserved Habitat, as designated by the HCP/OMSP.

The land uses for La Costa Oaks are set forth on Exhibit 7-1, La Costa Oaks Village Development Plan, and further defined by Exhibit 7-A, Village Development Plan Table. A Conceptual Lotting Study for La Costa Oaks is included in Appendix C of the Master Plan.

Exhibit 7-2 illustrates how La Costa Oaks neighborhoods are located within the larger General Plan Land Use category areas. The General Plan Land Use areas are also shown on Exhibit 2-1, General Plan Land Use. To determine the number of dwelling units allowed within any particular land use category, the Growth Management Control Point for the category is multiplied by the number of net developable acres located within the category area. The number of General Plan Dwelling Units and Maximum Allowable Dwelling Units for each General Plan Land Use category within the village are shown on Exhibit 7-B, Residential Density Consistency Table. Dwelling units may be clustered within a General Plan Land Use category provided the density of each neighborhood falls within the density range allowed by the General Plan Land use category (see Section 2.1). The density of the individual neighborhood, therefore, may exceed the Growth Management Control Point as long as all the La Costa Oaks Village neighborhoods located within the General Plan category do not, in aggregate, exceed the Allowable Dwelling Units shown on Exhibit 7-B.

This composite plan is conceptual in nature. Final lotting configurations, street alignments and grading design will be set during tentative subdivision map review. The land uses for La Costa Oaks, which are predominantly residential and open space, are described below.





ALTERNATIVE FIRE STATION LOCATIONS

NOTE: THE AVERAGE LOT SIZE IS LARGER IN EACH NEIGHBORHOOD THAN THE MINIMUM LOT SIZES SHOWN ABOVE.

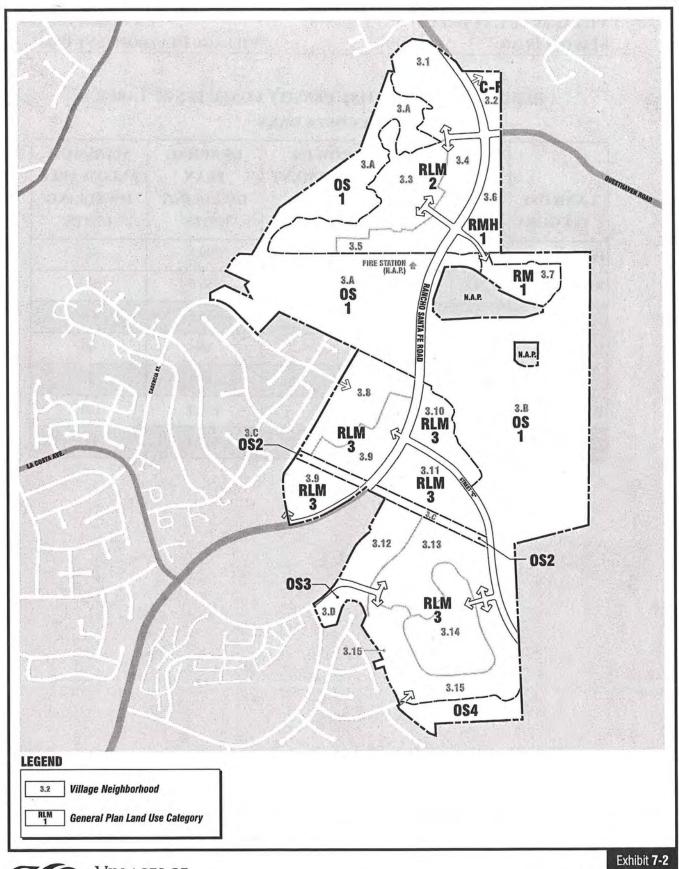


Exhibit 7-1

THE OAKS DEVELOPMENT PLAN

EXHIBIT 7-A VILLAGE DEVELOPMENT PLAN TABLE

		LA	LA COSTA DANS		
NEIGHBORHOOD/ OPEN AREA	LAND USE DESIGNATION	ZONING	GROSS ACRES		MASTER PLAN REVIEW PROCESS
	in manner t			Maximum Allowable Dwelling Units	Development Type
3.1	RLM	R-1	27.9	80	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.2	CF	C-F	9.9	1	Community Facilities
3.3	RLM	R-1	46.6	134	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.4	RLM	R-1	14.5	45	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.5	RLM	R-1	13.9	46	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.6	RMH	RD-M	16.0	171	Multi-Family (Affordable Housing) ⁽²⁾ .
3.7	RM	RD-M	13.8	45	Townhomes/Small Lot
3.8	RLM	R-1	26.4	74	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.9	RLM	R-1	32.0	88	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.10	RLM	R-1	16.4	36	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.11	RLM	R-1	22.5	53	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.12	RLM	R-1	15.4	27	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.13	RLM	R-1	37.8	64	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.14	RLM	R-1	29.4	99	SFD - 10,000 Sq. Ft. Minimum Lot Size
3.15	RLM	R-1	44.9	103	SFD – 7,500 Sq. Ft. Minimum Lot Size
3.A	S/O	S-0	116.5	J	HCP Open Space
3.B	S/O	S-O	177.6		HCP Open Space
3.C	S/O	S-O	9.5		Utility Corridor
3.D	S/O	S-O	0.9		Open Space
3.E	S/O	S-O	12.5	1	Open Space
Circulation Element Roadways		ĵ	26.4	J	Major Roadways
No.					
VILLAGE TOTALS:			712.6	1,032	





LA COSTA OAKS GENERAL PLAN CONSISTENCY

EXHIBIT 7-B RESIDENTIAL DENSITY CONSISTENCY TABLE LA COSTA OAKS

	ACRES		GROWTH MANAGEMENT CONTROL POINT DENSITY	GENERAL PLAN DWELLING UNITS ¹	MAXIMUM ALLOWABLE DWELLING UNITS
LAND USE CATEGORY	Gross Net ²				
RLM-2	102.9	93.7	3.2	299.8	305
RLM-3	224.8	204.9	3.2	655.7	511
RLM Sul	ototals:		955.5	816	
RM-1	13.8	11.5	6.0	69	45
RM Subt	otals:		69	45	
RMH-1	16.0	13.4	11.5	154.1	171 ³
RMH Su	btotals:		154.1	171	

To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

The density of individual neighborhoods may exceed the Growth Management Control Point as long as all of the La Costa Oaks Village neighborhoods located within the General Plan category, such as RLM, do not, in aggregate, exceed the total *Allowable Dwelling Units*.

An additional eight units will be provided as rent restricted second dwelling units at locations to be selected during the site planning process.

7.2.1 Residential

1. Single-Family Detached Housing

The Village Development Plan provides for twelve Neighborhoods which will accommodate single-family detached homes (Neighborhoods 3.1, 3.3 through 3.5, and 3.8 through 3.15 on Exhibit 7-1). Each of these Neighborhoods is designated Residential Low Medium Density (RLM) by the General Plan. Based on the Growth Management Control Point of 3.2 dwelling units per net usable acre for RLM, the General Plan would allow a maximum of 955 dwelling units on 298.6 net acres within the twelve Neighborhoods. A total of 816 single-family detached homes have been planned for these Neighborhoods, as described by Exhibit 7-B.

The Village Development Plan provides a variety of single-family housing opportunities. Neighborhood minimum lot size categories include 5,000 square feet, 6,000 square feet, 7,500 square feet, and 10,000 square feet.

Multiple-Family (Apartments or Condominiums) / Townhomes /
 Small Lot Single-Family Housing

Neighborhoods 3.6 and 3.7 will feature single-family attached homes and rental apartments to meet the City's affordable housing requirements. The affordable housing area in Neighborhood 3.6 is designated Residential Medium High Density (RMH) by the General Plan. Based on the Growth Management Control Point density of 11.5 dwelling units per net usable acre for RMH, the General Plan would allow a maximum of 154 dwelling units on 13.4 usable acres within Neighborhood 3.6 and 69 units on the 11.5 acres within the Residential Medium (RM) designation of Neighborhood 3.7, as described by Exhibit 7-B.

3. Affordable Housing

Combined Affordable Housing Approach

The units to be constructed within the Villages of La Costa Master Plan will be provided in the La Costa Oaks and La Costa Greens Villages as combined inclusionary housing projects. They will be located in the Oaks and Greens as multi-family rental apartments and up to eight units of the requirement may be allowed as second dwelling units located throughout the project. These units may be used to meet the affordable housing obligations of any development within the Master Plan area subject to the terms and conditions of the approved affordable housing agreement.

The affordable housing requirements of the Master Plan will be met through construction of two combined inclusionary projects and may be also met through the provision of eight second dwelling units. These units may be credited against development within any of the three Villages covered by the Master Plan. A minimum of ten percent of the total lower-income units shall have three or more bedrooms.

One of the sites, a 180-unit affordable housing rental apartment or townhome project will be constructed in the La Costa Greens Neighborhood 1.15. The Greens affordable housing site is located adjacent to the intersection of Estrella de Mar between Dove Lane and Alga Road. This location is close to major routes to jobs throughout north San Diego County and adjacent to bus stops on Alga Road and El Camino Real. The other affordable housing site with 171 units is located in the La Costa Oaks Village, Neighborhood 3.6, near the intersection of future Questhaven Road and Rancho Santa Fe Road. An additional eight units, inclusive of the total number of allowed units per this Master Plan, will be provided as rent restricted second dwelling units at locations to be selected during the site planning process

given that the maximum number of dwelling units for the Village is not exceeded.

The Master Plan's total Inclusionary Housing obligation is based on fifteen percent of the total base residential units proposed. Additional inclusionary housing incentive credits (worth more than one unit) may be obtained by specific means to achieve alternative types of desirable housing pursuant to Carlsbad Municipal Code Section 21.85.060 and as stated in Section 2.5.9 of this Master Plan.

The inclusionary units shall be provided per the phasing schedule of an adopted Affordable Housing Agreement.

7.2.2 Community Facilities

One Community Facilities site is identified by the Village Development Plan. Community Facilities Area 3.2 is located at the northeast corner of Rancho Santa Fe Road and Questhaven Road. The area is designated Community Facilities by the General Plan. This site is intended to satisfy the Community Facilities site requirement for La Costa Ridge as well as La Costa Oaks. The site will include adequate RV storage for both La Costa Oaks and La Costa Ridge. The 6.4-acre site may also include a daycare center, places of worship, youth and/or senior citizen centers, and any other community facilities uses allowed by the Master Plan. The community facilities areas must total 1 percent of the net developable acreage of the Master Plan. The La Costa Ridge and La Costa Oaks combined community facilities site must be a minimum of 4.9 acres, in addition to the required recreational vehicle parking area.

A minimum 2 acres daycare center site will be provided within the La Costa Greens community facility site that will also serve La Costa Ridge and La Costa Oaks. This child daycare facility satisfies the daycare requirement for all three Villages within the Master Plan.

7.2.3 Recreational Vehicle Storage

A recreational vehicle (RV) storage site is identified in the La Costa Oaks Village Development Plan within the community facilities site in Neighborhood 3.2. The maximum required area of 0.47 acre, exclusive of driveways and approaches, provides for 20 square feet per dwelling unit within the planned development neighborhoods in La Costa Oaks and La Costa Ridge (neighborhoods with minimum lot areas less than 7,500 sq. ft and gated neighborhoods). The required common area may be reduced if apartment units are built instead of townhomes or small-lot single-family units in a neighborhood. For example, the construction of rental apartments in Neighborhood 3.6 reduces the required common area by 0.08 to a 0.39-acre storage area for La Costa Oaks and La Costa Ridge combined. The common storage area may also be reduced if the RV storage spaces required to accommodate a neighborhood are provided for within a particular development. The RV storage site must be screened from public view by a fence, wall, or landscaping.

7.2.4 Open Space

Section 21.38.060 of the Carlsbad Municipal Code calls for Master Plans to provide fifteen percent (15%) of the total Master Plan Area in an integrated Open Space Program which addresses:

- Open space for preservation of natural resources;
- Open space for the managed production of resources;
- Open space for outdoor recreation; and
 - Open space for public health and safety.

Land uses considered as open space for the purposes of this requirement are properties that are publicly or commonly owned for the benefit and use of the public or residents of the community such as parks, recreation facilities, greenbelts that are at least 20 feet wide, natural areas that are at least 10,000 square feet in area, bikeways, and pedestrian trails. The Master Plan open space requirement for La Costa Oaks is 106.6 acres.

The La Costa Oaks open space program exceeds this requirement by providing in excess of 325.9 acres or 46 percent of the Village area as dedicated open space.

The following components demonstrate how La Costa Oaks complies with the Master Plan open space requirement.

Open Space for the Preservation of Natural Resources

The Village of La Costa Oaks includes approximately 298 acres (43%) which are designated as Open Space (OS) by the General Plan and identified as conserved habitat area by the Habitat Conservation Plan/Ongoing Multi-Species Plan (HCP/OMSP). The HCP/OMSP areas are designated as Open Space Areas 3.A and 3.B by the Village Development Plan. The developer will be responsible for management of the Conserved Habitat areas until fee interest is conveyed to a conservancy, CDFG, or other approved entity, or until the recordation of any final map, issuance of a grading permit or building permit in the La Costa Oaks Village, whichever occurs first. Refer to Section 1.7 of the Master Plan for additional HCP/OMSP information.

Open Space Area 3.C consists of an SDG&E utility corridor. In addition to public utilities, trails are allowed in this 9.5 acre area.

Open space Areas 3.D and 3.E are identified by the Village Development Plan as undeveloped areas. Areas 3.D and 3.E total approximately 18.5 acres.

2. Open Space for the Managed Production of Resources

This area has not been used for agricultural purposes in the recent past. No portion of the La Costa Oaks will be reserved for the production of agricultural purposes.

Open Space for Outdoor Recreation

Common recreation areas per the requirements of the Planned Development Ordinance, Chapter 21.45 of the Carlsbad Municipal Code, are proposed for La Costa Oaks Neighborhoods 3.1, 3.6, 3.7, 3.9, and 3.11. Conceptual locations are shown on Exhibit 7-5, Trails and Recreation Plan. Precise locations and sizes of the various areas will be determined at the time of planned development or condominium permit approval for each respective neighborhood.

Open space lots will be located within each Neighborhood during the final map process. Landscaping within these lots shall be designed to provide maximum visibility for police surveillance and to create a safe feeling for users. The exact details of landscaping on open space lots shall be approved by the Planning Director.

In addition to the areas listed above, lands associated with the trail system discussed in Section 7.2.4 of this chapter are considered Master Plan Outdoor Recreation Areas.

Open Space for Public Health and Safety

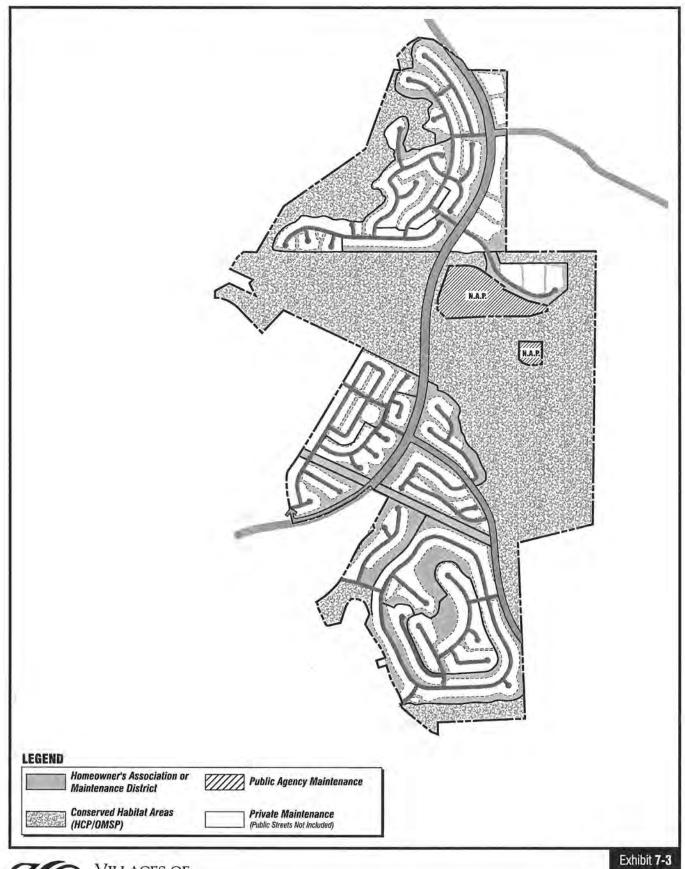
All common maintained slope areas will be maintained as open space. Each Neighborhood shall provide for dedication of open space easements for slope maintenance purposes at the time of final map approval for that Neighborhood.

A Fire Protection Plan shall be approved by the Fire Department for any area designated as a Fire Protection Zone on one of the Neighborhood Development Plans prior to the approval of the tentative map for the affected Neighborhood. The Fire Protection Plan is described in Section 4.7.9 of the Master Plan.

Open Space Maintenance

The responsibilities for the maintenance of the Open Space Areas of La Costa Oaks are described by Exhibit 7-3. Maintenance

responsibilities are divided into two categories. Natural open space, permanent slope landscaping, enhanced median landscaping, parkway landscaping in non curb adjacent sidewalk areas, Fire Protection Zones, and other Neighborhood common areas, including private recreation facilities, will be maintained by a homeowners' association or by a city maintenance district. Conserved habitat areas (Open Space Areas 3.A and 3.B) defined by the HCP/OMSP shall be maintained by an approved conservation entity. The utility corridor described by Open space Area 3.C will be maintained by the Master Homeowners' Association. All other areas will be maintained by the private property owner.





LA COSTA OAKS MAINTENANCE AREAS

7.2.5 Circulation

The Zone 11 Local Facilities Management Plan (LFMP) addresses all Circulation Element roads located within the area of the Master Plan. The La Costa Oaks Village Circulation Plan is illustrated by Exhibit 7-4.

Typical street sections are provided within the master plan. In general new local streets within the master plan will include landscaped parkways having a minimum width of four and one-half feet located between the curb and sidewalk. Sidewalks having a minimum width of five feet shall be provided on both sides of all streets unless the Planning Commission or City Council determines that it is appropriate to construct sidewalks on one side of the street only.

1. Traffic Calming

During the buildout of the Villages of La Costa Master Plan the City Council may approve standards for the use of traffic calming devices. Should the use of traffic calming devices be approved by the City Council such devices may be incorporated into project designs for neighborhoods which have not yet received discretionary approvals for development or into existing developed neighborhoods. The inclusion of such devices shall not require substantial modifications to the neighborhood concept designs or yields. Recommendations on appropriate locations to achieve better design and slow traffic shall be provided during project review by City departments particularly the Engineering, Fire and Planning Departments.

Village Circulation Plan

Three Circulation Element roadways are located within La Costa Oaks. Rancho Santa Fe Road is classified as a Prime Arterial Street (126-foot right-of-way). Typical Village street sections are shown on Exhibits 4-3, 4-4, 4-5 and 4-6. Rancho Santa Fe Road enters La Costa Oaks at the southern tip of Neighborhood 3.9 and generally extends northward through the Village Neighborhoods.

Rancho Santa Fe Road exits the Village at the north end of Neighborhood 3.1. No residential lots shall front on Rancho Santa Fe Road.

Street C (Melrose Drive) is classified as a Major Arterial Street by the Circulation Element. The name of this street will be determined at the time of Tentative Map approval consistent with the City of Carlsbad's street naming policy. The Street C right-of-way will be graded for a 102-foot Major Arterial Street and developed to Secondary Arterial Street standards (64-foot paved section). The additional right of way will accommodate future changes that might occur at the City Boundary with the City of Encinitas. Street C begins at Rancho Santa Fe Road where it serves as access for, and separates Neighborhoods 3.10 and 3.11. Street C continues in a southeasterly direction to the Village boundary at the southern end of Open Space Area 3.B. No residential lots shall front on Street C.

Precise locations for signals, signage, and project monumentation will be determined at the time of map approval.

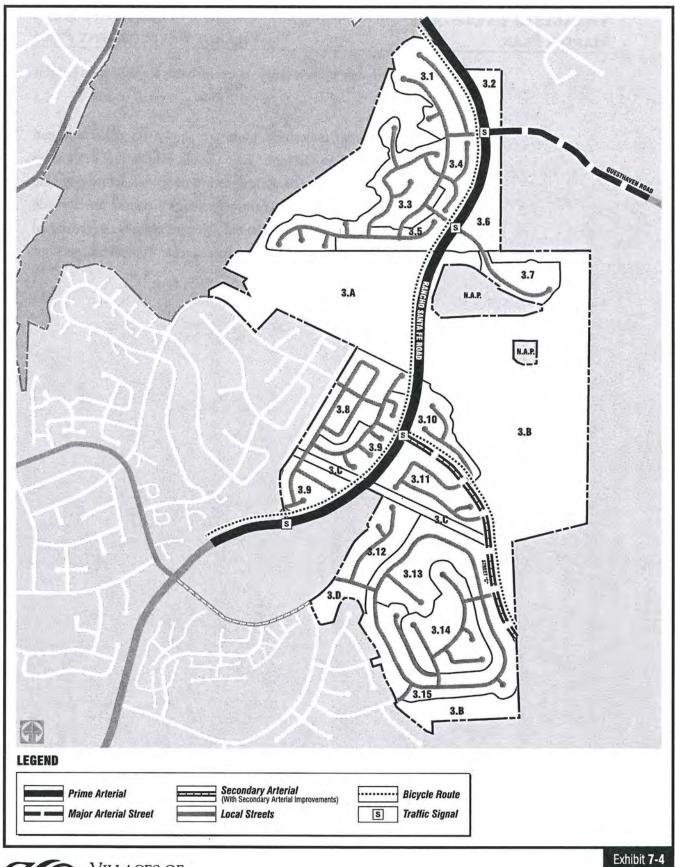
Cul-De-Sacs

In order to facilitate pedestrian and bicycle access as well as provide visual access to an area beyond the street "open cul-desacs" shall be used when appropriate. Open cul-de-sacs shall be utilized where non-automobile circulation could be enhanced and at development edges where physical or visual access beyond the project is desirable. Sidewalk or trail connections shall be provided where appropriate from the cul-de-sac to the nearest sidewalk or trail beyond the open cul-de-sac.

Bicycle/Pedestrian Trails

Rancho Santa Fe Road and Street C (Melrose Drive) are designated Bicycle Routes by the Circulation Element of the General Plan. Each of these roadways shall be designed to accommodate bicycle lanes. Bicycle routes are shown on Exhibit 7-4.

Two types of pedestrian trails are shown on the Trails and Recreation Plan, Exhibit 7-5. Trails which are designated citywide trails have been designed to tie in to a future citywide trails system. Local trails allow residents to access the citywide trail system, other residential Neighborhoods, recreational opportunities, and natural open space areas. Typical trail sections are depicted on Exhibit 4-7.





LA COSTA OAKS CIRCULATION PLAN

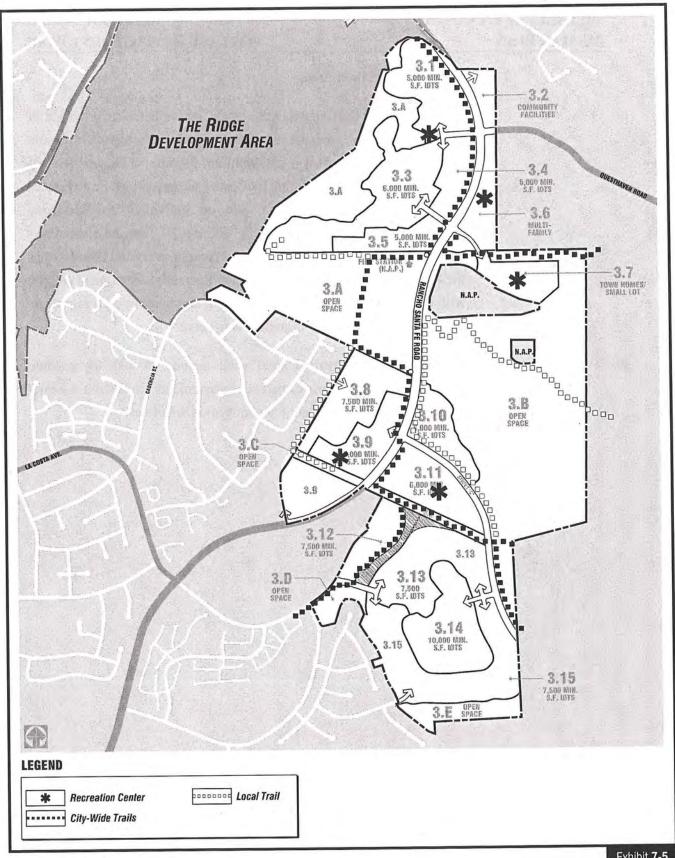




Exhibit 7-5

LA COSTA OAKS TRAILS AND RECREATION PLAN

7.2.6 Common Recreation Areas

Chapter 21.45 of the Carlsbad Municipal Code calls for the provision of common recreation areas for all neighborhoods requiring a Residential Planned Development or Condominium Permit. The locations of common recreation areas within La Costa Oaks are shown on Exhibit 7-5, Trails and Recreation Plan, and on individual Neighborhood Development Plans in Section 7.7.3. Exhibit 7-C lists La Costa Oaks neighborhoods which require common recreation areas and also indicates the location of the required areas. Each Recreation Area must comply with the P.D. Ordinance minimum size requirement for each recreation area based on the number of units it is to serve.

Common active recreation areas shall include an area for resident parking. The recreation area parking requirements are listed in Chapter 4, Master Plan Development Standards and Guidelines.

EXHIBIT 7-C COMMON RECREATION AREA LOCATION SUMMARY LA COSTA OAKS

La Costa Oaks Neighborhoods Requiring Common Recreation Areas	Location of Common Recreation Areas
Neighborhood 3.1	Neighborhood 3.1, Exhibit 7-19
Neighborhood 3.3	Neighborhood 3.1, Exhibit 7-19
Neighborhood 3.4	Neighborhood 3.1, Exhibit 7-19
Neighborhood 3.5	Neighborhood 3.1, Exhibit 7-19
Neighborhood 3.6	Neighborhood 3.6, Exhibit 7-24
Neighborhood 3.7	Neighborhood 3.7, Exhibit 7-25
Neighborhood 3.9	Neighborhood 3.9, Exhibit 7-27
Neighborhood 3.10	Neighborhood 3.11, Exhibit 7-29
Neighborhood 3.11	Neighborhood 3.11, Exhibit 7-29

7.2.7 Village Development Permits

Prior to the development of each La Costa Oaks neighborhood, a series of permits must be submitted for review and approval by the City. Permits required for the development of each individual neighborhood are summarized on the Village Permit Matrix, Exhibit 7-D. In some cases specific permit requirements will depend on the type of development which is proposed. For example, a neighborhood proposed for small-lot, single-family detached homes would require a Planned Development Permit, while a condominium project would call for a Condominium Permit. In addition to the Village Permit Matrix provided in this section, development permit requirements are listed under the heading, "Required Development Permits," for each neighborhood in Section 7.7.3.

 Review Process For Development of Single Family Detached Dwelling Units On Lots With an Area of 7,500 Square Feet or Larger

To determine compliance with the provisions of the master plan a Site Development Plan is required for development of single-family detached dwelling units on lots with a minimum lot area of 7,500 square feet or greater. A tentative map can be processed separately with the Site Development Plan processed at a later date for the architecture and plotting. If a neighborhood is to be developed with custom homes a Site Development Plan is not required.

2. The Review Process for Development of Single Family Detached Dwelling Units/Townhomes on lots with an area less than 7,500 square feet, are as follows:

Small lot projects with minimum lot sizes less than 7,500 square feet require the approval of a Planned Unit Development Permit concurrent with a Tentative Map. Planned Unit Development Permits may be approved without architecture and plotting. Planned Unit Development Permits approved without architecture and plotting require the approval of a Major Planned Unit Development Permit Amendment at a later date to authorize the proposed structures and their placement.

EXHIBIT 7-D VILLAGE PERMIT MATRIX

LA COSTA OAKS

						Z	EIGH	NEIGHBORHOODS	1001	S					
Development Permit	3.1	3.2	3.3	3.4	3.5	3.6	3.7	3.8		3.10	3.11	3.12	3.9 3.10 3.11 3.12 3.13 3.14 3.15	3.14	3.15
Tentative Subdivision Map	•	0	•		•	0	•	•	•	•	•	•	•	•	•
Hillside Development Permit	Θ	Θ	Θ	Θ	Θ	Θ	0	0	Θ	Θ	Θ	Θ	Θ	Θ	Θ
Planned Development Permit	•		•	•	•	0	0		•	•	•				
Condominium Permit		П				0	0								
Site Development Plan				140	EL	0		•				•	•	•	•
Conditional Use Permit		•				0									
Flood Plain Special Use Permit	0														
Day Care Permit							Ī.			Ī					

- Denote permit required for development.
- Denotes permit required for development, depending on type of development.
- Hillside Development Permits may or may not be required for the development of each individual neighborhood depending on the proposed A Hillside Development Permit is being processed concurrently with the Master Tentative Map for the La Costa Oaks Village. Subsequent design.
- A Floodplain Special Use Permit is being processed concurrently with the Master Tentative Map for the La Costa Oaks Village. A subsequent Floodplain Special Use Permit may or may not be required for individual neighborhoods depending on the proposed design.
- Subsequent to Master Subdivision

December, 2000

7.3 Public Facilities

This section addresses the La Costa Oaks backbone public facilities system. Exhibits 7-6, 7-7, 7-8 and 7-9 illustrate the general locations and development phasing (also see Section 7.4, La Costa Oaks Village Phasing Plan) of the backbone facilities, which are further described below.

7.3.1 Drainage and Flood Control

The La Costa Oaks Conceptual Drainage Plan, Exhibit 7-6 provides drainage and flood protection to the site. The 100-year floodplain (after project condition) is shown on the plan.

Drainage improvements that will be implemented as a result of the Master Plan focus on minimizing the amount of debris that enters the drainage system, minimizing the amount of sedimentation that occurs, and maintaining the quality of water within the drainage system at a level consistent with the federal Clean Water Act. These improvements will include necessary appurtenant facilities such as catch basins, manholes, inlet and outlet structures, water quality basins, detention basins, and access roads. The improvements must also address the reduction of peak runoff downstream. New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will also be incorporated into the proposed improvements once such standards are adopted. Locations and sizes of these improvements will be determined as part of the master subdivision process and the tentative maps for the individual neighborhoods.

