



DESIGN REVIEW COMMITTEE

Agenda

August 22, 2022, 3 p.m.

Council Chamber
1200 Carlsbad Village Drive
Carlsbad, CA 92008

Welcome to the Design Review Committee Meeting

We welcome your interest and involvement in the city's legislative process. This agenda includes information about topics coming before the Design Review Committee and the action recommended by city staff. You can read about each topic in the staff reports, which are available on the city website.

How to watch

In Person



Design Review Committee Meetings take place at City Hall, 1200 Carlsbad Village Drive

Online



Watch the livestream and replay past meetings on the city website, carlsbadca.gov/residents/communication/city-tv-channel

How to participate

If you would like to provide comments to the Design Review Committee, please:

- Fill out a speaker request form, located in the foyer.
 - Submit the form to the Committee Secretary before the item begins.
 - When it's your turn, the Committee Secretary will call your name and invite you to the podium.
 - Speakers have three minutes, unless the presiding officer (usually the chair) changes that time.
 - You may not give your time to another person, but groups can select a single speaker as long as three other members of your group are present. Group representatives have 10 minutes unless that time is changed by the presiding officer or the commission.
-
- **In writing:** Email comments to planning@carlsbadca.gov. Comments received by 1 p.m. the day of the meeting will be shared with the commission prior to the meeting. When e-mailing comments, please identify in the subject line the agenda item to which your comments relate. All comments received will be included as part of the official record. **Written comments will not be read out loud.**

Reasonable accommodations

Persons with a disability may request an agenda packet in appropriate alternative formats as required by the Americans with Disabilities Act of 1990. Reasonable accommodations and auxiliary aids will be provided to effectively allow participation in the meeting. Please contact the City Manager's Office at 760-434-2821 (voice), 711 (free relay service for TTY users), 760-720-9461 (fax) or manager@carlsbadca.gov by noon on the Thursday before the meeting to make arrangements.

CALL TO ORDER:

ROLL CALL:

APPROVAL OF MINUTES:

PUBLIC COMMENT:

The Brown Act allows any member of the public to comment on items not on the agenda. Please treat others with courtesy, civility, and respect. In conformance with the Brown Act, public comment is provided so members of the public may participate in the meeting by submitting comments as provided on the front page of this agenda. The Design Review Committee will receive comments at the beginning of the meeting. In conformance with the Brown Act, no action can occur on these items.

DISCUSSION ITEMS:

1. COMMITTEE BUSINESS: Collaborate and discuss the following topics:

- a. **Village & Barrio Objective Design Standards Project Status**
Staff will update the committee on the project status
- b. **Design Elements, Architectural Styles and Streamlined Review Process Presentation**
The committee will receive a presentation on architectural styles, design elements and a brief overview of a streamlined review process.
- c. **Public Input Results**
The committee will receive a public input report summarizing community feedback received on different architectural styles, which was gathered through a workshop and online survey in July 2022.
- d. **Design Review Committee Self-Guided Walking Tour Comments**
The committee will receive an overview of the committee's comments on the self-guided walking tour.
- e. **Project Implementation Overview and Next Steps**
Staff will provide information on implementing the new standards and streamlined review process, and what the next steps are.

(Staff Contact: Shelley Glennon, Community Development Dept. Planning Division)

COMMITTEE MEMBER REQUESTS FOR FUTURE AGENDA ITEMS: *Highlight proposed focus for next meeting and invite committee member suggestions for topics or presentations to consider in upcoming meetings.*

ADJOURN: *Closing comments and adjourn meeting*

NEXT SPECIAL MEETING: *Tuesday Oct. 25, 2022*



DESIGN REVIEW COMMITTEE

Minutes

April 25, 2022

CALL TO ORDER: 3:03 p.m.

ROLL CALL: Committee members Alicia Lafferty, Annette Swanton, Debbie Sullivan, Ginger Rabe, Mary Goetz, Mona Gocan, Nicholas Puccio, and Raul Diaz
Committee member Patrick Connolly absent

APPROVAL OF MINUTES:

Not Applicable.

PUBLIC COMMENTS:

None.

DISCUSSION ITEMS

1. **PUBLIC SERVICE LAWS: POLITICAL REFORM ACT, RALPH M. BROWN ACT AND THE CALIFORNIA PUBLIC RECORDS ACT** – Receive a presentation and training from the City Attorney's Office regarding public service laws: Political Reform Act, Ralph M. Brown Act, and the California Public Records Act, the committee handbook and Resolution of the City Council Establishing the Committee.

Associate Planner Glennon introduced Agenda Item 1 and City Attorney Brewer to make the staff presentation.

City Attorney Brewer presented an overview on the Public Services laws. She informed the committee members they will receive more in-depth ethics training. She stated there are three transparency laws which are important to all Boards and Commissions (including committees) The first law is the Political Reform Act is an anti-corruption law adopted by the State of California. Committee members are not to make decisions based on their personal or financial interest but must make decisions based on the public's interest.

The second law is the California Public Records Act, and every writing is a public record. She reminded them that when they write an email they are doing so as a public official. The third law is the Brown Act which assists in building public confidence by requiring the public's business to be conducted in open and noticed meetings. It also gives the right for public participation in meetings. If there are five committee members meeting that is a prohibited action and this also includes emails.

She spoke on scope of the authorization designated by the City Council to the committee and requested that the committee members review the authorizing Design Review Committee Charter given to all committee members in the agenda package. The Design Review Committee's primary

role is to review the objective design standards and a new palette of architectural styles for multifamily housing and mixed-use development projects within the Village and Barrio.

She explained the City Council adopted a procedural ordinance for making motions and adjourning that applies to all Boards, Commissions and Committees, and to City Council for consistency.

City Attorney Brewer thanked the committee members for all their commitment to this committee and reminded them that the City Attorney's office is available to assist with questions.

ACTION:

No action taken. Presentation was received.

2. COMMITTEE BUSINESS: Collaborate and discuss the following topics:

a. Committee Ground Rules Development

All committee members must follow the principals of participation and all applicable meeting guidelines as provided in the Design Review Committee charter.

b. Committee Chair and Vice Chair Election

Committee members received information on the roles and responsibilities of the Committee Chair and Vice Chair.

c. Village and Barrio Objective Design Standards Project Background

Associate Planner Glennon and the Consultant Neal Payton spoke on the Village and Barrio Objective Design Standards Project, compliance with California Senate Bill (SB) 330 and SB 35, and the Project Schedule.

d. Self-Guided Walking Tour

Associate Planner Glennon asked the committee members to participate in a self-guided walking tour in the Village and Barrio area and to do this separately as to not violate the Brown Act.

ACTION:

Motion by committee member Gocan, seconded by committee member Sullivan, to accept the City Attorney and staff recommendation for the committee meeting ground rules to be consistent with the city's procedural ordinance, 8/0/1 (Committee member Connolly absent).

Motion by committee member Gocan, seconded by committee member Sullivan, to nominate committee member Gocan as Chair, 8/0/1 (Committee member Connolly absent).

Motion by committee member Gocan, seconded by committee member Sullivan, to nominate committee member Rabe as Vice Chair, 8/0/1 (Committee member Connolly absent).

COMMITTEE DISCUSSION

Committee member Lafferty asked what the date would be for the Design Review workshop. Principal Planner Lardy responded it would be in May or June 2023 no specific date has been set yet.

Committee member Lafferty asked staff to provide a copy of the PowerPoint for reference of the Design Review Workshop. She asked if staff could provide a copy of the historic walking tour brochure and a historic list that the City Council has to the committee.

Principal Planner Lardy stated staff would provide that list to the committee.

Committee member Sullivan asked if staff could clarify she should be on this committee. She is looking at the map and she may be just outside of the Village. Principal Planner Lardy stated staff would look into this and get back to her.

Principal Planner Lardy also informed the committee there is a joint meeting with Housing, Planning Commission and City Council on April 26, 2022, and will be recorded and available on the city website.

ADJOURNMENT:

Associate Planner Glennon adjourned the duly noticed meeting at 5:17 p.m.

Michele Hardy - Minutes Clerk
(on behalf of Melissa Flores)



DESIGN REVIEW COMMITTEE

Staff Report

Meeting Date: August 22, 2022

To: Design Review Committee

From: Shelley Glennon, Associate Planner

Staff Contact: Shelley Glennon, Associate Planner
shelley.glennon@carlsbadca.gov or 442-339-2600

Subject: Committee Business

Recommended Action

Receive presentations from city staff and consultants on the following topics:

- a. Village & Barrio Objective Design Standards Project Status**
Staff will update the committee on the project status.
- b. Design Elements, Architectural Styles & Streamlined Review Process**
AVRP Studios will provide a presentation of architectural styles, design elements and a brief overview of a streamlined review process.
- c. Public Input Results**
Staff will present a public input report summarizing community feedback received on different architectural styles, which was gathered through a workshop and online survey in June/July 2022. AVRP Studios will discuss next steps for how the input will be used.
- d. Design Review Committee Self-Guided Walking Tour Comments**
AVRP Studios will provide an overview of the committee's comments on the self-guided walking tour.
- e. Project Implementation Overview and Next Steps**
Staff will provide information on the implementation of the new standards and a streamlined review process, and what the next steps are.

(Staff Contact: Shelley Glennon, Community Development Department)

Environmental Evaluation

In keeping with California Public Resources Code Section 21065, this action does not constitute a "project" within the meaning of the California Environmental Quality Act in that it has no potential to cause either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment. Therefore, it does not require environmental review.

Public Notification and Outreach

This item was noticed in keeping with the Ralph M. Brown Act and it was available for public viewing and review at least 72 hours before the scheduled meeting date.

Exhibits

1. Public Input Report
2. Design Review Committee Self-Guided Walking Tour Comments



Village & Barrio

Objective Design Standards

PUBLIC INPUT REPORT

August 2022



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- A. How opportunities were promoted
- B. Survey responses
- C. Workshop PowerPoint presentation
- D. Workshop comments

Section 1: Introduction

Due to a shortage of housing in California, the state has streamlined the approval process for multifamily housing projects. Under these new state housing laws, cities have less control over how many apartments and condos can be built and when.

In October 2021, the City Council approved an agreement to create objective design standards to help the city comply with these new laws while preserving the unique character and charm of the Village and Barrio areas, the city's two oldest neighborhoods. The City Council appointed residents to serve on a Design Review Committee to help guide the development of the standards. The project goals are:

The creation of objective design standards will help the city comply with new state laws while preserving the unique character and charm of the Village and Barrio areas.

- Create clear objective design standards for future multifamily and mixed-use projects in the Village and Barrio.
- Add clarity and specificity to what's in the Village and Barrio Master Plan for mixed-use and multifamily projects so Carlsbad can better preserve the unique character and charm of the Village and Barrio areas while complying with state laws designed to ease California's housing crisis. The effort will not change things like building heights or setbacks defined in the plan.
- Identify a palette of architectural design styles for developers to choose from, helping to streamline permitting for new multifamily housing and mixed-use projects.

Staff gathered input from the community to help inform the committee on the development of the architectural styles and objective design standards.

Public engagement goal

Gather input from the Carlsbad community that can be used by the Design Review Committee and staff to create objective design standards for the Village and Barrio that reflect the community's values and priorities.

Public engagement objectives

- Community members are aware of opportunities to provide input
- Community members have an opportunity to provide input in a way that is convenient and comfortable, based on their preferences and levels of interest
- This public engagement process helps further build relationships between the city and those it serves
- The process seeks out and involves a broad cross section of community members
- Participants have a clear understanding of how their input will be used

About the input

The International Association of Public Participation’s spectrum of public participation illustrates a variety of approaches to involving the public in decision making. The objective design standards public input process would fall between “consult” and “involve.” Staff provided some examples of different types of architectural styles found in Carlsbad and nearby cities. City staff sought input on these styles to better understand which the community thought fit in well with the Village and Barrio and why to help create architectural styles for developers to choose from and create objective design standards.

The city gathered community input on different architectural styles found in Carlsbad and nearby cities to understand which the community thought fit in well with the Village and Barrio.

International Association of Public Participation Spectrum of participation

	INFORM	CONSULT	INVOLVE	COLLABORATE	EMPOWER
Goal	Provide balanced, information so public understands problem, options, opportunities and solutions	Obtain input on the analysis, options or decisions that have already been made	Work directly with the public throughout the process to ensure input is understood and considered	Partner with the public in each aspect of the decision, including the creation of options and identification of the preferred solution	Place final decision making in the hands of the public
Promise	We will keep you informed	We will listen to and acknowledge your concerns and ideas and let you know how your input influenced the decision	We will ensure your concerns and ideas are directly reflected in the options developed and how input influenced the final decision	We will look to you for advice in creating options and incorporate your input into the decisions to the maximum extent possible	We will implement what you decide
Sample Tools	Website, fact sheets, open houses	Surveys, public meetings	Workshops	Advisory committees	Ballot measure

Qualitative input with a convenience sample

The input in this report is qualitative in nature and was obtained through a convenience sample. This means the city focused on gaining an in-depth understanding of community member perspectives, and the results cannot be generalized to the entire population of the city within a defined margin of error.

That's why the input in this report should be considered with a similar weight as other forms of feedback that have always been part of the city's decision-making process, such as comments made at City Council meetings or emails sent to the city expressing an opinion.

The input in this report should be considered with a similar weight as comments made at a City Council meeting or those sent by email.



Qualitative

- Focuses on understanding the "why"
- Identifies a range of perspectives
- Allows for discovery of new ideas
- Analyzed by themes

Quantitative

- Focused on facts/absolutes
- Data focused on measuring
- Analysis includes numerical comparisons
- Allows for statistical analysis



Convenience sample

- Only those who knew about the opportunity to provide input were able to do so

Random sample

- All members of the target population had an equal opportunity to participate

Opportunities for input

City of Carlsbad staff designed and implemented a public involvement strategy with two main ways to engage with community members.



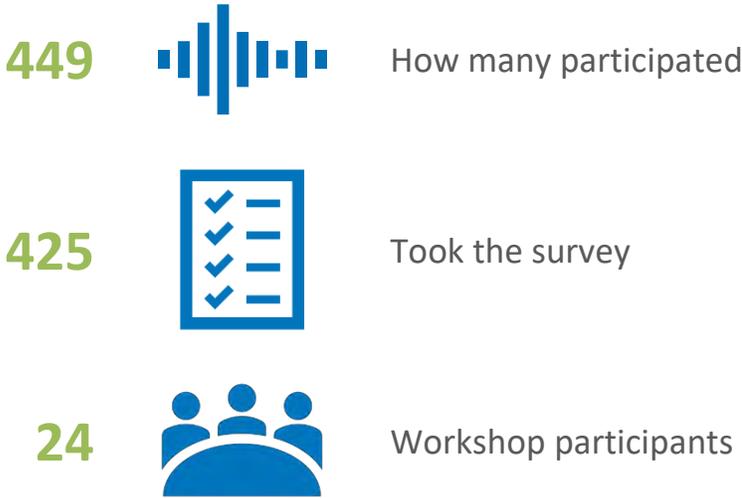
Online survey, June 27 – July 18, 2022



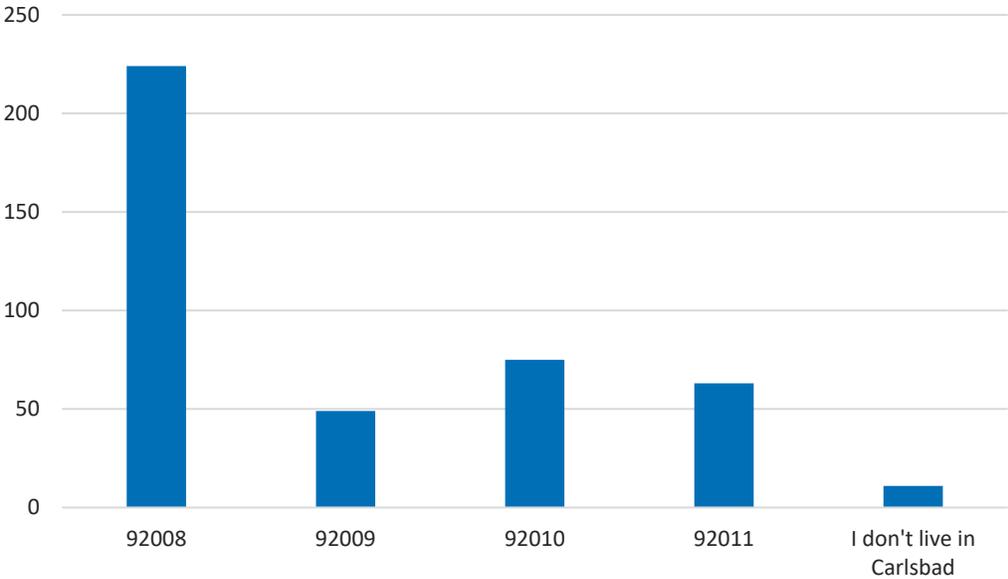
In-person workshop, June 29, 2022

Each opportunity required a different level of commitment and asked for feedback in a different way.