La Costa Oaks is located in the Batiquitos Lagoon Watershed. Storm water from La Costa Oaks flows through storm drains, man-made channels and natural drainage ways in open space areas to San Marcos Creek and to an unnamed tributary of Encinitas Creek. The southern portion of La Costa Oaks drains to the Encinitas Creek tributary, while the northern portion drains to San Marcos Creek. Both Creeks drain into the Batiquitos Lagoon. The proposed facilities are consistent with the

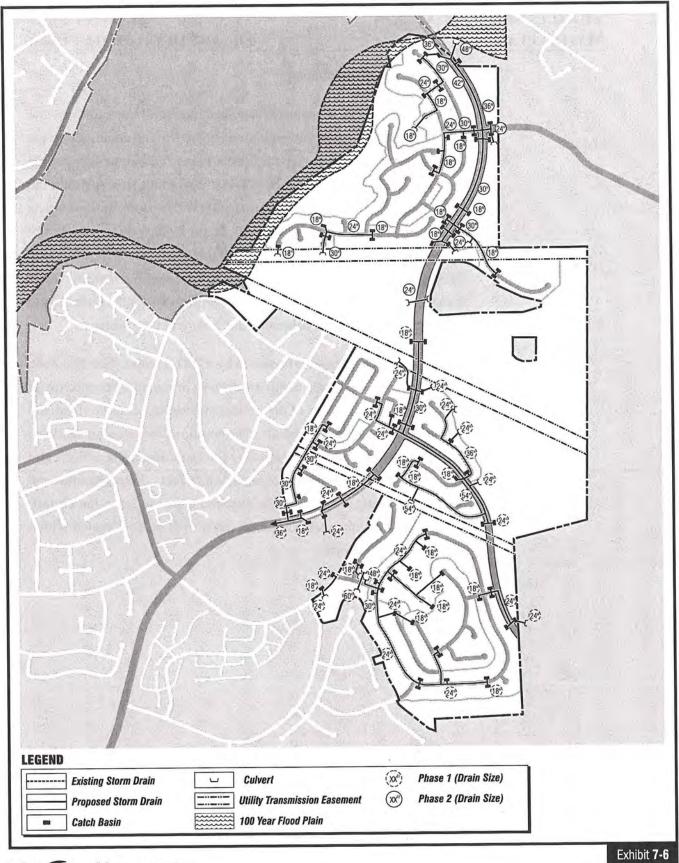
City of Carlsbad's Master Drainage and Storm Water Quality Management Plan. La Costa Oaks is located within drainage basin "D" of the Management Plan. Per the plan the southern portion of La Costa Oaks may require a detention basin, however, the need for detention, either interim or long term, will be determined during final engineering. The proposed storm drain system to serve the northern portion of La Costa Oaks will primarily be located along the internal street system with outlets discharging to the existing storm drain system in Rancho Santa Fe Road and several smaller outlets into the open space area. These all discharge to San Marcos Creek. The southern portion of the Oaks, which drains toward Encinitas Creek, will also be served by an internal storm drain system and the existing storm drain lines within Rancho Santa Fe Road.

The proposed phasing will ensure that needed facilities are in place prior to or concurrent with development. Any facilities necessary to accommodate a future phase of development in the La Costa Oaks must be financially guaranteed or provided for prior to the recordation of any final map, issuance of a grading permit or building permit. Prior to the recordation of any final map, issuance of grading permit or building permit, whichever occurs first for any specific sub-drainage area within the La Costa Oaks, the developers of that project are required to pay or enter into an agreement to pay the drainage area fees established. Prior to the recordation of any final map, issuance of a grading permit or building permit, the developers shall financially guarantee the construction of the storm drain facilities that are listed in the LFMP, that are necessary for that development phase.

All development in La Costa Oaks shall comply with current city standards in effect at the time of issuance of any permit. Drainage facilities will be provided at the time of development based on the Villages of La Costa hydrologic study, to the satisfaction of the City Engineer. Prior to approval of any final map, the developer shall pay or enter into an agreement to pay any drainage area fees established by the Drainage Master Plan.

New standards in association with the proposed National Pollutant Discharge Elimination System (NPDES) permit for the San Diego County area will be met, as all necessary NPDES requirements will be incorporated into the proposed improvements once such standards are adopted. The developer will also provide best management practices as referenced in the "California Storm Water Best Management Practices Handbook" to reduce surface pollutants to an acceptable level prior to discharge to sensitive areas.

JHA\VLC MP December, 2000



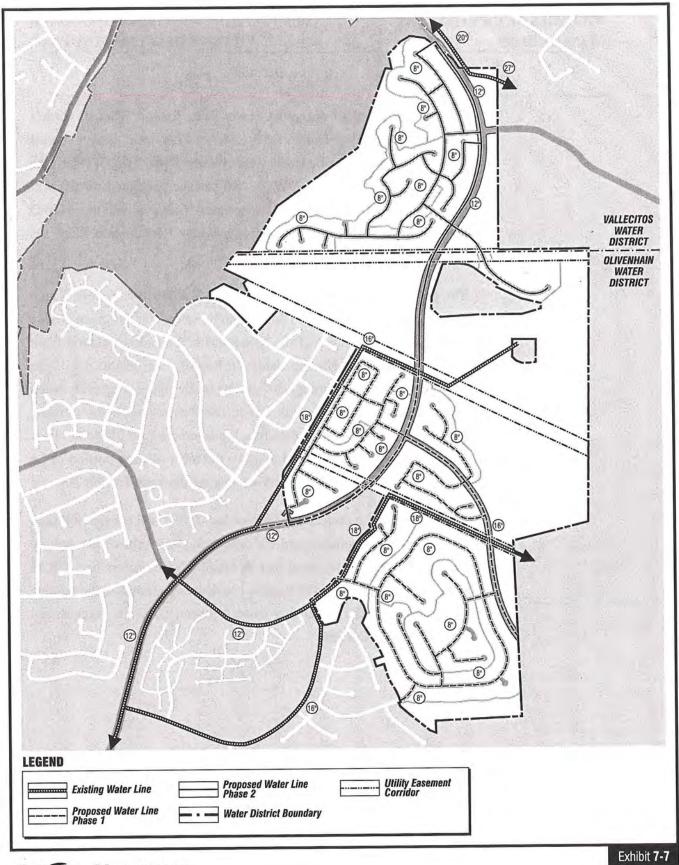


LA COSTA OAKS DRAINAGE PLAN

7.3.2 Domestic Water Distribution

The La Costa Oaks Conceptual Water Plan, Exhibit 7-7, sets forth on-site water distribution systems to provide adequate fire and domestic service as required. The north area of the Master Plan is within the service area of the Vallecitos Water District (VWD). The south area is within the Olivenhain Municipal Water District (OMWD). Both water districts obtain imported water from the San Diego County Water Authority which in turn obtains water from the Metropolitan Water District. Existing distribution facilities run through the project. Domestic water demands for this project are based on the projections for the specific land uses and their intensities balanced with historical use factors.

The portion of the project to be served by VWD is within their 815 Zone for water service. Service to this area can be provided by connecting to the existing system north of the project in Rancho Santa Fe Road and constructing onsite improvements. The portion of the project that is to be served by OMWD will be supplied by the Denk Reservoir which has a lower water elevation of approximately 822 feet. New pipelines and pressure reducing stations will be required onsite to serve the project. Some of the improvements required onsite will be constructed within Rancho Santa Fe Road.





LA COSTA OAKS WATER PLAN

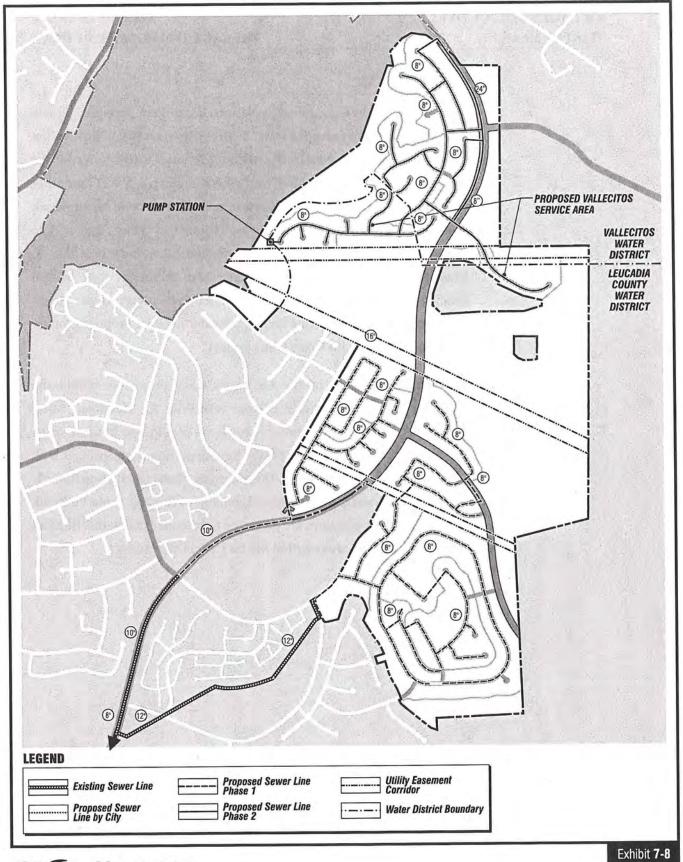
7.3.3 Sanitary Sewer

The La Costa Oaks Conceptual Sewer Plan, Exhibit 7-8, sets forth a system for sewage collection for the Master Plan Area. Sewer service will be provided by the Leucadia County Water District (LCWD) and the Vallecitos Water District (VWD). All sewage generated on-site will generally flow to the Encina Wastewater Authority via the LCWD collection system or the Meadowlark Water Reclamation Plant via VWD's system for treatment and disposal.

The portion of the project to be served by VWD will consist of 8-inch gravity sewers onsite and a 12-inch gravity sewer line in Rancho Santa Fe Road to the entrance of the Meadowlark Water Reclamation Plant access road. From Rancho Santa Fe Road to the headworks of the treatment plant, a 24" through 30" gravity sewer piping is currently being constructed by others. This sewer line has capacity for ultimate development per the Local Facilities Management Plan for Zone 11. A pump station will be required to serve the most western portion of La Costa Oaks within the VWD service area, as shown in Exhibit 7-8.

The portion of the project to be served by LCWD will consist of 8-inch gravity sewer lines onsite and the construction of some offsite gravity sewer lines. It is anticipated that an offsite 10-inch sewer line will be required in Rancho Santa Fe Road to convey sewage south to the existing system. An offsite sewer line exists between La Costa Avenue and Camino de Los Coches.

December 2000



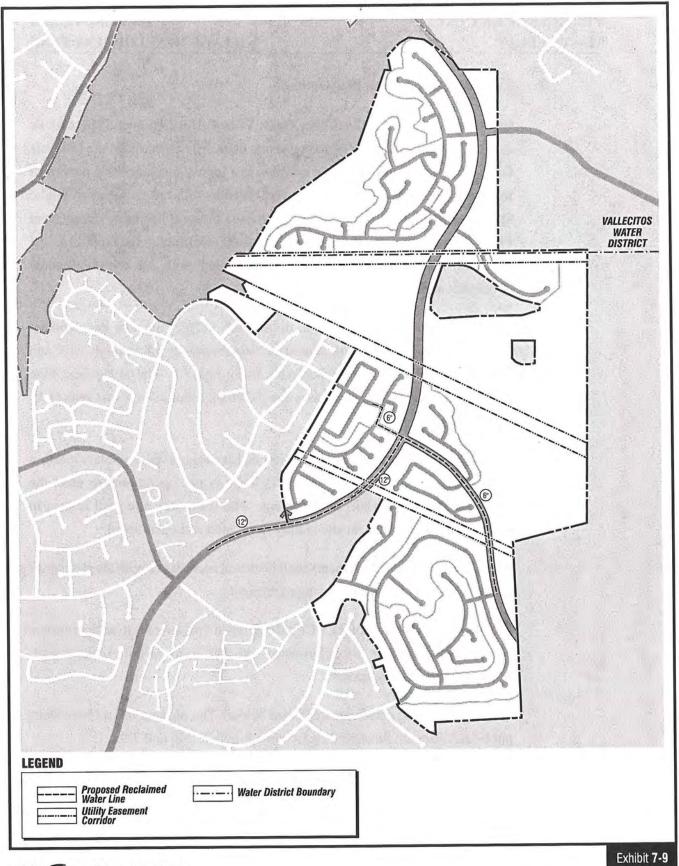
VILLAGES OF LA COSTA

LA COSTA OAKS SEWER PLAN

7.3.4 Reclaimed Water

The La Costa Oaks Conceptual Reclaimed Water Plan, Exhibit 7-9, sets forth a system for a reclaimed water distribution to serve the Master Plan Area. The City of Carlsbad will provide reclaimed water service for the northern portion of the La Costa Oaks project. VWD currently wholesales all of the reclaimed water produced at their Meadowlark Water Reclamation Plant to the Carlsbad Municipal Water District. The current Master Plan for VWD recommends that they continue to wholesale all of their reclaimed water and, therefore, they do not anticipate providing reclaimed water service to their customers. Based on this information, no onsite reclaimed water lines are proposed for the north portion of the La Costa Oaks project.

The southern portion of the La Costa Oaks project is within the Olivenhain Municipal Water District (OMWD) for reclaimed water service. Although the potential reuse areas are limited to open space slopes, OMWD does plan on providing this portion of the project with reclaimed water service. OMWD is planning on the installation of a 12-inch reclaimed water line in the realignment of Rancho Santa Fe Road. Smaller diameter pipelines are proposed to be connected to this line and extended to the use areas within the La Costa Oaks project.





LA COSTA OAKS RECLAIMED WATER PLAN

7.4 La Costa Oaks Village Phasing Plan

Implementation of the La Costa Oaks Village Development Plan will be accomplished through a two-phase phasing plan. The objective of the La Costa Oaks Village Phasing Plan is to coordinate a logical sequence and pattern of residential development and habitat conservation with the provision of public facilities and services as established by the Zone 11 Local Facilities Management Plan. All public facility performance standards identified in the Zone 11 Local Facilities Management Plan must be complied with by each individual development phase.

The La Costa Oaks Phasing Plan divides the village into two development phases: Phase 1 (South) will consist of Neighborhoods 3.8 through 3.15; and Phase 2 (North) will add Neighborhoods 3.1 through 3.7. The boundaries of the La Costa Oaks development phases are shown on Exhibit 7-10, La Costa Oaks Village Phasing Plan.

Recreational vehicle parking will be provided at an approved temporary location if the Master Plan site in the Greens Village is not operational to meet the phasing needs of the Oaks development. The temporary site shall remain in service until the permanent site is fully developed and operational.

Affordable housing requirements shall be met in accordance with the provisions of the approved affordable housing agreement.

Fee interest conveyance of the HCP/OMSP Open Space Areas to an appropriate conservator will occur in conformance with the terms of the executed HCP Implementation Agreement.

Individual phasing details are described below. The phasing of La Costa Oaks public facilities are illustrated on Exhibits 7-6, 7-7, 7-8, and 7-9.

Mass grading activities will be phased.

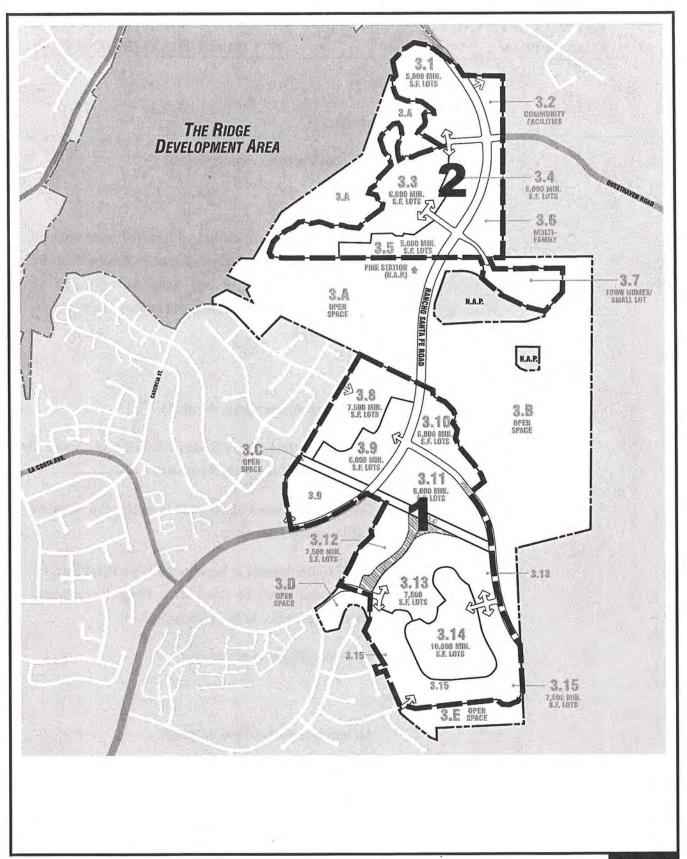




Exhibit 7-10

LA COSTA OAKS PHASING PLAN

7.4.1 Phase 1 - South

1. Neighborhoods

Neighborhoods 3.8 through 3.15.

2. Grading

Cut and fill balanced on-site, except that additional fill
may be required for the construction of Rancho Santa Fe
Road. The source of any additional fill will be
determined at the time grading and improvement permits
are requested.

Circulation

- All improvements within the phase.
- Realign Rancho Santa Fe Road from La Costa Avenue to a point north of the Mahr Reservoir.
- Construct two lanes of Street C from Rancho Santa Fe Road to project boundary.
- Install traffic signals at Rancho Santa Fe Road/Street C and Rancho Santa Fe Road/MAG Properties entrance (southern entrance to Neighborhood 3.9).
- No other off-site improvements.

4. Sewer

- All improvements within the phase.
- Provide an off-site connection to the existing 12-inch Leucadia line in Camino De Los Coches.
- Provide a new line within the realigned Rancho Santa Fe Road and connect to existing line at the intersection of Rancho Santa Fe Road/La Costa Avenue.

No other off-site improvements.

5. Water

- All improvements within the phase.
- Provide an off-site connection to the existing 16-inch
 Olivenhain line in Camino De Los Coches.
- Provide a new line within the realigned Rancho Santa Fe Road and connect to the existing line at the intersection of Rancho Santa Fe Road/La Costa Avenue.
- No other off-site improvements.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- No other off-site improvements.

7. Community Improvements

None.

7.4.2 Phase 2 - North

- 1. Neighborhoods
 - Neighborhoods 3.1 through 3.7.
 - Community Facilities Area 3.2.

Grading

Cut and fill balanced on-site.

3. Circulation

- All improvements within the phase.
- Realign Rancho Santa Fe Road from end of Phase 1 improvements (Mahr Reservoir) to Melrose Avenue.
- Install traffic signal at Rancho Santa Fe Road/entrance to Neighborhoods 3.4 thru 3.6.
- Install traffic signal at intersection of Rancho Santa Fe Road/ future Questhaven Road but do not extend road to the east of intersection.

Sewer

- All improvements within the phase.
- Provide an off-site connection to the existing 12-inch
 Vallecitos line in Rancho Santa Fe Road.
- Provide an off-site connection through the HCP area to Cadencia Street. During the Master Tentative Map review, further analysis will evaluate if this line can be rerouted to the adjacent street system to avoid impacts to the HCP area.
- No other off-site improvements.

5. Water

- All improvements within the phase.
- Provide an off-site connection to the existing 27-inch
 Vallecitos line in Rancho Santa Fe Road.
- No other off-site improvements.

6. Drainage

- All improvements within the phase.
- Provide internal temporary and permanent storm water treatment measures per NPDES standards.
- No other off-site improvements.

7. Community Improvements

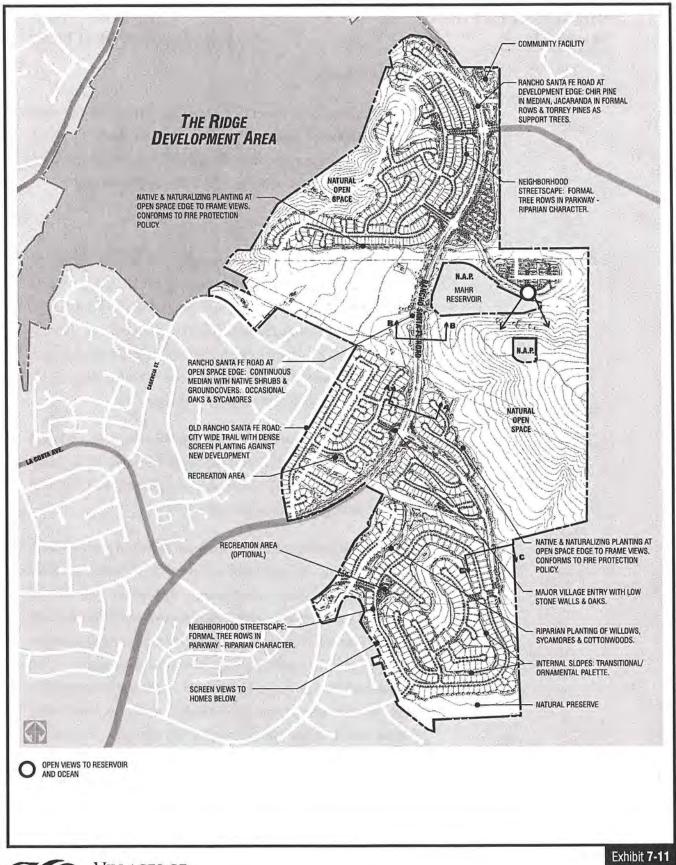
 Provide sites for community facilities, RV storage, child day care, and place of worship. Upon completion of the RV storage area, any temporary RV storage areas shall be released for development.

7.5 Village Landscape Concept Plan

7.5.1 Village Landscape Character

The Village of La Costa Oaks draws from existing stands of native oaks for its identity and theme. "The Oaks" will embody a more naturalized lowland or riparian character, reflecting an agrarian quality, but within an organized framework of landscape treatment to establish a cohesive community image and theme.

La Costa Oaks is enveloped by a large expanse of permanent open space set aside by the Habitat Conservation Plan/Ongoing Multi-Species Plan. The landscape concept for this Village is designed to integrate the native habitat of the adjoining open spaces with the developed areas through the use of natural-like clusters of trees and understory plantings within the developed areas. The neighborhoods will take on a semi-natural character, but within a more structured framework. See Exhibit 7-11, La Costa Oaks Landscape Concept.





LA COSTA OAKS LANDSCAPE PLAN

7.5.2 Arterial Street Landscape

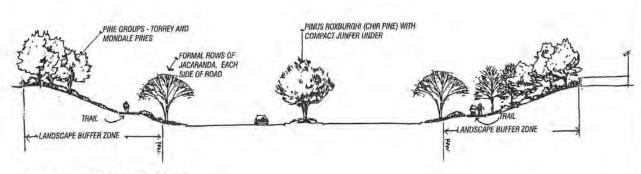
Rancho Santa Fe Road and Street "C" (Melrose Drive) are the only arterial streets within the Oaks. However, Rancho Santa Fe Road traverses a significant open space zone as well as development areas and this calls for a variance to the conventional landscape treatment.

1. Rancho Santa Fe Road

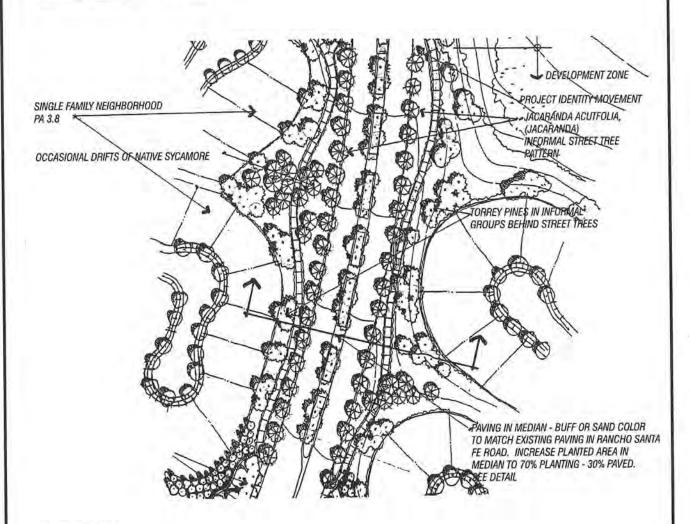
The visual quality of the Rancho Santa Fe Road streetscape will undergo a subtle yet distinct change north of the La Costa Avenue intersection. Chir Pine will be used as the median tree. Jacaranda will become the formal parkway theme tree. Torrey Pines will also be used along this arterial street parkway, as a background, planted in informal masses. See Exhibit 7-12, Rancho Santa Fe Road Streetscape – Village Zone.

A landscaped parkway will be provided between the curb and sidewalk on the east side of Rancho Santa Fe Road, while on the west side, the design will incorporate a sidewalk/trail that will meander through a landscaped right-of-way.

The overall planting scheme is designed to reflect a naturalized, informal quality through random clusters of trees, irregular spacing and irregular groundplane treatments, yet at the developed areas, a linear, formal tree pattern (Jacaranda) provides a unique identity. Variety and contrast in textures, colors, shapes and forms will be expressive of a rural, agrarian quality. The median treatment will also be informal, with random spacing of Chir Pines in groups and individuals, variety in under-story species and irregular planter shapes and spacing. The design scheme for the median will maintain natural color stamped concrete texture matching the existing Rancho Santa Fe Road median treatment. The larger median planting areas as discussed in Section 4.7.2 will be utilized.



RANCHO SANTA FE ROAD - VIEW NORTH



Section A

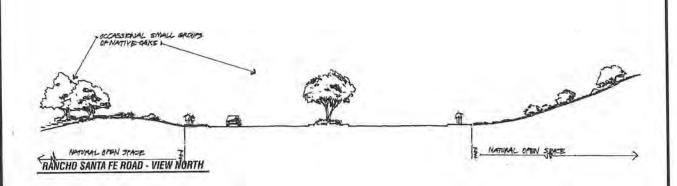


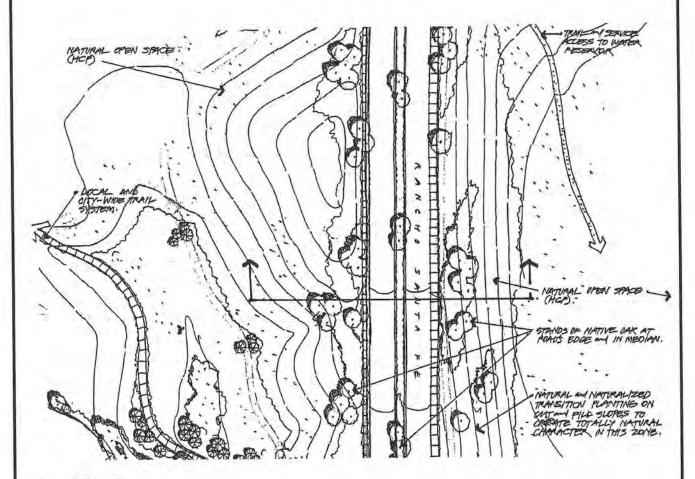
Exhibit 7-12

RANCHO SANTA FE STREETSCAPE-VILLAGE ZONE The streetscape character of Rancho Santa Fe Road will change dramatically where it passes through Conserved Habitat areas. This stretch, just under one-half mile in length, will be designed to create a seamless expanse of native habitat. Sensitively sculpted grading and use of native and naturalized shrubs, grasses and groundcovers will soften and integrate the roadway's passage through this unique zone. The standard parkway and median trees used in the Village Zone portion of this arterial will be deleted and replaced with native groundcovers, shrubs, and trees such as Holly Oaks (with Holly Oaks only in the medians). The median hardscape will be limited to the safety strip at the edge with the planting areas being continuous and uninterrupted except for a 30' length of paving every 400' for maintenance vehicle parking. See Exhibit 7-13, Rancho Santa Fe Road Streetscape – HCP Zone.

2. Street C (Melrose Drive)

Street C will be graded to accommodate an ultimate major arterial street configuration with a 102-foot right-of-way. The initial improvements for this street will be made to collector street standards (40' paved section plus 4.5' sidewalk and 5.5' landscape parkway) located on the southerly and westerly half of the right-of-way to facilitate installation of utilities in their permanent position. The balance of the right-of-way reservation will be improved with a 10-foot-wide meandering trail (unpaved) and landscape with an irrigated native "meadow" hydroseed mix, shrubs and random stands of White alders and California Pepper trees. The Street C streetscape concept is shown on Exhibit 7-14.



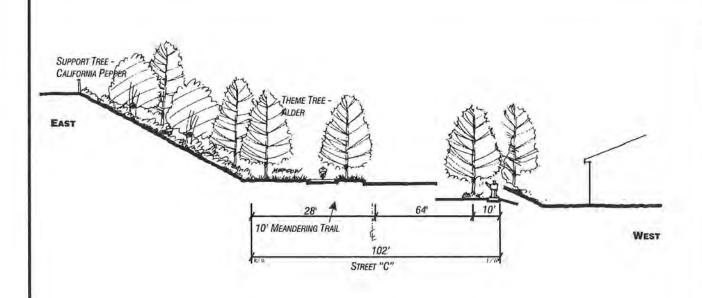


Section B



Exhibit 7-13

RANCHO SANTA FE STREETSCAPE-HCP ZONE



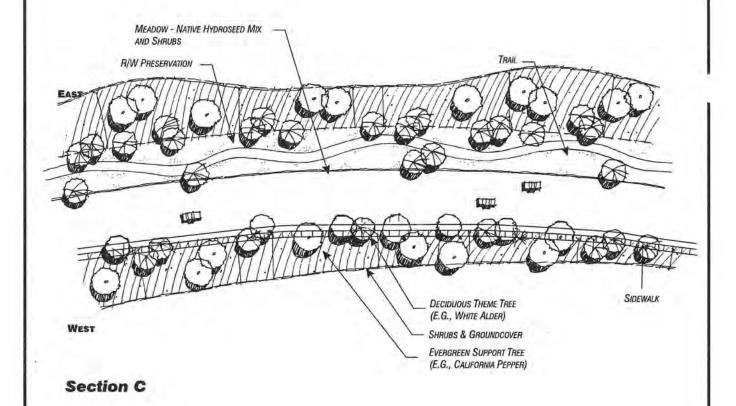




Exhibit 7-14

7.5.3 Village Entries

Village entries are prominent design elements which communicate identity, establish its quality and character and provide a unifying accent statement to link The Villages of La Costa as a recognizable cohesive community. Key elements repeated in the entries of all Villages are low serpentine stone walls, similar logo formats, and specimen entry accent trees, (Coast Live Oak at La Costa Oaks).

Village entries will incorporate an open area that will be covered in low groundcovers forming the foreground to the entry area. An informal serpentine wall of stone, with an average of three to five feet in height forms the edge for the "meadow" area. The wall will have a thin stone cap to lend a touch of refinement to the entry. The project signage will be on a large stone pilaster/wall approximately 4.5 feet tall and 6 to 10 feet long. The pilaster will have a slight batter to its vertical faces and be placed at the end of the curving wall.

An informal grove of Coast Live Oaks will be placed on both sides of the curving wall to provide the entry accent. Lombardy Poplars or similar trees will provide a deciduous backdrop to the Oaks.

Exhibit 7-15, Village Entry, depicts a conceptual entry design.

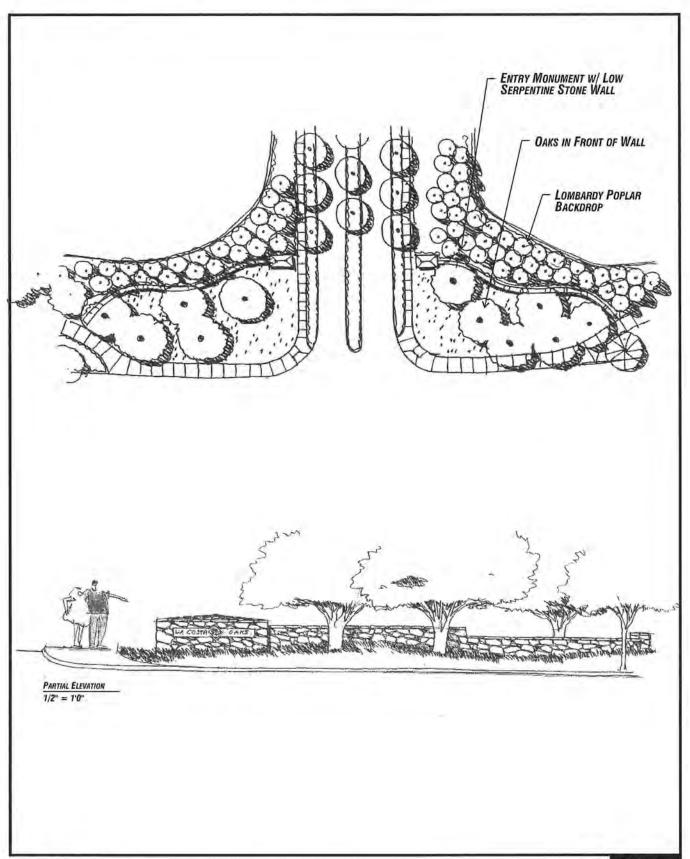




Exhibit 7-15

LA COSTA OAKS VILLAGE ENTRY

7.5.4 Neighborhood Entries

Entries into neighborhoods within La Costa Oaks will be identified with smaller scale design statements. Low stone pilasters (approximately 42-48 inches high and five feet square at the base) with battered vertical sides and a pre-cast concrete cap with a simple La Costa Oaks logo plaque will be set in a small "meadow" foreground. Vertical accent trees will form a simple backdrop to the entry statement. Exhibit 7-16, Neighborhood Entry illustrates a possible entry design.

7.5.5 Village Edges

The juxtaposition of The Village of La Costa Oaks within its setting of Conserved Habitat places critical importance on the visual character of its edges and interface with the native landscape. The goal of the design treatment of this margin is to blend the introduced landscape with the existing vegetation. Gradual transitions of foliage color, texture and form will help "blur" the edge, avoiding a harsh artificial line which would be visually disturbing in an abrupt change. Exhibit 7-17 illustrates the typical treatment of this zone.

7.5.6 Neighborhood Street Landscaping

Internal streets (collectors and locals) in La Costa Oaks will express their individuality through formally spaced street trees in parkways. The street trees will be selected from Section 7.5.9, Plant Palettes, with a selected tree used for a given street or neighborhood to enhance neighborhood scale, identity and way-finding. The minimum number of trees is one (1) tree for each 30 feet of frontage. Where the streets abut open space, the open space character will prevail coming to the edge of pavement.

More native and naturalized trees and shrubs may be used as transition planting in these zones, but ornamental trees such as palms or Coral trees are to be avoided.

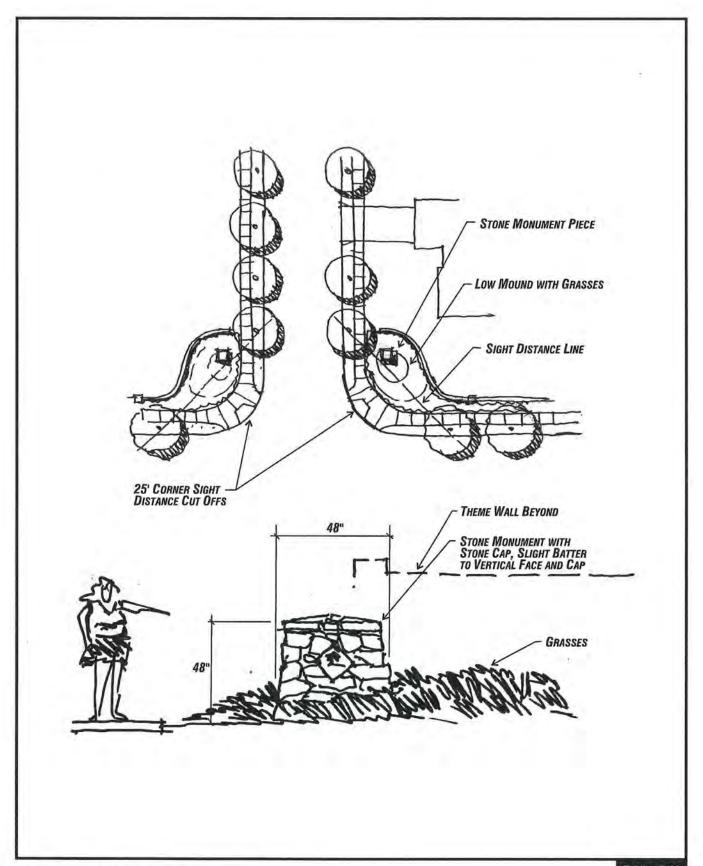




Exhibit 7-16

LA COSTA OAKS NEIGHBORHOOD ENTRY PUBLIC

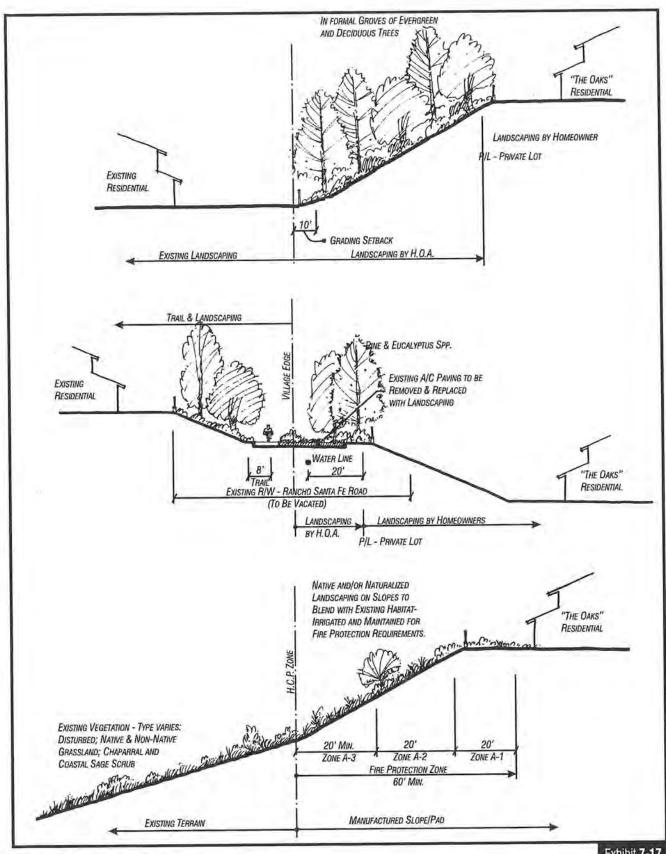




Exhibit 7-17

7.5.7 Village Theme Walls

Theme walls for La Costa Oaks will be employed along arterial streets and major collectors. Walls will be constructed of masonry with a heavy textural finish and cap of similar material. Wall heights will be a minimum of five feet. Simple pilasters (same as wall material) will have a pre-cast concrete cap and will be slightly taller than the actual wall, but no taller than a maximum of six feet. These pilasters will be used sparingly at the ends of walls, at changes in wall/fence type, and at significant changes in grade or horizontal direction. The pilasters may exceed the maximum height of 6 feet where significant changes in grade make it necessary to maintain a consistent wall height at specific locations subject to Planning Director approval. Where possible, changes in horizontal direction should be accomplished with a smooth radiused curve.

The monotony of walls and fences located 15 feet or less from the public right-of-way can be broken up by providing recesses for landscaping and variations in materials. Such treatment becomes especially important for perimeter walls and fences located along major streets. Straight walls and fences in excess of 200 feet in length, without visual relief, tend to create a tunnel effect and shall be avoided whenever possible.

Where view conditions warrant, the theme wall may be changed to an open picket fence of tubular steel, five feet and six inches in height. If noise attenuation is an issue, the view fence may consist of a plexiglass upper panel over a masonry/stucco base wall. Exhibit 7-18 illustrates the designs for La Costa Oaks theme walls.

7.5.8 Entry, Wall and Planting Standards

Sight Distance:

 Landscape elements over 30" in height (including planting measured at maturity) are not allowed at street corners within a triangular area drawn from two points measured 25 feet from the point of the curb returns

- (P.C.R.). A tree may be permitted in this zone with a minimum canopy height of 8 feet.
- The same height limitation applies to high use driveways
 25 feet from the edge of the apron outward along the curb
 then 45 degrees in toward the property.
- On Collector streets and greater, Cal Trans Sight Distance Standards shall also apply to the height restriction stated above.
- These height restrictions also apply to street trees, entry monuments, theme walls and project signage located within the sight distance corridors.

2. General Planting Requirements:

- The spacing of plants shall allow for their size at maturity.
- Trees with surface root systems and/or broad branch structures shall be planted only where sufficient space is available.
- Street trees shall generally be located a minimum of 5 feet from paving except where a landscape parkway is proposed, 7 feet from sewer lines, and not in conflict with public utilities.
- Trees planted within 5 feet of public sidewalks shall be installed with root barriers approved by the City.

Maintenance:

 The areas of landscape maintenance responsibilities (private, common area/homeowners' association, City, etc.) are illustrated on Exhibit 7-3 and shall be designated on the Village Landscape Concept Plan.

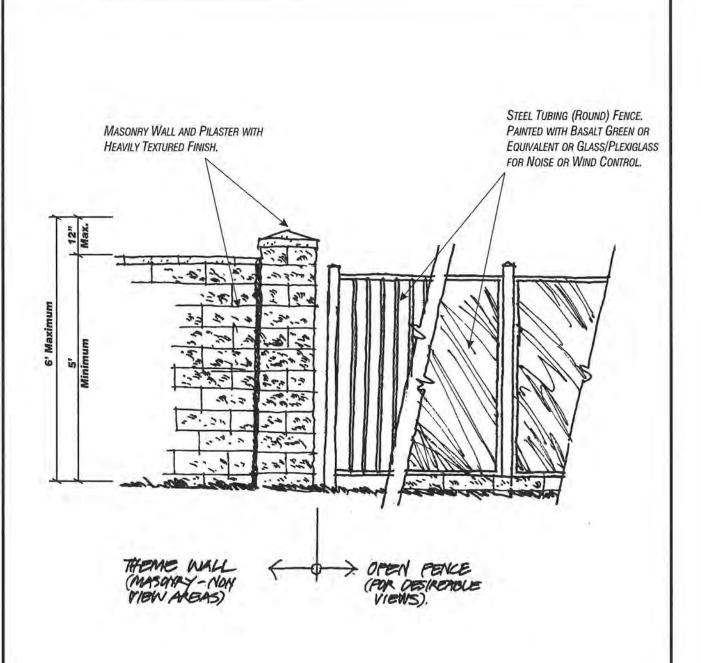




Exhibit 7-18

7.5.9 Plant Palettes

The plant palettes for the various zones of the community have been selected to ensure that the integrity of the overall concepts are properly implemented throughout all stages of the project's development (see La Costa Oaks Landscape Concept, Exhibit 7-11. Special use areas pertain to recreation centers, village and neighborhood entries and other sensitive areas requiring specialized landscaping.

Tree species vary in their root system and subsequent effect on adjoining walks and structures. Care will be given to locating trees to avoid such issues, however, the City will have final approval for final clearances when public facilities could be affected. Species are noted by an asterisk (*).

Scientific Name

Common Name

ARTERIAL STREETS

Rancho Santa Fe Road - Village Zone

Trees

Jacaranda acutifolia (Jacaranda)

Pinus torreyana (Torrey Pine)
Populus fremontii (Western Cottonwood)

Pinus roxburghi (Chir Pine)

Theme Tree

Parkway Support Tree Parkway Accent Tree

Median Tree

Median Shrubs

Arctostaphylos 'Emerald Carpet' Arctostaphylos 'Pacific Mist' Baccharis pilularis 'Twin Peaks'

Bougainvillea spp.

Ceanothus griseus 'Horizontalis'

Coprosma kirkii

Cotoneaster dammeri

Hypericum spp.

Lantana montevidensis (Hybrids) Rosmarinus officinalis 'Collingwood Ingram' Manzanita

Manzanita

Coyote Brush

NCN

Carmel Creeper

NCN

Bearberry Cotoneaster

St. John's Wort

NCN

Rosemary

Parkway and Slope Shrubs

Acacia redolens

Acacia

Scientific Name	Common Name
Agave Americana	Century Plant
Agave attenuata	NCN
Arbutus unedo	Strawberry tree
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita
Artemisia californica	California Sagebrush
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Bougainvillea spp.	NCN
Calliandra haematocephala	Pink Powder Puff
Ceanothus griseus 'Horizontalis'	Carmel Creeper
Ceanothus "Julia Phelps"	NCN
Cercis occidentalis	Western Redbud
Cistus	Rockrose
Coprosma kirkii	NCN
Cotoneaster dammerí	Bearberry Cotoneaster
Cotoneaster lacteus	NCN
Dietes bicolor	Fortnight Lily
Eleagnus pungens	Silverberry
Elymus	Lyme Grass
Eriogonum	Buckwheat
Escallonia spp.	NCN
Eschscholzia californica	California Poppy
Feijoa sellowiana	Pineapple Guava
Hedera helix 'Hahnii'	Hahn's Ivy
Hemerocallis hybrids	Daylily
Heteromeles arbutifolia	Toyon
Hypericum spp.	St. John's Wort
Juglans californica	Southern California Black Walnut
Kniphofia uvaria	Red-Hot Poker Plant
Lantana montevidensis (Hybrids)	NCN
Lavatera assurgentiflora	Tree Mallow
Leptospermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger
Limonium perezii	Sea Lavender
Liriope muscari	Big Blue Lily Turf
Lupinus arboreus	Lupine
Melaleuca armillaris	Drooping Melaleuca
Melaleuca nesophila	Pink Melaleuca

Scientific Name	Common Name
Mimulus	Monkey Flower
Muhlenbergia regens	Deer Grass
Myoporum pacificum	NCN
Parthenocissus tricuspidata	Boston Ivy
Pennisetum setaceum 'cufreum'	Fountain Grass
Phormium tenax	New Zealand Flax
Pittosporum tobira	Tobira
Rhamnus californica	Coffee Berry
Rhaphiolepis indica hybrids	NCN
Rhaphiolepis "Majestic Beauty"	NCN
Rhus integrifolia	Lemonade Berry
Ribes speciosum	Currant
Romneya coulteri	Matilija Poppy
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Salvia greggii	Autumn Sage
Salvia mellifera	NCN
Sambucus mexicana	Elderberry
Stipa pulchra	Purple Needle Grass
Teucrium fruticans	Bush Germander
Vinca minor	Dwarf Periwinkle
Westringia fruticosa	NCN
Rancho Santa Fe Road - HCP Zone	
<u>Trees</u>	
Quercus ilex (Holly Oak)	Median Tree
Quercus agrifolia (California Live Oak	Parkway Support Tree
Fremontia mexicanum	Southern Flannel Bush
Heteromeles arbutifolia	Toyon
Rhus integrifolia	Lemonade Berry
Median Shrubs	
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Bougainvillea spp.	NCN
Ceanothus griseus 'Horizontalis'	Carmel Creeper
	MCDT

NCN

Coprosma kirkii

Scientific Name	Common Name
Cotoneaster dammeri	Bearberry Cotoneaster
Lantana montevidensis (Hybrids)	NCN
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Parkway and Slope Shrubs	
Artemisia californica	Coastal Encelia
Atriplex canescens	Fourwing Saltbush
Encelia californica	California Encelia
Erigonum fasciculatum	Flat-top Buckwheat
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Heteromeles arbutifolia	Toyon
Lotus scoparius	Deerweed
Lupinus succulentus	Blue Annual Lupine
Mimulus puniceus	Red Bush Monkey Flower
Plantago insularis	Plantain
Rhus integrifolia	Lemonade Berry
Salvia munzii	Munz's Sage
Sisyrinchium bellum	Blue-eyed Grass
Adophia californica	California Adophia
Ambrosia pumila	San Diego Ambrosia
Artemisia palmeri	San Diego Sagewort
Baccharis vanessae	Encinitas Baccharis
Ceanothus verrucosus	Wart-stemmed Ceanothus
Comarostaphylis diversifolia ssp. diversifolia	Summer Holly
Dichondra occidentalis	Western Dichondra
Dudleya viscida	Sticky-leafed Liveforever
Euphydryas editha quino	Quino Checkerspot
Ferocactus viridescens	Coast Barrel Cactus
Harpagonella palmeri	Palmer's Grapplinghook
Lycaena hermes	Hermes Copper
Muilla clevelandii	San Diego Golden Star
Quercus dumosa	Nuttall's Scrub Oak
Selaginella cinerascens	Ashy Spike-moss
Viguiera laciniata	San Diego Viguiera
Plus appropriate and available species from the following	ng "HCP/OMSP Species of Concern" list,(1)

Source: Habitat Conservation Plan/Ongoing Multi-species Plan for properties in the southeast quadrant of the City of Carlsbad, revised draft, 3/28/94.

Scientific Name Common Name

Street C (Melrose Drive)

Trees

Alnus rhombifolia (White Alder) Theme Tree

Pinus eldarica (Afghan Pine) Neighborhood Entry Accent Tree

Pinus halepensis (Aleppo Pine) Support Tree

Populus ingra 'Italica' (Lombardy Poplar) Neighborhood Entry Accent Tree

Schinus molle (California Pepper) Support Tree

Parkway and Slope Shrubs

Acacia redolens Acacia

Agave Americana Century Plant

Agave attenuata NCN

Arbutus unedo Strawberry tree
Arctostaphylos 'Emerald Carpet' Manzanita

Arctostaphylos 'Pacific Mist' Manzanita

Artemisia californica California Sagebrush

Baccharis pilularis 'Twin Peaks' Coyote Brush

Bougainvillea spp. NCN

Calliandra haematocephala Pink Powder Puff
Ceanothus griseus 'Horizontalis' Carmel Creeper

Ceanothus "Julia Phelps" NCN

Cercis occidentalis Western Redbud

Cistus Rockrose

Coprosma kirkii NCN

Cotoneaster dammeri Bearberry Cotoneaster

Cotoneaster lacteus NCN

Dietes bicolor Fortnight Lily
Eleagnus pungens Silverberry
Elymus Lyme Grass

Eriogonum Buckwheat Escallonia spp. NCN

Eschscholzia californica California Poppy
Feijoa sellowiana Pineapple Guava

Hedera helix 'Hahnii' Hahn's Ivy
Hemerocallis hybrids Daylily
Heteromeles arbutifolia Toyon

Hypericum spp. St. John's Wort

Juglans californica Southern California Black Walnut

Scientific Name	Common Name
Kniphofia uvaria	Red-Hot Poker Plant
Lantana montevidensis (Hybrids)	NCN
Lavatera assurgentiflora	Tree Mallow
Leptospermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger
Limonium perezii	Sea Lavender
Liriope muscari	Big Blue Lily Turf
Lupinus arboreus	Lupine
Melaleuca armillaris	Drooping Melaleuca
Melaleuca nesophila	Pink Melaleuca
Mimulus	Monkey Flower
Muhlenbergia regens	Deer Grass
Myoporum pacificum	NCN
Parthenocissus tricuspidata	Boston Ivy
Pennisetum setaceum 'cufreum'	Fountain Grass
Phormium tenax	New Zealand Flax
Pittosporum tobira	Tobira
Rhamnus californica	Coffee Berry
Rhaphiolepis indica hybrids	NCN
Rhaphiolepis "Majestic Beauty"	NCN
Rhus integrifolia	Lemonade Berry
Ribes speciosum	Currant
Romneya coulteri	Matilija Poppy
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Salvia greggii	Autumn Sage
Salvia mellifera	NCN
Sambucus mexicana	Elderberry
Stipa pulchra	Purple Needle Grass
Teucrium fruticans	Bush Germander
Vinca minor	Dwarf Periwinkle
Westringia fruticosa	NCN
NEIGHBORHOOD STREETS	
<u>Trees</u>	
Agonis flexuosa	Peppermint Tree
Alnus rhombifolia	White Alder
Brachychiton acerifolius	Flame Tree
Koeleuteria paniculata	Goldenrain Tree

Scientific Name	Common Name
Liquidambar styraciflua*	American Sweet Gum
Melaleuca quinquenervia	Cajeput Tree
Metrosideros excelsus	New Zealand Christmas Tree
Olea europaea 'Swan Hill'	Olive
Pinus canariensis	Canary Island Pine
Platanus acerifolia	London Plane Tree
Quercus ilex	Holly Oak
Quercus suber	Cork Oak
Tristania conferta	Brisbane Box
Umbellularia californica	California Laurel
Zelkova serrata	Sawleaf Zelkova
Parkway and Slope Shrubs	
Acacia redolens	Acacia
Agave Americana	Century Plant
Agave attenuata	NCN
Arbutus unedo	Strawberry tree
Arctostaphylos 'Emerald Carpet'	Manzanita
Arctostaphylos 'Pacific Mist'	Manzanita
Artemisia californica	California Sagebrush
Baccharis pilularis 'Twin Peaks'	Coyote Brush
Bougainvillea spp.	NCN
Calliandra haematocephala	Pink Powder Puff
Ceanothus griseus 'Horizontalis'	Carmel Creeper
Ceanothus "Julia Phelps"	NCN
Cercis occidentalis	Western Redbud
Cistus	Rockrose
Coprosma kirkii	NCN
Cotoneaster dammeri	Bearberry Cotoneaster
Cotoneaster lacteus	NCN
Dietes bicolor	Fortnight Lily
Eleagnus pungens	Silverberry
Elymus	Lyme Grass
Eriogonum	Buckwheat
Escallonia spp.	NCN
Eschscholzia californica	California Poppy
Feijoa sellowiana	Pineapple Guava
Hedera helix 'Hahnii'	Hahn's Ivy

Scientific Name	Common Name
Hemerocallis hybrids	Daylily
Heteromeles arbutifolia	Toyon
Hypericum spp.	St. John's Wort
Juglans californica	Southern California Black Walnut
Kniphofia uvaria	Red-Hot Poker Plant
Lantana montevidensis (Hybrids)	NCN
Lavatera assurgentiflora	Tree Mallow
Leptospermum scoparium	New Zealand Tea Tree
Leucophylium frutescens	Texas Ranger
Limonium perezii	Sea Lavender
Liriope muscari	Big Blue Lily Turf
Lupinus arboreus	Lupine
Melaleuca armillaris	Drooping Melaleuca
Melaleuca nesophila	Pink Melaleuca
Mimulus	Monkey Flower
Muhlenbergia regens	Deer Grass
Myoporum pacificum	NCN
Parthenocissus tricuspidata	Boston Ivy
Pennisetum setaceum 'cufreum'	Fountain Grass
Phormium tenax	New Zealand Flax
Pittosporum tobira	Tobira
Rhamnus californica	Coffee Berry
Rhaphiolepis indica hybrids	NCN
Rhaphiolepis "Majestic Beauty"	NCN
Rhus integrifolia	Lemonade Berry
Ribes speciosum	Currant
Romneya coulteri	Matilija Poppy
Rosmarinus officinalis 'Collingwood Ingram'	Rosemary
Salvia greggii	Autumn Sage
Salvia mellifera	NCN
Sambucus mexicana	Elderberry
Stipa pulchra	Purple Needle Grass
Teucrium fruticans	Bush Germander
Vinca minor	Dwarf Periwinkle
Westringia fruticosa	NCN

VILLAGES OF LA COSTA MASTER PLAN

LA COSTA OAKS VILLAGE DEVELOPMENT PLAN

SPECIAL USE AREAS:

Ornamental Planting:

Trees

Arbutus 'Marina' NCN

Lagerstromia indica 'Natchez'Crape MyrtleLaurus nobilisSweet bayMagnolia grandiflora 'St Mary's'MagnoliaPinus halepensisAleppo Pine

Pinus torreyana Torrey Pine

Schinus molle California Pepper Tristania conferta Brisbane Box

Shrubs and Perennials

Agapanthus africanus Lily of the Nile

Agave attenuatta NCN

Agave vilmorianaOctopus AgaveAnigozanthos flavidusKangaroo PawArbutus unedoStrawberry TreeBergenia cordifoliaHeartleaf Bergenia

Bougainvillea (shrub form) NCN
Buxus microphylla japonica Boxwood

Calliandra haematocephala Pink Powder Puff

Camellia sp Camellia

Carissa macrocarpa 'Green Carpet' Natal Plum Chrysanthemum maximum Shasta Daisy

Cistus sp. Rockrose
Clivia miniata Kaffir Lily

Convolvulus cneorum Bush Morning Glory

Cotoneaster lacteus NCN
Crassula sp. Jade Plant
Dietes bicolor Fortnight Lily
Echeveria x imbicata Hen and chicks

Echeveria x imbicata Hen and chicks
Feijoa sellowiana Pineapple Guava

Hemerocallis hybrids Daylily
Heteromeles arbutifolia Toyon

VILLAGES OF LA COSTA MASTER PLAN

LA COSTA OAKS VILLAGE DEVELOPMENT PLAN

 Ilex vomitoria
 Dwarf Yaupon

 Laurus nobilis (Shrub Form)
 Sweet Bay

 Lavandula intermedia 'Provence'
 Lavender

 Leonotis leonurus
 Lion's Tail

Leptospermum scoparium New Zealand Tea Tree

Leucophylium frutescensTexas RangerLimonium pereziiSea LavenderLiriope muscariBig Blue Lily TurfLonicera japonicaJapanese Honeysuckle

Microlepia strigosaLace FernMiscanthus sp.NCNMuhlenbergia regensDeer GrassMyrtus communis 'Compacta'Dwarf MyrtleNephrolepis cordifoliaSword fernPennisetum sp.Fountain GrassPhormium tenaxNew Zealand flax

Pittosporum sp. Tobira

Raphiolepis sp.India HawthornRhamnus californicaCoffee BerryRhus integrifoliaLemonade Berry

Ribes speciosum Currant

Romneya coulteri Matilija Poppy

Rosa sp.RoseRosmarinus sp.RosemarySalvia sp.SageSenicio mandraliscaeNCNSesleria autumnalisNCN

Stipa pulchra Purple Needle Grass Strelitzia reginae Bird of Paradise

Thymus sp. Thyme
Westringa fruticosa NCN

Zantedeschia aethiopica Common Calla

Vines & Espaliers

Distictis sp. Trumpet Vine

Grewia occidentalis Lavendar Star Flower

Rosa sp.RosePodocarpus graciliorFern PineTrachelospermum jasminoidesStar JasmineWiteria sinensisChinese Wisteria

7.6 Architectural Concept

Eight Master Plan architectural styles are described in the Master Plan Standards and Guidelines. Only the following architectural styles may be used within the La Costal Oaks Neighborhoods.

- Santa Barbara Mediterranean
- Spanish Colonial
- Monterey Ranch
- Italian/Tuscan
- European Country
- Craftsman Bungalow
- California Contemporary (Neighborhood 3.14 only)

These styles have been selected to create a sense of cohesiveness within the Village and to provide compatibility with surrounding neighborhoods and terrain character. Neighborhoods may contain one style or any combination of styles depending on the type and density of product and subject to planned development permit or site development plan approval. Master Plan architectural styles and related elements are described in Section 4.6.4, Architectural Styles.

7.7 La Costa Oaks Development Standards

7.7.1 Introduction

The La Costa Oaks Village Development Plan identifies 14 residential Neighborhoods, a Community Facilities site, and 5 Open Space Areas. Neighborhoods 3.1, 3.3 through 3.5, and 3.8 through 3.15 will accommodate single-family detached homes. Neighborhood 3.6 will contain rental apartment units and neighborhood 3.7 will feature single-family attached homes or small lot single-family detached homes.

Community Facilities Area 3.2 is located at the intersection of Rancho Santa Fe Road and Questhaven Road. The 6.4-acre site will include an RV storage area, daycare center, and any other Community Facilities required for the Master Plan Area.

Open Space Areas 3.A and 3.B encompass Preserved Habitat Areas described by the HCP/OMSP. Open Space Area 3.C describes an SDG&E utility corridor. Open Space Areas 3.D and 3.E are also designated as open space areas.

7.7.2 Common Neighborhood Development Standards

All residential neighborhoods within the La Costa Oaks Village shall comply with the Master Plan Development Standards and Guidelines contained in Chapter 4 unless modified by the specific neighborhood development standards.

Neighborhood Development Plans

Neighborhood Development Plans are provided for each residential neighborhood. These exhibits show the location of entry monumentation, walls, trails, community facilities, landscaped slopes/undeveloped areas, and recreation areas. These exhibits are conceptual in nature and are provided to indicate the proposed development concept for each neighborhood. Precise street configurations, location of slopes and open space as well as other details will be determined during the final design process.