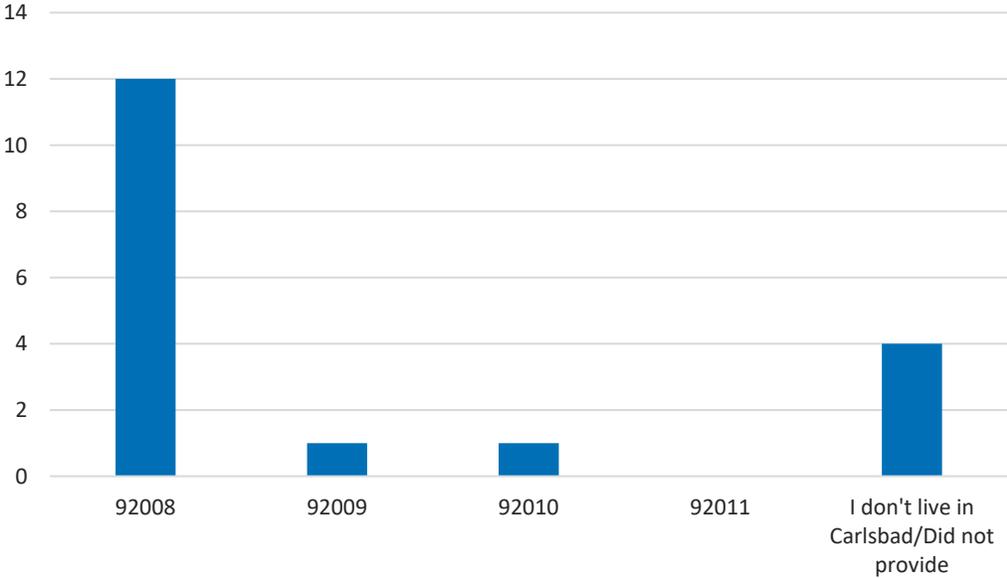
Who participated



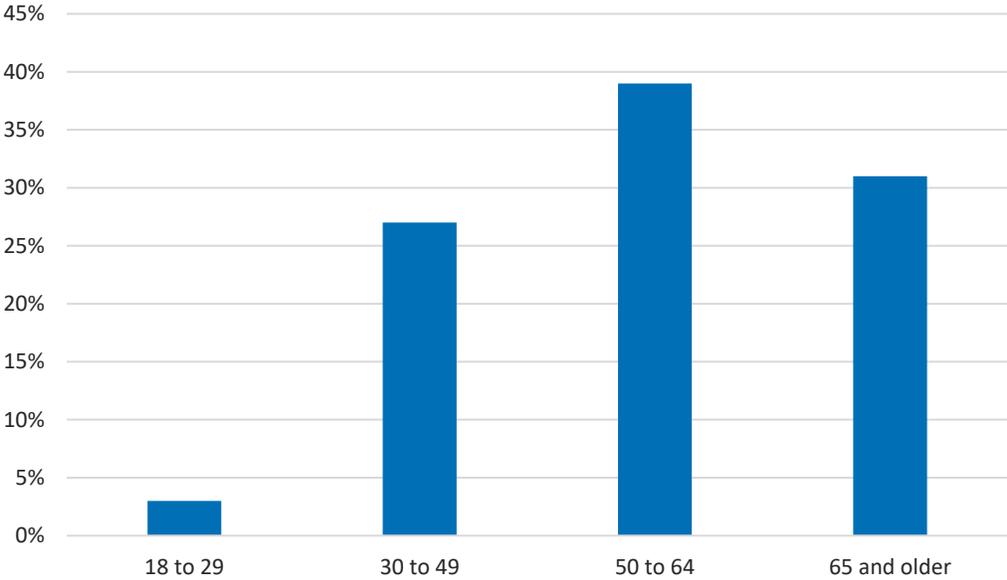
Where survey participants live



Where workshop participants live



Age range of survey participants



Household composition of survey participants



Section 2: What we heard

The following section summarizes key themes that emerged from feedback. This summary reflects feedback that was most commonly shared, though it is important to acknowledge that these themes may not fully represent the opinion of each individual who participated.

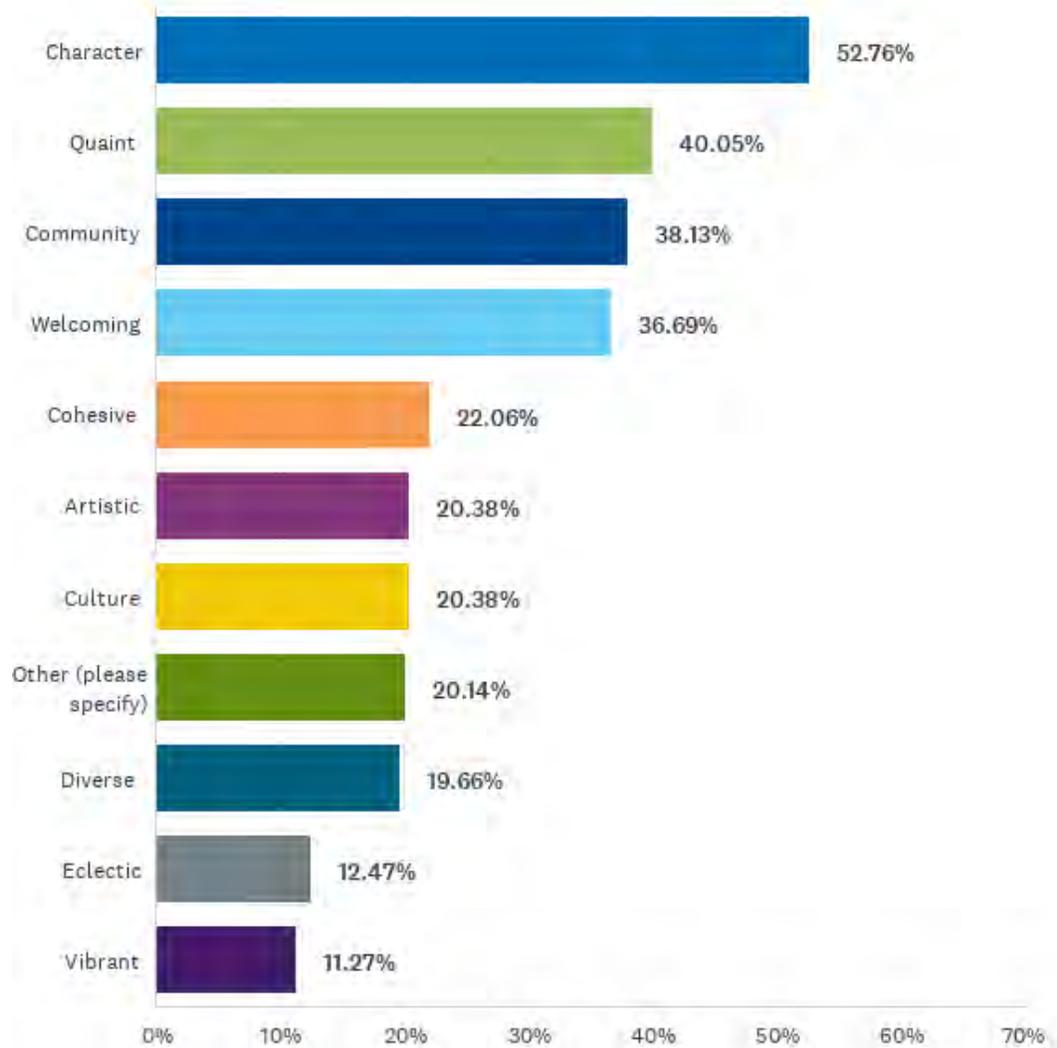
A summary of two multiple-choice survey questions is provided first, followed by a summary of input from the open-ended questions, which asked for feedback on what participants liked and did not like about the various architectural styles presented.

Next is a collage of photos participants provided of buildings they think are a good examples for what future projects should look like in the Village and Barrio. Last is a summary of the input on what else the city should consider.

Input gathered through the workshop was similar to the online survey and is reflected in the key themes summarized in the following section.

Verbatim responses are included in the appendices.

When it comes to the design of future buildings, which three words would be most important for the city to consider?



Below are some examples of different types of architectural styles found in Carlsbad and other nearby cities. Which architectural style(s) do you think fit in well in the Village and Barrio? Select all that apply.



Spanish Revival – 62%



Craftsman – 51%



Victorian – 40%



Colonial/Cape Cod – 39%



Tudor – 31%



American Mercantile – 26%

Below are some examples of different types of architectural styles found in Carlsbad and other nearby cities. Which architectural style(s) do you think fit in well in the Village and Barrio? Select all that apply.



Contemporary Eclectic – 17%

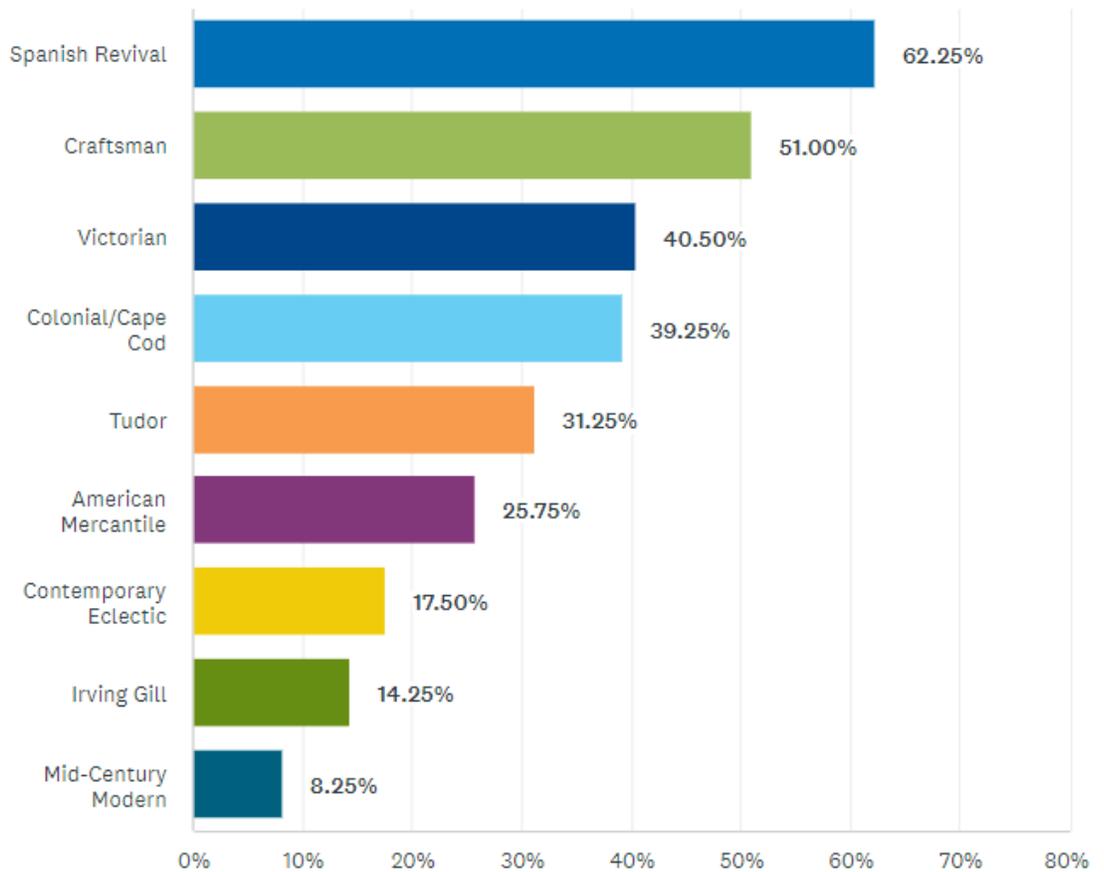


Irving Gill – 14%



Mid-Century Modern – 8%

Below are some examples of different types of architectural styles found in Carlsbad and other nearby cities. Which architectural style(s) do you think fit in well in the Village and Barrio? Select all that apply.



What do you like most about the architectural style(s) you chose?

Spanish revival: Character, cohesion with Carlsbad and California style, historic, modern, classic

- It fits the history, character and style of Carlsbad, the region and state.
- It is both modern and classic

“Spanish revival is traditional and historical to this area.”

“Spanish revival seems the closest fit for the history and character of the Barrio.”

“Spanish revival and craftsman have lots of flexibility for place-based adjustments and the light colors are appropriate for the large amount of sun we get in Carlsbad.”

“The Spanish style blends in more readily to the Southern California lifestyle and predominant architecture of the older areas. It is quaint and inviting.”

“Still representing some of the historical elements of Carlsbad while embracing a clean vision of the future.”

“Spanish influence is important. So much already makes up our community & lets embrace.”

Craftsman: Character, cohesion with Carlsbad and California style, historic, modern, clean lines, inviting

- It fits the history, character and style of Carlsbad, the region and state.
- It is both modern and timeless.
- It has clean lines and is inviting.

“It would be a good fit with what is already in place in the area.”

“It has touches of modern with a very inviting look to it.”

“I feel craftsman style offer a clean but yet aesthetically pleasing building with a lot of character.”

“Craftsman is pretty broad in design options which can give variance but yet keep it all tied together better.”

“Craftsman properties are not stark and cold looking like some other types of architecture, and are more warm, inviting, and aesthetically pleasant to view.”

What do you like most about the architectural style(s) you chose?

Victorian: Character, cohesion with Carlsbad, historic, charming, unique

- It is classic, historic and timeless.
- It has character and can be eclectic and unique.

“The classic designs hark back to Carlsbad's history, it's good to have a feeling that some buildings have been around for many decades.”

“Reflection of Carlsbad history, and provides a warm community feeling.”

“A blend of old-world character together with modern or contemporary touches brings a nice balance that keeps the traditional feel of the village while modernizing it to a certain degree.”

“Victorian is original and I love that feel.”

“They represent an old style culture that can be eclectic and unique.”

“These are throwbacks to the original “vibe” of the village, and they're unique! We need more character and color!”

Colonial/Cape Cod: Coastal design, timeless, historic

- It is coastal, historic and timeless.
- It fits in with coastal areas.

“These Victorian and Cape Cod styles have a welcoming, unique, historic character that could tie into the best of our existing development and distinguish Carlsbad from other CA coastal downtowns that primarily have a Spanish architectural style.”

“I think these are appropriate architectural styles for the coastal area and compliment the existing architecture.”

“We like styles compatible with the coastal environment, giving a fresh, laid back, village look.”

“Cape Cod give a nice upscale architecture style look for our beach city.”

What do you like most about the architectural style(s) you chose?

Tudor: Character, quaint, historic, traditional

- It is distinct to Carlsbad and reflects Carlsbad's history.
- It has quaint, small-town character.

"Anyone who has spent time in Carlsbad will recognize these buildings as uniquely Carlsbad."

"Architectural styles consistent with the what the name "Carlsbad" evokes. They are also styles that have withstood the test of time. They have character."

"Tudor is Distinct to Carlsbad Village, so tourists will remember it's ambiance."

"They look charming and vintage and they are in keeping with our lovely village by the sea."

"The (half-timber style (Tudor) speaks Carlsbad's beginnings as a mineral spa with similarities to European towns. This style is used in villages in Europe to house shops in the ground floor & multi-family residences above. It would keep a cohesive look to the "quaint" village and preserve the unique distinctive flavor of Carlsbad Village. Not just another beach town."

"I feel these styles support many of the older buildings in the Village and convey a feeling of comfort, "small town" and tradition."

American Mercantile: Timeless, quaint, cohesive

- It is timeless, quaint and cohesive.
- Would fit in well in downtown Village area and work well for mixed-use development.

"Brick is timeless, always looks good, doesn't go out of style like 70s style.. Plus it's beautiful. It will stand up to any weather and never need repair."

"The mercantile design gives the Main Street feel for mixed use development."

"It easily delineates the business vs. living spaces. In some of the contemporary designs, it is difficult to determine if there are businesses on the first level or not. American Mercantile is a cohesive style that add the quaint at the same time."

"American mercantile – bc it preserves the feel of state street and can be adapted to need for more dwelling in the village."

What do you like most about the architectural style(s) you chose?

Contemporary eclectic: Modern, clean, open, large windows

- It is modern and updated with clean lines.
- Large windows and balconies.

“Modern & clean. Windows & balconies provide access to light & fresh air.”

“Clean lines, upgraded materials used throughout, recessed large windows, porches, overhangs, interesting roof lines, distinctive entry ways, classic architectural colors.”

“Clean lines, not too bare, not overly ornate and NOT old fashioned looking.”

“The contemporary and modern look and feel. A new sign of life.”

Irving Gill: Historic, simple, character

- It is historic, simple, inviting and has character.
- It is low key and simple.

“Low key.”

“Simple and stylish.”

“I love the tie to local history with the Spanish Revival style and the historical connection with Mr. Gill. Carlsbad has quite a few Craftsman homes, so it suits the area.”

“They have unique character and are more inviting.”

Mid-century modern: Contemporary, modern, clean lines

- It is contemporary, modern and has clean lines.
- Contemporary and fit in with the original home and new development.

“They fit in well with the neighborhood and are contemporary to the original homes that were built.”

“Modern, varied elevations, clean lines, fits with most new development in the village and Barrio.”

“Geometric shape. Looks modern.”

What do you dislike about the architectural style(s) you did not choose?

Outdated, too modern, out of place, clutter, lack character

- They don't fit with the history, small town charm and style of the city.
- They don't allow space and don't interact well with the sidewalk and street.
- They don't strike a balance of being timeless and contemporary.
- They lack interesting details or are too boxy.

"Whatever is selected should be consistent with the original buildings."

"Many of the contemporary styles shown here would diminish the historical charm of the area and add to the sense of function over style created by larger and more dense developments."

"Our community should maintain a simplicity in building styles and, instead, focus on the surrounding, natural beauty of our Pacific Ocean influence and our laid back California beach lifestyle."

"Make Carlsbad unique, which is what will draw tourism."

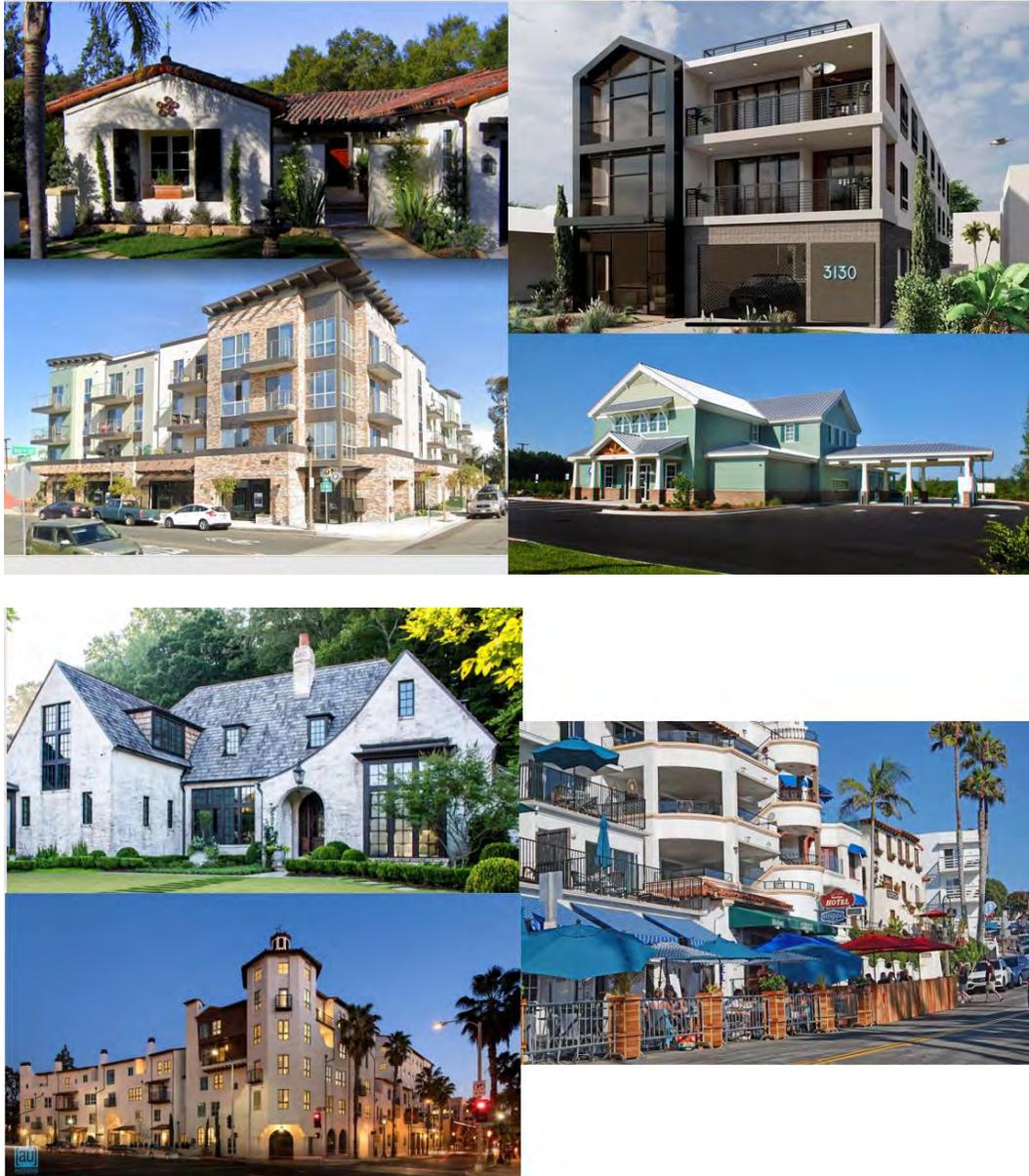
"I want something that tells the world that people are comfortable, safe and at home here."