7.7.3 Individual Neighborhood Development Standards

La Costa Oaks Neighborhood 3.1

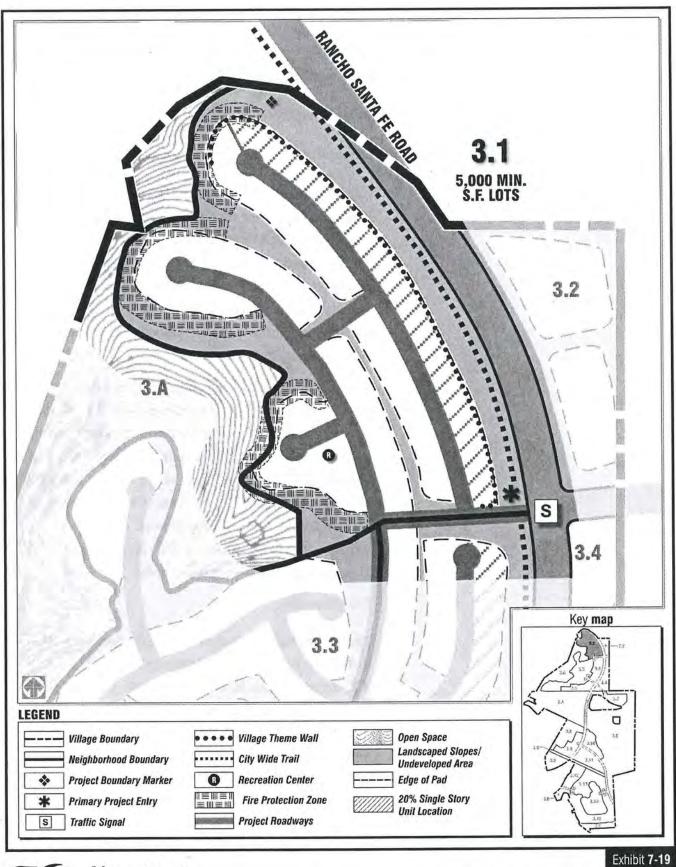
a. Description

Neighborhood 3.1 is the most northerly Neighborhood of La Costa Oaks. This enclave of single-family detached homes is bounded by Rancho Santa Fe Road to the east, Neighborhoods 3.3 and 3.4 to the south, the conserved habitat area of Open Space Area 3.A to the west, and San Marcos Creek within La Costa Ridge Open Space Area 2.B to the north. Neighborhood 3.1 consists of approximately 27.9 gross acres.

Access is provided to Neighborhood 3.1 by a feeder street which extends westward from Rancho Santa Fe Road and also provides access to Neighborhoods 3.3 and 3.4 to the south. The feeder street is located opposite the new location of Questhaven Road, which extends eastward from Rancho Santa Fe Road. None of the Neighborhood 3.1 residential lots will be allowed direct access to Rancho Santa Fe Road. The Neighborhood 3.1 Development Plan is shown on Exhibit 7-19.

b. Use Allocation

The General Plan Designation for Neighborhood 3.1 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including accessory structures, second dwelling units, building height, and lot coverages shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad





LA COSTA OAKS NEIGHBORHOOD 3.1 DEVELOPMENT PLAN

Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 80. Dwelling unit transfers between Neighborhood 3.1 and other neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development Permit. A Hillside Development Permit (HDP) and Floodplain Special Use Permit (FPSUP) will be processed with the Master Tentative Map for the La Costa Oaks Village. An additional HDP and FPSUP may be necessary for the development of Neighborhood 3.1 depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

5,000 square feet

g. Minimum Lot Width

Minimum lot width shall be 50 feet.

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum.

Rear: 15 feet minimum.

Exception: 50 feet from standard ROW of Rancho

Santa Fe Road to the residential lot lines at

the top of slope.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.1 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.1:

- Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All residential lot lines in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road.
- For the areas identified on Exhibit 7-19 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- Exterior slope landscape screening of the dwelling

- units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.
- Landscaping in this area shall be compatible with existing native vegetation.
- Special attention shall be given to incorporating the adjacent Open Space Area as an amenity to the Neighborhood.
- Common recreation areas shall be provided in this Neighborhood to serve Neighborhoods 3.1, 3.3, 3.4 and 3.5. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.
- Development edges between natural open space and development areas should maximize view potentials. Open space fingers should extend into residential areas where possible.

- The slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography where feasible.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

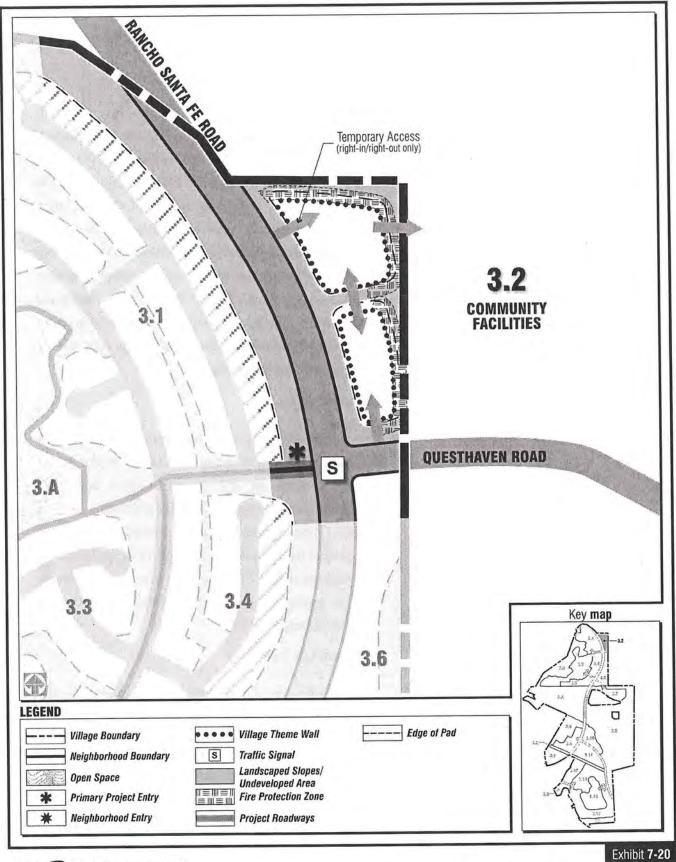
La Costa Oaks Community Facilities Area 3.2

a. Description

Area 3.2, which is devoted to Community Facilities uses and an RV storage site, is located at the northeast corner of La Costa Oaks. Uses on the Community Facilities site may include day care facilities, places of worship and youth and/or senior citizen activity centers as well as an RV storage site. The 6.6 gross acre site fronts on Rancho Santa Fe Road to the west and Questhaven Road to the south. The Village boundary forms the north and east sides of the site. Details for this Area are shown on Community Facilities Area 3.2 Development Plan, Exhibit 7-20.

b. Use Allocation

The General Plan Designation for this Area is C-F. The C-F Development Standards, as established by Carlsbad Municipal Code Section 21.25, shall be utilized, unless otherwise modified by this Master Plan. The RV storage site shall be developed pursuant to the development standards of Carlsbad Municipal Code Section 21.42.010(9) and the approval of a conditional use permit. A maximum of 0.40 acre of RV storage, exclusive of driveways and circulation, will be required for La Costa Oaks and Ridge. This is based on a requirement of 20 square feet per dwelling unit for lots less than 7,500 square feet that require the approval of a Planned Development Permit or Condominium Permit. In the event that the Master or Neighborhood CC&R's prohibit RV parking on individual lots then the RV parking requirement shall be complied with even if the minimum lot size is 7,500 square feet or greater.





LA COSTA OAKS NEIGHBORHOOD 3.2 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map (may be required), Hillside Development Permit (may be required), Child Day Care Administrative Permit (may be required), and a Conditional Use Permit required for an RV storage site, places of worship, youth and/or senior citizen activity centers and any other community facilities uses. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Area shall be only Child day care facilities, places of worship and youth and/or senior activity centers, an RV storage facility and other community facility uses required for the Master Plan. A Child Daycare Center administrative permit or Conditional use permit shall be required as applicable for the proposed use. Child Day Care centers shall comply with the applicable provisions of Chapter 21.83 of the Carlsbad Municipal Code.

e. Minimum Lot Size

Minimum lot size shall be one acre. Lots may be less than one acre if utilizing shared facilities, for example, parking.

f. Lot Coverage

Maximum lot coverage shall be fifty percent (50%) of the gross lot area. Open parking areas shall not be counted in determining lot coverage.

g. Setbacks

Front:

50 feet from the standard ROW of Rancho

Santa Fe Road

Side:

10 feet minimum

Street Side:

20 feet minimum from ROW

Rear:

20 feet from property line

All required setbacks shall be permanently landscaped and maintained.

h. Height Limits

35 and 3 stories with a minimum roof pitch of 3:12

i. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code.

RV parking shall be provided for the La Costa Oaks and Ridge Villages within this Neighborhood. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

j. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

k. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

1. Development Phasing

The relationship of Neighborhood 3.2 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

m. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Community Facilities Area 3.2:

- All structures shall be setback a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road. The required set back shall be landscaped.
- The site planning, stall dimensions, configuration, and aisle design for the RV storage lot shall meet the requirements of the Carlsbad Municipal Code and City Engineering standards.
- Landscaping shall be provided on all sides of the RV storage lot to ensure that the light and aesthetic impacts of the lot are sufficiently screened from adjacent development.
- The RV storage area shall be screened from all views by a minimum eight-foot-high wall. Said screening shall entirely surround the site and shall observe a minimum setback equal to the required setbacks of the Neighborhood.
- Special attention relative to the siting of structures and landscape treatment shall be devoted to the

interface between any development of this Neighborhood and Rancho Santa Fe Road. Large expanses of unarticulated structure or roofline should not be viewable to passers by.

- Common streetscape areas shall conform to community requirements as established in this master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, etc., have been selected to provide consistency in design and quality.
- Child day care centers shall comply with section 21.83.070 and 21.83.080 of the Carlsbad Municipal Code.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Due to this neighborhood's proximity to Rancho Santa Fe Road, an acoustical study shall be undertaken in conjunction with the permit process for any habitable structures and any recommended noise attenuation measures shall be implemented.
- Landscaping adjacent to open space outside of the Master Plan shall be compatible with the existing natural vegetation and City's Fire Protection Zone regulations.

3. La Costa Oaks Neighborhood 3.3

a. Description

Neighborhood 3.3 is located in the north central portion of La Costa Oaks. The single-family detached home Neighborhood is bounded to the north by Neighborhood 3.1, to the west by the conserved habitat area of Open Space Area 3.A, to the south by the SDG&E utility corridor within Open Space Area 3.A, and Neighborhood 3.5, and to the east by Neighborhood 3.4. Access is provided to the north portion of the Neighborhood by a roadway which extends westward from Rancho Santa Fe Road between Neighborhoods 3.1 and 3.4. The south areas of the Neighborhood receive access from Rancho Santa Fe Road by the westward extension of a roadway between Neighborhood 3.4 and 3.5.

Neighborhood 3.3 consists of approximately 46.6 gross acres. The Neighborhood 3.3 Development Plan is shown on Exhibit 7-21.

b. Use Allocation

The General Plan Designation for Neighborhood 3.3 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including accessory structures, second dwelling units, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 134. Dwelling unit transfers between Neighborhood 3.3 and other neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.3 DEVELOPMENT PLAN

Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit, and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

6,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 15 feet minimum

j. Building Height

30 feet and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.3 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.3:

- Landscaping in this area shall be compatible with existing native vegetation.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Manufactured slopes may be enhanced with sensitive plant species where appropriate.
- Special attention shall be given to incorporating the adjacent Open Space Area as an amenity to the Neighborhood.
- Common recreation areas shall be provided in Neighborhood 3.1 to serve Neighborhoods 3.1, 3.3, 3.4 and 3.5. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.

- Development edges between natural open space and development areas should maximize view potentials. Open space fingers should extend into residential areas where possible.
- Common streetscape areas shall conform to community requirements as established in this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

4. La Costa Oaks Neighborhood 3.4

a. Description

Neighborhood 3.4 is located in the northeast area of La Costa Oaks. The single-family detached home area is bounded to the east by Rancho Santa Fe Road and Neighborhood 3.6, to the south by Neighborhood 3.5, to the west by Neighborhood 3.3, and to the north by Neighborhood 3.1. Access is provided via local streets in Neighborhoods 3.1, 3.3, and 3.5 to Rancho Santa Fe Road. No residential lots in Neighborhood 3.4 will be allowed direct access to Rancho Santa Fe Road.

Neighborhood 3.4 consists of approximately 14.5 gross acres. Details for this area are shown on Exhibit 7-22, Neighborhood 3.4 Development Plan.

b. Use Allocation

The General Plan Designation for Neighborhood 3,4 is RLM (0-4 du/ac), with a Growth Management Control Point of The R-1 Development Standards, as 3.2 du/ac. established by Carlsbad Municipal Code Section 21.10, including accessory structures, second dwelling units, building height and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for Dwelling unit transfers between this area is 45. Neighborhood 3.4 and other neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

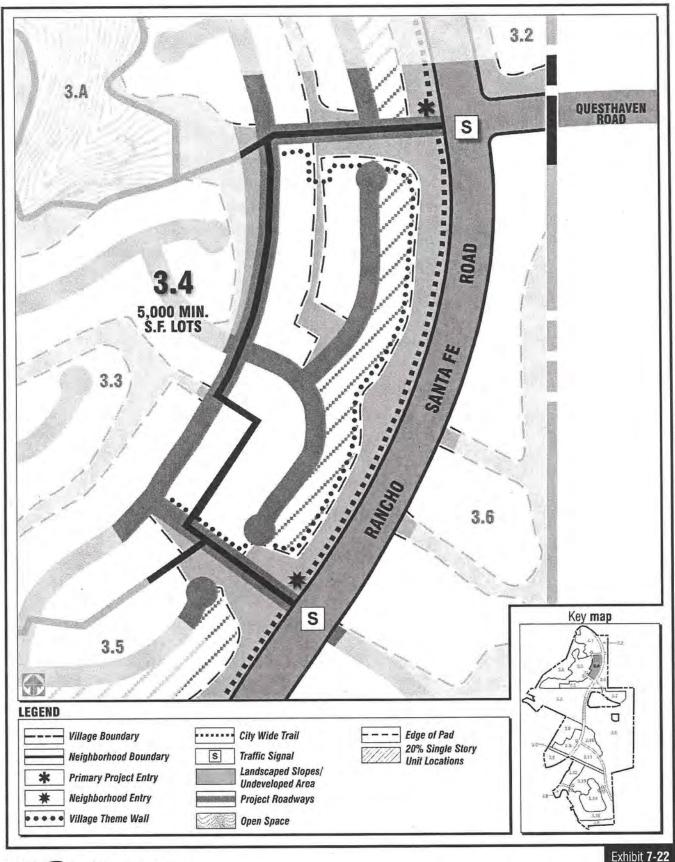




Exhibit 7-22

LA COSTA OAKS NEIGHBORHOOD 3.4 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings

e. Product Type

Single-family detached homes

f. Minimum Lot Size

5,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

Exception:

50 feet from the standard right of way of Rancho Santa Fe Road to the residential lot line at the top of the slope.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.4 to the overall development of La Costa Oaks is described in Section

7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.4:

- Because of the Neighborhood's proximity to Rancho Santa Fe, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All residential lot lines in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road.
- For the areas identified on Exhibit 7-22 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- Exterior slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.
- Common recreation areas shall be provided in Neighborhood 3.1 for the residents of Neighborhoods 3.1, 3.3, 3.4 and 3.5. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be

- approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- The slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography where feasible.
- Common streetscape and landscape areas shall conform to community requirements as established in this Master Plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.5

a. Description

Neighborhood 3.5 is situated in the north central portion of La Costa Oaks. The Neighborhood will be developed with single-family detached homes. The Neighborhood is bordered to the south by a SDG&E utility corridor within the conserved habitat area of Open Space Area 3.A. Neighborhood 3.3 is to the west and Rancho Santa Fe Road and Neighborhoods 3.6 and 3.7 are to the east.

Neighborhood 3.5 consists of approximately 13.9 gross acres. The Neighborhood 3.5 Development Plan is shown on Exhibit 7-23.

b. Use Allocation

The General Plan Designation for Neighborhood 3.5 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including accessory structures, second dwelling units, building height and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 46. Dwelling unit transfers between Neighborhood 3.5 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

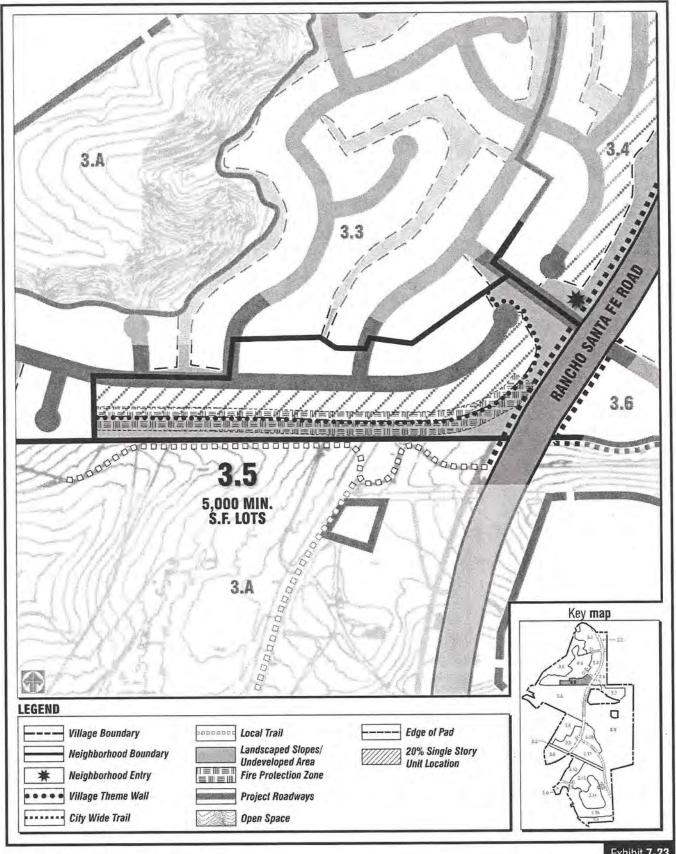




Exhibit 7-23

LA COSTA OAKS NEIGHBORHOOD 3.5 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings

e. Product Type

Single-family detached homes

f. Minimum Lot Size

5,000 square feet

g. Minimum Lot Width

50 feet

i. Lot Coverage

Refer to Section 4.6 of this Master Plan.

h. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 15 feet minimum

Exception:

50 feet from the standard right of way of Rancho Santa Fe Road to the residential lot line at the top of slope.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.5 to the overall development of La Costa Oaks is described in Section

7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this Neighborhood. The following specific design criteria shall also be incorporated for Neighborhood 3.5:

- Because of the Neighborhood's proximity to Rancho Santa Fe, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All residential lot lines in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road.
- For the areas identified on Exhibit 7-23 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.
- To the extent possible, trails shall be designed to preclude views into the rear yards of adjacent residences.
- Exterior slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.

- Neighborhood 3.1 for the residents of Neighborhoods 3.1, 3.3, 3.4 and 3.5. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in the Neighborhoods listed above.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat shall be selectively placed, shielded, and directed away from Conserved Habitat.
- The slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography where feasible.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.6

a. Description

Neighborhood 3.6 is located on the east side of Rancho Santa Fe Road in the northern portion of La Costa Oaks. The Neighborhood is bounded to the south by Neighborhood 3.7 and an SDG&E utility corridor, to the east by the Village boundary, and to the north by Questhaven Road. The Neighborhood includes a small frontage along Rancho Santa Fe Road from which access is provided to Neighborhoods 3.6 and 3.7.

The specific product for the Neighborhood is rental housing to meet the City's inclusionary housing requirements. Neighborhood 3.6 consists of approximately 16.0 gross acres. The Neighborhood 3.6 Development Plan is shown on Exhibit 7-24.

b. Use Allocation

The General Plan Designation for Neighborhood 3.6 is RMH (8-15 du/ac), with a Growth Management Control Point of 11.5. du/ac. The RD-M Development Standards, as established by Carlsbad Municipal Code Section 21.24, including building height, required recreation area, and accessory uses shall be utilized, unless otherwise modified by this Master Plan. In addition the requirements of Section 21.53.120 applicable for affordable housing multi-family residential projects shall be complied with. The number of units planned for this area is 171. This is within the maximum number of units permitted within the RMH General Plan category.

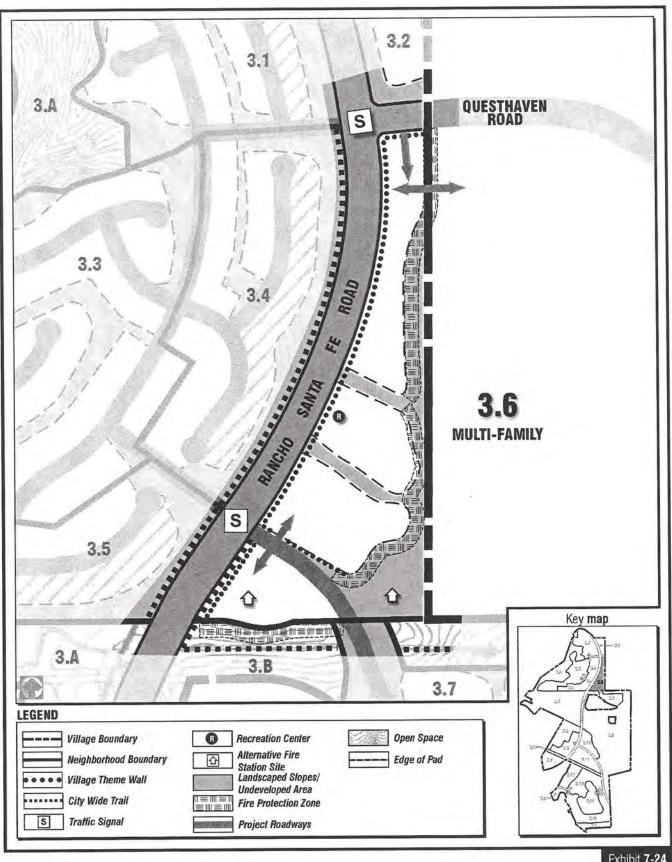




Exhibit 7-24

LA COSTA OAKS NEIGHBORHOOD 3.6 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required to develop apartments: Site Development Plan and Hillside Development Permit (may be required). A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. An additional HDP may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design. The Site Development Plan will be processed pursuant to Section 21.53.120 for multi-family residential development or an affordable housing project. A Conditional Use Permit will be required if a fire station is located within Neighborhood 3.6.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed in the RD-M zone. Common recreation areas are specifically permitted as an accessory use. Fire stations are conditionally permitted in this Neighborhood.

e. Product Type

Multi-family apartments

f. Minimum Lot Size

10,000 square feet

g. Lot Coverage

Refer to Section 4.6 of this Master Plan.

h. Setbacks

Setbacks shall be as follows measured from the ROW or property line:

50' from the standard ROW of Rancho Santa Fe Road

30' from Questhaven Road ROW
30'from southern property line
30'from eastern property line
All perimeter setbacks shall be landscaped.
Minimum separation between buildings: 10 feet

i. Height Limits

35' and 3 stories with a minimum roof pitch of 3:12

j. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code.

k. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

1. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

m. Development Phasing

The relationship of Neighborhood 3.6 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

n. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.6:

· Because of the Neighborhood's proximity to

Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the site development plan process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.

- Common recreation areas will be included in this Neighborhood for its requirement. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.
- This neighborhood is designated as a location for the provision of on-site affordable housing, which per the Housing Element of the Carlsbad General Plan and Section 21.53.120 of the Carlsbad Municipal Code, will allow for modifications to the Carlsbad Zoning Ordinance and Planning Department Policies.
- Slopes along Rancho Santa Fe Road shall be undulated to simulate natural topography where feasible.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Site Development

Plan review.

 Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.7

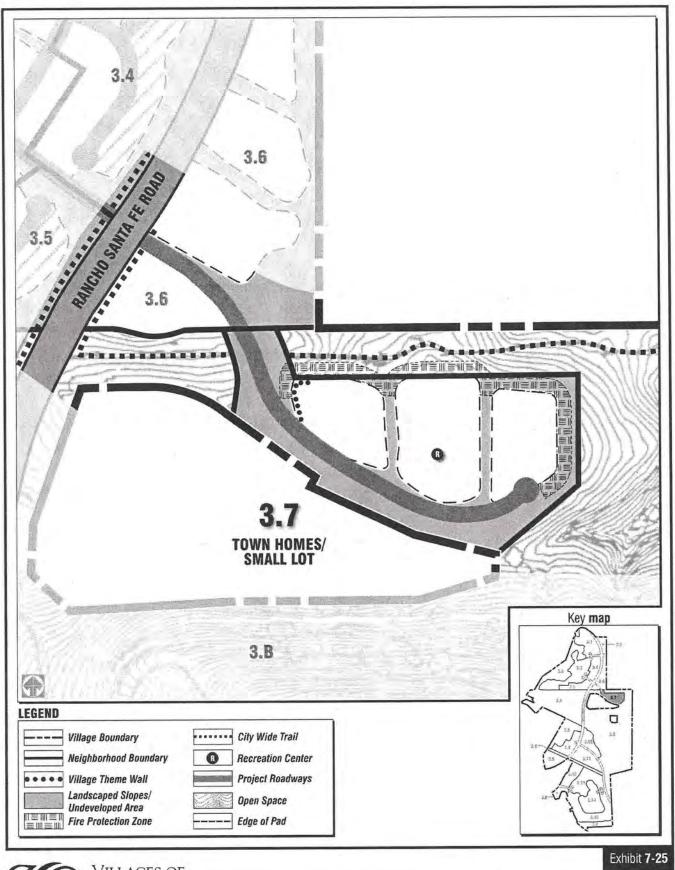
Description

Neighborhood 3.7 is located in the northern portion of La Costa Oaks to the northeast of an existing reclaimed water reservoir. The development area is bounded by an SDG&E utility easement and Neighborhood 3.6 to the north and the conserved habitat area of Open Space Area 3.B to the east and southeast. Neighborhood access to Rancho Santa Fe Road is via the Neighborhood 3.6 access road. The access road is opposite the access road which serves Neighborhoods 3.3, 3.4, and 3.5 on the northwest side of Rancho Santa Fe Road.

It is intended that the specific product for the Neighborhood be some form of single-family attached housing such as courtyard homes, but any use allowed within the underlying General Plan designation and zone established for this Neighborhood shall be allowed, provided the maximum number of units allowed by this Master Plan is not exceeded. Neighborhood 3.7 consists of approximately 13.8 gross acres. The Neighborhood 3.7 Development Plan is shown on Exhibit 7-25.

b. Use Allocation

The General Plan Designation for Neighborhood 3.7 is RM (4-8 du/ac), with a Growth Management Control Point of 6.0 du/ac. The RD-M Development Standards, as established by Carlsbad Municipal Code Section 21.24, including building height, required recreation area, and accessory uses shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as





LA COSTA OAKS NEIGHBORHOOD 3.7 DEVELOPMENT PLAN established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 45. Dwelling unit transfers between Neighborhood 3.7 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

c. Required Development Permits

The following development permits are required:
Tentative Map, Hillside Development Permit, and
Condominium Development Permit, Planned
Development Permit or Site Development Plan depending
on proposed product type.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed in the RD-M zone. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Townhomes
Condominiums
Small lot single-family detached homes
Multi-family apartments

f. Minimum Lot Size

3,500 square feet

g. Minimum Lot Width

40 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

10 feet minimum

j. Height Limits

35' and 3 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage. If multi-family apartments are proposed, then parking shall be provided per Chapter 21.44 of the Carlsbad Municipal Code.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2.

The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.7 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.7:

- Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the development permit process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Landscaping adjacent to Open Space Area 3.B shall be compatible with existing native vegetation.
- Common recreation areas shall be provided in this Neighborhood for its requirement. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- The development of this Neighborhood shall be

designed to incorporate a buffer area between this area and the existing reclaimed water reservoir to the southwest.

- To the extent possible, trails shall be designed to preclude views into the rear yards of adjacent residences.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during development permit review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.
- Disturbance to Open Space Area 3.B will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls,

VILLAGES OF LA COSTA MASTER PLAN

LA COSTA OAKS VILLAGE DEVELOPMENT PLAN

fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.8

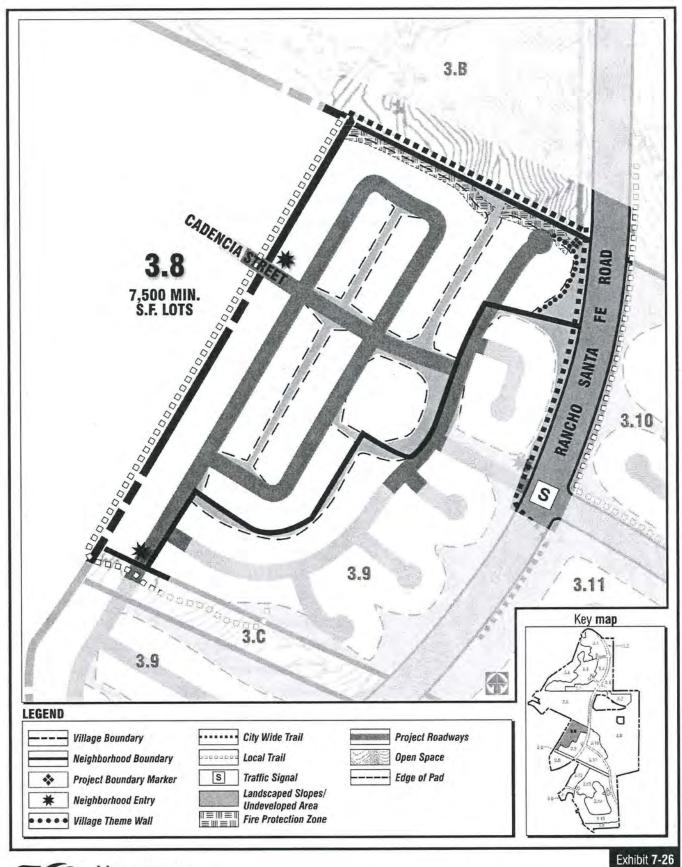
a. Description

Neighborhood 3.8 is situated in the west central area of La Costa Oaks on the northwest side of Rancho Santa Fe Road. This single-family detached home neighborhood is also bounded by Neighborhood 3.9 to the southeast, by the Village boundary and existing homes to the northwest, and by the SDG&E utility corridor within the Open Space Area 3.A to the northeast.

Neighborhood 3.8 consists of approximately 26.4 gross acres. Access is provided to Rancho Santa Fe Road via two Neighborhood 3.9 streets. Additional access is provided by Cadencia Street. The Neighborhood 3.8 Development Plan is shown on Exhibit 7-26.

b. Use Allocation

The General Plan Designation for Neighborhood 3.8 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. The number of Master Plan units planned for this area is 74. Dwelling unit transfers between Neighborhood 3.8 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.8 DEVELOPMENT PLAN

c. Required Development Permits

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 20 feet minimum to the rear property line,

and

Exception:

50 feet from the standard Rancho Santa Fe Road right-of-way to the residential lot lines.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code, which requires that each unit shall have a minimum two-car garage.

I. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.8 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.8:

 Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.

- Exterior slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from Rancho Santa Fe Road.
- All residential lot lines in this Neighborhood shall be located a minimum of 50-feet from the standard right-of-way of Rancho Santa Fe Road.
- The development of this Neighborhood shall be designed so that it provides a buffer to the existing homes to the west. This is to be accomplished by landscaping within the existing Rancho Santa Fe Road right of way and trail system.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscaping in areas adjacent to open space area
 3.A shall be compatible with existing native vegetation.
- The trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open

Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.

- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.
- Disturbance to Open Space Area 3.A will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.9

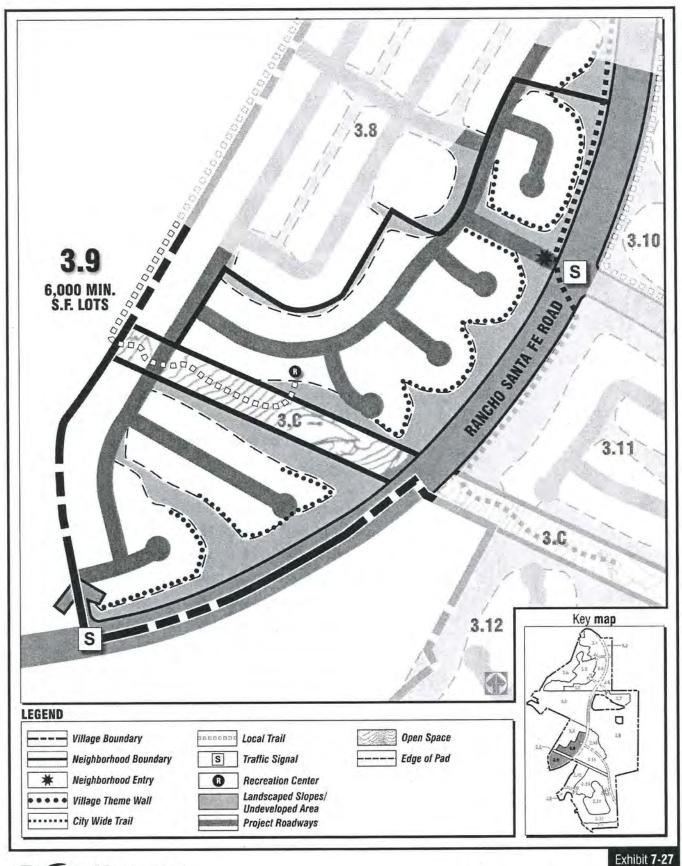
a. Description

Neighborhood 3.9 is located on the northwest side of Rancho Santa Fe Road in the west central portion of La Costa Oaks. The single-family detached home Neighborhood divided by the utility easement of Open Space Area 3.C and bounded by Neighborhood 3.8 to the north and by the Village boundary and existing homes to the west.

Neighborhood 3.9 consists of approximately 32.0 gross acres. Two points of access are provided from Rancho Santa Fe Road. The northerly access is at the Street C intersection. The southerly access is located at the south end of the Neighborhood. The Neighborhood 3.9 Development Plan is shown on Exhibit 7-27.

b. Use Allocation

The General Plan Designation for Neighborhood 3.9 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 88. Dwelling unit transfers between Neighborhood 3.8 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

6,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum

Exception:

50 feet from the standard right-of-way of Rancho Santa Fe Road to the residential lot line.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.9 to the overall development of La Costa Oaks is described in Section

7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.9:

- Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- Exterior slope landscape screening of the dwelling units shall be incorporated to soften the views of these structures from Rancho Santa Fe Road.
- All residential lot lines in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road.
- The development of this Neighborhood shall be designed so that it provides a buffer to the existing homes to the west. This is to be accomplished by landscaping within the existing Rancho Santa Fe Road right-of-way and trail system.
- Common recreation areas shall be provided in this Neighborhood for its requirement. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be

- approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- The trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscaping adjacent to public utility corridors shall utilize trees, shrubs, and walls to visually screen utility structures and provide security and privacy for the homeowner.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.10

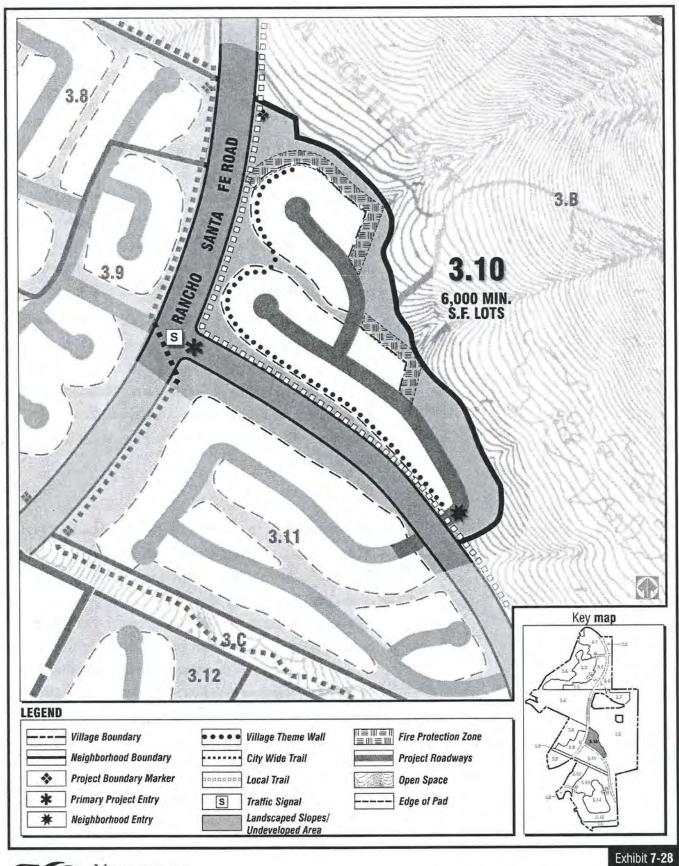
a. Description

Neighborhood 3.10 is located on the east side of Rancho Santa Fe Road in the central area of La Costa Oaks. This neighborhood of single-family detached homes is also bounded by Street C which extends in a southeasterly direction from Rancho Santa Fe Road. The conserved habitat of Open Space Area 3.B rises to the northeast to provide a dynamic backdrop to this residential enclave.

Access to Neighborhood 3.10 is from Street C at a 4-way intersection shared with Neighborhood 3.11 to the southwest. No direct access to Rancho Santa Fe Road will be allowed for the residential lots. Neighborhood 3.10 consists of approximately 16.4 gross acres. The Neighborhood 3.10 Development Plan is shown on Exhibit 7-28.

b. Use Allocation

The General Plan Designation for Neighborhood 3.10 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 36. Dwelling unit transfers between Neighborhood 3.10 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.10 DEVELOPMENT PLAN

The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings

e. Product Type

Single-family detached homes

f. Minimum Lot Size

6,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

15 feet minimum to the rear lot line

Exception:

50 feet from the standard right of way of Rancho Santa Fe Road to the residential lot lines.

An average landscaped setback of thirty feet shall be maintained between Street "C" and residential lot lines.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.10 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.10:

- Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All residential lots in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road and an average of 30 feet from the right-of-way of Street "C".
- Exterior slope landscape screening of the dwelling units shall be incorporated to soften the views of these structures from Rancho Santa Fe Road.
- Landscaping along the Neighborhood edge which abuts the HCP/OMSP area shall be compatible with existing native vegetation.
- Common recreation areas to serve this Neighborhood shall be included in Neighborhood

- 3.11. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first units in this Neighborhood.
- Whenever possible, units should be designed to take advantage of the views offered by this Neighborhood.
- Special attention shall be given to incorporating the adjacent Open Space Area as an amenity to the Neighborhood.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscaping adjacent to utility corridors shall utilize trees, shrubs and walls to visually screen utility structures and provide security and privacy for the homeowner.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Lighting within new development projects adjacent to Conserved Habitat will be selectively placed, shielded, and directed away from Conserved Habitat.

- Disturbance to Open Space Area 3.B will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored and/or revegetated as appropriate.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

11. La Costa Oaks Neighborhood 3.11

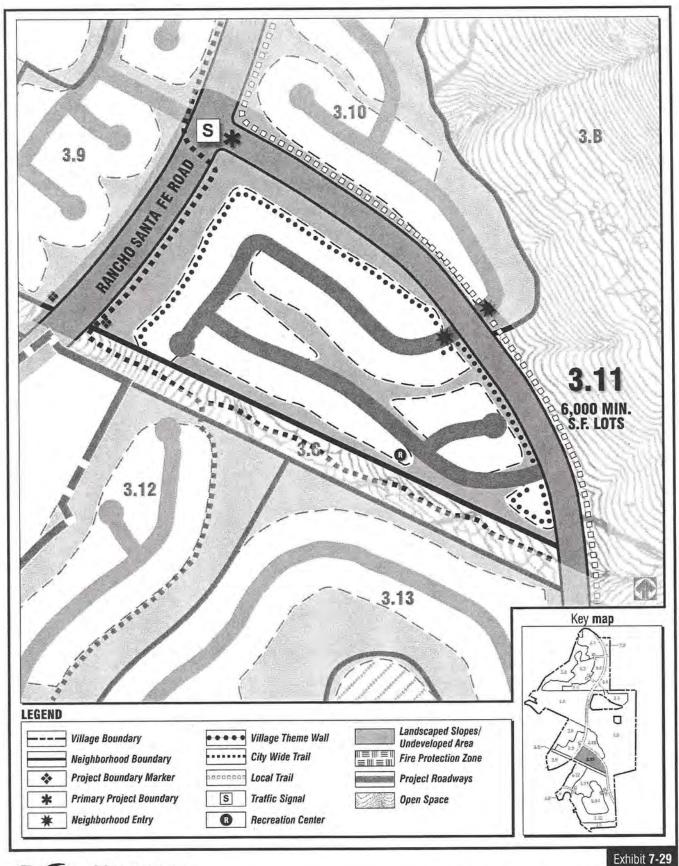
a. Description

Neighborhood 3.11 is located on the east side of Rancho Santa Fe Road in the central area of La Costs Oaks. Access to the neighborhood is provided by Street C which forms the Neighborhood's northeast boundary. An SDG&E utility corridor marks the southwest side of this Neighborhood. Master Plan trail routes are located on all three sides of Neighborhood 3.11.

Neighborhood 3.11 consists of approximately 22.5 gross acres. The Neighborhood 3.11 Development Plan is shown on Exhibit 7-29.

b. Use Allocation

The General Plan Designation for Neighborhood 3.11 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. In addition, the Planned Development Ordinance Development Standards, as established by Carlsbad Municipal Code Section 21.45 et seq. shall be utilized unless otherwise modified in the Master Plan. The number of Master Plan units planned for this area is 53. Dwelling unit transfers between Neighborhood 3.11 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.11 DEVELOPMENT PLAN

The following development permits are required: Tentative Map, Planned Development Permit and a Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Single dwellings. Common recreation areas are specifically permitted as an accessory use.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

6,000 square feet

g. Minimum Lot Width

50 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 15 feet minimum to the rear property line

Exception:

50 feet from the standard Rancho Santa Fe Road right-of-way to a residential lot line. An average landscaped setback of 30 feet shall be maintained between Street "C" and residential lot lines.

Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per the parking standards for Planned Unit Development listed in Section 4.6 of this Master Plan. Each unit shall have a minimum two-car garage.

RV parking shall be provided per Section 4.6 of this Master Plan. All RV Parking will be provided in Neighborhood 3.2. The RV parking area required for this neighborhood may be met with an interim temporary facility approved concurrently with site development plans. Such temporary facility shall remain in place until the facility in Neighborhood 3.2 is constructed and operational.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.11 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.11:

- Because of the Neighborhood's proximity to Rancho Santa Fe Road, an acoustic study shall be undertaken in conjunction with the tentative tract map process, and any recommended noise attenuation measures, including but not limited to the erection of sound walls, shall be implemented as necessary.
- All residential lots in this Neighborhood shall be located a minimum of 50 feet from the standard right-of-way of Rancho Santa Fe Road and an average of 30 feet from the right-of-way of Street "C".
- To the extent possible, trails shall be designed to preclude views into the rear yards of adjacent residences.
- Common recreation areas shall be provided in this Neighborhood to serve Neighborhood 3.11 and Neighborhood 3.10. The required common recreation areas shall begin construction prior to the occupancy of the first unit and be approved for use prior to the occupancy of 50% of the first

units in the Neighborhoods listed above.

- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscaping adjacent to public utility corridors shall utilize trees, shrubs, and walls to visually screen utility structures and provide security and privacy for the homeowner.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.12

a. Description

Neighborhood 3.12 is located in the southern area of La Costa Oaks. The Neighborhood is bounded by the Village boundary to the west, the public utility corridor of Open space Area 3.C to the north, a drainage course and Neighborhood 3.13 to the east, and Open Space Area 3.D which may include a recreation facility. A citywide trail route follows the boundary between Neighborhoods 3.12 and 3.13. The trail links with a trail within the utility corridor to the north.

Neighborhood 3.12 consists of approximately 15.4 gross acres. The Neighborhood 3.12 Development Plan is shown on Exhibit 7-30.

b. Use Allocation

The General Plan Designation for Neighborhood 3.12 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. The number of Master Plan units planned for this area is 27. Dwelling unit transfers between Neighborhood 3.12 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

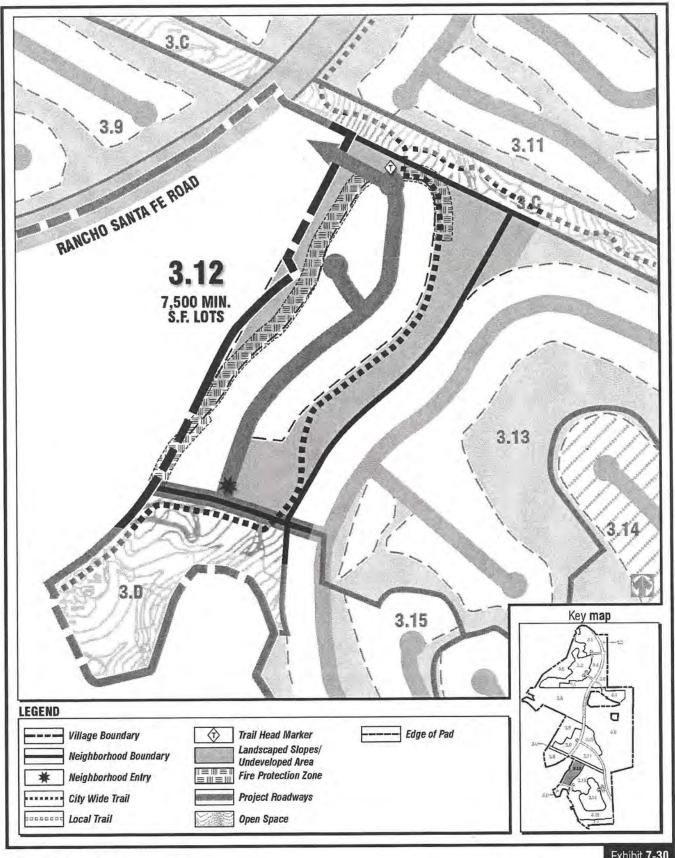




Exhibit 7-30

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code, which requires that each unit shall have a minimum two-car garage.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.12 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.12:

- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscape along the western edge of this Neighborhood shall be done in a manner to

- provide a buffer from possible future commercial development.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- The trail shall be designed, to the extent possible, to preclude views into neighboring residences and yards.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

La Costa Oaks Neighborhood 3.13

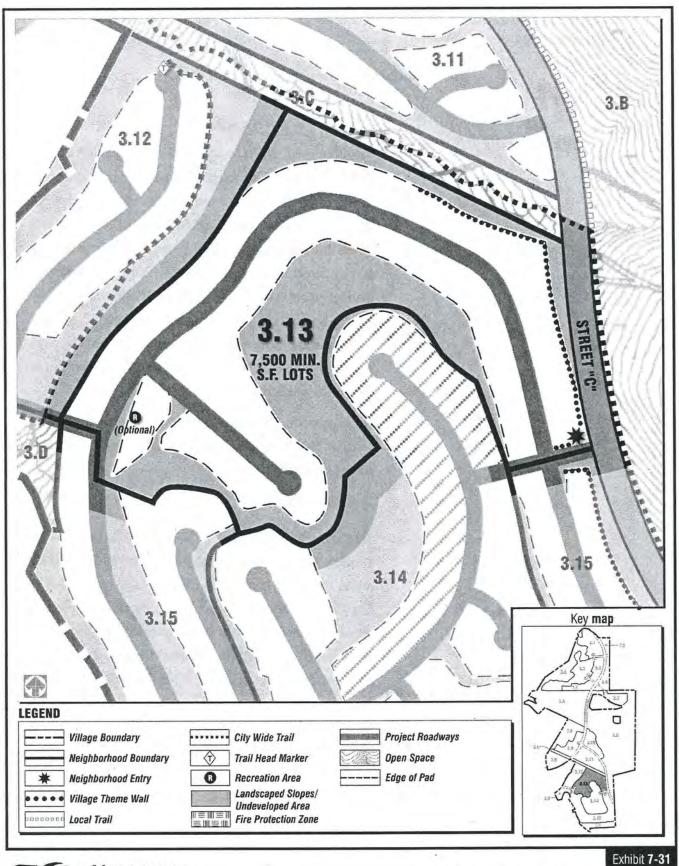
a. Description

Neighborhood 3.13 is located in the south central area of La Costa Oaks. This enclave of single-family detached homes is bounded to the south by Neighborhoods 3.14 and 3.15, to the west by Neighborhood 3.12, to the north by the utility corridor of Open Space Area 3.C, and to the east by Street C. Eastern access is via a shared roadway with Neighborhood 3.15 to Street C. Western access is by way of Neighborhood 3.12 to La Costa Avenue. Master Plan trails are located along the Neighborhood's western boundary with Neighborhood 3.12, the utility corridor to the north, and Street C to the east.

Neighborhood 3.13 consists of approximately 37.8 gross acres. The Neighborhood 3.13 Development Plan is shown on Exhibit 7-31.

b. Use Allocation

The General Plan Designation for Neighborhood 3.13 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height and lot coverage shall be utilized, unless otherwise modified by this Master Plan. The number of Master Plan units planned for this area is 64. Dwelling unit transfers between Neighborhood 3.13 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.13 DEVELOPMENT PLAN

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10.

e. Product Type

Single-family detached homes

Minimum Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setback

Front:

Setback standards are listed in Section 4.6

of this Master Plan.

Side:

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side:

10 feet minimum

Rear:

20 feet minimum

LA COSTA OAKS VILLAGE DEVELOPMENT PLAN

Exceptions: An average landscaped setback of 30 feet

shall be maintained from the Street "C"

right-of-way to residential lot lines.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code, which requires that each unit shall have a minimum two-car garage.

Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.13 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.13:

 All residential lots in this Neighborhood shall be located an average of 30 feet from the right-ofway of Street "C".

- To the extent possible, trails shall be designed to preclude views into the rear yards of adjacent residences.
- All landscaping and grading within the SDG&E transmission easement shall meet the approval of SDG&E.
- Landscaping adjacent to public utility corridors shall utilize trees, shrubs, and walls to visually screen utility structures and provide security and privacy for the homeowner.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

14. La Costa Oaks Neighborhood 3.14

a. Description

Neighborhood 3.14 is located in the south central area of La Costa Oaks. This hilltop Neighborhood is bounded by Neighborhood 3.13 to the north and 3.15 to the south. Neighborhood access is via neighborhoods 3.13 and 3.15 to Street C to the east, and Neighborhood 3.12 to La Costa Avenue to the west.

Neighborhood 3.14 consists of approximately 29.4 gross acres. The Neighborhood 3.14 Development Plan is shown on Exhibit 7-32.

b. Use Allocation

The General Plan Designation for Neighborhood 3.14 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. The number of Master Plan units planned for this area is 66. Dwelling unit transfers between Neighborhood 3.14 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.

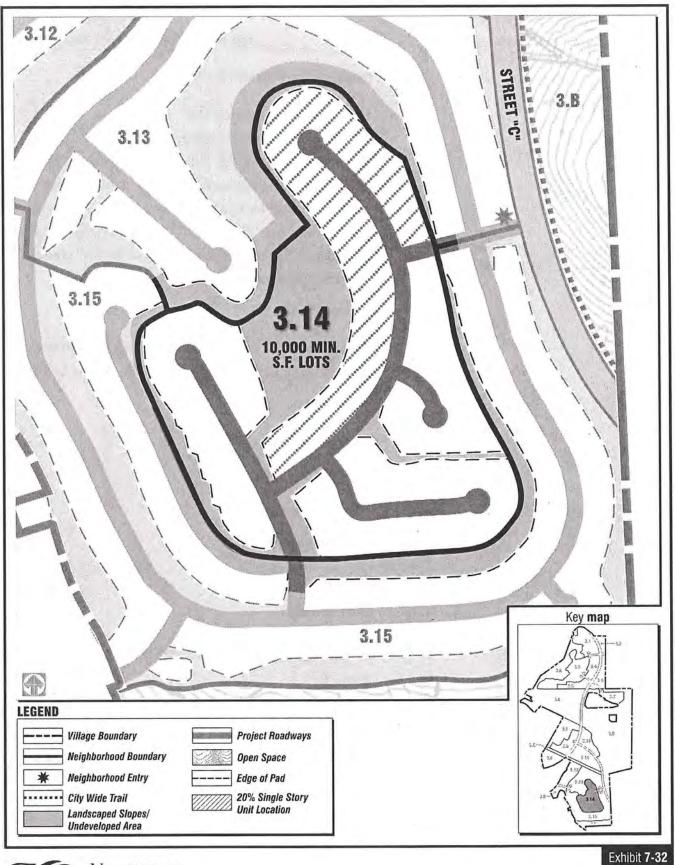




Exhibit 7-32

LA COSTA OAKS NEIGHBORHOOD 3.14 DEVELOPMENT PLAN

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10.

e. Product Type

Single-family detached homes

f. Minimum Lot Size

10,000 square feet

g. Minimum Lot Width

70 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Side: Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum

Rear: 20 feet minimum

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code, which requires that each unit shall have a minimum two-car garage.

1. Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.14 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

o. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, as applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.14:

 For the areas identified on Exhibit 7-32 20% of the units along a ridgeline/hilltop, which are visible from a circulation element roadway, shall be single story as required in Section 4.4 of this Master Plan.

- Exterior slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from the south and west but should not compromise views from this Neighborhood.
- Whenever possible, units should be designed to take advantage of the views offered by this Neighborhood.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

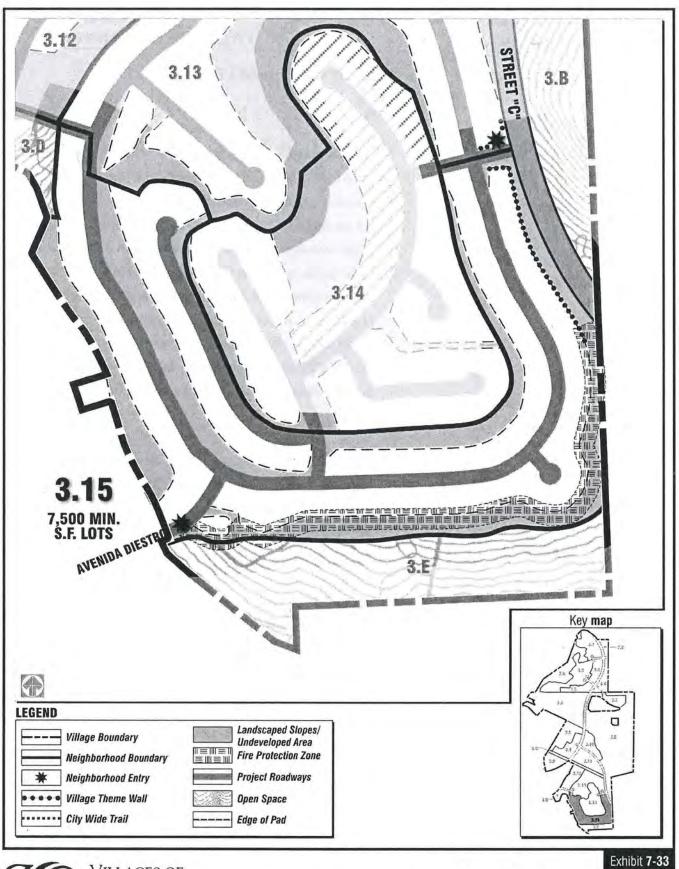
15. La Costa Oaks Neighborhood 3.15

a. Description

Neighborhood 3.15 is located in the southerly-most area of La Costa Oaks. This enclave of single-family detached homes is generally bounded by Open Space Area 3.E to the south, the Village boundary and Open Space Area 3.D to the west and northwest, Neighborhoods 3.13 and 3.14 to the north, and Street C and the Village boundary to the east. Neighborhood 3.15 consists of approximately 44.9 gross acres. Access is provided by Street C to the east, the extension of La Costa Avenue from the west, and Avenida Diestro to the southwest. The Neighborhood 3.15 Development Plan is shown on Exhibit 7-33.

b. Use Allocation

The General Plan Designation for Neighborhood 3.15 is RLM (0-4 du/ac), with a Growth Management Control Point of 3.2 du/ac. The R-1 Development Standards, as established by Carlsbad Municipal Code Section 21.10, including second dwelling units, accessory structures, building height, and lot coverage shall be utilized, unless otherwise modified by this Master Plan. The number of Master Plan units planned for this area is 103. Dwelling unit transfers between Neighborhood 3.15 and other Neighborhoods in La Costa Oaks may occur as described in Section 2.5.2.





LA COSTA OAKS NEIGHBORHOOD 3.15 DEVELOPMENT PLAN

The following development permits are required: Tentative Map, Site Development Plan and Hillside Development Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

d. Permitted Uses

Uses permitted in this Neighborhood shall be all of those allowed under Carlsbad Municipal Code Section 21.10.

e. Product Type

Single-family detached homes

f. Lot Size

7,500 square feet

g. Minimum Lot Width

60 feet

h. Lot Coverage

Refer to Section 4.6 of this Master Plan.

i. Setbacks

Side:

Front: Setback standards are listed in Section 4.6

of this Master Plan.

Setback standards are listed in Section 4.6

of this Master Plan.

Street Side: 10 feet minimum.

Rear: 20 feet minimum.

Exceptions: An average landscaped setback of 30 feet

shall be maintained from Street "C" right-

of-way to residential lot lines.

j. Height Limits

30' and 2 stories with a minimum roof pitch of 3:12

k. Parking

Parking shall be provided per Section 21.44 of the Carlsbad Municipal Code, which requires that each unit shall have a minimum two-car garage.

Neighborhood Circulation Details

Neighborhood circulation details such as major points of access and traffic signal locations are described and illustrated in Section 7.2.5, Circulation.

m. Neighborhood Public Facilities

Public facilities requirements are described and illustrated in Section 7.3, Public Facilities.

n. Development Phasing

The relationship of Neighborhood 3.15 to the overall development of La Costa Oaks is described in Section 7.4, La Costa Oaks Village Phasing Plan and illustrated on Exhibit 7-10.

Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design criteria shall also be incorporated for Neighborhood 3.15:

 All residential lots in this Neighborhood shall be located an average of 30 feet from the right-ofway of Street "C".

- Exterior slope landscape screening of the dwelling units shall be incorporated to soften views of these structures from the west but should not compromise views from this Neighborhood.
- Whenever possible, units should be designed to take advantage of the views offered by this Neighborhood.
- A Fire Protection Zone, as defined and illustrated in Section 4.7.9 and which separates developed areas and manufactured slopes from HCP Open Space Areas, will be incorporated where necessary so as to have limited, if any, impact on the Open Space Areas. The final location of the zone will be determined during Tentative Subdivision Map review.
- Common streetscape and landscape areas shall conform to community requirements as established in this master plan. Street trees, landscape zones, entries, irrigation systems, walls, fencing, lighting, etc., have been selected to provide consistency in design and quality.

7.7.4 Open Space Areas

Open Space Area 3.A

a. Description

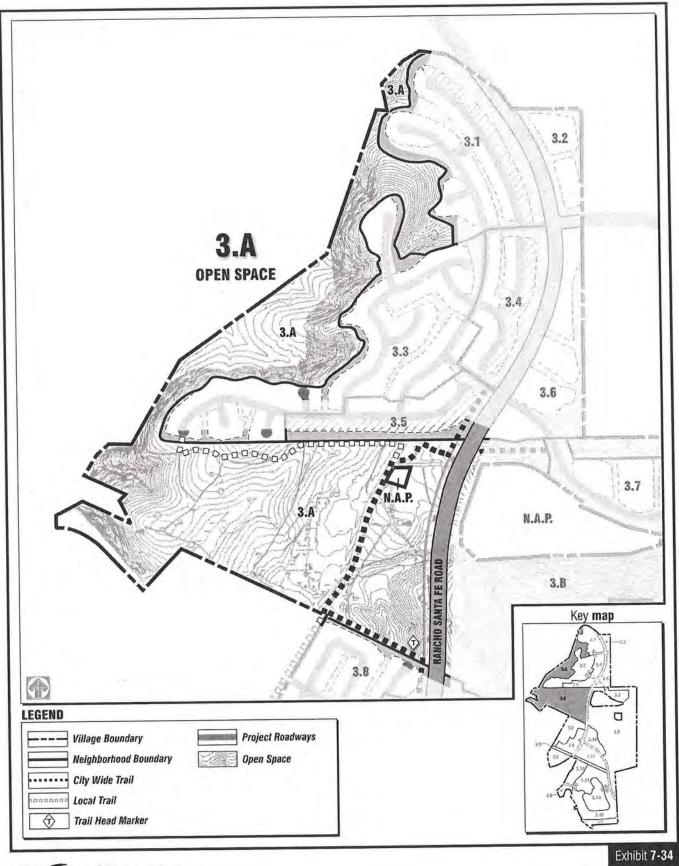
Open Space Area 3.A, which is composed of 116.5 gross acres, encompasses all of the La Costa Oaks undeveloped area to the west of Rancho Santa Fe Road. The area is generally bounded by San Marcos Creek and the Village of La Costa Ridge to the west and north, by Neighborhoods 3.1, 3.3, 3.5 and Rancho Santa Fe Road to the east, and Neighborhood 3.8 and the Village boundary to the south. The entire area is designated conserved habitat by the HCP/OMSP and will be preserved in its natural state, with the exception of public utilities and local pedestrian trails within the SDG&E utility corridors, and a Citywide Trail at the west edge of Rancho Santa Fe Road. The site encompasses a fire station site, which is not part of this Master Plan. The Open Space Area 3.A Plan is shown on Exhibit 7-34.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). This Master Plan does not allow any development in this area other than slope grading for adjacent Neighborhoods, roads and trails, including access to the fire station site, and public utilities within the designated utility corridors.

c. Trails

As addressed in Section 7.2.5 and illustrated on Exhibit 7-34, Local Pedestrian Trails may be extended through this Open Space Area, and the Citywide Trail shall be constructed within the area along Rancho Santa Fe Road.