"The word "Village" does not signify modern or contemporary. Having a unique character can attract tourists and can make the Village/Barrio unique."

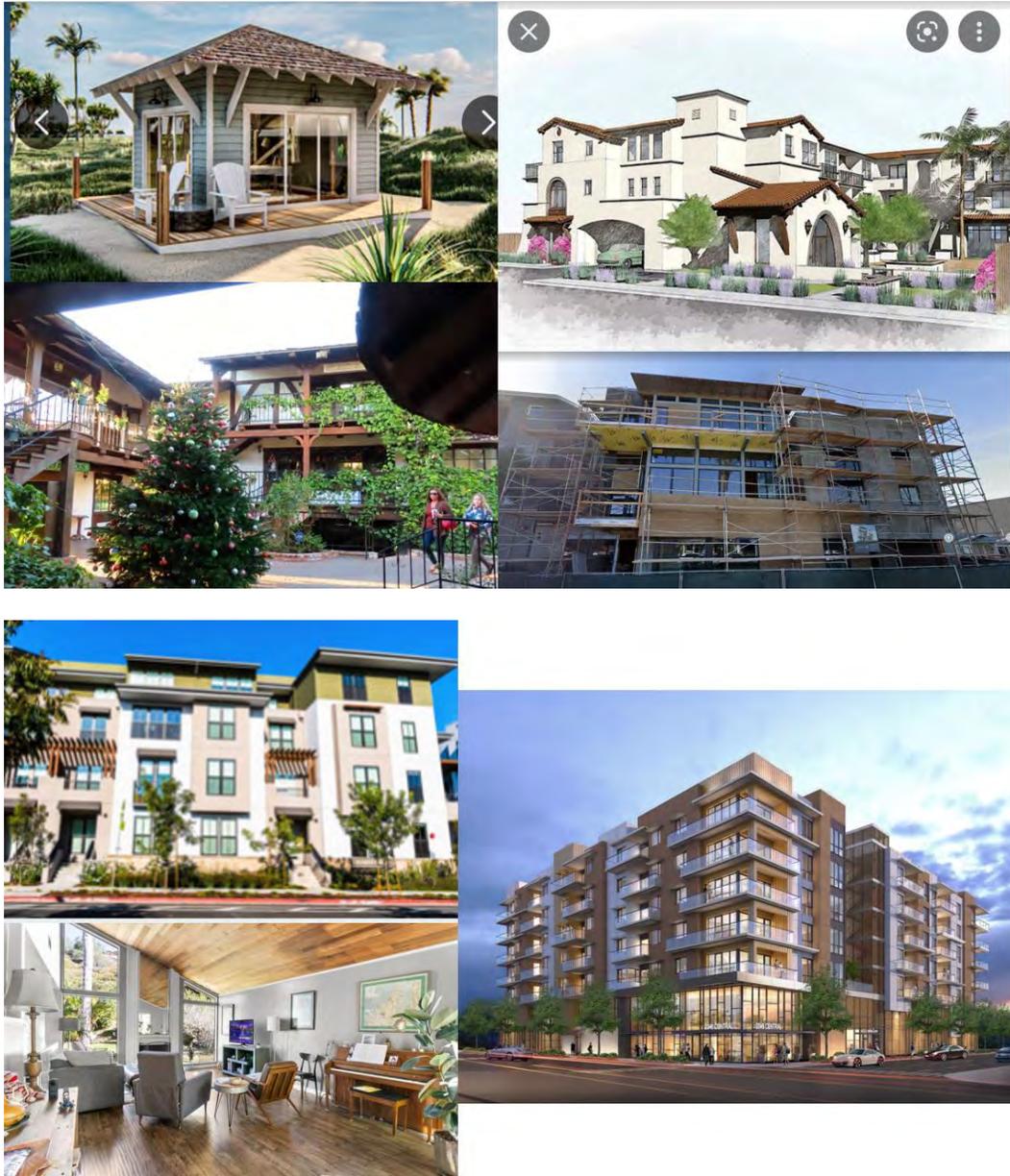
"Doesn't fit into Carlsbad's "Village by the Sea" mantra."

"Too contemporary or old fashioned. Somewhere in the middle is more appealing to my eye."

Have you seen buildings you think are good examples for what future projects in the Village and Barrio should look like?



Have you seen buildings you think are good examples for what future projects in the Village and Barrio should look like?



Have you seen buildings you think are good examples for what future projects in the Village and Barrio should look like?



What else would you like the city to consider when creating objective design standards for multifamily housing and mixed-use projects in the Village and Barrio?

Maintain Carlsbad's charm and history

- Preserve the unique charm, community character and history that make Carlsbad special.
- Keep the character and charm of coastal beach lifestyle and vibe.
- Like small village feel with historical buildings and lower population density.
- Like amount of single-family homes and restriction on building heights.

“Consider the existing Historical Buildings (Santa Fe depot, St. Michaels, both old and new, and Giacolleties) and how they can be framed, related to and enhanced.”

“It’s a beach town ... please keep the simple, historic beach charm.”

“Preserve the character of the beach lifestyle and vibe. Coastal Grandma is trending right now in fashion and lifestyle (check it out for old and young) which is a easy, breezy, carefree lifestyle. The village should exemplify this theme. It's what attracted us to retire here 8 years ago.”

“Carlsbad has charm, character and a sense of acceptance. These characteristics need to be preserved.”

“Make the developers put some character and interest in their designs!!”

“Keep the height low and don’t build on both side of single family residences/buildings.”

“Not too tall. 3 stories is plenty high. Need to keep small town feel not urban city.”

What else would you like the city to consider when creating objective design standards for multifamily housing and mixed-use projects in the Village and Barrio?

Create space for community

- Outdoor spaces where people can gather and connect are important.
- Integrate elements like green spaces, trees and walking paths into building designs.

“Porch and outdoor living, where people can gather out front and commune with the neighbors.”

“Room to walk, be outdoors with family and friends.”

“Since the new buildings will be eliminating the backyards and mature trees of the existing homes, the developer should include a private, park-like green space for exclusive use of the residents of the project. Also, include sufficient parking for each residence.”

“Lots of green space, nature, play areas that are not plastic (just a swing or jungle gym) but rather kids and families can EXPLORE! Paths where you would find birds, lizards, fruit, veggies, a community garden, spaces where nature soothes an anxious family.”

Build in sustainability

- Sustainable building elements and features are important when planning for the future.
- Incorporate greenery, trees and plants into building landscaping and sidewalks.

“Sustainability, from green roofs, to solar panels and grey water systems.”

“Lots of trees (clean our air) and create a homey environment with plants or hanging flowers or fountains Make it amazing! You can do it!”

“Green features such as solar panels and smart appliances and well lighted pathways with LED or smart lighting.”

“...shade trees!”

What else would you like the city to consider when creating objective design standards for multifamily housing and mixed-use projects in the Village and Barrio?

Maintain cohesion with existing buildings

- Preserve the unique charm, community character and history that make Carlsbad special.
- Select a blend of architectural styles that are cohesive with existing buildings.

“Cohesiveness of styles. Doesn't have to be just one style, but they should blend well together.”

“Consistency and Continuity, so the community looks cohesive and planned out, rather than a jarring hodge podge.”

“That future proposed properties blend in well with the rest of the buildings in the community, to appear as if they were always there.”

Include natural design elements, green spaces and lots of trees

- Incorporate greenery, canopy trees and plants into building landscaping and gathering areas.
- Bring the outdoors inside with features like large windows and natural colors.

“Any building looks better with trees and plants. Also attempt to bring the outdoors inside with large windows and glass doors.”

“Beautiful landscaping with well defined areas for gathering, and attractive plant landscaping, Drought friendly plants.”

“Natural colors rather than saturated bright colors.”

“Considerably more mature landscaping.”

What else would you like the city to consider when creating objective design standards for multifamily housing and mixed-use projects in the Village and Barrio?

Traffic, parking

- Consider the volume of traffic in the area - biking, driving and walking.
- Adequate parking with future buildings.

“Adequate parking so that their cars do not create parking problems. Part of the beauty of Carlsbad is its relative ease of living here compared to more congested areas.”

“Make sure there is enough parking and don’t go too high.”

“I think parking requirements should be part of design process.”

“Traffic, safety, parking, walkability.”

“Take traffic into account, places to park, and open walking areas.”

Section 3: Next Steps

The input received through the workshop and survey will be provided to the citizens Design Review Committee, a committee formed by City Council to guide the development of objective design standards. A full draft of the new standards is expected to be available for public review and comment in early 2023. The project is scheduled for completion by summer 2023.

Appendices

- A. How opportunities were promoted
- B. Survey responses
- C. Workshop PowerPoint presentation
- D. Workshop chat transcript

How Opportunities Were Promoted

City staff notified community members about opportunities to get involved through a variety of print and digital channels including



Fliers in Carlsbad libraries and community centers



E-newsletters



Nextdoor and social media posts



Village & Barrio Objective Design Standards INPUT WANTED!



The City of Carlsbad would like your input to help create objective design standards for multifamily housing and mixed-use development in the Village and Barrio areas. You can provide feedback two ways:

Workshop

Tonight, June 29

5 – 7 p.m.

Senior Center Auditorium

799 Pine Ave.

Online survey

Available through July 18

[Take the survey](#)

About the project

- The city is seeking feedback from the community on objective design standards.
- The objective standards created through this effort won't change things like building heights or setbacks defined in the Village and Barrio Master Plan.
- Instead, they will add clarity and specificity to what's in the plan so Carlsbad can better preserve the unique character and charm of the Village and Barrio areas while complying with state laws designed to ease California's housing crisis.
- The standards will identify several architectural design styles for developers to choose from, helping to streamline permitting for new multifamily housing and mixed-use projects.



City of Carlsbad ✓
Kristina Ray • Just now



Village and Barrio objective design standards survey. Hi everyone! The City of Carlsbad is asking for community input to help create objective design standards for future multifamily and mixed-use projects in the Village and Barrio areas.

The new standards won't change things like building heights or setbacks defined in the Village & Barrio Master Plan. Instead, this effort will clarify & specify what's in the plan to help us better preserve the unique character and charm of the Village and Barrio, while complying with state laws designed to ease California's housing crisis.

You can provide feedback by completing a quick online survey by Monday, July 18: <https://www.surveymonkey.com/r/3558MKT>

Thanks for your feedback!

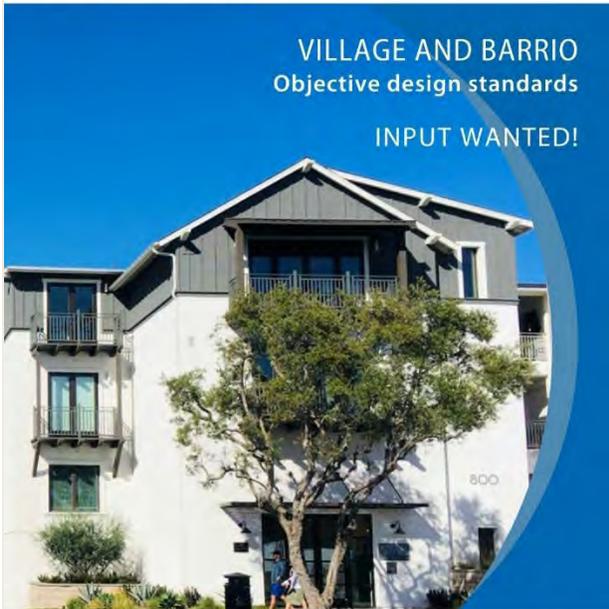


Village & Barrio Objective Design Standards
[surveymonkey.com](https://www.surveymonkey.com)

Posted to Subscribers of City of Carlsbad in 4 neighborhoods

 **carlsbadcagov** ✓
Carlsbad, California

VILLAGE AND BARRIO
Objective design standards
INPUT WANTED!



♡ ◻ ◻ ◻

43 likes

carlsbadcagov Share your input on objective design standards for future multifamily and mixed-use projects in the #CarlsbadVillage and Barrio. 🗨️ Community feedback will help preserve the unique character and charm of the Village and Barrio areas into the future, while ensuring the city complies with state laws designed to ease California's housing crisis.

 **City of Carlsbad** ✓ @carlsbadcagov · Jul 11

Input opportunity 🗨️ Give input on objective design standards for future multifamily and mixed-use development in the #CarlsbadVillage and Barrio areas. Complete a quick survey by Monday, 7/18 to share your thoughts: loom.ly/4JXwCPk #getinvolved @CarlsbadVillage

VILLAGE AND BARRIO
Objective design standards
INPUT WANTED!



0:00 217 views

◻ ↺ 2 ♡ 8 ↗

Village & Barrio

Objective Design Standards

INPUT WANTED!

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The objective standards created through this effort won't change things like building heights or setbacks defined in the Village and Barrio Master Plan.

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Workshop

June 29 | 5-7 p.m.
Senior Center
799 Pine Ave.

Online survey

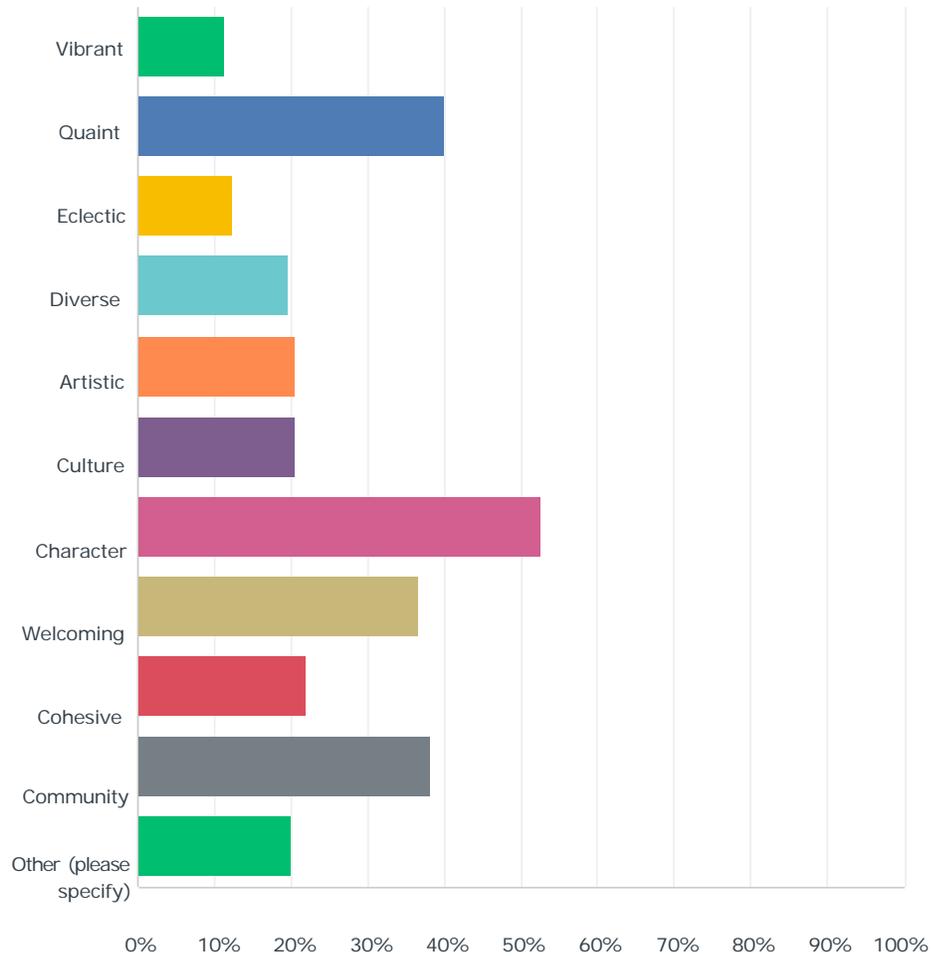
Through July 18
carlsbadca.gov/input

www.carlsbadca.gov/vbdesign

Survey Responses

Q1 Here are some words we've heard residents use to describe the Village and Barrio. When it comes to the design of future buildings, which three words would be most important for the city to consider?

Answered: 417 Skipped: 8



ANSWER CHOICES	RESPONSES	
Vibrant	11.27%	47
Quaint	40.05%	167
Eclectic	12.47%	52
Diverse	19.66%	82
Artistic	20.38%	85
Culture	20.38%	85
Character	52.76%	220
Welcoming	36.69%	153
Cohesive	22.06%	92
Community	38.13%	159
Other (please specify)	20.14%	84

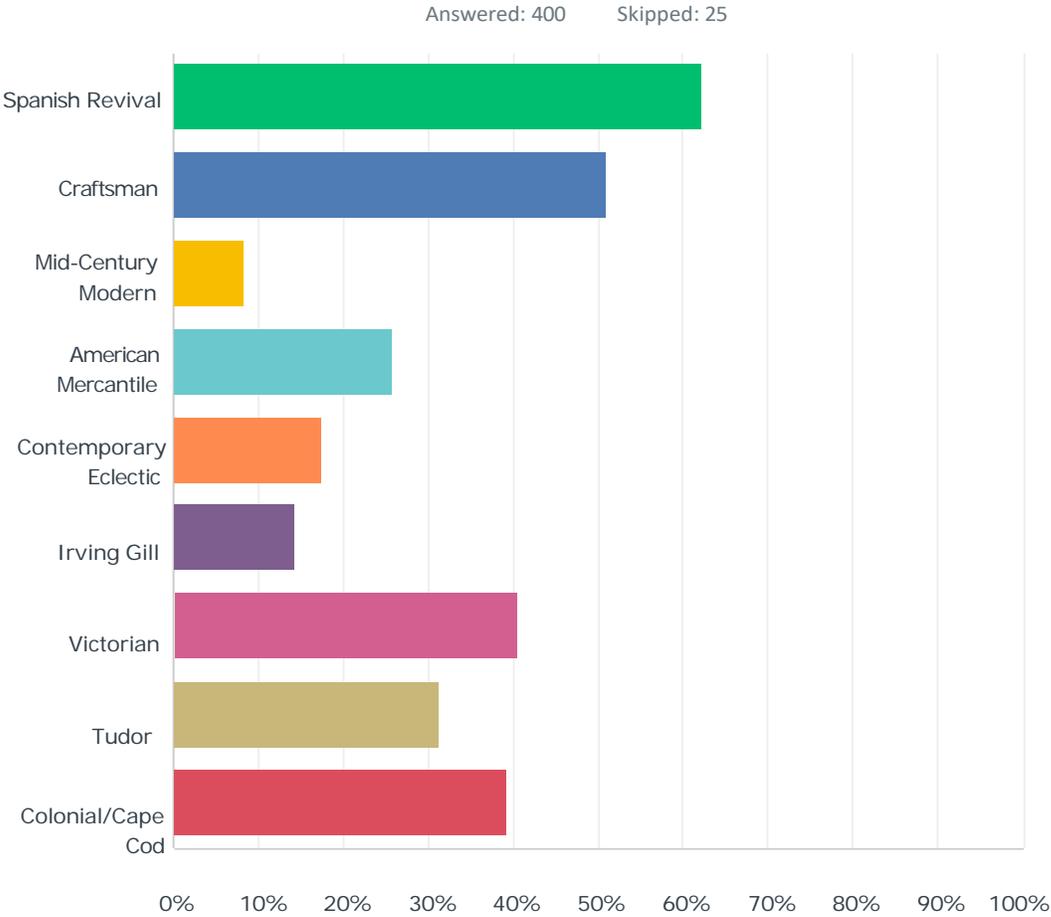
Total Respondents: 417

#	OTHER (PLEASE SPECIFY)	DATE
1	modern and fresh, not cheesy, cool, contemporary, young	7/18/2022 10:13 PM
2	Modern	7/18/2022 6:25 PM
3	progressive	7/18/2022 2:28 PM
4	modern	7/18/2022 2:13 PM
5	Windsor Pointe and all the other high density housing for low income should be abolished. The Barrio has long been Systemically oppressed by Carlsbad Officials	7/18/2022 2:09 PM
6	Can't choose just 3	7/17/2022 11:45 AM
7	Not crowded, Not congested	7/15/2022 12:27 PM
8	Brick (timeless, not modern which only looks good temporarily vs. for the future too), white wood (coastal vibe)),	7/13/2022 12:41 PM
9	Quaint,cohesive character	7/13/2022 12:17 PM
10	Small	7/13/2022 8:11 AM
11	Like the mineral spa building and others around town	7/12/2022 10:53 AM
12	Traditional	7/12/2022 7:04 AM
13	English Tudor	7/12/2022 3:24 AM
14	Trees	7/11/2022 9:05 PM
15	Meeting housing goals for the area, energy efficient design including appliances, windows, and insulation.	7/11/2022 8:48 PM
16	Keeping with the existing neighborhoods of Downtown Carlsbad (Old Carlsbad) and the Barrio (small homes passed from generation to generation over the last 100+ years).	7/11/2022 7:17 PM
17	housing density	7/11/2022 7:05 PM
18	The Tudor half-timber style already used on many existing buildings gives the Village its distinctive & unique charm - like the mineral spa, the NE corner of Grand & Roosevelt, St.Malo homes, & many other buildings.	7/11/2022 6:54 PM

19	Don't build. There is enough housing.	7/11/2022 6:48 PM
20	Uncrowded	7/11/2022 6:43 PM
21	Modern	7/11/2022 6:37 PM
22	SMALL	7/11/2022 5:24 PM
23	Congruent	7/11/2022 4:20 PM
24	Scale not bigger than existing buildings	7/11/2022 4:00 PM
25	Classic	7/11/2022 3:18 PM
26	Coastal	7/11/2022 2:25 PM
27	Accessible	7/11/2022 10:15 AM
28	Unique, thought out	7/11/2022 4:06 AM
29	preservation	7/9/2022 4:48 PM
30	Integrated	7/9/2022 2:38 PM
31	Unique, not all concrete like other beach cities	7/9/2022 10:29 AM
32	charming	7/8/2022 8:59 PM
33	Historic charm	7/8/2022 4:48 PM
34	MOre lanscaping	7/8/2022 12:45 PM
35	Affordable	7/8/2022 12:36 PM
36	Affordable	7/8/2022 12:34 PM
37	coastal	7/8/2022 5:53 AM
38	NOT sterile like some of the new high ruse structures going up. They're flat with "modernistic lines." But they're blah!	7/7/2022 9:37 PM
39	Nature	7/7/2022 6:19 PM
40	Check out Seabrook in Washington	7/7/2022 5:02 PM
41	Harmonious but not cookie cutter	7/4/2022 7:44 AM
42	Small	7/1/2022 7:12 PM
43	PARKING	7/1/2022 1:31 PM
44	Inclusive, multi-ethnic, homey	7/1/2022 10:11 AM
45	walkable	7/1/2022 7:23 AM
46	Historic / Comply with Zoning Ordinance and standards of adjacent properties (SFD)	6/30/2022 6:45 PM
47	Over-riden with transients, pan-handlers, arsonists, rapists and murders	6/30/2022 4:41 PM
48	More Parking than units, Underground Parking, More Garages than units	6/30/2022 11:33 AM
49	Nature. Butterflies. Flowers. Bushes. Trees	6/30/2022 8:44 AM
50	could be improved. not aesthetically pleasing	6/30/2022 8:35 AM
51	Eco friendly	6/29/2022 10:00 PM
52	Relationship to the street and the pedestrian	6/29/2022 9:49 PM
53	Walkable	6/29/2022 7:13 PM
54	Stop developing	6/29/2022 6:40 PM
55	Quality	6/29/2022 5:07 PM
56	Thematic	6/29/2022 4:27 PM

57	Small beach town	6/29/2022 3:21 PM
58	Charm	6/29/2022 3:02 PM
59	SMALL with space around them	6/29/2022 2:47 PM
60	safety	6/29/2022 2:29 PM
61	Human scaled	6/29/2022 1:47 PM
62	Environmentally responsible	6/29/2022 12:54 PM
63	In scale with surroundings village like	6/29/2022 11:44 AM
64	Low Density	6/29/2022 11:07 AM
65	Bavarian style, in keeping with the Karlsbad roots.	6/29/2022 10:37 AM
66	Exterior Landscape (leave enough room on lot for plants)	6/29/2022 10:13 AM
67	HOME	6/29/2022 10:13 AM
68	run down mish mash away from Main Street outdated the center where Coyote is located just looks old	6/29/2022 10:05 AM
69	Walking distance to commerce, jobs, public transportation, schools.	6/29/2022 10:00 AM
70	NOT DENSE, NOT 3 STORIES	6/29/2022 9:55 AM
71	Small	6/29/2022 9:48 AM
72	Modern	6/29/2022 9:43 AM
73	Coastal - shades of blues & whites	6/29/2022 9:36 AM
74	Functional	6/29/2022 9:34 AM
75	Proper scale and aesthtic for our City	6/29/2022 8:40 AM
76	Rideable, walkable, community gathering area	6/29/2022 8:26 AM
77	Modern	6/29/2022 8:08 AM
78	Beachy	6/29/2022 8:07 AM
79	lower density and building height.	6/29/2022 8:02 AM
80	Charming	6/29/2022 7:55 AM
81	Low key	6/29/2022 7:47 AM
82	Pedestrian Friendly	6/29/2022 7:45 AM
83	So much has been ruined in Carlsbad with hideous designs that don't reflect ANY connection to being a coastal town, why are you even bothering to pretend that you now care about it? PR?	6/29/2022 7:44 AM
84	TEST	6/27/2022 3:05 PM

Q2 Below are some examples of different types of architectural styles found in Carlsbad and other nearby cities. Which architectural style(s) do you think fit in well in the Village and Barrio? Select all that apply.



ANSWER CHOICES	RESPONSES
Spanish Revival	62.25% 249
Craftsman	51.00% 204
Mid-Century Modern	8.25% 33
American Mercantile	25.75% 103
Contemporary Eclectic	17.50% 70
Irving Gill	14.25% 57
Victorian	40.50% 162
Tudor	31.25% 125
Colonial/Cape Cod	39.25% 157
Total Respondents: 400	

Q3 What do you like most about the architectural style(s) you chose?

Answered: 371 Skipped: 54

#	RESPONSES	DATE
1	I hate all of these. More contemporary, bright, and clean lines are needed. The towns around us (eg; Oceanside, Encinitas) cater to, and build for, a modern, young and fresh vibe and we continue to develop buildings that look like we're living a 55+ community. Carlsbad has the infrastructure and potential to be a vibrant, young and exciting town and for whatever reason the architecture and vibe seem stuck in past. Places like campfire and Nick's, pure taco - let's continue in that direction!	7/18/2022 10:13 PM
2	Even the midcentury is at least modern and modern is what we need.	7/18/2022 6:25 PM
3	It's got a modern look	7/18/2022 2:28 PM
4	Carlsbad should be looking forward, not behind and we need to do away with the Spanish shopping mall look.	7/18/2022 2:13 PM
5	Stop low income housing for this area and let the community thrive economically and culturally. Projects like Windsor Pointe are evidence the city is continuing to oppress the area and drive down home values. Shame on Carlsbad.	7/18/2022 2:09 PM
6	They fit the styles that are indicative of California up and down the state.	7/18/2022 1:04 PM
7	They have a lot of character.	7/18/2022 6:56 AM
8	I think they fit the character of our village	7/17/2022 11:45 AM
9	Timeless	7/17/2022 8:58 AM
10	There is open space around the structure	7/15/2022 12:27 PM
11	They build upon older buildings in the area and eclectic style of the village and barrio without over modernizing it. It would make the housing more of a community accepted building in that it adds onto the already developed and accepted areas of the village and barrio.	7/14/2022 4:21 PM
12	Aligns with Carlsbads beginnings.	7/14/2022 9:15 AM
13	Relevant to Carlsbad	7/14/2022 2:50 AM
14	Colonial/Cape Cod inspires a coastal architectural theme. American Mercantile provides good mixed use of commercial and residential space. Spanish revival is a very classy style used extensively to good effect in places like Santa Barbara.	7/13/2022 11:08 PM
15	Out door space Connects living and work , gives alive vibrant feel	7/13/2022 5:56 PM
16	they meld with the surrounding area	7/13/2022 5:18 PM
17	Its a Classic look	7/13/2022 3:41 PM
18	Modern, Clean, aesthetically pleasing	7/13/2022 2:18 PM
19	Brick is timeless, always looks good, doesn't go out of style like 70s style.. Plus it's beautiful. It will stand up to Amy weather and never need repair	7/13/2022 12:41 PM
20	Height limit	7/13/2022 12:17 PM
21	They fit in better with the existing buildings.	7/13/2022 11:35 AM
22	It is not a straight box with no architectural features	7/13/2022 11:15 AM
23	They are a combination of modern and traditional styles that have the feel of Southern California and beach communities but also allow for diversity of design and modern touches.	7/13/2022 10:47 AM
24	They fit in with current/older styles that exist and california in general	7/13/2022 9:25 AM

25	Spanish heritage	7/13/2022 8:32 AM
26	It has character, Fits in with original character that is quickly disappearing with the new, large, ugly buildings that are overwhelming the village	7/13/2022 8:11 AM
27	Relatively historical to the area when the barrio was being established	7/13/2022 7:50 AM
28	It maximizes the outdoor spaces and windows of the building and looks coastal	7/13/2022 6:56 AM
29	They are what we see in California- not from the east coast or of another country. The charm of the Barrio is the friendly welcoming nature. Lower level 1-2 story not higher than 2 story. Duplexes are great, not huge complexes, that lose the welcoming atmosphere.	7/13/2022 6:55 AM
30	It reflects the coastal style that is appropriate for our location.	7/13/2022 3:16 AM
31	Classic. Not modern	7/12/2022 7:08 PM
32	They fit the village and are already there. None should be 4 stories. It's called a village, not a city.	7/12/2022 6:17 PM
33	Character, lighting, balconies, matches existing style	7/12/2022 4:10 PM
34	they are functional without being bland	7/12/2022 3:49 PM
35	Would prefer "Spanish" style	7/12/2022 3:28 PM
36	Blends in	7/12/2022 3:21 PM
37	have character and history	7/12/2022 2:56 PM
38	They might help keep the village not look overcrowded. We are building far too much in the village and it looks horrible. Please stop and preserve the sweetness of Carlsbad Village.	7/12/2022 2:46 PM
39	Organized but warm and welcoming	7/12/2022 2:21 PM
40	Historical and attractive	7/12/2022 2:06 PM
41	Architectural styles consistent with the what the name "Carlsbad" evokes. They are also styles that have withstood the test of time. They have character.	7/12/2022 1:50 PM
42	I like that there is a mix in Carlsbad	7/12/2022 1:17 PM
43	Reflects the history of the community. The opposite of the monstrosity that was built next to the motel six at CVD & 15. Very little connection to the historical Carlsbad community. Architecture should reflect the barrio history and agricultural beach community that is Carlsbad.	7/12/2022 12:59 PM
44	They aren't quite right but are closest to having some kind of character and interest. Not just a big box.	7/12/2022 12:43 PM
45	Tudor is Distinct to Carlsbad Village, so tourists will remember it's ambiance.	7/12/2022 10:53 AM
46	Retain Carlsbad old style. like building on northeast corner of Grand and Roosevelt.	7/12/2022 10:39 AM
47	You do not see them in big cities often.	7/12/2022 10:26 AM
48	I believe Carlsbad should not limit itself to a "style."	7/12/2022 9:56 AM
49	Spanish revival	7/12/2022 9:44 AM
50	Little of everything (eclectic)	7/12/2022 9:34 AM
51	It's authentic to the place	7/12/2022 9:34 AM
52	None of the above. They are too tall and too massive	7/12/2022 9:19 AM
53	Cohesive with the San Diego area history. Timeless design is visually appealing. Reminds me of downtown Santa Barbara.	7/12/2022 9:15 AM
54	Consistent with Carlsbad and aesthetically pleasing to the eye.	7/12/2022 8:31 AM
55	Spanish revival is traditional and historical to this area. I also like the American mercantile with stores on the bottom and housing on the top. Bring retails and community together. Like NYC	7/12/2022 8:31 AM

56	Clean and contemporary	7/12/2022 8:23 AM
57	It is the only style with some cultural roots matching the history.	7/12/2022 7:23 AM
58	shows history, tradition	7/12/2022 7:04 AM
59	Not much	7/12/2022 6:06 AM
60	Allow large windows and dense housing	7/12/2022 5:51 AM
61	They capture the uniqueness of the village, including Village Faire (Tudor), Stratford Pub on State & Grand, and State Street (mercantile). Anyone who has spent time in Carlsbad will recognize these buildings as uniquely Carlsbad.	7/12/2022 3:24 AM
62	Clean with character.	7/12/2022 2:15 AM
63	Attractive, with good use of space	7/12/2022 1:26 AM
64	They don't look like boxes - they have character!	7/11/2022 11:26 PM
65	Clean lines and classic character that fit with our beach city.	7/11/2022 11:25 PM
66	Practical	7/11/2022 11:02 PM
67	Modern, seems like they fit in in California (not east coast) A little bit timeless and not trying to fit in a theme	7/11/2022 10:15 PM
68	Blend of modern and old	7/11/2022 9:52 PM
69	It has touches of modern with a very inviting look to it.	7/11/2022 9:41 PM
70	Fits the character of the village and both are attractive to look at.	7/11/2022 9:05 PM
71	Modern, varied elevations, clean lines, fits with most new development in the village and Barrio.	7/11/2022 9:00 PM
72	Style should be cohesive in character of the city of Carlsbad.	7/11/2022 8:51 PM
73	All of these designs can blend in depending on the block, I don't think it's up to me to decide. I trust the builders to make the decision based on the surrounding area.	7/11/2022 8:48 PM
74	trying to keep some of the culture of the barrio. No real good examples that do that.	7/11/2022 8:47 PM
75	Warm, welcoming, not super sharp edges, clean, nice to look at	7/11/2022 8:40 PM
76	Quaint feeling, charming, stylish, homey	7/11/2022 8:24 PM
77	It's old carlsbad as is the barrio	7/11/2022 8:21 PM
78	Spanish look is appropriate for the neighborhood.	7/11/2022 8:20 PM
79	They have more of a village feel	7/11/2022 8:19 PM
80	Simple lines but not to boxy	7/11/2022 7:23 PM
81	They have a welcoming look, a little European, lots of style.	7/11/2022 7:22 PM
82	They look charming and vintage and they are in keeping with our lovely village by the sea. Please hold them to just 1-2 stories, max... even shorter on State Street.	7/11/2022 7:17 PM
83	Windows- let light in, white/ muted colors Inviting- family friendly	7/11/2022 7:06 PM
84	retain village character	7/11/2022 7:05 PM
85	They are a fit for a California beach town	7/11/2022 6:59 PM
86	It would be a good fit with what is already in place in the area	7/11/2022 6:56 PM
87	Rooftop variations, large windows, various textures, materials, and colors.	7/11/2022 6:56 PM
88	The (half-timber style (Tudor) speaks Carlsbad's beginnings as a mineral spa with similarities to European towns. This style is used in villages in Europe to house shops in the ground floor & multi-family residences above. It would keep a cohesive look to the "quaint" village and preserve the unique distinctive flavor of Carlsbad Village. Not just another beach town.	7/11/2022 6:54 PM