LA COSTA OAKS OPEN SPACE AREA 3.A PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific guidelines shall also apply to Open Space Area 3A:

- Grading shall be allowed in this area within 200 feet of the Rancho Santa Fe Road right-of-way in order to accommodate construction of this roadway.
- Disturbance to this Open Space Area arising from construction efforts required to support development of adjacent Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored or revegetated as appropriate. Landscaping of these disturbed areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area unless such inclusion is authorized by the HCP/OMSP. If and where it becomes necessary to accommodate a Fire Protection Zone within the existing HCP area, a modification of the HCP boundary shall be undertaken and an equivalent amount of open space located outside the current HCP area shall be incorporated within the newly modified HCP area.

2. Open Space Area 3.B

a. Description

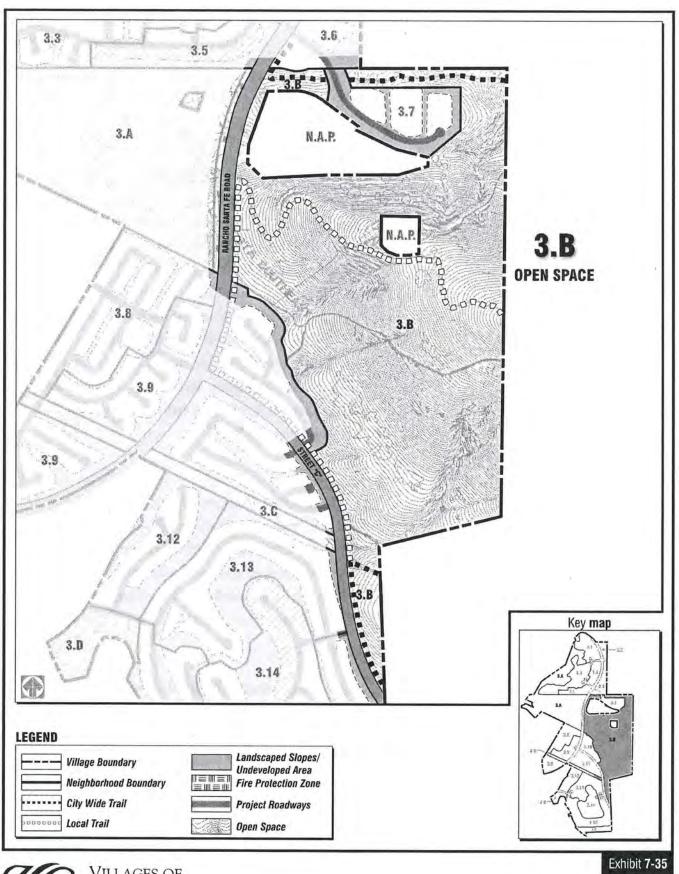
Open Space Area 3.B, represents all of the undeveloped La Costa Oaks area to the east of Rancho Santa Fe Road and north of Street C. The area includes 177.6 gross acres and is generally bounded by the Vallecitos Water District reservoir and Neighborhood 3.7 to the north, the Village boundary to the east, and Street C, Neighborhood 3.10, and Rancho Santa Fe Road to the west. The entire area is designated conserved habitat by the HCP/OMSP and will be preserved in its natural state, with the exception of public utilities and local pedestrian trails within the SDG&E utility corridors at the east edge of Rancho Santa Fe Road. The Open Space Area 3.B Plan is shown on Exhibit 7-35.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). This Master Plan does not allow any development in this area other than slope grading for adjacent Neighborhoods, roads and trails, and public utilities within the designated utility corridors.

c. Trails

As addressed in Section 7.2.5 and illustrated on Exhibit 7-35, Local Pedestrian Trails may be extended through this Open Space Area, and a local trail shall be constructed within the area along Rancho Santa Fe Road.





LA COSTA OAKS OPEN SPACE AREA 3.B PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific guidelines shall also apply to Open Space Area 3B:

- Grading shall be allowed in this area within 200 feet of the Rancho Santa Fe Road right-of-way in order to accommodate construction of this roadway.
- Disturbance to this Open Space Area arising from construction efforts required to support development of adjacent Neighborhoods will be avoided to the maximum extent possible during and after construction. Where disturbance is unavoidable and has been authorized by the HCP/OMSP, the disturbed area shall be restored or revegetated as appropriate. Landscaping of these disturbed areas shall be compatible with the existing, natural vegetation.
- Fire Protection Zones, required for adjacent Neighborhoods, should not be extended into this Open Space Area unless such inclusion is authorized by the HCP/OMSP. If and where it becomes necessary to accommodate a Fire Protection Zone within the existing HCP area, a modification of the HCP boundary shall be undertaken and an equivalent amount of open space located outside the current HCP area shall be incorporated within the newly modified HCP area.

3. Open Space Area 3.C

a. Description

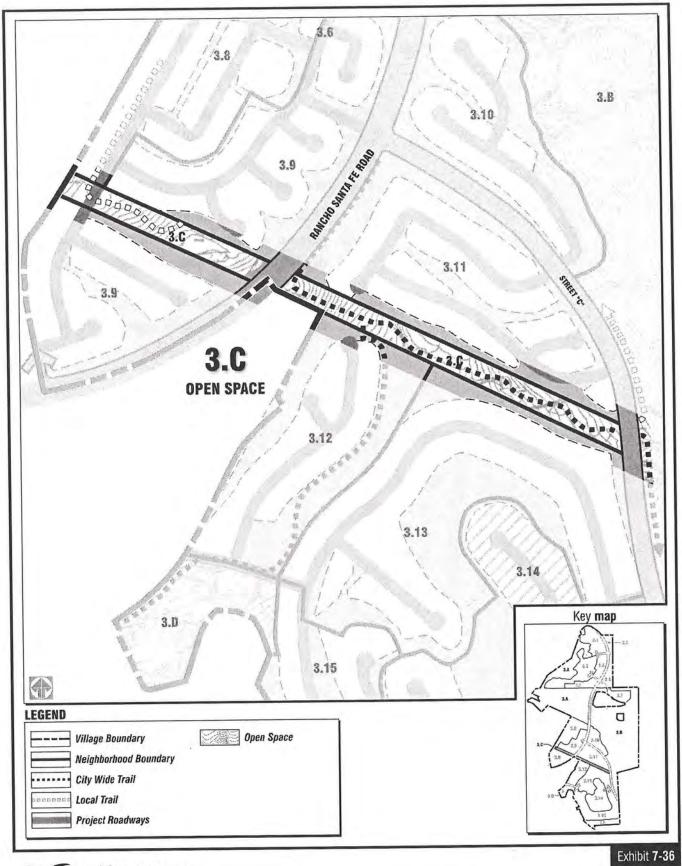
Open Space Area 3.C, consists of 9.5 gross acres and lies entirely within an SDG&E utility corridor. It is bounded to the northeast by Neighborhoods 3.8, 3.9 and 3.11, and to the southwest by Neighborhoods 3.9, 3.12, 3.13 and the Village boundary. Open Space Area 3.C, which shall be preserved in its natural state, is shown on Exhibit 7-36.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). This Master Plan does not allow any development in this area other than slope grading for adjacent Neighborhoods, roads and trails, and public utilities within the designated utility corridors.

c. Trails

As addressed in Section 7.2.5 and illustrated on Exhibit 7-36, segments of the Citywide and Local Pedestrian Trail systems may be extended through this Open Space Area.





LA COSTA OAKS OPEN SPACE AREA 3.C PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific guidelines shall also apply to Open Space Area 3C:

- Grading shall be allowed in this area for the purpose of roadways and in order to support development of the adjacent Neighborhoods.
- All landscaping and grading in the SDG&E utility corridor shall meet with the approval of SDG&E.

4. Open Space Area 3.D

a. Description

Open Space Area 3.D is located in the south area of La Costa Oaks. The site includes an area of 6.0 gross acres and is generally bounded by La Costa Avenue and the Village boundary to the northwest, by Neighborhood 3.12 to the northeast, by Neighborhood 3.15 and the Village Boundary to the southeast, and by the Village boundary to the southwest. A Neighborhood recreation facility may be developed on a portion of the area. This facility may serve Neighborhoods 3.11, 3.12, 3.13, 3.14, and/or 3.15. The boundary for this facility will be determined at the Tentative Map level. The remainder of the site shall be preserved in its natural state. Open Space Area 3.D is shown on Exhibit 7-37.

b. Use Allocation

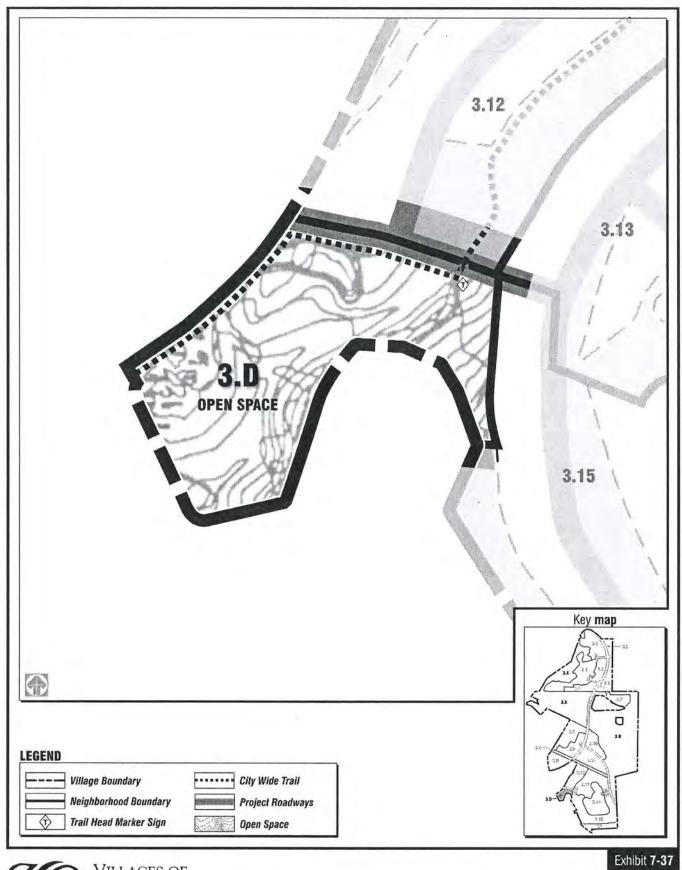
The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). Recreation areas, centers and trails are specifically permitted.

c. Trails

As addressed in Section 7.2.5 and illustrated on Exhibit 7-37, a Citywide Trail may be extended through this Open Space Area.

d. Required Development Permits

The following development permits are required to develop a recreation area or center: Site Development Plan, Hillside Development Permit and Floodplain Special Use Permit. A Hillside Development Permit (HDP) will be processed with the master tentative subdivision map for La Costa Oaks Village. Additional





LA COSTA OAKS OPEN SPACE AREA 3.D AREA HDP permits may be necessary for the development of individual Neighborhoods depending on the final grading plan and development design.

e. Permitted Uses

Common recreation areas are specifically permitted as well as uses deemed accessory to them.

f. Setbacks

30 feet minimum from all property lines which shall be landscaped or contain native vegetation.

g. Building Height

25 feet maximum

h. Parking

Refer to Section 4.6 of this Master Plan for Recreation Area Parking Requirements.

i. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific guidelines shall also apply to Open Space Area 3D:

- Landscaping in this area shall be compatible with existing native vegetation.
- Manufactured slopes shall be planted per the requirements of Section 7.4, Landscape Concept Plan.
- This Open Space Area shall incorporate and preserve the riparian area within its boundaries with minimal impact to the natural vegetation.
- · Grading shall be allowed in this area for the

purpose of roadways, trails and recreation areas/centers.

5. Open Space Area 3.E

a. Description

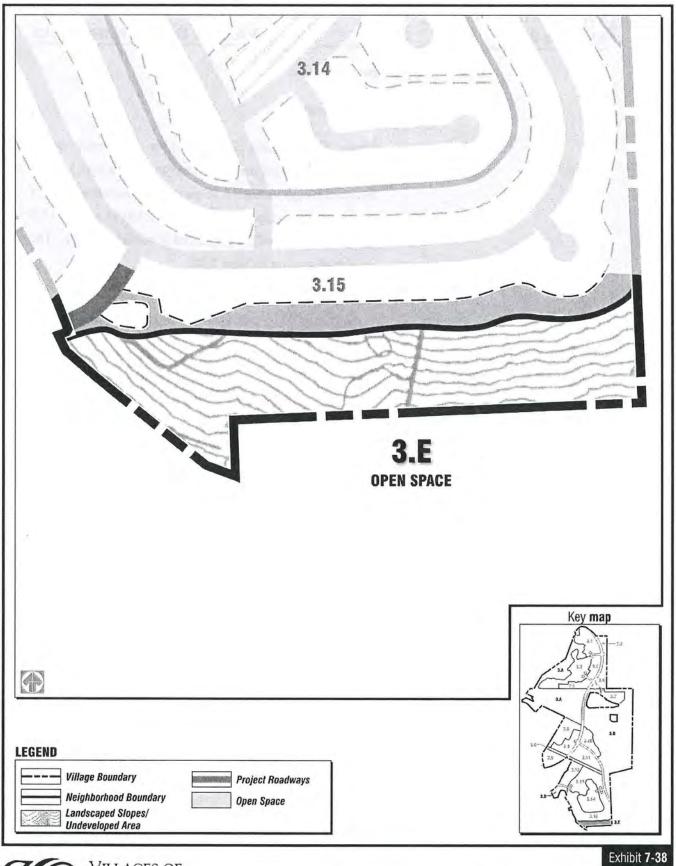
Open Space Area 3.E provides for open space preservation. This area includes the hillside area located between Neighborhood 3.15 and the southern boundary of La Costa Oaks. Open Space Area 3.E has an area of 12.5 gross acres and will be preserved in its natural state. The area is shown on Exhibit 7-38.

b. Use Allocation

The General Plan designation for this area is Open Space (OS). The zone classification is also Open Space (O-S). The Master Plan does not allow any residential development other than slope grading for Neighborhood 3.15 to occur in this area.

c. Trails

No trails will be constructed within this open space area.





LA COSTA OAKS OPEN SPACE AREA 3.E PLAN

d. Special Design Criteria

All Master Plan Development Standards and Guidelines described in Chapter 4 shall be implemented, where applicable, in this area. The following specific design guidelines shall also apply to Open Space Area 3.E:

- This open space area shall remain in its natural state except where impacted by manufactured slopes of Neighborhood 3.15.
- Special attention shall be given to landscaping of graded areas in this open space area in order to ensure compatibility between this area and the adjacent natural areas and residential neighborhood.
- Slope vegetation adjacent to residences may be modified by hand for fire control purposes.

LA COSTA GREENS					GROWTH			MASTER PL	MASTER PLAN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATIONS	ZONING	GROSS	NET ACRES (1)	MANAGEMENT CONTROL POINT DENISTY	GENERAL PLAN DWELLING UNITS	Maximum Allowable Dwelling Units	NET DENSITY DU/AC	Development Type
1.1	O - Office	0	7.9	7.65	I	ı	1	ł	Office, 85,000 Sq.Ft.
1.2	CF - Community Facilities	45	7.9	6.85	1	1	1	1	Community Facilities
1.3	RM - Residential Medium	HD-M	8.6	7.8	9	47	48	6.2	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Size
1.4	RLM - Residential Low-Medium	R-1	13.9	13.1	3.2	42	42		
1.5	OS - Open Space	S-0	34.4	1)	1	1	1	Public Community Park
1.6	RLM - Residential Low-Medium	R-1	37.9	31,4	3.2	100	96	3,1	SFD — 6,000 Sq. Ft.
7.1	RLM - Residential Low-Medium	R-1	28.2	25,3	3.2	18	85	3.4	SFD — 5,000 Sq. Ft.
1.8	RLM - Residential Low-Medium	B-1	45.8	37.8	3.2	121	83	2.2	SFD - 7,500 Sq. Ft.
1.9	RLM - Residential Low-Medium	R-1	25.9	22.4	3.2	72	75	3.3	SFD — 6,000 Sq. Ft.
1,10	RLM - Residential Low-Medium	R-1	40	31.3	3.2	100	64	2.0	SFD — 9,000 Sq. Ft.
1.11	RLM - Residential Low-Medium	R-1	14.5	13.6	3.2	44	35	2.6	SFD — 5,000 Sq. Ft.
1.12	RLM - Residential Low-Medium	H-1	30.4	27.4	3.2	88	37	1.4	SFD — 11,000 Sq. Ft.
1.13	RLM - Residential Low-Medium	H-1	12.7	12.1	3.2	39	33	2.7	SFD 5,000 Sq. Ft.
1.14	RLM - Residential Low-Medium	H-1	22.7	18.1	3.2	58	19	3.4	SFD — 5,000 Sq. Ft.
1.15	RMH - Residential Medium-High	M-OH	14.3	13.1	11.5	151	180	13.7	Multiple Family (Affordable Housing
1.16	RMH - Residential Medium-High	M-OH	16	13.8	11.5	159	92	6.7	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Size
1.17	RLM - Residential Low-Medium	R-1	39,9	33.6	3.2	108	107	3.2	SFD — 4,500 Sq. Ft.
1,A	OS - Open Space	S-0	124.4	ì	1	1	1	1	HCP/Open Space
1.8	OS - Open Space	s-o	14.7	1	1	-	£	1	HGP/Open Space
1.0	OS - Open Space	S-0	36.4	1	1	ŀ	1	1	HCP/Open Space
J.D	OS - Open Space	8-0	30,6	1		3	-	1	HCP/Open Space
3:1	OS - Open Space	S-0	3.4	ı	3.	1	1	ł	HCP/Open Space
1,5	OS - Open Space	s-0	22.4	I	1	1.	1	+	HCP/Open Space
1,G	OS - Open Space	s-0	4.5	1	-	1			HCP/Open Space
H.F.	OS - Open Space	s-o	3.1	1	1	1		ł	HCP/Open Space
42	OS - Open Space	0-S	6.5	1	1	1	1	ł	HCP/Open Space
Circulation	1		13.7	1	_				Major Roadways - Poinsettia Lane
VILLAGE TOTALS			660.7	315.3		1,210	1,038	3.3	

(1) To obtain net developable acres, all of the 100 percent constrained areas and one-hal of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

A COSTA RIDGE					GROWTH			MASTER PL	MASTER PLAN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATIONS	ZONING	GROSS	NET ACRES (1)	CONTROL POINT	GENERAL PLAN DWELLING UNITS	Maximum Allowable Dwelling Units	NET DENSITY DU/AC	Development Type
								1.00 F	
	mily Modification Medium	R-1	49.4	36.1	3.2	116	55	1.5	SFD - 7,500 Sq. Ft. Minimum Lot Size / HCP
1.7	Disk Desidential Low Medium	1.0	37.5	29.8	3.2	95	38	1.3	SFD — 7,500 Sq. Ft. Minimum Lot Size / HCP
2.2	KLM - Residential Low-Wednest	0	44	35.5	3.2	114	20	2.0	SFD — 10,000 Sq. Ft. Minimum Lot Size / HCP
2.3	KLM - Residential Low-Wedidin			000	0.0	-	34	1.8	SFD — 10,000 Sq. Ft. Minimum Lot Size
2.4	RLM - Residential Low-Medium	K-1	57.7	19.7	3.6				PCP CON Co El Minimim I ol Size / HCP
2.5	RLM - Residential Low-Medium	R-1	40.4	31.6	3.2	101	99	2.1	מרט – ס'חסס פק. רו. ואוווווומווו בטר פונפי ווא
400	DMH . Residential Medium-High	RD-M	11.5	10.4	11,5	120	57	5.5	Lownhomes
2.0	Control of the contro	0.0	284 5	j	1),	1	ł	HCP/Open Space
ZA	os obell space	200	u u	1	1	1	1	1	HCP/Open Space
2.8	OS:- Obert obace	3	4024	162.6		209	320	2.0	
VILLAGE TOTALS			433.1	0.20					

(1) To obtain net developable acres, all of the 100 percent constrained areas and one-hal of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

LA COSTA DAKS					GROWTH	The same of the sa		MASTER PL	MASTER PLAN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATIONS	ZONING	GROSS	NET ACRES (1)	MANAGEMENT CONTROL POINT DENISTY	GENERAL PLAN DWELLING UNITS	Maximum Allowable Dwelling Units	NET DENSITY DU/AC	Development Type
							32	3.0	SED - 5 000 Sa Ft Minimum Lot Size
3.1	RLM - Residential Low-Medium	R-1	27.9	25.5	3.2	28	0)	0.0	Commission Escilliae
3.2	CF - Community Facilities	C-F	9.9	6.4	1	t		1 6	0
3.3	RI M - Residential Low-Medium	R-1	46.6	39.8	3.2	127	138	3.5	SFD — 6,000 Sq. Ft. Millimuin Lot Size
200	DI M Desidential Jow.Medium	R-1	14.5	14.4	3.2	46	45	3.1	SFD — 5,000 Sq. Ft. Minimum Lot Size
4:0	N.M. Mesidenniai Low-Wedigin	0.1	13.0	14	32	45	46	3.3	SFD — 5,000 Sq. Ft. Minimum Lot Size
0.0	KLIVI - Kesideriliai Low-iviedidii	74.00	70	13.4	415	154	171	12.8	Multiple Family (Affordable Housing)
3.6	KINIH - Kesideniiai Medidin-riidii	200	007	41.5	· ·	69	45	3.9	Townhomes
3.7	KM - Residential Medium	M-CM	13.0	2.40	000	80	74	3.4	SFD — 7,500 Sq. Ft. Minimum Lot Size
3.8	RLM - Residential Low-Medium	ž	50.4	7.17	3.6	200	000	3.0	SED _ 6 000 Sq. Ft. Minimum Lot Size
3.9	RLM - Residential Low-Medium	R-1	32	29.3	3.2	46	000	300	SED R 000 So Et Minimum Lot Size
3.10	RLM - Residential Low-Medium	R-1	16.4	13.9	3.2	44	36	200	SED SONO Set Et Minimum Lot Size
3.11	RLM - Residential Low-Medium	R-1	22.5	20.2	3.2	65	53	2.0	37D - 0,000 04. 1. Millimin 104 010
242	RI M - Residential Low-Medium	R-1	15.4	15.1	3.2	48	27	1.8	SFD - 7,500 Sq. Pt. Millingill Lot Size
31.6	Till Doctorial I ou Modition	, o	37.8	32.3	3.2	103	62	1.9	SFD — 7,500 Sq. Ft, Minimum Lot Size
3.13	NEW - Nesidential Edward Park		20.4	27.4	3.2	88	99	2.4	SFD — 10,000 Sq. Ft. Minimum Lot Size
3.14	KLM - Kesidenilai Low-inedidiri		NA O	440	3.2	144	105	2.3	SFD — 7,500 Sq. Ft. Minimum Lot Size
3.15	KLM - Residential Low-Medium	- 20	240.5	0'11	200	1	J	I	HCP/Open Space
3,A	OS - Open Space	200	110.0)	1	HCP/Open Space
3.8	OS - Open Space	200	0771				1	1	HCP/Open Space
3.C	OS - Open Space	0-8	9.5		1			1	HCP/Open Space
3.0	OS - Open Space	S-0	9	1					HCP/Open Space
3.E	OS - Open Space	0-5	12.5	1	1				Major Boadways - Rancho Santa Fe Rd
Circulation	1	I	26.4	Ţ	1	Ē			Major Noadwaya National Commercial
S INTO THE STATE OF			712.6	329.8		1178	1032	2.0	

LEGAL DESCRIPTIONS

LEGAL DESCRIPTION LA COSTA - NORTHWEST

The Greens

PARCEL 3 OF PARCEL MAP NO. 1188, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 20, 1972 AS FILE NO. 340334 OF OFFICIAL RECORDS TOGETHER WITH THAT PORTION DESCRIBED AS PARCEL "A" IN DEED TO LA COSTA LAND COMPANY, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 7, 1973 AS FILE NO. 73-245058 OF OFFICIAL RECORDS TOGETHER WITH A PORTION OF PARCEL A OF PARCEL MAP NO. 13427, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 16, 1984 AS FILE NO. 84-031333 OF OFFICIAL RECORDS TOGETHER WITH A PORTION OF THE SOUTH HALF OF SECTION 25, TOWNSHIP 12 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

LEGAL DESCRIPTION LA COSTA – SOUTHEAST II

The Oaks

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, AND IS DESCRIBED AS FOLLOWS:

PARCEL X:

LOT 5 AND THE WEST HALF OF LOT 6 AND LOT 8 OF RANCHO LAS ENCINITAS, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 848, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 27, 1898.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN CARLSBAD TRACT NO. 75-9(B) UNIT NO. 2, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 9959, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 31, 1980 AND THAT PORTION LYING SOUTHERLY AND SOUTHWESTERLY OF THE SOUTHERLY BOUNDARY THEREOF.

ALSO EXCEPTING THEREFROM THAT PORTION LYING WITHIN PARCEL MAP NO. 13524, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 25, 1984 AS FILE NO. 84-403293 OF OFFICIAL RECORDS, AND THAT PORTION THEREOF LYING SOUTHERLY OF THE SOUTHERLY BOUNDARY THEREOF.

ALSO EXCEPTING THEREFROM THAT PORTION LYING NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE MOST EASTERLY TERMINUS OF THE CENTERLINE OF LA COSTA AVENUE AS SHOWN ON HEREINBEFORE MENTIONED PARCEL MAP NO. 13524; THENCE NORTH 55°00'00" EAST 200.89 FEET TO THE BEGINNING OF A 1000.00 FOOT RADIUS CURVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG SAID CURVE TO THE NORTHERLY LINE OF HEREINBEFORE MENTIONED LOT 5 OF RANCHO LAS ENCINITAS.

AFFECTS PARCEL NOS. 223-060-15, 223-060-49 AND 264-222-03.

PARCEL AA:

THE WEST HALF OF SECTION 32 AND THE EAST HALF OF SECTION 31, ALL BEING IN TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO OFFICIAL PLAT THEREOF, ALL BEING IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION OF THE EAST HALF OF SAID SECTION 31, ALL THAT PORTION THEREOF LYING NORTHWESTERLY OF THE SOUTHEASTERLY BOUNDARY OF CARLSBAD TRACT NO. 72-20 (LA COSTA VALE) UNIT NO. 3, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7950, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1974.

ALSO EXCEPTING THEREFROM ALL THAT PORTION THEREOF LYING NORTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE NORTHWEST CORNER OF SAID WEST ONE HALF OF SAID SECTION 32; THENCE SOUTH 89°53'42" EAST ALONG THE NORTH LINE OF SAID WEST ONE HALF, 2689.53 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00°36'38" WEST ALONG THE EAST LINE OF SAID WEST ONE HALF, 3120.35 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF A 200.00 FOOT SAN DIEGO GAS AND ELECTRIC COMPANY EASEMENT IN BOOK 5208, PAGE 399 OF THE OFFICIAL RECORDS OF SAID SAN DIEGO COUNTY AND BEING THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID EAST LINE AND ALONG SAID EASEMENT LINE, NORTH 64°13'23" WEST, 2226.43 FEET; THENCE SOUTH 72°08'00" WEST, 65.20 FEET TO A POINT ON A LINE, SAID LINE BEING 45.00 FEET SOUTHWESTERLY, MEASURED AT RIGHT ANGLES AND PARALLEL WITH SAID SOUTHWESTERLY RIGHT OF WAY LINE OF 200.00 FOOT SAN DIEGO GAS AND ELECTRIC COMPANY EASEMENT; THENCE NORTH 64°13'23" WEST ALONG SAID PARALLEL LINE, 1583.36 FEET TO A POINT ON THE SOUTHEASTERLY BOUNDARY LINE OF SAID MAP NO. 7950; THENCE CONTINUING ALONG SAID PARALLEL LINE NORTH 64°13'23" WEST TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID SECTION 31, SAID INTERSECTION BEING THE POINT OF TERMINUS.

ALSO EXCEPTING THEREFROM ALL THAT PORTION THEREOF LYING SOUTHWESTERLY OF THE FOLLOWING LINE:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID CARLSBAD TRACT NO. 72-20 AS SHOWN ON MAP NO. 7950, SAID CORNER BEING A POINT ON THE ARC OF A NON-TANGENT 1230.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH 51°54'08" WEST; THENCE CONTINUING ALONG THE SOUTHEASTERLY BOUNDARY LINE OF CARLSBAD TRACT NO. 72-20, THE FOLLOWING COURSES:

NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 14°34′46″ A DISTANCE OF 312.99 FEET, NORTH 38°50′03″ EAST, 31.80 FEET TO THE BEGINNING OF A TANGENT 1480.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 7°19′57″ A DISTANCE OF 189.40 FEET; THENCE NORTH 46°10′00″ EAST, 1057.78 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID SOUTHEASTERLY BOUNDARY LINE SOUTH 43°50′00″ EAST, 1685.42 FEET; THENCE SOUTH 53°39′32″ EAST, 42.00 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE NORTHWESTERLY A RADIAL LINE TO SAID POINT BEARS SOUTH 53°39′32″ EAST; THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE INTERSECTION WITH THE SOUTHERLY LINE OF SAID SECTION 31, SAID INTERSECTION BEING THE POINT OF TERMINUS.

ALSO EXCEPTING THE INTEREST CONVEYED TO THE COUNTY OF SAN DIEGO BY DEED RECORDED FEBRUARY 16, 1967 AS FILE NO. 21426 OF OFFICIAL RECORDS, LYING WITHIN THOSE PORTIONS DESCRIBED AS FOLLOWS:

PARCEL 66398-A:

THAT PORTION OF SECTION 31, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, LYING WITHIN A STRIP OF LAND 60 FEET WIDE, 30 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE:

COMMENCING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF ROAD SURVEY NO. 454, A PLAT OF WHICH IS ON FILE IN THE OFFICE OF THE COUNTY ENGINEER, WITH THE NORTH LINE OF SAID SOUTHEAST QUARTER BEING DISTANT ALONG SAID NORTH LINE 721.98 FEET FROM THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER, SAID POINT BEING ENGINEER'S STATION 194 PLUS 74.85, POINT

ON A 1000 FOOT RADIUS CURVE, CONCAVE EASTERLY ON SAID CENTER LINE; THENCE ALONG SAID CENTER LINE AS FOLLOWS:

SOUTHERLY ALONG SAID 1000 FOOT RADIUS CURVE, 36.54 FEET AND TANGENT TO SAID CURVE SOUTH 7°22' EAST, 12.41 FEET TO THE TRUE POINT OF BEGINNING AND THE BEGINNING OF A 1200 FOOT RADIUS CURVE, THE CENTER OF WHICH BEARS SOUTH 82°38' WEST FROM SAID POINT; THENCE LEAVING SAID CENTER LINE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 71°50', A DISTANCE OF 1504.47 FEET TO ENGINEER'S STATION 210 PLUS 87.12 POINT OF TERMINATION ON THE CENTER LINE OF SAID ROAD SURVEY NO. 454.