89	Don't like the three story buildings. Too crowded and packed in.	7/11/2022 6:43 PM
90	Diversity.	7/11/2022 6:37 PM
91	Craftsman	7/11/2022 6:31 PM
92	They reflect the eclectic, historic, small town character of the village and Barrio.	7/11/2022 6:28 PM
93	Is not uniform	7/11/2022 6:24 PM
94	Eclectic, keeping existing character and modernization without being too built up.	7/11/2022 6:12 PM
95	Fits in with what's already there	7/11/2022 6:10 PM
96	Pleasant lines, curb appeal and integrate well with our Beach Community.	7/11/2022 5:52 PM
97	The details and effective use of materials are what is best of these styles. The ties to history in Southern California is good.	7/11/2022 5:39 PM
98	Traditional, welcoming to families	7/11/2022 5:36 PM
99	I like the victorian and the craftsman style in most of the village. In the barrio it would be nice to keep the mid century modern flow. The spanish revival would add a flair.	7/11/2022 5:25 PM
100	Fits in with most surrounding buildings EXCEPT FOR THE GARBAGE THAT MATT HALL'S BUDDIES HAVE BEEN BUILDING THAT HAVE RUINED CARLSBAD	7/11/2022 5:24 PM
101	dramatic lines, contemporary, simple yet interesting, provides a developer opportunity for variation in the smaller details	7/11/2022 5:23 PM
102	historic with character	7/11/2022 5:10 PM
103	Simple and stylish	7/11/2022 5:04 PM
104	I think these are appropriate architectural styles for the coastal area and compliment the existing architecture.	7/11/2022 4:59 PM
105	Fits the California aesthetic that is already established	7/11/2022 4:58 PM
106	The historical aspect of Carlsbad.	7/11/2022 4:57 PM
107	True architectural styles	7/11/2022 4:55 PM
108	Nice looking	7/11/2022 4:39 PM
109	Quaint beach community look	7/11/2022 4:34 PM
110	They have character, interesting to look at.	7/11/2022 4:28 PM
111	Various types of architecture are better than a monolithic or myopic set of style choices. Also, not conforming to any particular style or time period is what will provide a "curated" look to the Village.	7/11/2022 4:26 PM
112	They are in keeping with what's already here.	7/11/2022 4:20 PM
113	It seems more consistent with the Village and the area.	7/11/2022 4:20 PM
114	Wrap around porch	7/11/2022 4:19 PM
115	Upgraded version of old school styles which is what those locations represent.	7/11/2022 4:12 PM
116	None of these, the are all 2 story, some examples could have more openness and a better beach vibe upstairs like they have in Leucadia.	7/11/2022 4:02 PM
117	They are different and unique.	7/11/2022 4:02 PM
118	its real	7/11/2022 4:02 PM
119	Warmth. Character.	7/11/2022 4:00 PM
120	Scale is small to be authentic	7/11/2022 4:00 PM
121	Geometric shape. Looks modern	7/11/2022 3:59 PM
122	The classic designs hark back to Carlsbad's history, it's good to have a feeling that some	7/11/2022 3:48 PM

buildings have been around for many decades. The modern designs should be accessible, simple, clean, using combinations of modern and natural materials. Also love condos with a first floor devoted to businesses.

123	Classic and timeless	7/11/2022 3:43 PM
124	The windows letting it a lot of natural light for positivity, creativity and growth in each space	7/11/2022 3:42 PM
125	I like the clean lines, elevation details, and character	7/11/2022 3:42 PM
126	Distinctive and timeless	7/11/2022 3:18 PM
127	Classic, timeless, homey, welcoming	7/11/2022 2:25 PM
128	Spanish revival seems the closest fit for the history and character of the Barrio.	7/11/2022 1:32 PM
129	Reminiscent of existing and historical build	7/11/2022 1:17 PM
130	They don't look like boxes stacked on boxes	7/11/2022 12:37 PM
131	Existing style of the village.	7/11/2022 12:13 PM
132	They fit in with the aesthetic Carlsbad represents	7/11/2022 11:59 AM
133	In my mind they match the existing architecture or support it.	7/11/2022 11:45 AM
134	the classic craftsman and irving gill styles looks more uniquely curated to the area and more cared about. makes the area look cohesive and saves a little history of the area. this feels more inspiring and inviting for residents to be active in the community and know the neighborhood better and care for it.	7/11/2022 11:43 AM
135	Seems most in line with the current demographic of the barrio	7/11/2022 11:34 AM
136	Reflection of Carlsbad history, and provides a warm community feeling.	7/11/2022 11:29 AM
137	They have character and won't all look exactly alike.	7/11/2022 11:26 AM
138	Continues the old-world atmosphere of Carlsbad village. A blend of old-world character together with modern or contemporary touches brings a nice balance that keeps the traditional feel of the village while modernizing it to a certain degree	7/11/2022 11:23 AM
139	They have simple, clean lines. They look modern and have a coastal vibe.	7/11/2022 10:28 AM
140	The character and welcoming feeling it gives. That it doesn't make it feel like a new city block but one that you grew up with.	7/11/2022 10:18 AM
141	The styles are seen throughout Southern California.	7/11/2022 10:15 AM
142	I feel craftsman style offer a clean but yet aesthetically pleasing building with a lot of character. The mercantile design gives the Main Street feel for mixed use development	7/11/2022 9:59 AM
143	They preserve the current architecture.	7/11/2022 8:47 AM
144	I like historic and quaint. Even to a blend. It's important that architects plan the building around the city. Avoid developers taking cheap short cuts on the design and creating what we call "trashitecture." Mixing in the beach bungalows.	7/11/2022 4:06 AM
145	They fit with many of the current buildings.	7/10/2022 4:14 PM
146	My daughter is a grad student at UCLA in Urban Planning and Sustainability. She said we need to consider that certain styles (Colonial) look good with a lot of greenery, which we don't have. Cape Cod style is quaint and beautiful but hard to build tall. People like large windows for light, Spanish Revival white reflects light - good. Craftsman has interest but windows need to be large enough to let in light.	7/10/2022 2:26 PM
147	spanish revival- bc it mimics buildings that were here in the 20s American mercantile- bc it preserves the feel of state street and can be adapted to need for more dwellings in the village Craftsman- if done correctly. The building you chose is not a good example. Irving Gil- Classy for upper end homes- not so great for village or barrio. How about mentioning "Barrio cottage?" That would be one way to preserve our Barrio as it originally grew.	7/9/2022 4:48 PM
148	The mid century modern picture example does not represent that Architectural style well.	7/9/2022 2:38 PM

There are, though, some beautiful examples in the local area which include indoor/outdoor areas, glazing with views and connection to nature with a japenese/eastern pacific touch natural sustainable materials, wood, stone and colors, shapes that blend in with natural environment and topography. The 92009 area I live in has many good example all around the LA Costa golf course. An excellent example of cutle little communities that people love to walk around. The different housing around Caringa Way, and across the golf course off of LA Costa ave. Many of these developments built in the 70's have vaulted ceilings, variety, views, character age well (if maintained)

149	charm and nostalgia.	7/9/2022 2:22 PM
150	Visually appealing and diverse.	7/9/2022 10:29 AM
151	I don't think the city should dictate which style anyone uses, they should be able to decide for themselves	7/9/2022 10:20 AM
152	California bungalow, and craftsman single family homes were common place in the barrio.	7/9/2022 7:52 AM
153	I wish Carlsbad would have a theme of the architecture they use. Seems it's all over the place. Carlsbad needs to stay charming and beach vibe. Victorian is original and I love that feel. NOT MODERN	7/8/2022 8:59 PM
154	Friendly, inviting, relaxing	7/8/2022 6:18 PM
155	They will stand the test of time.	7/8/2022 5:01 PM
156	Retains some Mexican history.	7/8/2022 4:36 PM
157	None. Stop building in the Barrio and Village, please.	7/8/2022 4:13 PM
158	Quality architectural detailing and familiarity, won't feel outdated in 10 years.	7/8/2022 3:14 PM
159	character. matches older buildings in the village	7/8/2022 2:25 PM
160	Appropriate and timeless for the area	7/8/2022 12:45 PM
161	Vibes	7/8/2022 12:36 PM
162	They have character that fits Carlsbad's current vibe.	7/8/2022 12:34 PM
163	They seem quaint and stylish.	7/8/2022 11:52 AM
164	Fit better in So.Cal especially the Spanish Revival. Even these are great in re: having the feel of "village" or "Barrio".	7/8/2022 11:24 AM
165	It easily delineates the business vs. living spaces. In some of the contemporary designs, it is difficult to determine if there are businesses on the first level or not. American Mercantile is a cohesive style that adds the quaint at the same time.	7/8/2022 10:23 AM
166	Clean lines, lasting design, beachy	7/8/2022 10:22 AM
167	More than style I would say density and height will be an issue ... the charm is being stripped away from the Village and Barrio areas daily.	7/8/2022 8:56 AM
168	Keeping the village quant	7/8/2022 7:52 AM
169	Has charm. The big boxes being built so not. Don't call it a village if you're going to make it look like a square box city.	7/8/2022 6:48 AM
170	Appropriate to warm, coastal locations	7/8/2022 5:53 AM
171	I prefer the homieness of your Colonial/Cape Cod and Craftsman styles, but where is the traditional "California Beach" style? It represents our treasured history. The style is simple with moderate sizing and emphasis is on the surrounding family neighborhood. Com'n people, we are CARLSBAD!	7/7/2022 10:48 PM
172	They have personality. They have character. Buildings like that contemporary eclectic are absolutely horrid. And I would not call it eclectic. The house on Basswood where Adams St ends is what I consider eclectic.	7/7/2022 9:37 PM
173	Quaint	7/7/2022 8:50 PM

174	Clean lines, not overly ornate, continues with the eclectic vibe of the Village.	7/7/2022 8:37 PM
175	Fits in with the existing culture	7/7/2022 8:22 PM
176	They are most in line with what is already there and are beautiful to look at.	7/7/2022 7:56 PM
177	Quaint Classic Classy	7/7/2022 7:06 PM
178	They continue from past history of the town.	7/7/2022 6:29 PM
179	Good opportunities for bottom floor stores/restaurants, fits in with existing architecture.	7/7/2022 6:19 PM
180	They have character and history	7/7/2022 6:16 PM
181	It looks like Main Street USA.	7/7/2022 6:05 PM
182	CA & Hispanic history	7/7/2022 6:05 PM
183	Blend well together, generally contemporary, not fussy	7/7/2022 5:35 PM
184	Definitely Craftsman. Right now we have a hodgepodge of architectural designs in the Village. Craftsman is pretty broad in design options which can give variance but yet keep it all tied together better. Spanish is lovely but we don't have any Spanish that stands out, like Santa Barbara, so we'd be starting from scratch.	7/7/2022 5:34 PM
185	Quaint, Classic & Beachy Styles.	7/7/2022 5:16 PM
186	Fits with Carlsbad lifestyle.	7/7/2022 5:13 PM
187	Variety	7/7/2022 5:02 PM
188	I think they typify Carlsbad.	7/7/2022 5:02 PM
189	Traditional and warm	7/7/2022 4:58 PM
190	They coordinate well with being at the beach.	7/7/2022 4:53 PM
191	American Mercantile is an architectural style I like the most as it depicts the relaxed hometown feel of Carlsbad in a newer revision of its self with an easy setback & does not give the appearance of an overtly dense.	7/7/2022 4:45 PM
192	Keeps the village looking charming and new additions should blend in with existing charming style... not square, modern and ugly	7/7/2022 4:36 PM
193	I feel these styles support many of the older buildings in the Village and convey a feeling of comfort, "small town" and tradition.	7/7/2022 4:36 PM
194	Spanish revival and craftsman have lots of flexibility for place-based adjustments and the light colors are appropriate for the large amount of sun we get in Carlsbad. They are appropriate with the beach and would likely result in a welcoming Mediterranean/Spanish feeling in the neighborhood. Irving Gill isn't as good as the other two, but would also be appropriate due to the soft design features	7/7/2022 8:20 AM
195	Barrio is a spanish word for neighborhood therefore the look fits the spanish (hispanic) culture best	7/6/2022 7:45 PM
196	unique character	7/6/2022 3:26 PM
197	The styles I chose seem to match the area in my opinion.	7/6/2022 1:00 PM
198	Not industrial	7/6/2022 10:40 AM
199	Modern and clean lines. Craftsman retains character of Village	7/5/2022 3:33 PM
200	Match best of current village, please quit pretending the barrio should be the village.	7/4/2022 7:44 AM
201	They have character. Not cookie cutter; not like every other city.	7/4/2022 1:39 AM
202	Historical. Unique to Carlsbad. Not cookie-cutter like everywhere else.	7/3/2022 7:05 PM
203	They have small-town and village character.	7/3/2022 3:44 PM
204	Eclectic and follow what has historically been built	7/2/2022 12:45 PM

205	Are you planning to build these huge monstrosities?!! Horrible in any design!!	7/2/2022 7:58 AM
206	Aesthetic appeal	7/1/2022 7:50 PM
207	Live/work feel. You can step right out of your door into the Village for dinner or entertainment.	7/1/2022 7:12 PM
208	Quaint, village like	7/1/2022 3:23 PM
209	The difference in the height of the exterior feature, it's simplicity and balance.	7/1/2022 1:52 PM
210	Not cheap-looking 3-story boxes-- buildings in the village and barrio should reflect the character of the neighborhood, it's history and the people. It's not a modern part of Carlsbad, it's older, beachier and artsier--the buildings should reflect this.	7/1/2022 1:31 PM
211	I didn't choose one. None of these has color, warm curb appeal, something that says, "I'm home". It needs room for the RESIDENTS to have input. There needs to be room for those who will live there to have impact on the design.	7/1/2022 10:11 AM
212	welcoming, warm , historic, beachy	7/1/2022 7:37 AM
213	windows, air flow, views, design for today and tomorrow's living	7/1/2022 7:23 AM
214	They have character and charm. They are not over imposing cold blocks. They are welcoming, inviting, and allow sunlight to hit the streets and sidewalks.	6/30/2022 10:42 PM
215	More indicative of Spanish / Mexican past.	6/30/2022 9:30 PM
216	We like styles compatible with the coastal environment, giving a fresh, laid back, village look. The existing Victorian (pictured) and other historical buildings in the Barrio need to be honored and maintained, but not duplicated in new buildings. The newer modern projects are glaringly incompatible and offensive.	6/30/2022 6:45 PM
217	The represent the village.	6/30/2022 4:41 PM
218	They have character.	6/30/2022 2:07 PM
219	They have character.	6/30/2022 12:10 PM
220	Clean lines, Not too bare, Not overly ornate and NOT old fashioned looking	6/30/2022 11:33 AM
221	Similar/same as what was in the Village prior to the newer developments	6/30/2022 10:55 AM
222	Some character	6/30/2022 9:56 AM
223	They are all ugly and unhappy.	6/30/2022 8:44 AM
224	fits history and culture of Carlsbad	6/30/2022 8:35 AM
225	I like the craftsman style best for the areas, it has the new mix with the old look. which is what we have the old is growing into the new development.	6/30/2022 8:32 AM
226	The Spanish style blends in more readily to the Southern California lifestyle and predominant architecture of the older areas. It is quaint and inviting. Craftsman properties are not stark and cold looking like some other types of architecture, and are more warm, inviting, and aesthetically pleasant to view.	6/30/2022 7:57 AM
227	Morse en architecture embracing the community that is the barrio. The barrio in Carlsbad is Spanish and always has been. We need to e corporate that in the design.	6/30/2022 7:16 AM
228	They are small and/or traditional for this area, that have curb appeal, that are structures that look like a home and not a house. Most of the pictures I selected are buildings that were constructed when Carlsbad was established or are recognizable to people visiting our city. I have had relatives visiting from other countries (Canada, Argentina, Italy) and they have commented on these charming buildings that have been in Carlsbad since the beginning.	6/30/2022 6:46 AM
229	They have character and are more inviting.	6/30/2022 6:46 AM
230	it reflects the "barrio culture"	6/30/2022 4:13 AM
231	they are diverse and classic while not being cookie cutter	6/30/2022 12:10 AM
232	unique; they can be both modern and classic	6/29/2022 11:16 PM

233	Diverse	6/29/2022 10:41 PM
234	Spanish tile roofing is attractive and lends to diversity feeling of the village	6/29/2022 10:15 PM
235	They are all horrible	6/29/2022 10:00 PM
236	Clean lines, upgraded materials used throughout, Recessed large windows, porches , overhangs, interesting roof lines, distinctive entry ways, classic architectural colors	6/29/2022 9:49 PM
237	Spanish Revival, Contemporary Eclectic	6/29/2022 9:02 PM
238	Arches, canopies, balconies	6/29/2022 8:30 PM
239	Cape Cod give a nice upscale architecture style look for our beach city. Craftsman is adopted well in California. Tudor, Spanish Revival, Victoria are all good choices.	6/29/2022 7:59 PM
240	Individuality	6/29/2022 7:55 PM
241	They are old-fashioned, retro/vintage style looking.	6/29/2022 7:23 PM
242	Maintains current character.	6/29/2022 7:13 PM
243	They have personality.	6/29/2022 7:01 PM
244	They aren't the new ugly giant buildings that are taking away the seaside village we once had.	6/29/2022 6:40 PM
245	Somewhat of beach vibe.	6/29/2022 5:25 PM
246	They exemplify revival architectural styles found historically in California - specifically Spanish, Craftsman, and Prairie (Irving Gill) They are also revival styles that can be constructed today with relative integrity unlike Tudor which just end up looking cheap since the labor and skill to really accomplish half-timbering is cost prohibitive.	6/29/2022 5:07 PM
247	Craftsman, Spanish Revival, Victorian, and Tudor are consistent with the character and historical architecture of the communities. Early and mid-century modern architecture is similarly consistent and, in the case of the Irving Gill style, uniquely tied to the region and often incorporates Spanish Revival elements.	6/29/2022 4:52 PM
248	I did not choose any of these as one that I would like to see would have more orientation to the pedestrian realm with details at the ground level, access to gathering spaces, such as piazzas, etc., period lighting, charm through architectural details such as pop-outs, balconies, etc. None of these examples provide those details or inspiration. While the Cape Cod style offers some charm, it is specific to a different area of the country and, in my opinion, would be out of place in Carlsbad. This is something really important to get right. One should take a look at placemaking design inspiration as a starting point. What makes great spaces great? Why do we want to gather there? What makes it attractive? What timeless design features could be incorporated? What about off-sets and view corridors? Has landscape, lighting, and street furniture been considered? What are the overall goals? Frankly, I am concerned that at this stage, we are including a menu of architectural styles, without spending time and effort on what is the goal and/or desired outcome. Picking a architectural style from a menu of options seems a bit backwards to me.	6/29/2022 4:46 PM
249	add charm to community. Focus on beach and community. Spanish revival fits the history of Carlsbad.	6/29/2022 4:33 PM
250	Keep it clean and simple. Please do not increase the heights. It will already be big enough.	6/29/2022 4:28 PM
251	Reflects the history of California and is consistent with other coastal cities architecture in California. See Laguna Beach, Santa Barbara, Monterey, La Jolla, as examples.	6/29/2022 4:27 PM
252	They have character and they are timeless.	6/29/2022 4:23 PM
253	Rounded edges, less industrial	6/29/2022 4:23 PM
254	They do not look like communist blocks or prisons. They are a reflection of USA's history of homes with a nice looking appearance.	6/29/2022 3:56 PM
255	Spanish style is a classic- clean looking and will not become dated. This is a perfect California and Carlsbad style.It reminds me of Santa Barbara.	6/29/2022 3:46 PM
256	I like the architectural styles that look older, classic and maybe even look like a specific	region/count

ry. I think the Spanish style always looks appropriate and classic in Southern

California but I am not averse to the Victorian (like Village Faire) or the European Tudor (Carlsbad Inn, Carlsbad Water/Spa). I think the newer condos at 163 Acacia are a nice Spanish stucco/Italian blend (although very expensive). The single family stucco home at Chestnut and Garfield (southwest corner) is beautiful.

257	Either copy Neimans or the Spanish history. Please don't do modern, doesn't fit our style. Stop over developing with mega boxes	6/29/2022 3:21 PM
258	Fits a village and diverse cultural community	6/29/2022 3:21 PM
259	Classic styles that fits in a long established community , appropriate styles for region	6/29/2022 3:20 PM
260	Interesting and charming	6/29/2022 3:02 PM
261	traditional styles usually used in small historic structures to be authentic	6/29/2022 2:47 PM
262	In keeping with much of the styling in our area	6/29/2022 2:42 PM
263	Fits in with the culture of the community	6/29/2022 2:39 PM
264	we need to bridge the existing older, poorer carlsbad structures to the denser, wealthier city we've become. To accommodate a diverse set of businesses from low to high end that's comfortable for pedestrians, i think traditional CA spanish revival and craftsman avoid the jarring islands of modern and fake victorian that feel less welcoming and often just ugly	6/29/2022 2:39 PM
265	They mix with current designs, they are best for building 1-4 stories, cheap developers are less likely to mess up and get away with the horrors that have been recently built in the village	6/29/2022 2:30 PM
266	It fits with the So Cal look	6/29/2022 2:29 PM
267	They do not look like stack and packs. They do not look like a prison. They do not look institutional	6/29/2022 2:23 PM
268	The architectural styles that I chose reflect the original character of some of the buildings from early in the city's history.	6/29/2022 1:59 PM
269	originality	6/29/2022 1:51 PM
270	Human scaled massing variation use of organic materials	6/29/2022 1:47 PM
271	Balconies/ windows/ underground parking/ i would hope barrio would have a strong cultural aspect - none of these styles suit. Cedros Avenue in Solana Beach is perfect for the village.	6/29/2022 1:41 PM
272	A mixture of quaint and tradition, that allows density without creating a street of slab-sided buildings.	6/29/2022 1:36 PM
273	Craftsman appeals the most to me because it refuses to hide its bones.	6/29/2022 1:31 PM
274	Fits with barrio theme - feels like southern california	6/29/2022 1:27 PM
275	Clean lines, sophisticated,	6/29/2022 1:23 PM
276	They represent an old style culture that can be eclectic and unique.	6/29/2022 1:13 PM
277	Historic	6/29/2022 12:40 PM
278	They fit the style of Carlsbad and the village feel. Coastal california.	6/29/2022 12:32 PM
279	Usually small bungalows not high rises	6/29/2022 11:44 AM
280	Appropriate	6/29/2022 11:39 AM
281	The mix of wood and brick with the idea that these two materials can be combined in different ways to create a united yet diversified look. All styles chosen are from An earlier era so they reflect a historical past and are quaint. Provides a sense of permanence.	6/29/2022 11:38 AM
282	These styles create a sense of the diverse backgrounds that come to the community, while keeping a cleaner, modern aesthetic that is more versatile to blend in with the existing architecture and environment.	6/29/2022 11:36 AM
283	Spanish revival is our heritage.	6/29/2022 11:35 AM
284	It's Carlsbad	6/29/2022 11:32 AM

285	clean lines open relaxed	6/29/2022 11:26 AM
286	Timeless, suited to culture and climate of area.	6/29/2022 11:10 AM
287	Creative architecture. Inviting, charming. Different from Los Angeles and Orange Counties!	6/29/2022 11:07 AM
288	I like the structure and the craftsmanship about the style.	6/29/2022 11:04 AM
289	The history of these styles in Carlsbad's Village.	6/29/2022 11:00 AM
290	they have character and go with the current styles	6/29/2022 11:00 AM
291	Fits in with existing buildings	6/29/2022 10:50 AM
292	Those styles retain a village image.	6/29/2022 10:37 AM
293	Pleasing to the eye.	6/29/2022 10:27 AM
294	Diverse looks, not cookie cutter, timeless.	6/29/2022 10:27 AM
295	monochrome palette, applicable to southern California- we are not the mid west or east coast	6/29/2022 10:23 AM
296	Long standing style, old fashioned character	6/29/2022 10:22 AM
297	Keeping in line with what we currently have too modern for our "village beach town"	6/29/2022 10:21 AM
298	more traditional style	6/29/2022 10:15 AM
299	Colonial/Cape Cod and Spanish Revival are architecturally interesting.	6/29/2022 10:13 AM
300	COZY, FRIENDLIER FEEL	6/29/2022 10:13 AM
301	Spanish revival is most consistent with heritage. Contemporary Eclectic is more in line with changes to other coastal cities	6/29/2022 10:05 AM
302	Clean but not sterile, with design details and not stark. Welcoming, not prison like.	6/29/2022 10:00 AM
303	Built in fire resistance (tile roofs/stucco). Staggered roof lines.	6/29/2022 9:55 AM
304	They're not modern. Modern architecture should not be used. It's not in keeping with the current eclectic style.	6/29/2022 9:54 AM
305	Buildings are large, but have character.	6/29/2022 9:52 AM
306	Craftsman is our personal favorite architectural style and is prevalent in old SoCal, American Mercantile fits the QUAINtness of our village . WHY NO TRADITIONAL "OLD MEXICO" DESIGN?	6/29/2022 9:49 AM
307	Please keep the quaint charming city from becoming a concrete city	6/29/2022 9:48 AM
308	Quaint, character, welcoming....	6/29/2022 9:45 AM
309	Visually interesting. More small town look. Welcoming to pedestrians vs. cars.	6/29/2022 9:44 AM
310	They fit with the rest of the cities look	6/29/2022 9:44 AM
311	It's time for Carlsbad to modernize and not look like an aging 1980s terra cotta shopping mall	6/29/2022 9:43 AM
312	The respect it conveys for the history of the area.	6/29/2022 9:43 AM
313	Fits with traditional architecture of Carlsbad. Aesthetically, these are not my first picks, but here should be some overall design theme for the village. Newer buildings in the village are of all different architecture styles and it's losing that feel of a village, for sure.	6/29/2022 9:37 AM
314	They are the smallest buildings not huge overwhelming buildings. These buildings have classic charm and character.	6/29/2022 9:36 AM
315	Coastal colors and style. Blends the past with the present.	6/29/2022 9:36 AM
316	They represent what Carlsbad really started out being in the early days.	6/29/2022 9:34 AM
317	Modern & clean. Windows & balconies provide access to light & fresh air.	6/29/2022 9:34 AM
318	Spanish revival is somewhat in keeping with Mexican heritage, American mercantile has a nice village feel and Cape	

Cod style fits the beach town esthetic.

319	These are throwbacks to the original "vibe" of the village, and they're unique! We need more character and color!	6/29/2022 9:28 AM
320	Modern style that will help Carlsbad stand out as unique	6/29/2022 9:27 AM
321	Fits Southern California	6/29/2022 9:22 AM
322	colonial/cape cod	6/29/2022 9:21 AM
323	Not modern, local charm	6/29/2022 9:10 AM
324	As opposed to the concrete and pseudo-Craftsman boxes that have been popping up, these Victorian and Cape Cod styles have a welcoming, unique, historic character that could tie into the best of our existing development and distinguish Carlsbad from other CA coastal downtowns that primarily have a Spanish architectural style. I would love for Carlsbad to be known as the "Carmel of Southern California."	6/29/2022 9:10 AM
325	Exterior access	6/29/2022 9:03 AM
326	Beach vibes.	6/29/2022 9:01 AM
327	Beach vibe with character	6/29/2022 8:59 AM
328	Homey; feels like Carlsbad	6/29/2022 8:56 AM
329	Classic and coastal styles will complement the current Village.	6/29/2022 8:52 AM
330	Looks BEACHY and not city	6/29/2022 8:47 AM
331	More character, less big box look.	6/29/2022 8:46 AM
332	Clean looking with some Spanish influence is perfect for the barrio.	6/29/2022 8:46 AM
333	They fit in with the current iconic buildings in the Village	6/29/2022 8:42 AM
334	Ties to California architectural history.	6/29/2022 8:40 AM
335	Charming	6/29/2022 8:36 AM
336	Still representing some of the historical elements of Carlsbad while embracing a clean vision of the future.	6/29/2022 8:30 AM
337	Fits a beach area. Warm and inviting. Not a modern box that won't age well	6/29/2022 8:30 AM
338	clean, timeless	6/29/2022 8:29 AM
339	Its relaxing and pleasant to the eye	6/29/2022 8:27 AM
340	The Spanish Revival is representative of California's earliest settlements and reminds me of Santa Barbara. It's bright and clean. The Colonial/Cape Cod and Craftsman remind me of a beach town.	6/29/2022 8:27 AM
341	Looks like it belongs in Carlsbad	6/29/2022 8:27 AM
342	Collectively uninspiring. Some of this, some of that. Not integrated creating a disjointed presentation of styles and buildings. Inconsistent street frontage treatments.	6/29/2022 8:26 AM
343	The contemporary and modern look and feel. A sign of new life.	6/29/2022 8:26 AM
344	calm, attractive but different, fun to walk and view, maintains the character of the village	6/29/2022 8:25 AM
345	I think we need to differentiate between the Village and Barrio to allow each to take on their own architectural style which respect their histories but also are complementary. The current Village aesthetic is a mashup which reflects that lack of uniformly applied development regulations and design guidelines and the slow development and redevelopment of the Village. Perhaps the most "iconic" building in the Village, the Twin Inns building, is Victorian but little else reflects this style. The rest of the Village Faire center feels disjointed, including the Starbucks building. Newer buildings are taking on the more contemporary eclectic style, but that doesn't match some other more Tudor inspired architecture. My personal preference for the Village would be more Tudor/Craftsman with some main street/American Mercantile.	6/29/2022 8:24 AM
346	Match w Carlsbad	6/29/2022 8:08 AM

347	Comfortable, modern and cohesive, smooth stucco, second floor stepped back to keep it less overwhelming	6/29/2022 8:08 AM
348	How these builds will compliment the surrounding buildings, enhance the overall culture of downtown Carlsbad, and fit with our community's history.	6/29/2022 8:07 AM
349	Most fitting of a Southern Californian Identity.	6/29/2022 8:05 AM
350	Classic, historical significance	6/29/2022 8:05 AM
351	Iconic and visually appealing	6/29/2022 8:03 AM
352	The design details and that they are appropriate to the local context.	6/29/2022 8:03 AM
353	Preserving the existing character. Relaxed old world small town. Local history was rooted in its Luiseno Indians, Spanish Missions, Mexican Ranchos, and German settlers.	6/29/2022 8:02 AM
354	It is interesting to look at and provides architectural relief from a "box"	6/29/2022 8:01 AM
355	Craftsman	6/29/2022 8:01 AM
356	Whatever is most self sustaining. Buildings should not block all the sunlight. Place Park like areas around new buildings .	6/29/2022 8:01 AM
357	Warm character. There is a story and a history behind these styles. They evoke emotion...unlike big boxy white or beige buildings have no story to tell - no history or reference to anything people can relate to or feel warm about.	6/29/2022 8:00 AM
358	They fit with the neighborhood and are contemporary to the original homes that were built.	6/29/2022 7:55 AM
359	It feels more true to the San Diego Latinx scene which has very much been a part of the Barrio.	6/29/2022 7:54 AM
360	They are more traditional in regards to higher density population areas, and less industrial or bare	6/29/2022 7:53 AM
361	I love the tie to local history with the Spanish Revival style and the historical connection with Mr Gill. Carlsbad has quite a few Craftsman homes, so it suits the area.	6/29/2022 7:52 AM
362	Low key	6/29/2022 7:47 AM
363	Irregular surfaces and rooflines with upper floors Set back from front to create more open feel for pedestrians.	6/29/2022 7:45 AM
364	Has character. Reflects Carlsbad history and/or the beach/coast location. Attractive.	6/29/2022 7:44 AM
365	I really don't like any of them. Why didn't you choose Leo Carillo house? Or Fidels area? Victorian doesn't reflect BEACH, Cape Cod is EAST. Obviously, there is no one theme, it's just a mismatch of poor designs by horrible architects.	6/29/2022 7:44 AM
366	Timeless	6/29/2022 7:43 AM
367	represent all the good facets of the building currently in place	6/29/2022 7:43 AM
368	Traditional.	6/29/2022 7:37 AM
369	Blend with and are similar to existing styles in the Village.	6/28/2022 5:22 PM
370	Timeless, historic, will age well, fitting for the community and current buildings in the area. NOT "modern"	6/28/2022 10:45 AM
371	Test	6/27/2022 3:05 PM

Q4 What do you dislike about the architectural styles that you did not choose?

Answered: 363 Skipped: 62

#	RESPONSES	DATE
1	See answer above.	7/18/2022 10:13 PM
2	The others are dated and tacky.	7/18/2022 6:25 PM
3	The others look outdated and tired	7/18/2022 2:28 PM
4	The others are outdated and ugly. Please stop with the "Spanish" strip mall look.	7/18/2022 2:13 PM
5	We need more choices than what have been presented.	7/18/2022 2:09 PM
6	They don't belong with the culture of California	7/18/2022 1:04 PM
7	Uninteresting.	7/18/2022 6:56 AM
8	I don't think they fit the character of our village	7/17/2022 11:45 AM
9	Dated	7/17/2022 8:58 AM
10	They use all the space and go to close to the roads and sidewalks	7/15/2022 12:27 PM
11	In my opinion the current feel of the village is more approachable than the styles I didn't select. Each of those styles work better as standout structures if they were to be added to the village or barrio it would make the structures feel isolated within the community or over populate the design style making the building feel generic.	7/14/2022 4:21 PM
12	Modern box style not appealing. Could be anywhere USA cookie cutter design.	7/14/2022 9:15 AM
13	Too generic	7/14/2022 2:50 AM
14	Victorian style is applicable to centerpiece buildings but cannot be successfully used multiple times in the Village. Since the Twin's Inn already commands the views from Carlsbad Boulevard as a Victorian centerpiece, it pretty much exhausts the possibilities of its use elsewhere. There is a pseudo-Tudor building, the Old World center, on Grand Ave. It is a very kitschy structure that proves that Tudor is a bad fit for a coastal town. Mid-century modern is bleak and barren. Irving Gill is dull and unoriginal. Craftsman is also a fairly dull choice.	7/13/2022 11:08 PM
15	they don't blend in with the current community	7/13/2022 5:18 PM
16	Too modern, does not really reflect the barrio.	7/13/2022 4:45 PM
17	Boring first of all and the others look cheap especially Mid-Century or Victorian	7/13/2022 3:41 PM
18	Old school, no appeal	7/13/2022 2:18 PM
19	Too modern (only appeals for a short time), or outdated (Victorian looks old and not pretty for today) Cape cod is also coastal and the look will stand the test of time (see the East coast which is old yet beautiful) except that real brick will be less upkeep in the long run but both styles are beautiful	7/13/2022 12:41 PM
20	All that are over two stories. Retail space on the ground floor that sits empty. Lack of setback that would allow for more foliage,trees ,water wise planting and seating areas	7/13/2022 12:17 PM
21	They don't fit in as well.	7/13/2022 11:35 AM
22	Too blankd and doesn't sit back from the sidewalk. Very oppressive.	7/13/2022 11:15 AM
23	Aesthetically unattractive/generic and don't fit well in Carlsbad. The Springhill Suites on Carlsbad Blvd and the building at Carlsbad Village Dr and Harding (with Verizon and Subway) are great examples of how buildings in the Village should *not* look.	7/13/2022 10:47 AM