PARCEL 66398-B:

THAT PORTION OF SAID SOUTHEAST QUARTER LYING SOUTHERLY OF PARCEL 66398-A HEREINABOVE DESCRIBED, AND NORTHERLY OF SAID ROAD SURVEY NO. 454.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO MAG PROPERTIES, A CALIFORNIA GENERAL PARTNERSHIP, BY DEED RECORDED FEBRUARY 1, 1990 AS FILE NO. 90-057460 OF OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF SECTION 31, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF LOT 494 OF MAP NO. 7950, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, SAID POINT BEING ON THE WESTERLY RIGHT OF WAY LINE OF RANCHO SANTA FE ROAD AS SHOWN ON SAID MAP NO. 7950; THENCE SOUTH 31°00'00" WEST, 46.04 FEET; THENCE SOUTH 59°00'00" EAST, 71.00 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF SAID MAP SAID POINT BEING ON A NON-TANGENT 1520.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID BOUNDARY LINE THROUGH A CENTRAL ANGLE OF 9°19'02", A DISTANCE OF 247.18 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING ON A NON-TANGENT 700.00 FOOT RADIUS REVERSING CURVE, CONCAVE EASTERLY; A RADIAL LINE TO SAID POINT BEARS NORTH 73°26'32" WEST; THENCE SOUTHERLY ALONG THE ARC OF SAID 700,00 FOOT RADIUS CURVE THROUGH A CENTRAL ANGLE OF 26°43'55", A DISTANCE OF 326.59 FEET; THENCE SOUTH 10°10'27" EAST, 474.67 FEET TO A POINT ON A NON-TANGENT 2400.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°24'49", A DISTANCE OF 645.64 FEET TO A POINT ON A NON-TANGENT 1170.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 31°17'17" EAST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID 1170.00 CURVE THROUGH A CENTRAL ANGLE OF 6°14'41", A DISTANCE OF 127.52 FEET; THENCE SOUTH 25°02'36" EAST, 60.00 FEET TO A POINT ON A NON-TANGENT 1230.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 25°02'36" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 22°45'14", A DISTANCE OF 488.47 FEET TO A POINT ON A NON-TANGENT 2400.00 RADIUS CURVE, CONCAVE NORTHWESTERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 33°56'33" EAST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID 2400.00 FOOT RADIUS CURVE THROUGH A CENTRAL ANGLE OF 7°35'06", A DISTANCE OF 317.72 FEET; THENCE SOUTH 41°31'39" EAST, 63.00 FEET; THENCE SOUTH 64°50'25" EAST, 265.09 FEET; THENCE SOUTH 28°21'27" WEST, 501.00 FEET; THENCE SOUTH 31°16'32" EAST 62.63 FEET TO A POINT ON A NON-TANGENT 700.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30°22'01", A DISTANCE OF 371.00 FEET: THENCE SOUTH 28°21'27" WEST, 470.00 FEET TO THE BEGINNING OF A 1000.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 7°59'01", A DISTANCE OF 139.34 FEET; THENCE NORTH 53°39'32" WEST, 42.00 FEET; THENCE NORTH 43°50'00" WEST, 1685.42 FEET; THENCE NORTH 46°10'00" EAST, 465.58 FEET TO THE BEGINNING OF A TANGENT 1520.00 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 5°50'58", A DISTANCE OF 155.18 FEET, TO THE TRUE POINT OF BEGINNING.

AFFECTS PARCEL NOS. 223-050-67 AND 223-050-69; 223-071-05 AND 223-071-07.

PARCEL BB:

THOSE PARCELS OF LAND SHOWN AND DELINEATED ON THE SAN DIEGO COUNTY ASSESSOR'S MAPS BEING PARCELS 223-050-51, 223-050-52, 223-050-53, 223-050-54, 223-050-59, 223-050-65 AND 223-071-09 LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

THAT PORTION OF THE WEST HALF OF SECTION 32; AND THE NORTH HALF OF SECTION 31; AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, ALL BEING

IN TOWNSHIP 12 SOUTH, RANGE 3 WEST; TOGETHER WITH THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, IN TOWNSHIP 12 SOUTH, RANGE 4 WEST, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID WEST HALF; THENCE SOUTH 89°53'42" EAST ALONG THE NORTH LINE OF SAID WEST HALF, 2689.53 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00°36'38" WEST ALONG THE EAST LINE OF SAID WEST HALF, 3120,35 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF A 200.00 FOOT SAN DIEGO GAS AND ELECTRIC EASEMENT, RECORDED APRIL 19, 1954 IN BOOK 5208. PAGE 399 OF OFFICIAL RECORDS OF SAID SAN DIEGO COUNTY; THENCE LEAVING SAID EAST LINE AND ALONG SAID EASEMENT LINE, NORTH 64°13'23" WEST, 2226.43 FEET; THENCE SOUTH 72°08'00" WEST, 65.20 FEET TO A POINT ON A LINE, SAID LINE BEING 45.00 FEET SOUTHWESTERLY MEASURED AT RIGHT ANGLES AND PARALLEL WITH SAID SOUTHWESTERLY RIGHT OF WAY LINE OF A 200.00 FOOT SAN DIEGO GAS AND ELECTRIC COMPANY EASEMENT; THENCE NORTH 64°13"23" WEST ALONG SAID PARALLEL LINE, 1583.36 FEET TO A POINT ON THE SOUTHEASTERLY BOUNDARY LINE OF LA COSTA VALE UNIT NO. 3, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7950, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1974; THENCE NORTH 31°00'00" EAST ALONG SAID BOUNDARY LINE, 45.19 FEET TO THE NORTHEAST CORNER OF SAID MAP NO. 7950: THENCE NORTH 64°13'23" WEST ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID MAP NO. 7950, A DISTANCE OF 1326.91 FEET; THENCE SOUTH 43°30'00" WEST 477.59 FEET TO THE BEGINNING OF A NON-TANGENT 1720.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°30'00" WEST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 02°50'00" A DISTANCE OF 85.06 FEET; THENCE TANGENT TO SAID CURVE NORTH 43°40' WEST 445.15 FEET TO THE BEGINNING OF A TANGENT 455.00 FOOT RADIUS CURVE, CONCAVE SOUTHERLY; THENCE NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 96°50'00" A DISTANCE OF 768.98 FEET; THENCE TANGENT TO SAID CURVE SOUTH 39°30'00" WEST 153.51 FEET TO THE BEGINNING OF A TANGENT 780.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 08°59'38" A DISTANCE OF 122.44 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF CARLSBAD TRACT NO. 72-20, UNIT NO. 2, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. ACCORDING TO MAP THEREOF NO. 7779, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 26, 1973; THENCE LEAVING SAID MAP NO. 7950 AND ALONG THE BOUNDARY OF SAID MAP NO. 7779, NON-TANGENT TO SAID CURVE NORTH 71°00'00" WEST 269.16 FEET; THENCE NORTH 44°00'00" WEST 965.00 FEET; THENCE NORTH 71°13'23" WEST 276.62 FEET; THENCE SOUTH 77°46'50" WEST 290.25 FEET; THENCE NORTH 59°50'00" WEST 121.23 FEET; THENCE SOUTH 83°40'00" WEST 114.59 FEET; THENCE SOUTH 14°40'00" WEST 230,00 FEET; THENCE SOUTH 28°20'30" WEST 436.00 FEET; THENCE SOUTH 18°27'30" EAST 218.11 FEET; THENCE SOUTH 25°03'28" WEST 165.00 FEET; THENCE NORTH 64°56'32" WEST 300.00 FEET; THENCE SOUTH 00°24'13" WEST 110.03 FEET TO THE INTERSECTION WITH THE SOUTHWESTERLY LINE OF THAT CERTAIN 100.00 FOOT EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 19, 1954 IN BOOK 5208, PAGE 403 OF OFFICIAL RECORDS; THENCE LEAVING SAID BOUNDARY OF SAID MAP NO. 7779 AND ALON(THE SOUTHWESTERLY BOUNDARY OF SAID EASEMENT NORTH 64°56'32" WEST TO THE MOST SOUTHERLY CORNER OF CARLSBAD TRACT NO. 75-4 (LA COSTA ESTATES NORTH), IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8302, FILED IN THE OFFICE OF THE COUNTY RECORDER. OF SAN DIEGO COUNTY, MAY 5, 1976; THENCE LEAVING SAID EASEMENT ALONG THE EASTERLY BOUNDARY THEREOF NORTH 25°03'28" EAST 100.00 FEET; THENCE NORTH 03°02'10" WEST 495.00 FEET; THENCE NORTH 20°25'10" EAST 280.00 FEET; THENCE NORTH 05°30'00" WEST 130.00 FEET; THENCE NORTH 36°55'10" EAST 345.00 FEET; THENCE NORTH 52°15'00" EAST 160.00 FEET TO A POINT IN THE BOUNDARY OF PARCEL MAP NO. 10179, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA. FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 27, 1980 AS FILE NO. 80-204502 OF OFFICIAL RECORDS; THENCE LEAVING SAID BOUNDARY OF MAP NO. 8302 AND ALONG THE SOUTHERLY BOUNDARY OF SAID PARCEL MAP NO. 10179, SOUTH 26°58'00" EAST 346.13 FEET; THENCE NORTH 89°43'11" EAST 880.46 FEET; THENCE SOUTH 42°13'10" EAST 281.25 FEET; THENCE SOUTH 49°46'54" EAST 170.00 FEET; THENCE SOUTH 42°42'30" EAST 530.00 FEET; THENCE NORTH 66°24'35" EAST 174.50 FEET; THENCE NORTH 89°58'20" EAST 145.00 FEET; THENCE NORTH 34°29'10" EAST 309.50 FEET; THENCE SOUTH 74°00'21" EAST 145.50 FEET; THENCE NORTH 41°27'00" EAST 113.50 FEET; THENCE SOUTH 85°44'40" EAST 271.00 FEET; THENCE NORTH 31°57'15" EAST 330.00 FEET; THENCE NORTH 47°25'05" EAST 129.10 FEET; THENCE NORTH 31°57'15" EAST 330.00 FEET; THENCE NORTH 47°25'05" EAST 129.10 FEET TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID SECTION 31; THENCE ALONG THE NORTHERLY BOUNDARY THEREOF NORTH 89°43'11" EAST 2607.74 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF SECTION 25 TOWNSHIP 12 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF LYING SOUTHEASTERLY OF THE SOUTHEASTERLY BOUNDARY OF SAID MAP NO. 8302.

EXCEPT THEREFROM THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 32; THENCE ALONG THE EASTERLY LINE OF SAID NORTHWEST QUARTER, SOUTH 0°36'31" WEST, 950.65 FEET; THENCE SOUTH 31°28'50" WEST, 341.61 FEET; THENCE SOUTH 58°42'49" WEST, 456.37 FEET; THENCE NORTH 76°12'27" WEST 230.37 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 0°36'31" EAST, 77.00 FEET; THENCE NORTH 89°23'29" WEST. 350.00 FEET; THENCE SOUTH 0°36'31" WEST, 265.00 FEET; THENCE SOUTH 46°28'07" EAST, 68.28 FEET; THENCE SOUTH 55°28'26" EAST 34.95 FEET; THENCE SOUTH 67°10'26" EAST, 76.69 FEET; THENCE SOUTH 89°23'29" EAST, 110.00 FEET; THENCE NORTH 78°04'47" EAST, 92.20 FEET TO A LINE WHICH BEARS SOUTH 0°36'31" WEST FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE, NORTH 0°36'31" EAST, 263.00 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION OF THE NORTHERLY HALF OF SECTION 32, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE ALONG THE NORTH LINE THEREOF SOUTH 89°53'42" EAST 496,36 FEET; THENCE LEAVING SAID NORTH LINE SOUTH 0°06'18" WEST, 210.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°53'42" EAST, 237.57 FEET TO THE BEGINNING OF A 470 FOOT RADIUS CURVE, CONCAVE SOUTHERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36°03'42", A DISTANCE OF 295.82 FEET; THENCE TANGENT TO SAID CURVE SOUTH 53°50'00" EAST, 386.84 FEET; THENCE SOUTH 35°24'00" WEST, 30.75 FEET; THENCE SOUTH 63°42'00" EAST, 424.18 FEET; THENCE SOUTH 76°40'00" EAST, 288.30 FEET; THENCE SOUTH 00°00'00" WEST, 81.00 FEET; THENCE SOUTH 72°49'00" WEST, 288.60 FEET; THENCE NORTH 89°32'30" WEST, 628.00 FEET; THENCE SOUTH 87°08'00" WEST, 618.80 FEET; THENCE NORTH 47°36'00" WEST, 187.00 FEET; THENCE NORTH 20°05'30" EAST, 530.37 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION OF SECTION 31, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF PARCEL 3 OF PARCEL MAP NO. 10179 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, BEING THE SOUTHEAST CORNER OF SECTION 30 AS SHOWN ON SAID PARCEL MAP; THENCE SOUTH 89°43"11" WEST ALONG THE SOUTHERLY LINE OF SAID PARCEL 3, A DISTANCE OF 48.19 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF ROAD SURVEY NO. 454, ON FILE IN THE OFFICE OF THE COUNTY ENGINEER OF SAID SAN DIEGO COUNTY; THENCE LEAVING SAID SOUTHERLY LINE AND ALONG SAID RIGHT OF WAY LINE SOUTH 31°32'16" WEST 247.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT OF WAY LINE NORTH 89°43'11" EAST, 145.34 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF PROPOSED RANCHO SANTA FE DRIVE; THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE SOUTH 12°22'42" WEST, 22.51 FEET TO THE BEGINNING OF A TANGENT 1137 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 7°17'27" A DISTANCE OF 144.68 FEET; THENCE LEAVING SAID NORTHWESTERLY RIGHT OF WAY LINE NORTH 69°00'00" WEST, 172.47 FEET TO A POINT ON SAID SOUTHWESTERLY RIGHT OF WAY LINE; THENCE NORTH 31°32'16" EAST, 115.50 FEET TO THE TRUE POINT OF BEGINNING.

AFFECTS PARCEL NOS. 223-071-09, 223-050-51, 223-050-52, 223-050-53, 223-050-54, 223-050-59, 223-050-65,

NOTE: THIS PARCEL IS DESCRIBED IN A MANNER NOT NORMALLY USED BY TITLE INSURERS, AS A CONVENIENCE TO OUR CUSTOMERS. THEREFORE, IT IS IMPORTANT THAT THIS DESCRIPTION NOT BE INCLUDED IN ANY CONVEYANCES, AS IT IS NOT INSURABLE.

PARCEL CC:

THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF.

AFFECTS PARCEL NOS. 223-011-02, 223-011-03, 223-032-01 AND 223-032-02.

PARCEL DD:

THOSE PARCELS OF LAND SHOWN AND DELINEATED ON THE SAN DIEGO COUNTY ASSESSOR'S MAPS BEING PARCELS 223-011-4, 223-011-5, 223-011-6, 223-021-8 AND 223-011-11 LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

PARCELS 3 AND 4 OF PARCEL MAP NO. 10179, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 17, 1980 AS FILE NO. 80-204502 OF OFFICIAL RECORDS.

TOGETHER WITH THAT PORTION DELINEATED AND DESIGNATED "NOT A PART" ON SAID PARCEL MAP.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN CARLSBAD TRACT NO. 79-25(B) UNIT NO. 1, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA,

ACCORDING TO MAP THEREOF NO. 10243, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 20, 1981.

ALSO EXCEPTING THEREFROM THOSE PORTIONS LYING WITHIN CARLSBAD TRACT NO. 79-25(B) PHASE VI, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 10820, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 13, 1984, AND CARLSBAD TRACT NO. 84-23, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11241, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 22, 1985.

ALSO EXCEPTING THEREFROM THAT PORTION LYING WITHIN RECORD OF SURVEY NO. 9182, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 28, 1982 AS FILE NO. 82-332144 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID PARCEL MAP NO. 10179 LYING NORTHEASTERLY OF THE CENTERLINE OF THAT CERTAIN RIGHT OF WAY AS DESCRIBED IN DEED TO THE COUNTY, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 7, 1966 AS FILE NO. 58549 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LA COSTA MEADOWS, UNIT NO. 2, ACCORDING TO MAP NO. 6095 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID SOUTHEAST CORNER BEING A POINT ON THE SOUTHEASTERLY RIGHT-OFWAY OF EL FUERTE STREET AS SHOWN ON SAID MAP NO. 6905; THENCE NORTH 68°13'07" EAST 1536.70 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 68°01'10" EAST 99.51 FEET; THENCE SOUTH 51°54'40" EAST 141.03 FEET; THENCE SOUTH 22°52"25" WEST 191.85 FEET; THENCE SOUTH 57°13'00" WEST 73.07 FEET; THENCE NORTH 83°46'00" WEST 185.97 FEET; THENCE NORTH 34°25'48" WEST 144.00 FEET; THENCE NORTH 55°34'12" EAST 100.00 FEET TO THE BEGINNING OF A TANGENT 322-FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 33°35'22" A DISTANCE OF 188.77 FEET TO THE TRUE POINT OF BEGINNING.

AFFECTS PARCEL NOS. 223-011-04, 223-011-05, 223-011-06; 223-021-08, 223-021-11.

NOTE: THIS PARCEL IS DESCRIBED IN A MANNER NOT NORMALLY USED BY TITLE INSURERS, AS A CONVENIENCE TO OUR CUSTOMERS. THEREFORE, IT IS IMPORTANT THAT THIS DESCRIPTION NOT BE INCLUDED IN ANY CONVEYANCES, AS IT IS NOT INSURABLE.

LEGAL DESCRIPTION LA COSTA - RANCHEROS The Ridge

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN DIEGO, AND IS DESCRIBED AS FOLLOWS:

THOSE PARCELS OF LAND SHOWN AND DELINEATED ON THE COUNTY OF SAN DIEGO ASSESSOR'S MAPS BEING 223-050-43, 223-050-49 AND 223-010-31 AND LYING WITHIN THE FOLLOWING DESCRIBED PROPERTY:

PARCEL BB:

THAT PORTION OF THE WEST HALF OF SECTION 32; AND THE NORTH HALF OF SECTION 31; AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 30, ALL BEING IN TOWNSHIP 12 SOUTH, RANGE 3 WEST; TOGETHER WITH THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 36, IN TOWNSHIP 12 SOUTH, RANGE 4 WEST, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID WEST HALF; THENCE SOUTH 89°53'42" EAST ALONG THE NORTH LINE OF SAID WEST HALF, 2689.53 FEET TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00°36'38" WEST ALONG THE EAST LINE OF SAID WEST HALF, 3120.35 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF A 200.00 FOOT SAN DIEGO GAS AND ELECTRIC EASEMENT, RECORDED APRIL 19, 1954 IN BOOK 5208, PAGE 399 OF OFFICIAL RECORDS OF SAID SAN DIEGO COUNTY; THENCE LEAVING SAID EAST LINE AND ALONG SAID EASEMENT LINE, NORTH 64°13'23" WEST, 2226.43 FEET; THENCE SOUTH 72°08'00" WEST, 65.20 FEET TO A POINT ON A LINE, SAID LINE BEING 45.00 FEET SOUTHWESTERLY MEASURED AT RIGHT ANGLES AND PARALLEL WITH SAID SOUTHWESTERLY RIGHT OF WAY LINE OF A 200.00 FOOT SAN DIEGO GAS AND ELECTRIC COMPANY EASEMENT; THENCE NORTH 64°13'23" WEST ALONG SAID PARALLEL LINE, 1583.36 FEET TO A POINT ON THE SOUTHEASTERLY BOUNDARY LINE OF LA COSTA VALE UNIT NO. 3, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7950, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 3, 1974; THENCE NORTH 31°00'00" EAST ALONG SAID BOUNDARY LINE, 45.19 FEET TO THE NORTHEAST CORNER OF SAID MAP NO. 7950; THENCE NORTH 64°13'23" WEST ALONG THE NORTHEASTERLY BOUNDARY LINE OF SAID MAP NO. 7950, A DISTANCE OF 1326.91 FEET; THENCE SOUTH 43°30'00" WEST 477.59 FEET TO THE BEGINNING OF A NON-TANGENT 1720.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, A RADIAL LINE TO SAID POINT BEARS SOUTH 43°30'00" WEST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 02°50'00" A DISTANCE OF 85.06 FEET; THENCE TANGENT TO SAID CURVE NORTH 43°40' WEST 445.15 FEET TO THE BEGINNING OF A TANGENT 455.00 FOOT RADIUS CURVE, CONCAVE SOUTHERLY; THENCE NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 96°50'00" A DISTANCE OF 768.98 FEET; THENCE TANGENT TO SAID CURVE SOUTH 39°30'00" WEST 153.51 FEET TO THE BEGINNING OF A TANGENT 780.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY; THENCE SOUTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 08°59'38" A DISTANCE OF 122,44 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF CARLSBAD TRACT NO. 72-20, UNIT NO. 2, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7779, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 26, 1973; THENCE LEAVING SAID MAP NO. 7950 AND ALONG THE BOUNDARY OF SAID MAP NO. 7779, NON-TANGENT TO SAID CURVE NORTH 71°00'00" WEST 269.16 FEET; THENCE NORTH 44°00'00" WEST 965.00 FEET; THENCE NORTH 71°13'23" WEST 276.62 FEET; THENCE SOUTH 77°46'50"

WEST 290.25 FEET; THENCE NORTH 59°50'00" WEST 121.23 FEET; THENCE SOUTH 83°40'00" WEST 114.59 FEET; THENCE SOUTH 14°40'00" WEST 230.00 FEET; THENCE SOUTH 28°20'30" WEST 436.00 FEET; THENCE SOUTH 18°27'30" EAST 218.11 FEET; THENCE SOUTH 25°03'28" WEST 165.00 FEET; THENCE NORTH 64°56'32" WEST 300.00 FEET; THENCE SOUTH 00°24'13" WEST 110.03 FEET TO THE INTERSECTION WITH THE SOUTHWESTERLY LINE OF THAT CERTAIN 100.00 FOOT EASEMENT TO SAN DIEGO GAS AND ELECTRIC COMPANY, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 19, 1954 IN BOOK 5208, PAGE 403 OF OFFICIAL RECORDS; THENCE LEAVING SAID BOUNDARY OF SAID MAP NO. 7779 AND ALONG THE SOUTHWESTERLY BOUNDARY OF SAID EASEMENT NORTH 64°56'32" WEST TO THE MOST SOUTHERLY CORNER OF CARLSBAD TRACT NO. 75-4 (LA COSTA ESTATES NORTH), IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8302, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 5, 1976; THENCE LEAVING SAID EASEMENT ALONG THE EASTERLY BOUNDARY THEREOF NORTH 25°03'28" EAST 100.00 FEET; THENCE NORTH 03°02'10" WEST 495.00 FEET; THENCE NORTH 20°25'10" EAST 280.00 FEET; THENCE NORTH 05°30'00" WEST 130.00 FEET; THENCE NORTH 36°55'10" EAST 345.00 FEET; THENCE NORTH 52°15'00" EAST 160,00 FEET TO A POINT IN THE BOUNDARY OF PARCEL MAP NO. 10179, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 27, 1980 AS FILE NO. 80-204502 OF OFFICIAL RECORDS; THENCE LEAVING SAID BOUNDARY OF MAP NO. 8302 AND ALONG THE SOUTHERLY BOUNDARY OF SAID PARCEL MAP NO. 10179, SOUTH 26°58'00" EAST 346.13 FEET; THENCE NORTH 89°43'11" EAST 880.46 FEET; THENCE SOUTH 42°13'10" EAST 281.25 FEET; THENCE SOUTH 49°46'54" EAST 170.00 FEET; THENCE SOUTH 42°42'30" EAST 530.00 FEET; THENCE NORTH 66°24'35" EAST 174.50 FEET; THENCE NORTH 89°58'20" EAST 145.00 FEET; THENCE NORTH 34°29'10" EAST 309.50 FEET; THENCE SOUTH 74°00'21" EAST 145.50 FEET; THENCE NORTH 41°27'00" EAST 113.50 FEET; THENCE SOUTH 85°44'40" EAST 271.00 FEET; THENCE NORTH 31°57'15" EAST 330.00 FEET; THENCE NORTH 47°25'05" EAST 129.10 FEET TO THE INTERSECTION WITH THE NORTHERLY LINE OF SAID SECTION 31; THENCE ALONG THE NORTHERLY BOUNDARY THEREOF NORTH 89°43'11" EAST 2607.74 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH THAT PORTION OF SECTION 25 TOWNSHIP 12 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF LYING SOUTHEASTERLY OF THE SOUTHEASTERLY BOUNDARY OF SAID MAP NO. 8302.

EXCEPTING THEREFROM THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF SECTION 32; THENCE ALONG THE EASTERLY LINE OF SAID NORTHWEST QUARTER, SOUTH 0°36'31" WEST, 950.65 FEET; THENCE SOUTH 31°28'50" WEST, 341.61 FEET; THENCE SOUTH 58°42'49" WEST, 456.37 FEET; THENCE NORTH 76°12'27" WEST 230.37 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 0°36'31" EAST, 77.00 FEET; THENCE NORTH 89°23'29" WEST, 350.00 FEET; THENCE SOUTH 0°36'31" WEST, 265.00 FEET; THENCE SOUTH 46°28'07" EAST, 68.28 FEET; THENCE SOUTH 55°28'26" EAST 34.95 FEET; THENCE SOUTH 67°10'26" EAST, 76.69 FEET; THENCE SOUTH 89°23'29" EAST, 110.00 FEET; THENCE NORTH 78°04'47" EAST, 92.20 FEET TO A LINE WHICH BEARS SOUTH 0°36'31" WEST FROM THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE, NORTH 0°36'31" EAST, 263.00 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION OF THE NORTHERLY HALF OF SECTION 32, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 32; THENCE ALONG THE NORTH LINE THEREOF SOUTH 89°53'42" EAST 496.36 FEET; THENCE LEAVING SAID NORTH LINE SOUTH 0°06'18" WEST, 210.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°53'42" EAST, 237.57 FEET TO THE BEGINNING OF A 470 FOOT RADIUS CURVE, CONCAVE SOUTHERLY; THENCE EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 36°03'42", A DISTANCE OF 295.82 FEET; THENCE TANGENT TO SAID CURVE SOUTH 53°50'00" EAST, 386.84 FEET; THENCE SOUTH 35°24'00" WEST, 30.75 FEET; THENCE SOUTH 63°42'00" EAST, 424.18 FEET; THENCE SOUTH 76°40'00" EAST, 288.30 FEET; THENCE SOUTH 00°00'00" WEST, 81.00 FEET; THENCE SOUTH 72°49'00" WEST, 288.60 FEET; THENCE NORTH 89°32'30" WEST, 628.00 FEET; THENCE SOUTH 87°08'00" WEST, 618.80 FEET; THENCE NORTH 47°36'00" WEST, 187.00 FEET; THENCE NORTH 2°56'00" EAST, 166.20 FEET; THENCE NORTH 20°05'30" EAST, 530.37 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION OF SECTION 31, TOWNSHIP 12 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF PARCEL 3 OF PARCEL MAP NO. 10179 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, BEING THE SOUTHEAST CORNER OF SECTION 30 AS SHOWN ON SAID PARCEL MAP; THENCE SOUTH 89°43'11" WEST ALONG THE SOUTHERLY LINE OF SAID PARCEL 3, A DISTANCE OF 48.19 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT OF WAY LINE OF ROAD SURVEY NO. 454, ON FILE IN THE OFFICE OF THE COUNTY ENGINEER OF SAID SAN DIEGO COUNTY; THENCE LEAVING SAID SOUTHERLY LINE AND ALONG SAID RIGHT OF WAY LINE SOUTH 31°32'16" WEST 247.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT OF WAY LINE NORTH 89°43'11" EAST, 145.34 FEET TO A POINT ON THE NORTHWESTERLY RIGHT OF WAY LINE OF PROPOSED RANCHO SANTA FE DRIVE; THENCE ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE SOUTH 12°22'42" WEST, 22.51 FEET TO THE BEGINNING OF A TANGENT 1137 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 7°17'27" A DISTANCE OF 144.68 FEET; THENCE LEAVING SAID NORTHWESTERLY RIGHT OF WAY LINE NORTH 69°00'00" WEST, 172.47 FEET TO A POINT ON SAID SOUTHWESTERLY RIGHT OF WAY LINE; THENCE NORTH 31°32'16" EAST, 115.50 FEET TO THE TRUE POINT OF BEGINNING.

AFFECTS PARCEL NOS. 223-050-43, 223-050-49, 223-010-31.

NOTE: THIS PARCEL IS DESCRIBED IN A MANNER NOT NORMALLY USED BY TITLE INSURERS, AS A CONVENIENCE TO OUR CUSTOMERS. THEREFORE, IT IS IMPORTANT THAT THIS DESCRIPTION NOT BE INCLUDED IN ANY CONVEYANCES, AS IT IS NOT INSURABLE.

PARCEL DD:

THOSE PARCELS OF LANI SHOWN AND DELINEATED ON THE COUNTY OF SAN DIEGO ASSESSOR'S MAPS BEING 223-010-12, 223-010-18, 223-010-19, 223-010-27, 223-010-28, 223-010-29, 223-010-32, 223-010-33, 223-010-34, 223-010-35, 223-010-37, 223-021-9, 223-021-10, 223-021-12, 223-021-15, 223-021-16, 222-470-23 AND 222-470-25 AND LYING WITH THE FOLLOWING DESCRIBED PROPERTY:

PARCELS 3 AND 4 OF PARCEL MAP NO. 10179, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 17, 1980 AS FILE NO. 80-204502 OF OFFICIAL RECORDS.

TOGETHER WITH THAT PORTION DELINEATED AND DESIGNATED "NOT A PART" ON SAID PARCEL MAP.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN CARLSBAD TRACT NO. 79-25(B) UNIT NO. 1, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 10243, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 20, 1981.