24	we are not a victorian village, nor do we have any other american mercantile looks to our village - irving gill might be acceptable as a renown architecture	7/13/2022 9:25 AM
25	Styles don't fit area.	7/13/2022 8:32 AM
26	Cold and hard, no charm, does not fit in with what was already existing	7/13/2022 8:11 AM
27	Other styles do not reflect the history of the barrio. The barrio is a unique and special place in Carlsbad we need to protect it, the residents who live there, and its history.	7/13/2022 7:50 AM
28	Flat modern boxed with tiny balconies do not fit in our charming historical downtown	7/13/2022 6:56 AM
29	Mid century is not attractive; downtown merchantile is not a neighborhood residential style but a commercial style. Eclectic is not a beach friendly style. It should fit the culture of the area, beach, coastal, So Calif. Friendly.	7/13/2022 6:55 AM
30	American Mercantile looks like something in the midwest: very boxy with no style.	7/13/2022 3:16 AM
31	too modern	7/12/2022 7:08 PM
32	TOO TALL AND BULKY. And American Mercantile and Contemporary Eclectic do not fit the beach vibe.	7/12/2022 6:17 PM
33	Do not fit style or seem boring	7/12/2022 4:10 PM
34	econo-boxes with no sense of style	7/12/2022 3:49 PM
35	Too modern	7/12/2022 3:21 PM
36	too modern	7/12/2022 2:56 PM
37	Modern and others clashe with coastal lifestyle and current architecture.	7/12/2022 2:21 PM
38	To modern doesn't go with the feel of the area	7/12/2022 2:06 PM
39	More modern styles tend to look outdated and old after time. The simpler lines also tend to show dirt and wear and tear from the elements more.	7/12/2022 1:50 PM
40	boring, looks 70s	7/12/2022 1:17 PM
41	Very little connection to the historical Carlsbad community.	7/12/2022 12:59 PM
42	The buildings that have been put up in Carlsbad the last few years are just huge square boxes with no character or architectural interest whatsoever. They look very institutional and detract from what the VILLAGE of Carlsbad has been. The character of the village is what brings people here and everything built recently completely negates that. Smaller and quaint is the direction we need to keep Carlsbad village a unique destination that feels like home.	7/12/2022 12:43 PM
43	The other styles beside Tudor and Victorian look like everywhere else in the country. Nothing memorable about them.	7/12/2022 10:53 AM
44	Distraction from primary focus of name (sister city in Germany)	7/12/2022 10:39 AM
45	Looks like something that would be in a big city	7/12/2022 10:26 AM
46	N/A	7/12/2022 9:56 AM
47	Contemporary Eclectic	7/12/2022 9:44 AM
48	Too boxy and too close together	7/12/2022 9:34 AM
49	Colonial or cape cod on the west coast is out of context	7/12/2022 9:34 AM
50	We lose the feeling of the village	7/12/2022 9:19 AM
51	Less cohesive and too distinctive to blend in with the coastal community of Carlsbad.	7/12/2022 9:15 AM
52	Not consistent with Carlsbad and hideously ugly. Any place can look like Irvine, an urban jungle.	7/12/2022 8:31 AM
53	I don't think the Tudor fits the feel of the beach town. And if it's too modern it won't stand the test of time	7/12/2022 8:31 AM
54	Ugly	7/12/2022 8:23 AM

55	I don't like huge tall buildings. They look like the unwelcome ones in Oceanside near the beach. Those ruined the coastline.	7/12/2022 7:27 AM
56	They are either too modern or too Anglo-centric European.	7/12/2022 7:23 AM
57	I don't like modern. Too stark, cold, sterile	7/12/2022 7:04 AM
58	Ugly	7/12/2022 6:06 AM
59	Some seem outdated	7/12/2022 5:51 AM
60	More modern styles clash with Carlsbad icons such as: Village Faire (Tudor), Stratford Pub on State & Grand, and Carlsbad Aquifer Water Store.	7/12/2022 3:24 AM
61	Wont fit in with current architecture/feel of town.	7/12/2022 2:15 AM
62	Impractical	7/12/2022 1:26 AM
63	Too boxy. Don't fit the "Village" of Carlsbad that the town is supposed to be. Too many of the new condos are boxes! No village feel at all.	7/11/2022 11:26 PM
64	Dated designs or styles that will not age well and don't compliment existing buildings.	7/11/2022 11:25 PM
65	I dislike copies of other areas/eras	7/11/2022 10:15 PM
66	Not right for the area any longer	7/11/2022 9:52 PM
67	While some of the designs represent an old carlsbad village feel of the past, like the Tudor and Victorian, this feels dated. The modern example looks too cold and uninviting. American mercantile looks out of place with this part of the coast and country,	7/11/2022 9:41 PM
68	The Tudor building in the village just doesn't fit, it's awkward. The other styles aren't as welcoming as the two I selected. We want a vibrant village, but we also want a village where tourists come and think "wow, what an awesome place to live."	7/11/2022 9:05 PM
69	Old fashioned, cluttered feeling...	7/11/2022 9:00 PM
70	Modern is cold rather than quaint and welcoming.	7/11/2022 8:51 PM
71	Doesn't retain the culture of old Barrio.	7/11/2022 8:47 PM
72	Outdated and busy	7/11/2022 8:40 PM
73	Too modern, boxy, concrete, sterile	7/11/2022 8:24 PM
74	Too modern for the way carlsbad used to be	7/11/2022 8:21 PM
75	Many are old school.	7/11/2022 8:20 PM
76	They are boxes and have the same exact look on every corner with no character.	7/11/2022 8:19 PM
77	Too busy or too modern	7/11/2022 7:23 PM
78	Some were boring, no style or charm.	7/11/2022 7:22 PM
79	The styles look modern (mid-century modern, Irving Gill and contemporary eclectic) and not in keeping with our village of Carlsbad. The Craftsman and Spanish Revival might look nice in the Barrio. But I really don't want to see high rise buildings in Old Carlsbad. Colonial Cape Cod looks more like the East Coast, not West Coast. High rise buildings have a tendency to look cold and "brutalist" in our village. I believe these types of buildings would look ugly in our charming village area around State Street. Please don't put them there. We don't want our quaint seaside village of Carlsbad to resemble LA.	7/11/2022 7:17 PM
80	The mid century apartments in the area look unwelcoming- too much concrete , few windows, minimal green space.	7/11/2022 7:06 PM
81	too common, too tall, should limit height to 2 stories.	7/11/2022 7:05 PM
82	They look out of place	7/11/2022 6:59 PM
83	Some are too modern others are too old	7/11/2022 6:56 PM
84	Some look like stacked boxes, no style, cheap, quick and easy to build.	7/11/2022 6:56 PM

85	The other styles can be seen all over the country. None say "Carlsbad Village".	7/11/2022 6:54 PM
86	Too many three story buildings cramped together. Contemporary eclectic looks like a housing project.	7/11/2022 6:43 PM
87	Colonial/ Cape Cod seems more like an East Coast style and American Mercantile seems more like a Midwest and East Coast style; both not really like a West Coast beach town.	7/11/2022 6:37 PM
88	Look out of place to me in a beach town	7/11/2022 6:31 PM
89	They feel generic and prefabricated; lack of detail is a way for developers to cut costs.	7/11/2022 6:28 PM
90	Too uniform	7/11/2022 6:24 PM
91	Too much building, lack character	7/11/2022 6:12 PM
92	Does not fit the small village theme/vibe	7/11/2022 6:10 PM
93	Boxy, Mid Western (Mercantile), Dark, less sunlight feel (Tudor), Wrong Coast (Colonial, Cape Cod).	7/11/2022 5:52 PM
94	Is "Contemporary Eclectic" a recognized style? It's lack of history allows anything to be thrown into such a heading. If a style is going to be called out it should be well documented by several noted scholars. Tudor is just plain ugly and we should leave it for Del Mar and St. Malo, with all their negative exclusivity.	7/11/2022 5:39 PM
95	Touristy looking, cheap looking, Santa Monica looking	7/11/2022 5:36 PM
96	The american mercantile bring more of a metropolis vibe and or cold weather feel. Too much brick.	7/11/2022 5:25 PM
97	Do not fit with typical surroundings	7/11/2022 5:24 PM
98	too heavy, old fashioned, looks like copying old traditional styles, bussy or boring(mid-century)	7/11/2022 5:23 PM
99	To similar like everyone else	7/11/2022 5:10 PM
100	Too boxy looking	7/11/2022 5:04 PM
101	Too distinct and/or not welcoming.	7/11/2022 4:59 PM
102	Do not fit current aesthetics if the neighborhood	7/11/2022 4:58 PM
103	Too modern, cold and uninviting and not quaint.	7/11/2022 4:57 PM
104	Too cutsey	7/11/2022 4:55 PM
105	Visually not particularly appealing	7/11/2022 4:39 PM
106	I do not like all the new modern buildings. They have no charm or character. They look like office buildings and I'm so sad to see so many old houses/buildings being torn down to put them up.	7/11/2022 4:28 PM
107	Tudor and Victorian, while a part of the history of the Village, should not constrain what the future of the Village looks like, and they are too ornamental and dated for a modern inviting beach community. Mid-Century does not translate well into buildings over 3-story, which is mostly what multi-family projects will be.	7/11/2022 4:26 PM
108	Some are too far removed from the village "ambiance".	7/11/2022 4:20 PM
109	Anything that is modern is not consistent with the area's original flavor. If you had had Bungalow, I would have chosen that. Whatever is selected should be consistent with the original buildings in the area and should not be super sized.	7/11/2022 4:20 PM
110	Nothing in particular	7/11/2022 4:19 PM
111	There is a reason we at Ponto call it Old Carlsbad, because it's our version of Old Town San Diego and Old Temecul, the culture hub.	7/11/2022 4:12 PM
112	They are industrial and overshadowing	7/11/2022 4:02 PM
113	Sterile, too contemporary, square, boring, ugly	7/11/2022 4:02 PM

114	to much like any where	7/11/2022 4:02 PM
115	Too stark. No warmth. Sterile.	7/11/2022 4:00 PM
116	Too large cold not village in size	7/11/2022 4:00 PM
117	Too busy.	7/11/2022 3:59 PM
118	Don't like the designs that look outdated and worn down.	7/11/2022 3:48 PM
119	Tudor is not SoCal. There are plenty of modern styling in industrial parks. And the American mercantile is east cost boring.	7/11/2022 3:43 PM
120	They seem clothes in cold not enough windows are natural light	7/11/2022 3:42 PM
121	I don't like how over the top or overly simply the non-selection architectural styles are.	7/11/2022 3:42 PM
122	See them everywhere. Not distinctive to Carlsbad village.	7/11/2022 3:18 PM
123	Trying to be something the city is not, trying to build character the city doesn't reflect	7/11/2022 2:25 PM
124	many of the contemporary styles shown here would diminish the historical charm of the area and add to the sense of function over style created by larger and more dense developments.	7/11/2022 1:56 PM
125	Multistory faceless cubes don't fit with the character of the village.	7/11/2022 1:32 PM
126	Looks cheap, garish, ill fitting	7/11/2022 1:17 PM
127	Those midcentury modern apartment complexes are boring and outdated.	7/11/2022 12:37 PM
128	Modern doesn't fit	7/11/2022 12:13 PM
129	They read too old school	7/11/2022 11:59 AM
130	They would stand out creating too much diversity of styles in the area.	7/11/2022 11:45 AM
131	maybe it's practical to do the retro apartment complexes and stacked condominiums because it uses as much land space as possible but can be jarring next to cool looking 1 and 2 story homes, and doesn't inspire much creativity or show care for the community. it is more closed off because those stacked residences are so isolated from the street and there isn't as much yard space for people to safely enjoy being outside in this naturally great environment. they then drive elsewhere to enjoy being outside making more traffic. the odd little spaces allowed for plants to grow in don't encourage naturally cooling trees and native water-saving gardens to flourish. that heats up the street more and makes it less enjoyable to use the streets for anything other than driving and making more traffic as well as using more energy to cool residences.	7/11/2022 11:43 AM
132	Tired of everything new in Carlsbad looking like an ugly box. Not sure who is approving these new 3 story buildings but you are ruining the village and downtown Carlsbad.	7/11/2022 11:34 AM
133	Too modern and changes character of Carlsbad, not in a good way.	7/11/2022 11:29 AM
134	I don't think they will go well with the current esthetic of The Village and Barrio.	7/11/2022 11:26 AM
135	Ultra modern and contemporary on their own don't blend in with the charm of the village	7/11/2022 11:23 AM
136	They're too ornate, like the Victorian or Tudor styles, and don't have a beachy feel to them. The Mid-Century Modern and American Mercantile styles are just hideous.	7/11/2022 10:28 AM
137	Too modern, not friendly or welcoming. No feeling of history and culture.	7/11/2022 10:18 AM
138	Concerned with maintenance required to upkeep facades.	7/11/2022 10:15 AM
139	No character for some and the Tudor and Victoria should only apply to actual Tudor and Victorian... not new development to "look like".	7/11/2022 9:59 AM
140	I would hate to see contemporary styles that wouldn't compliment current architecture.	7/11/2022 8:47 AM
141	Stark and arid buildings that do not blend in with the landscape. We are in the desert. Coastal desert. Buildings should reflect the terrain and land. Building in harmony with the land.	7/11/2022 4:06 AM
142	They are too stylized.	7/10/2022 4:14 PM

143	Too linear, no warmth with straight lines Mid Century Modern and while Contemporary Eclectic uses mixed material, it, too, can be very linear, plain and lacking warmth. It looks easier to build as it has less making it interesting.	7/10/2022 2:26 PM
144	Victorian- there is a need to preserve buildings that are authentically victorian. But imitation always manage to be too fussy and look out of place. colonial and Tudor- do not have anything to do with Carlsbad and beach living Mid-century modern- always ugly. Leave it to Palm Springs. Contemp eclectic-Whoever let those buildings go up should have been run out of town on a rail.	7/9/2022 4:48 PM
145	I selected craftsmanship but the example shown is an example of faking craftsmanship. the whole point of craftsmanship is work done by hand with extra care and attention to details, not a cookie cutter fake look with cheap materials that are toxic for the environment and people.	7/9/2022 2:38 PM
146	no appeal, looks like typical stores.	7/9/2022 2:22 PM
147	Too fussy or too industrial in appearance	7/9/2022 10:29 AM
148	I chose them all, because people should be able to build whatever they want on their property	7/9/2022 10:20 AM
149	Too large. Too many people. How will Schools, electricity and water infrastructure support this? Bus lines can be placed in other areas to allow building high density housing.	7/9/2022 7:52 AM
150	The others are not charming	7/8/2022 8:59 PM
151	Cold, utilitarian, undistinguished	7/8/2022 6:18 PM
152	The eclectic doesn't fit the vibe. The tutor is dark and not a good fit.	7/8/2022 5:01 PM
153	Doesn't retain the historical feel.	7/8/2022 4:36 PM
154	In their current applications they often look trendy but unfocused, like slapping different finishes to make things look different rather than good. The approach looks dated quickly and often (though not always) does not weather very well.	7/8/2022 3:14 PM
155	no character	7/8/2022 2:25 PM
156	Not appropriate	7/8/2022 12:45 PM
157	Mid century modern looks gross	7/8/2022 12:36 PM
158	They look cold and blocky	7/8/2022 12:34 PM
159	They do not seem to fit in with the newer styles.	7/8/2022 11:52 AM
160	They look out of place or from a different era, or like a business park, or just plain unattractive. None have the feel of "village" or "Barrio".	7/8/2022 11:24 AM
161	Several are too "styled." I don't feel Tudor or Victorian would create a cohesive style for the area.	7/8/2022 10:23 AM
162	Seems dated (though keep the old Victorian and Tudor buildings, just not build new ones in those styles)	7/8/2022 10:22 AM
163	Too modern - has nothing to do with what downtown Carlsbad/the Village is all about.	7/8/2022 8:56 AM
164	Too modern and don't fit in the village or Barrio	7/8/2022 7:52 AM
165	Too cold. Un-inviting. Cheap looking with no character.	7/8/2022 6:48 AM
166	no character, could be anywhere	7/8/2022 5:53 AM
167	Mostly, they are overwhelming. Our community should maintain a simplicity in building styles and, instead, focus on the surrounding, natural beauty of our Pacific Ocean influence and our laid back California beach lifestyle.	7/7/2022 10:48 PM
168	They're drab and have no personality.	7/7/2022 9:37 PM
169	It makes me sad to see all these tall developments in the Village that are three stories. We are loosing the Village feel.	7/7/2022 8:50 PM
170	Too ornate, too dramatic, too dated and not of this area.	7/7/2022 8:37 PM

171	Too modern	7/7/2022 8:22 PM
172	Too different--would not fit in with current structures.	7/7/2022 7:56 PM
173	Don't care for the 60s outdated modern look stick to the stylish classics	7/7/2022 7:06 PM
174	They are usually cheaply constructed, bland in appearance, and lack character.	7/7/2022 6:29 PM
175	Tudor is pretentious, Irving Gill a little too boxy to fit in with natural surroundings, mid century example is a bad example, existing Victorian bld in Carlsbad are all we need, Colonial Cape Cod looks too East Coast, Contemporary Eclectic can get real standard/boring real quick, Mercantile is awesome but not for So Cal. To answer below question I'm not going to go be a weirdo and snap pics of my neighbors houses, so I'll just tell you: I love the new Buena Vista Lagoon townhouse, think it's called Laguna Row. Absolute perfection IMO!	7/7/2022 6:19 PM
176	Boxy and sterile. Victorian is a little much and Spanish Revival feels too Santa Barbara	7/7/2022 6:16 PM
177	Some of the other styles will make Carlsbad look like every other city. We need to keep unique and small town.	7/7/2022 6:05 PM
178	Too modern & changing outdated styles don't like East Coast look here	7/7/2022 6:05 PM
179	Too fussy or too modern	7/7/2022 5:35 PM
180	As much as I like the Victorian, it does better standing alone. Same with the Tudor. Cape Cod isn't Carlsbad and wouldn't work well. The others are just too plain/basic for a dynamite beach town. Craftsman is it.	7/7/2022 5:34 PM
181	Too modern & cold.	7/7/2022 5:16 PM
182	Not modern enough and look out of place in So Cal.	7/7/2022 5:13 PM
183	Mid-Century Modern looks like a prison. The rest don't fit the Southern California/Carlsbad mold	7/7/2022 5:02 PM
184	Cold and too modern	7/7/2022 4:58 PM
185	Do not go at all with the area.	7/7/2022 4:53 PM
186	Spanish Revival has too many pop outs, roof and chimney variations, gives the appearance of higher density.	7/7/2022 4:45 PM
187	They do not fit existing style and "mood" of a charming village	7/7/2022 4:36 PM
188	I feel Contemporary Eclectic buildings work well in large cities (i.e. the Little Italy section of San Diego) and represent more of a "hustle bustle" environment. Although the original Twin Inns' Victorian style is historic and makes a singular statement on Carlsbad Blvd, repeating it would be overdone.	7/7/2022 4:36 PM
189	The current Victorian and Tudor buildings currently in the Village and Barrio are iconic, but having them all over the Village/Barrio would reduce the beach-feel. Mid-century modern and contemporary Eclectic are far too Brutalist to feel appropriate. American Mercantile and Colonial/Cape Cod is a bit out-of-touch and not very welcoming to the community.	7/7/2022 8:20 AM
190	I don't like the look on any of them	7/6/2022 7:45 PM
191	look like prison, or dilapidated .	7/6/2022 3:26 PM
192	The styles I didn't choose stand out too much for the area.	7/6/2022 1:00 PM
193	Doesn't fit in community.	7/6/2022 10:40 AM
194	Out of character(let Victorian San Diego be a standout for downtown). Stay cozy. Contemporary looks better on outskirts.	7/5/2022 3:33 PM
195	Boxy. And that's NOT craftsman.	7/4/2022 7:44 AM
196	Typical. Not unique. Every other city looks like this. Make Carlsbad unique, which is what will draw tourism.	7/4/2022 1:39 AM
197	Some of boring stuff you see everywhere. Doesn't fit with the Village or Barrio. We're already going down this path and it makes me sick.	7/3/2022 7:05 PM