ALSO EXCEPTING THEREFROM THOSE PORTIONS LYING WITHIN CARLSBAD TRACT NO. 79-25(B) PHASE VI, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 10820, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 13, 1984, AND CARLSBAD TRACT NO. 84-23, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11241, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 22, 1985.

EXCEPTING THEREFROM THAT PORTION LYING WITHIN RECORD OF SURVEY NO. 9182, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 28, 1982 AS FILE NO. 82-332144 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID PARCEL MAP NO. 10179 LYING NORTHEASTERLY OF THE CENTERLINE OF THAT CERTAIN RIGHT OF WAY AS DESCRIBED IN DEED TO THE COUNTY, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 7, 1966 AS FILE NO. 58549 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LA COSTA MEADOWS, UNIT NO. 2, ACCORDING TO MAP NO. 6095 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, SAID SOUTHEAST CORNER BEING A POINT ON THE SOUTHEASTERLY RIGHT-OFWAY OF EL FUERTE STREET AS SHOWN ON SAID MAP NO. 6905; THENCE NORTH 68°13'07" EAST 1536.70 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 68°01'10" EAST 99.51 FEET; THENCE SOUTH 51°54'40" EAST 141.03 FEET; THENCE SOUTH 22°52"25" WEST 191.85 FEET; THENCE SOUTH 57°13'00" WEST 73.07 FEET; THENCE NORTH 83°46'00" WEST 185.97 FEET; THENCE NORTH 34°25'48" WEST 144.00 FEET; THENCE NORTH 55°34'12" EAST 100.00 FEET TO THE BEGINNING OF A TANGENT 322-FOOT RADIUS CURVE CONCAVE NORTHWESTERLY; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 33°35'22" A DISTANCE OF 188.77 FEET TO THE TRUE POINT OF BEGINNING.

AFFECTS PARCEL NOS. 223-010-12, 223-010-18, 223-010-19, 223-010-27, 223-010-28, 223-010-29, 223-010-32, 223-010-33, 223-010-34, 223-010-35, 223-010-37; 223-021-09, 223-021-10, 223-021-12, 223-021-15 AND 223-021-16; 222-470-25 AND 222-470-23.

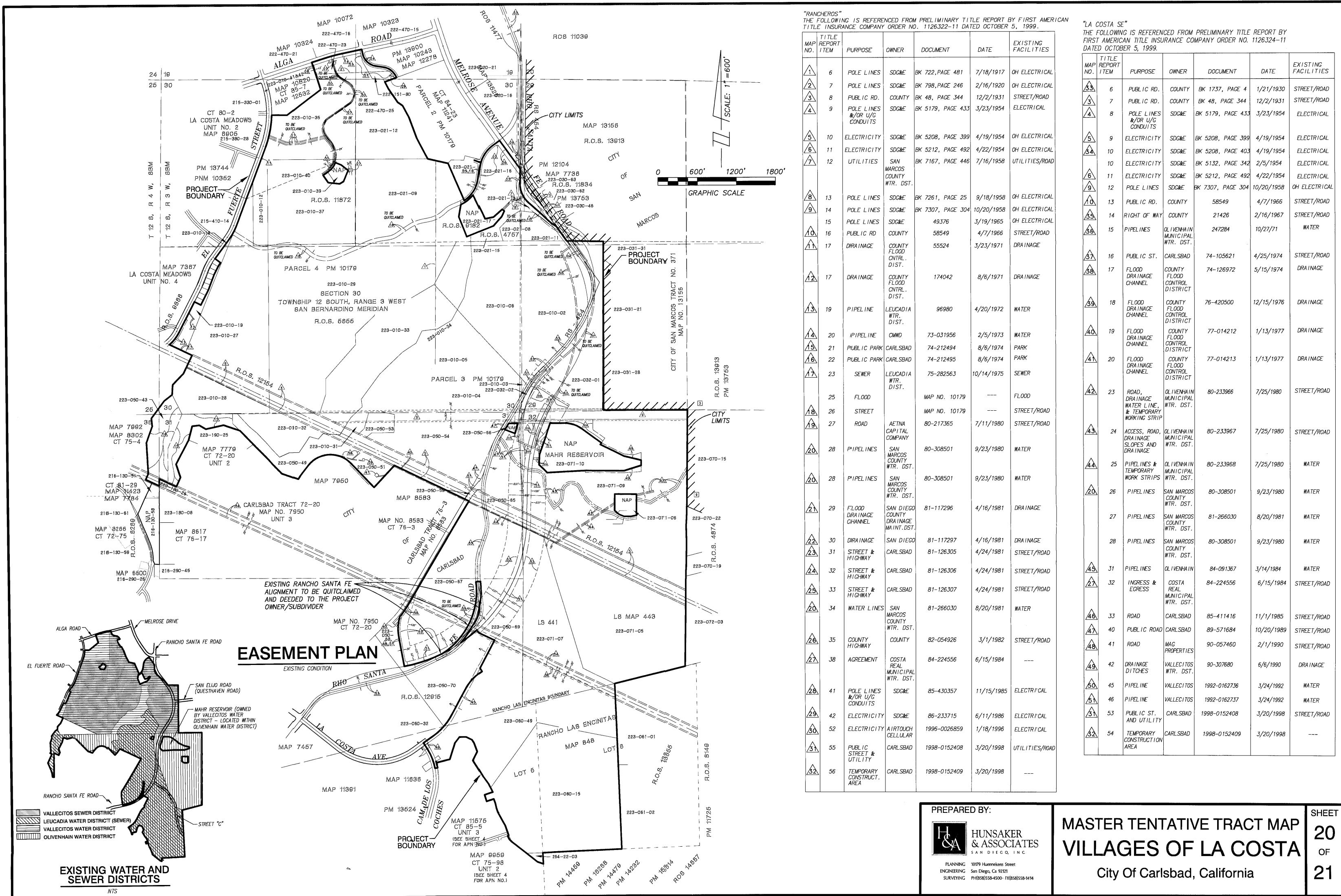
NOTE: THIS PARCEL IS DESCRIBED IN A MANNER NOT NORMALLY USED BY TILE INSURERS, AS A CONVENIENCE TO OUR CUSTOMERS. THEREFORE, IT IS IMPORTANT THAT THIS DESCRIPTION NOT BE INCLUDED IN ANY CONVEYANCES, AS IT IS NOT INSURABLE.

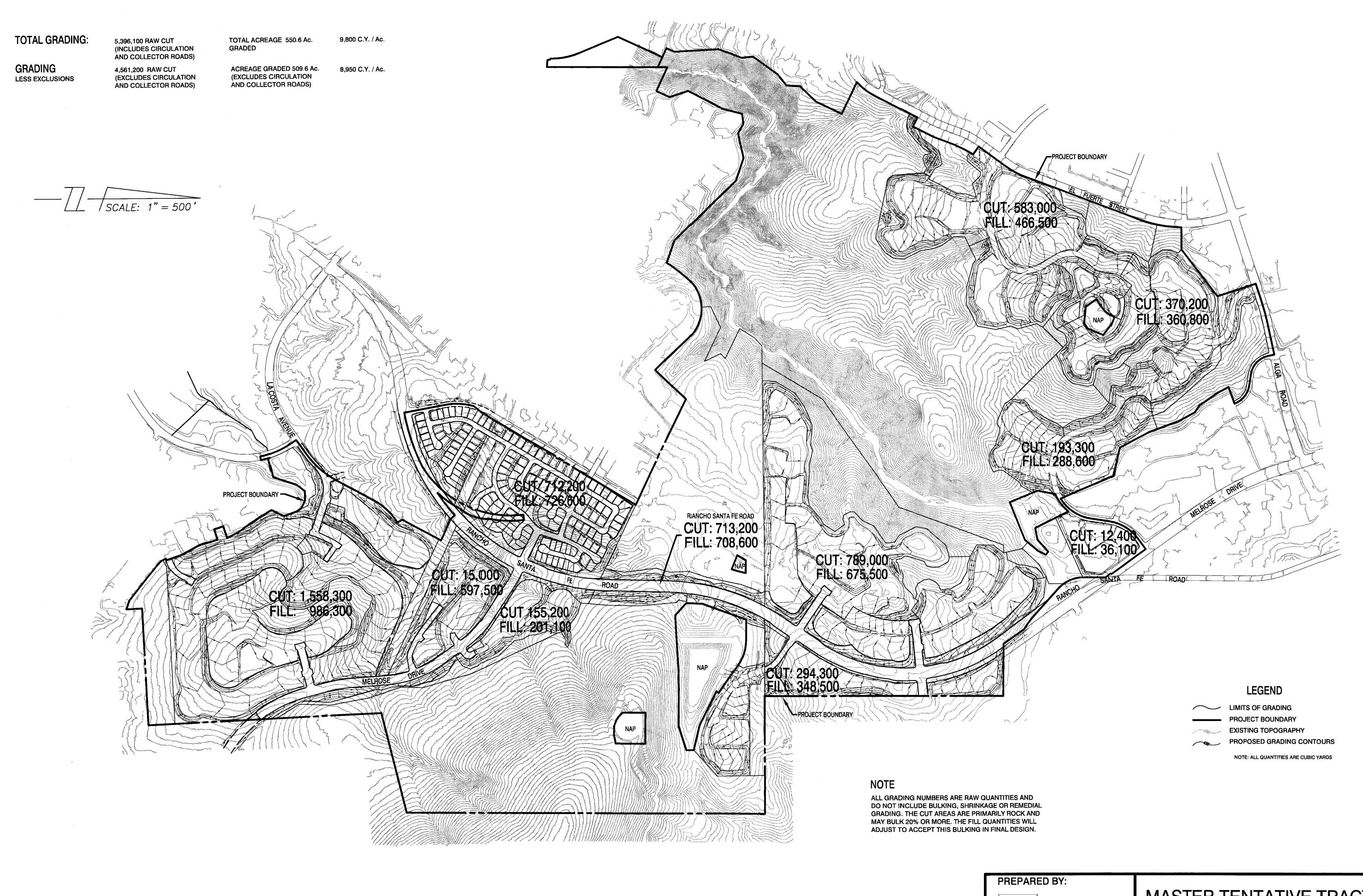
PARCEL EE:

PARCEL 2 OF PARCEL MAP NO. 13900, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 6, 1985 AS FILE NO. 85-281626 OF OFFICIAL RECORDS.

AFFECTS PARCEL NO. 222-151-80.

CONCEPTUAL GRADING PLANS





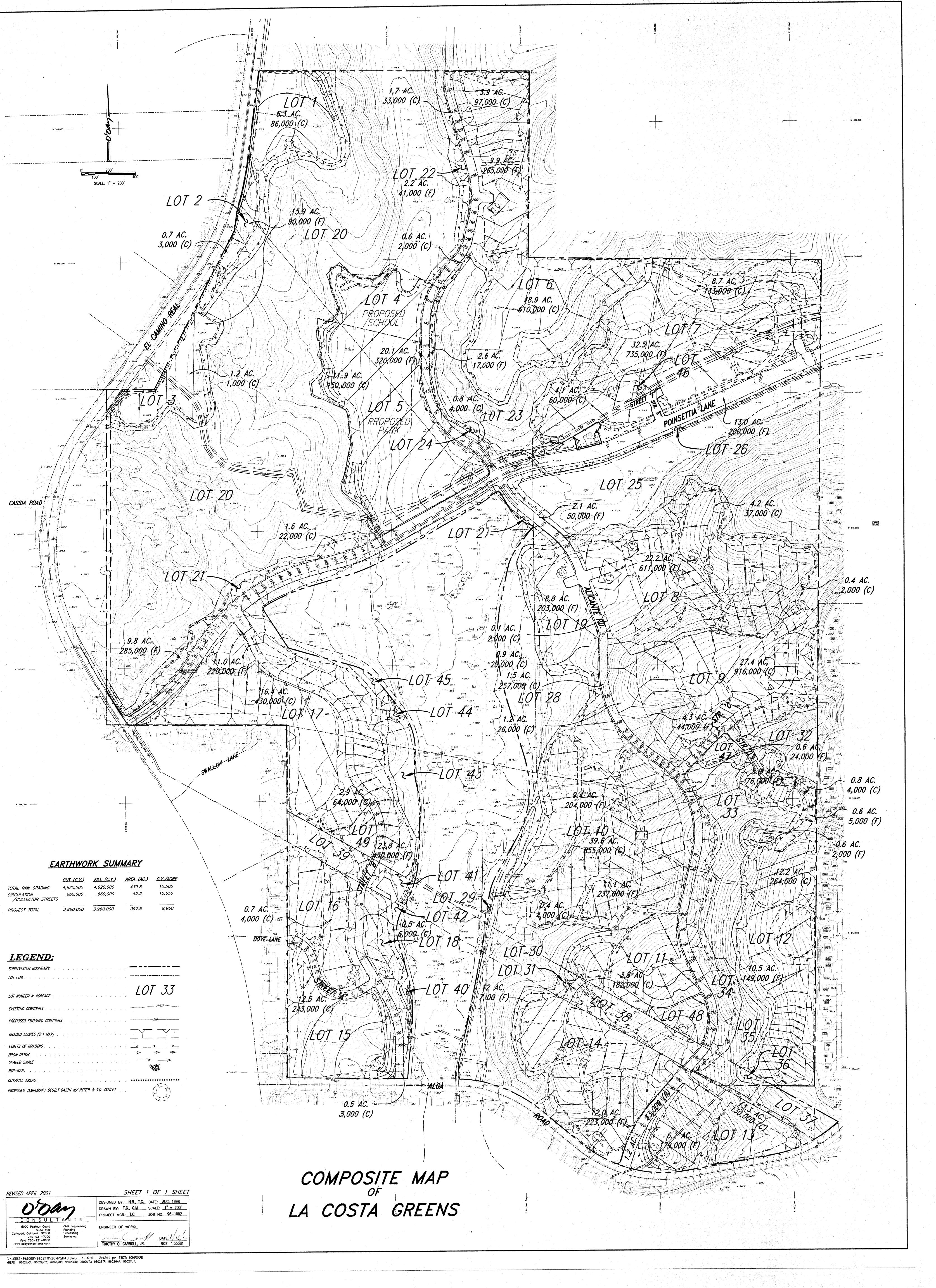
MASTER TENTATIVE TRACT MAP 21 VILLAGES OF LA COSTA

City Of Carlsbad, California

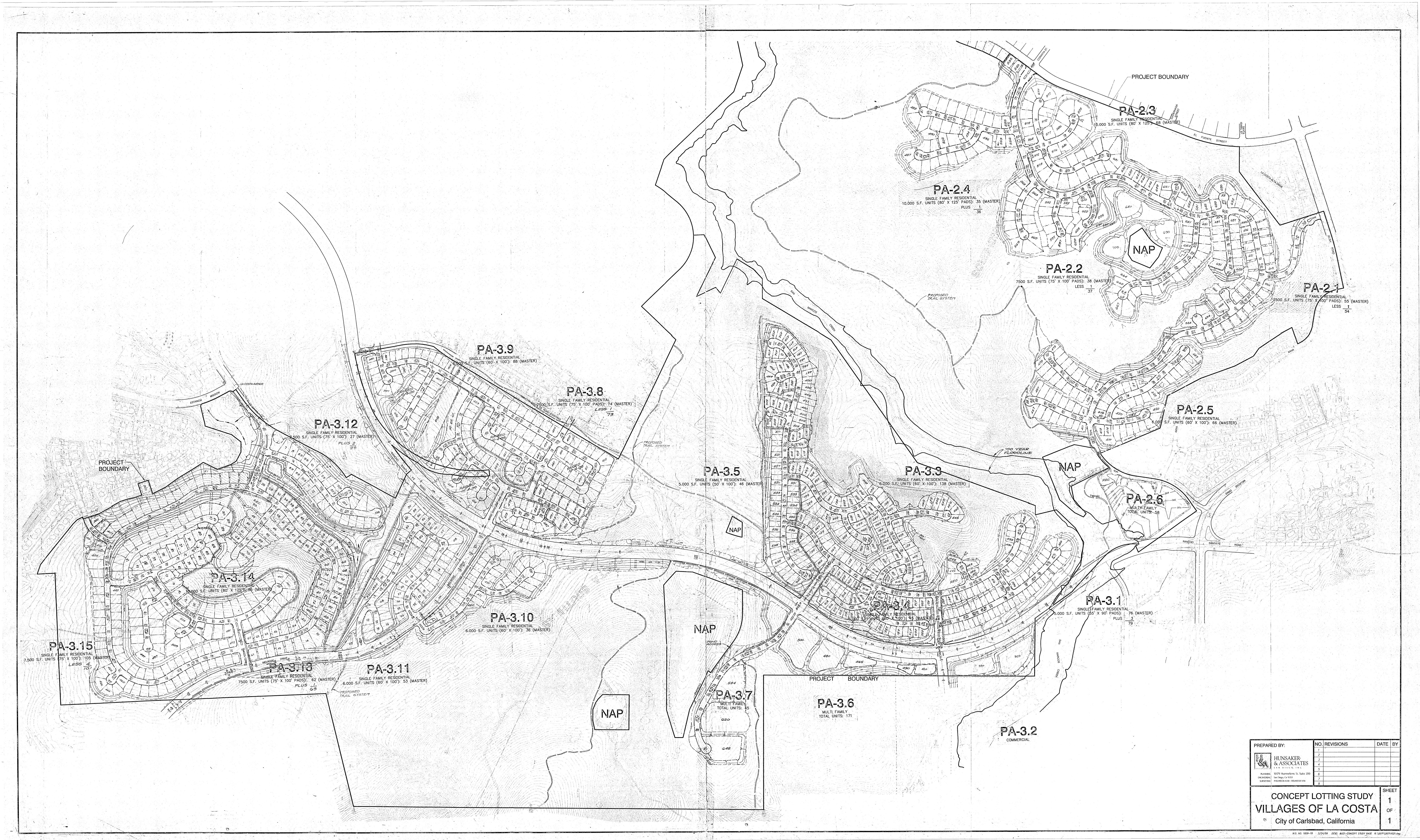
ENGINEERING San Diego, Ca 92121

SURVEYING PH(858)558-4500 · FX(858)558-141/4

SHEET



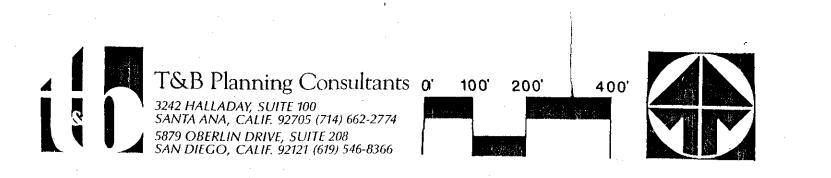
CONCEPTUAL LOTTING PLANS



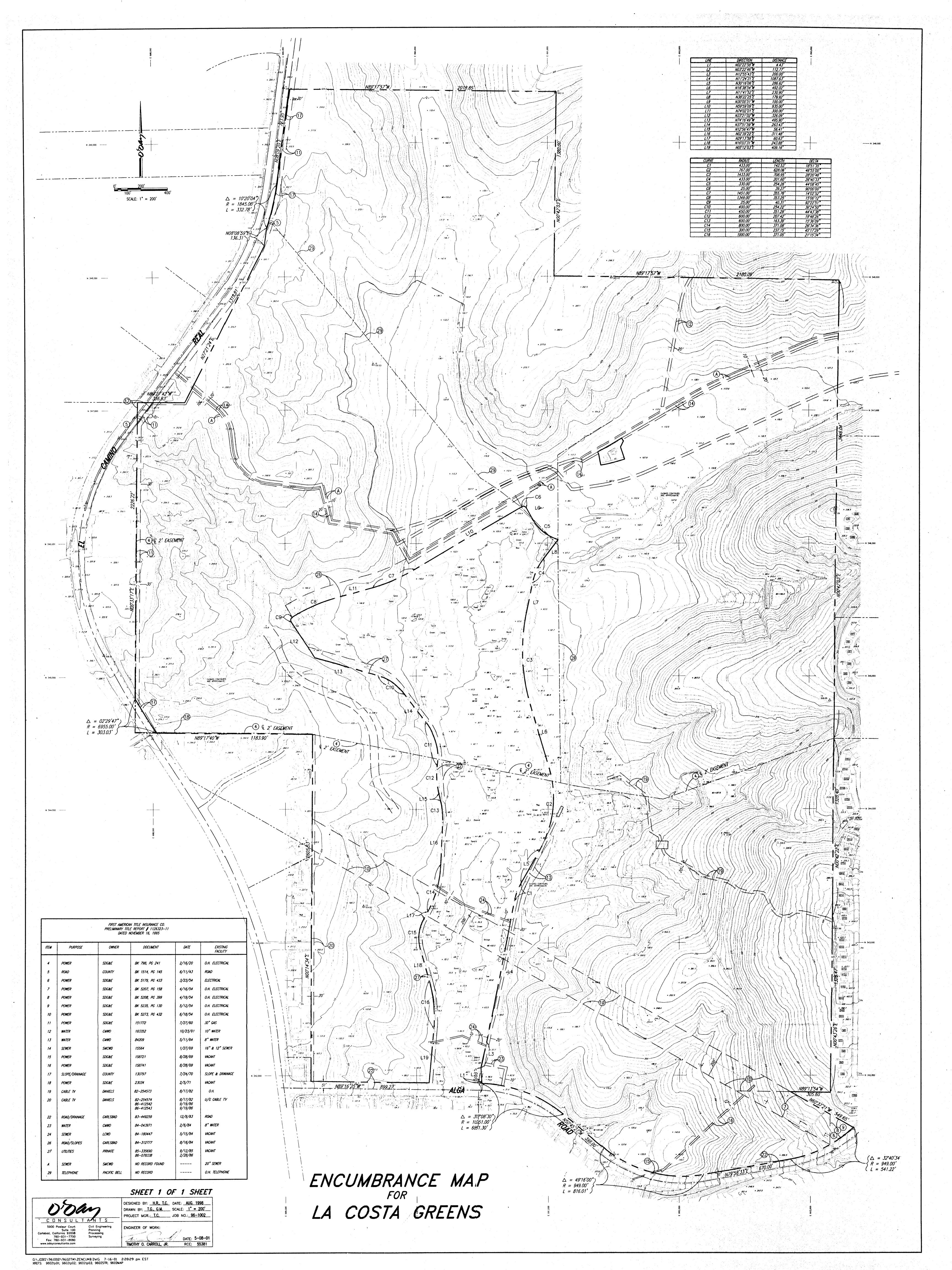
ENCUMBRANCE EXHIBITS







LA COSTA GREENS CONCEPTUAL LOTTING STUDY



NEIGHBORHOOD DENSITY CALCULATIONS

APPENDIX E

					GROWTH			MASTER PL	AN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATIONS	ZONING	GROSS ACRES	NET ACRES (1)	MANAGEMENT CONTROL POINT DENISTY	GENERAL PLAN DWELLING UNITS	Maximum Allowable Dwelling Units	NET DENSITY DU/AC	Development Type
·									
1.1	PI - Planned Industrial	P-M	7.9	7.65		-			Business Park, 137,650 Sq.Ft.
1.2	CF - Community Facilities	C-F	7.9	6.85	-				Community Facilities
1.3	RM - Residential Medium	RD-M	8.6	7.8	6	47	44	5.6	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Siz
1.5	OS - Open Space	0-8	34.4	_			_		Public Community Park
1.6	RLM - Residential Low-Medium	R-1	37.9	31.4	3.2	100	96	3.1	SFD — 6,000 Sq. Ft.
1,7	RLM - Residential Low-Medium	R-1	42.1	38.4	3.2	123	127	3.3	SFD 5,000 Sq. Ft.
1.8	RLM - Residential Low-Medium	R-1	45.8	37.8	3.2	121	चीं7∵ 83	2.3	SFD — 7,500 Sq. Ft.
1.9	RLM - Residential Low-Medium	R-1	25.9	22.4	3.2	72	-74- 75	3.3	SFD 6,000 Sq. Ft.
1.10	RLM - Residential Low-Medium	R-1	40	31.3	3.2	100	64	2.0	SFD — 9,000 Sq. Ft.
1.11	RLM - Residential Low-Medium	R-1	14.5	13.6	3.2	44	-34 - 35	2.5	SFD 5,000 Sq. Ft.
1.12	RLM - Residential Low-Medium	R-1	30.4	27.4	3.2	88	ਂਤਰ 37	1.4	SFD — 11,000 Sq. Ft.
1.13	RLM - Residential Low-Medium	R-1	12.7	12.1	3.2	39	-32- 33	2.6	SFD 5,000 Sq. Ft.
1.14	RLM - Residential Low-Medium	R-1	22.7	18.1	3.2	58	- 59 61	3.3	SFD 5,000 Sq. Ft.
1.15	RMH - Residential Medium-High	RD-M	14.3	13.1	11.5	151	180	13.7	Multiple Family (Affordable Housing
1.16	RMH - Residential Medium-High	RD-M	. 16	13.8	11.5	159	96	7.0	Townhomes/SFD 3,500 Sq. Ft. Min. Lot Siz
1.17	RLM - Residential Low-Medium	R-1	39.9	33.6	3.2	108	107	3.2	SFD 4,500 Sq. Ft.
1.A	OS - Open Space	O-S	124.4		_	_	_		HCP/Open Space
1.B	OS - Open Space	0-8	14.7		_		_	_	HCP/Open Space
1.C	OS - Open Space	O-S	36.4		_		_	_	HCP/Open Space
1,D	OS - Open Space	0-8	30.6	_			_	_	HCP/Open Space
1.E	OS - Open Space	O-S	3.4	-			_		HCP/Open Space
1.F	OS - Open Space	o-s	22.4				_	_	HCP/Open Space
1.G	OS - Open Space	0-8	4.5	_		_			HCP/Open Space
1.H	OS - Open Space	0-8	3.1		_	_	_	_	HCP/Open Space
1.!	OS - Open Space	o-s	6.5			_	_	_	HCP/Open Space
Circulation			13.7		-				Major Roadways - Poinsettia Lane
VILLAGE TOTALS		I	660.7	315.3		1210	1038	3.3	

⁽¹⁾ To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

LA COSTA RIDGE		1		T	GROWTH	T	l	MASTER	PLAN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATIONS	ZONING	GROSS ACRES	NET ACRES (1)	MANAGEMENT CONTROL POINT DENSITY	GENERAL PLAN DWELLING UNITS	muximum ;	NET DENSITY DU/AC	Development Type
	Dista Decidential and Madian	R-1	49.4	36.1	3.2	116	55	1.5	SFD ~ 7,500 Sq. Ft. Minimum Lot Size / HCP
2.1	RLM - Residential Low-Medium RLM - Residential Low-Medium	R-1	37.5	29.8	3.2	95	38	1.3	SFD - 7,500 Sq. Ft. Minimum Lot Size / HCP
2.3	Rt M - Residential Low-Medium	R-1	41	35.5	3.2	114	68	1.9	SFD - 10,000 Sq. Ft. Minimum Lot Size / HCP
2.4	RLM - Residential Low-Medium	R-1	22.3	19.2	3.2	61	35	1.8	SFD - 10,000 Sq. Ft. Minimum Lot Size
2.5	RLM - Residential Low-Medium	R-1	40.4	31.6	3.2	101	66	2.1	SFD - 6,000 Sq. Ft. Minimum Lot Size / HCP
2.6	RMH - Residential Medium-High	RD-M	11.5	10.4	11.5	120	58	5.6	Townhomes
2.A	OS - Open Space	O-S	284.5				-		HCP/Open Space
2.8	OS - Open Space	0-8	6.5						HCP Open Space
VILLAGE TOTALS:		<u> </u>	493.1	162.6		607	, 320	2.0	

⁽¹⁾ To obtain net developable acres, all of the 100 percent constrained areas and one-helf of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.

		1			GROWTH			MASTER	PLAN REVIEW PROCESS
NEIGHBORHOOD/ OPEN AREA REFERENCE	LAND USE DESIGNATION	ZONING	GROSS ACRES	NET ACRES (1)	MANAGEMENT CONTROL POINT DENSITY	GENERAL PLAN DWELLING UNITS	Maximum Allowable Dwelling Units	NET DENSITY DU/Ac.	Development Type
3.1	RLM - Residential Low-Medium	R-1	27.9	25.5	3.2	82	76	3.0	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.2	CF - Community Facilities	C-F	6.6	6.4				-	Community Fecilities
3.3	RLM - Residential Low-Medium	R-1	46.6	39.8	3.2	127	138	3.5	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.4	RIM - Residential Low-Medium	R-1	14.5	14.4	3.2	46	45	3.1	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.5	RLM - Residential Low-Medium	R-1	13.9	14.0	3.2	45	46	3.3	SFD - 5,000 Sq. Ft. Minimum Lot Size
3.6	RMH - Residential Medium-High	RD-M	16.0	13.4	11.5	154	171	12.8	Multiple Family (Affordable Housing).
3.7	RM - Residential Medium	RD-M	13.8	11.5	6	69	45	3.9	Townhomes
3.8	RLM - Residential Low-Medium	R-1	26.4	21.7	3.2	69	74	3.4	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.9	RLM - Residential Low-Medium	R-1	32.0	29.3	3.2	94	88	3.0	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.1	RLM - Residential Low-Medium	R-1	16.4	13.9	3.2	44	36	2.6	SFD - 6,000 Sq. Ft. Minimum Lot Size
3,11	RLM - Residential Low-Medium	R-1	22.5	20.2	3.2	65	53	2.6	SFD - 6,000 Sq. Ft. Minimum Lot Size
3.12	RLM - Residential Low-Medium	R-1	15.4	15.1	3.2	48	27	1.8	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.13	RLM - Residential Low-Medium	R-1	37.8	32.3	3.2	103	62	1.9	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.14	RLM - Residential Low-Medium	R-1	29.4	27.4	3.2	88	66	2.4	SFD 10,000 Sq. Ft. Minimum Lot Size
3.15	RLM - Residential Low-Medium	R-1	44.9	44.9	3.2	144	105	2.3	SFD - 7,500 Sq. Ft. Minimum Lot Size
3.A	OS - Open Space	0-8	116.5			-	_		HCP Open Space
3.B	OS - Open Space	O-S	177.6			-			HCP Open Space
3.C	OS - Open Space	O-S	9.5		-	-			Utility Corridor
3,D	OS - Open Space	O-S	6.0		•	-			Open Space
3.E	OS - Open Space	0-8	12.5			-		•	Open Space
Circulation			26.4		•	-			Major Roadways - Rancho Santa Fe Rd.
LLAGE TOTALS:			712.6	329.8		1,178	1,032	3.1	

⁽¹⁾ To obtain net developable acres, all of the 100 percent constrained areas and one-half of the areas having 25-40 percent slopes are subtracted from the gross acreage figure.