199	Too boxy. Looks too big box industrial	7/2/2022 12:45 PM
200	They are all taking away of all of the charm that brought my family to Carlsbad 34 yrs ago!!!	7/2/2022 7:58 AM
201	Too boxy, unattractive	7/1/2022 7:50 PM
202	Looks dated or soon to be dated, also not quite right for living on a commuter line.	7/1/2022 7:12 PM
203	Too modern! the Victorian is not modern. But it's certainly not a coastal look	7/1/2022 3:23 PM
204	Lack of different paint colors. The colors look spartan and dull. The building at the corner of Harding st and Chestnut Ave is a good example of a good use of color	7/1/2022 1:52 PM
205	The others don't fit in with this part of Cbad	7/1/2022 1:31 PM
206	I want something that tells the world that people are comfortable, safe and at home here. None of these says that. You should check out the winners of affordable housing projects in the US like these https://americas.uli.org/201014kempawardwinners/	7/1/2022 10:11 AM
207	don't fit with the beachy lifestyle Carlsbad promotes	7/1/2022 7:37 AM
208	designed for life of yore; not focused on today's needs, family configurations, household and life styles	7/1/2022 7:23 AM
209	Cold, sterile, cubes	6/30/2022 10:42 PM
210	California doesn't have much history with East Coast architectural styles.	6/30/2022 9:30 PM
211	Contemporary, Tudor, Spanish revival and mercantile are not California coastal in style or design.	6/30/2022 6:45 PM
212	Too modern for the village.	6/30/2022 4:41 PM
213	They are too plain.	6/30/2022 2:07 PM
214	Too modern or too old fashioned.	6/30/2022 12:10 PM
215	Tudor and Victorian are Dated, Old fashioned, overly ornate, busy, and do not fit in with todays designs. American Mercantile is depressing...this is not Philadelphia! Mid Century modern is nice but a little too barren and commercial looking.	6/30/2022 11:33 AM
216	To me the remaining styles don't blend with the existing styles	6/30/2022 10:55 AM
217	Not enough character	6/30/2022 9:56 AM
218	Ugly.	6/30/2022 8:44 AM
219	mid century does not look modern, aesthetically pleasing	6/30/2022 8:35 AM
220	The victorian has been Carlsbad historical look, yet the look does not feel like a BEACH community. and the the beach is why most people live here and vacation here.	6/30/2022 8:32 AM
221	The stark cold-looking exteriors that are not warm and welcoming; and also appearing to not blend in well with the rest of the village/barrio architecture already present.	6/30/2022 7:57 AM
222	They don't tie into the community that makes up the barrio.	6/30/2022 7:16 AM
223	They are too big, too tall, boxy, too plain, modern. I moved to Carlsbad when I was nine years old, I am now 54 and have owned on Skyline Road for the past 20 years. It saddens me to see the enormous multi story monstrosities being constructed in the village.	6/30/2022 6:46 AM
224	They are less inviting and less unique	6/30/2022 6:46 AM
225	Some are too modern and sterile	6/30/2022 4:13 AM
226	they are cold and stark, not fitting for our Village and Barrio feeling! we also need some color, we have way too much beige and grey now	6/30/2022 12:10 AM
227	a couple are boring - the others just don't seem to fit.	6/29/2022 11:16 PM
228	Simply a matter of taste.	6/29/2022 10:41 PM

229	They don't fit the architecture, custom, community look of the barrio	6/29/2022 10:00 PM
230	Blank spaces, repetitive details, small and few windows Architecture and materials such as brick that is more typical for east coast	6/29/2022 9:49 PM
231	Straight, cold feeling design lines and materials. Not welcoming to pedestrians.	6/29/2022 8:30 PM
232	The recent buildings of the contemporary eclectic really does not fit the image of Carlsbad Village. It is ugly. The American Mercantile belongs to industrial cities. The mid-century is too avant grade for our city.	6/29/2022 7:59 PM
233	Souless boxes	6/29/2022 7:55 PM
234	They are TOO boxy & modern.	6/29/2022 7:23 PM
235	Boxy, boring and plain.	6/29/2022 7:13 PM
236	Some industrial looking and some look like army barracks.	6/29/2022 7:01 PM
237	Big. No character. Cookie cutter.	6/29/2022 6:40 PM
238	Just don't look like they fit area.	6/29/2022 5:25 PM
239	Cape cod has no significant relevance in Southern California and Victorian is impossible to achieve in a modern construction labor market.	6/29/2022 5:07 PM
240	American Mercantile and Colonial are inconsistent but the interaction with the street is a great feature that should be integrated into the design guidelines.	6/29/2022 4:52 PM
241	While the Victorian example is representative of a single corner in Carlsbad, and one to be admired, the rest all are incredibly out-of-place. I am a huge fan of Irving Gill, but, in my opinion, his style does not meet the goal to create a village-like atmosphere to promote a vibrant and attractive place with community connections and a lively street scene. The rest of the examples are even worse and, in my opinion, do not have nearly enough detail or thought as to how to best off-set density with attractive design. We can do better than these examples. Many of us have travelled around the world and enjoy visiting places with densities far in excess of what is being proposed for Carlsbad, yet we love to be there, to walk the streets, to visit the shops and cafes, to meet with friends and family, to rest and people-watch, and on and on. What is it about those places that make them so attractive? That's where this dialogue should start. Again, I think we can be better!	6/29/2022 4:46 PM
242	Eclectic and modern don't fit Carlsbad and wouldn't add to overall ambiance that we should convey. They seem to be outliers	6/29/2022 4:33 PM
243	Would like to see more culture which is more representative of that area.	6/29/2022 4:28 PM
244	Too limited in terms of time frame, i.e. here today, gone tomorrow.	6/29/2022 4:27 PM
245	Too industrial looking. Looks depressing and doesn't have any character or charm.	6/29/2022 4:23 PM
246	Sharp edges, not warming or quaint	6/29/2022 4:23 PM
247	They look like communist block buildings and prisons.	6/29/2022 3:56 PM
248	Some are more cold and unwelcoming-no more 3 stories please! Does not fit into our village feel. Of the others not chosen, craftsman is an ok choice.	6/29/2022 3:46 PM
249	I don't like the big square boxes that look like shipping containers or communist style. I'm not sure why anyone in Southern California would want any style that has tiny windows.	6/29/2022 3:24 PM
250	Modern doesn't fit. Enough with the ugly boxes	6/29/2022 3:21 PM
251	Too sterile and I inviting.	6/29/2022 3:21 PM
252	I just don't like mid century modern and I feel like it may be a shorter term trend that may become dated looking quickly. I like colonial/ cape cod but it doesn't make sense in so cal.	6/29/2022 3:20 PM
253	lifeless	6/29/2022 3:02 PM
254	looming large generic ugly impersonal gigantic curb to curb boxes	6/29/2022 2:47 PM
255	To cutesy or coldly modern	6/29/2022 2:42 PM

256	To modernize and not welcoming	6/29/2022 2:39 PM
257	They don't mix well with what we have, they don't fit in a relatively small "village", they ugly and/or depressing. i feel we don't want a few structures with flashy architecture to dominate	6/29/2022 2:39 PM
258	Do not fit either with current Village feel, they allow builders to put together the cheapest ugliest box like shameful buildings, as the ones on Grand/jeffersons, grand/madison, I5 and CVD. Decent modern designs require architects who are not just cheapo builder puppets and ask for a fair pay, and the use of better materials resulting in condos that have to sell for \$2- 4M and up. Not to say that the degrading and offensive boxes popping up are much cheaper anyway... We may as well keep the village attractive and not a dump	6/29/2022 2:30 PM
259	N/A	6/29/2022 2:29 PM
260	HORRIBLE!	6/29/2022 2:23 PM
261	Mid-century modern and contemporary eclectic don't blend with the early architecture and create a cold, unattractive, plain feel. Also, I worry about the village ending up looking like a cookie cutter of Orange County neighborhoods.	6/29/2022 1:59 PM
262	Lacking character. Squares may be practical to maximize the space, but it needs to be more more than just boxes next to each other.	6/29/2022 1:51 PM
263	Tudor is tacky, Mercantile is too boxy and imposing	6/29/2022 1:47 PM
264	Not enough windows or balconies- they all look uninviting	6/29/2022 1:41 PM
265	Big box, cheap looking development that could be an extension of Orange County.	6/29/2022 1:36 PM
266	I do not like the recent trends of squared-off blockiness. They contain the air of production that's been streamlined to be cheaper and more prison-like. I prefer designs that mirror the natural fractal curves and impressions of the shoreline. The public safety training center is a good example.	6/29/2022 1:31 PM
267	Irving Gill -old and dusty Craftsman and Victoria - too cutesy Colonial - too east coast	6/29/2022 1:23 PM
268	The word "Village" does not signify modern or contemporary. Having a unique character can attract tourists and can make the Village/Barrio unique.	6/29/2022 1:13 PM
269	I don't like quaint or old looking.	6/29/2022 12:54 PM
270	Bland Boxy	6/29/2022 12:40 PM
271	Modern can be done well but when not done well it is very cold and unwelcoming. what is modern today may look dated tomorrow.	6/29/2022 12:32 PM
272	Too big too city like not village	6/29/2022 11:44 AM
273	Stark and will not stand test of time	6/29/2022 11:39 AM
274	Too modern to be quaint and do not fit the feel of State st. People go to State st because of the quaintness.	6/29/2022 11:38 AM
275	Other style are either overly ornamented and quaint, or too sterile and uninviting.	6/29/2022 11:36 AM
276	Too tall, too close to the street, very, very little landscaping, no trees	6/29/2022 11:35 AM
277	Out of place in Cbad.	6/29/2022 11:32 AM
278	too tight too old style	6/29/2022 11:26 AM
279	Doesn't fit into Carlsbad's "Village by the Sea" mantra. Victorian shown is an anomaly built here years ago. Other designs are either too modern/urban or too small town.	6/29/2022 11:10 AM
280	WAY too much LA and OC influence!	6/29/2022 11:07 AM
281	Some of the other styles give that "clustered" effect. They need to appear more spacious.	6/29/2022 11:04 AM
282	Not historic in nature.	6/29/2022 11:00 AM
283	too modern and square	6/29/2022 11:00 AM
284	they look cheaper and out of place compared to prevailing style in the barrio	6/29/2022 10:50 AM

285	You can find them anywhere, especially those ugly 4 story structures that now appear all over downtown Carlsbad.	6/29/2022 10:37 AM
286	American Mercantile is a style? Would any architect be proud to have their names associated with something that looks like this picture?	6/29/2022 10:27 AM
287	Cookie cutter, bland, will look very dated soon	6/29/2022 10:27 AM
288	Representational of Mid West or East Coast architecture	6/29/2022 10:23 AM
289	cold, stark, boxy	6/29/2022 10:22 AM
290	Sterile, modern and not in touch with the existing architecture	6/29/2022 10:21 AM
291	too cold, modern - nothing like our village was and should be	6/29/2022 10:15 AM
292	Contemporary Eclectic, a.k.a. "Eastern Bloc Chic," is absolutely hideous; Grand Ave looks terrible with this boxy style of architecture and cheap looking facade materials, especially the buildings currently located at the old Packard Dental Office site and the building located at the corner of Grand Ave and Jefferson St (old day care building site). Irving Gill and Mid-Century Modern are too plain and box-like and are not attractive. Please stop building 3-5 story giant boxes in Carlsbad Village and Barrio areas. The big grey box multifamily building at the corner of Harding St and Pine Ave is exactly what the Village and Barrio do NOT need.	6/29/2022 10:13 AM
293	COLD, OUT OF PLACE	6/29/2022 10:13 AM
294	Tudor kind of what we have know looks very dated. Cape Cod does not fit the area. Irving Gill also does not fit Carlsbad character. American Mercantile looks like it belongs in Kansas. Victorian there are some elements of in Carlsbad now but most are being replaced.	6/29/2022 10:05 AM
295	Stark, sterile looking, lifeless, with a prison aesthetic. Some are out of character for the area, but lovely, like cape cod and Victorian.	6/29/2022 10:00 AM
296	No set backs. Too boxy. Too tall. No beach style. Too modern. Too fake. You can't just slap architectural "style" on a 4 story box. Or so far it hasn't worked well in the Village so far.	6/29/2022 9:55 AM
297	Too modern.	6/29/2022 9:54 AM
298	The types that I did not choose, don't currently fit in with the newer building surrounding them.	6/29/2022 9:52 AM
299	Tudor has always looked odd around here,. This new Spanish Revival and Irvin Gill are going to look so dated within a decade or two..... just like some of the old housing tracts in Carlsbad east of 5	6/29/2022 9:49 AM
300	The take away from the beach charm that I grew up w here. Too tall!!	6/29/2022 9:48 AM
301	TOOO modern and cold looking	6/29/2022 9:45 AM
302	Too contemporary or old fashioned. Somewhere in the middle is more appealing to my eye.	6/29/2022 9:44 AM
303	Too modern	6/29/2022 9:44 AM
304	"Spanish revival" is generally gaudy and very minor league, please stop building this. The other design templates are simply outdated and will not age well.	6/29/2022 9:43 AM
305	What you've basically shown are big ugly oversized boxes, none of which are appropriate for the village and barrio.	6/29/2022 9:43 AM
306	Plain, don't fit with other architecture	6/29/2022 9:37 AM
307	The large overwhelming contemporary buildings remind me of what sadly I have been seeing put up in village area recently. I dislike tall city buildings blocking the breeze also it takes away the casual beach town community feel and seems more like a disgusting L.A. beach town.	6/29/2022 9:36 AM
308	Too cold, boxy (like expensive strip mall design), and not SoCal coastal.	6/29/2022 9:36 AM
309	Cold, not welcoming... not community friendly....	6/29/2022 9:34 AM
310	Old fashioned, colonial. Not as many windows or balconies.	6/29/2022 9:34 AM
311	Contemporary/eclectic style is cold, unwelcoming and out of character for beach town. Victorian is outdated, mid century modern also is out of character. Irving Gill and Craftsman	6/29/2022 9:33 AM

would be other possible considerations.

312	They're boring and look like every other shopping mall building.	6/29/2022 9:28 AM
313	Outdated and overused in other areas	6/29/2022 9:27 AM
314	All styles can be attractive if done well, but Spanish is usually ok even if done poorly.	6/29/2022 9:22 AM
315	I also liked the craftsman which are both modern. I want the architectural design to flow, as in it's there but I don't see it, which is the look most recent buildings have. CVD & 5 as well as state street.	6/29/2022 9:21 AM
316	Too modern and not costal	6/29/2022 9:10 AM
317	The other styles are too generic and modern, and won't distinguish Carlsbad from other coastal cities. We already have too much of a hodgepodge of styles, and the city needs guidelines to achieve a cohesive look moving forward.	6/29/2022 9:10 AM
318	Interior access	6/29/2022 9:03 AM
319	Do not have coastal vibes and are outdated	6/29/2022 9:01 AM
320	Boxy and no charcter	6/29/2022 8:59 AM
321	Too city-like or don't fit flavor of Carlsbad	6/29/2022 8:56 AM
322	Others will seem out of place for the overall style of Carlsbad. While we do have some Victorian and Tudor examples, those are unique and stand out (in a good way), but too many of those styles will lessen the existing buildings uniqueness.	6/29/2022 8:52 AM
323	No character ... big, boxy stack and packs like they have been building all over California. Also, too brown. We are a beach community and not Irvine.	6/29/2022 8:47 AM
324	They look like industrial buildings, prison like.	6/29/2022 8:46 AM
325	Contemporary Eclectic and Mid Century Modern have little architectural interest, just boxes.	6/29/2022 8:46 AM
326	They need to be done first class - for instance like O'Sullivan's!! not the tutor style on the corner of Grand and Jefferson - it would be okay if fixed up	6/29/2022 8:42 AM
327	Many of the styles are rooted in East Coast or Euro architecture which feels forced and out of place in Southern California.	6/29/2022 8:40 AM
328	Industrial looking	6/29/2022 8:36 AM
329	Personally, they are not my favorites for our village/barrio but, in and of themselves, they are nice too. Just don't want too many different styles in such a small, overall space. Some cohesion would be great while still allowing ownership the ability to make personal decisions on their properties.	6/29/2022 8:30 AM
330	Cold, dark, does not allow light through the building	6/29/2022 8:30 AM
331	too ornate, too busy, too monotone, too industrial	6/29/2022 8:29 AM
332	Stark and over bearing	6/29/2022 8:27 AM
333	Tudor and Victorian are outdated and not appealing. I have noticed so much Contemporary around town with private builders that I don't want the multifamilies to add and make too much contemporary. American mercantile does not fit with a beach town.	6/29/2022 8:27 AM
334	Looks like what dosen't belong	6/29/2022 8:27 AM
335	See above	6/29/2022 8:26 AM
336	The architectural styles that were not selected don't best fit the Village and Barrio culture and character of the area.	6/29/2022 8:26 AM
337	no style, cheap-looking, hurts the eyes, blaaa	6/29/2022 8:25 AM
338	I think the mid-century modern, Irving Gill, and contemporary eclectic are too minimalist for our Village and Barrio and don't have enough beach/seaside character. Victorian is too difficult to pull off with high quality without looking too much like an amusement park.	6/29/2022 8:24 AM

339	Boring	6/29/2022 8:08 AM
340	Large massing, stay away from ugly 80's Tuscan style, must be smooth stucco Santa Barbara style instead.	6/29/2022 8:08 AM
341	They are just not what I think of when I think of the history, culture, and overall aesthetic of the village/barrio.	6/29/2022 8:07 AM
342	Not fitting of a Southern Californian Identity. Seems to offer less utility.	6/29/2022 8:05 AM
343	I definitely don't like contemporary eclectic because it will become dated quickly and I believe is an eyesore.	6/29/2022 8:05 AM
344	To plan or are a forced style not typically found in southern California coastal communities.	6/29/2022 8:03 AM
345	Modern design and contemporary eclectic are too trendy and will become outdated long term, American Mercantile is not part of our local history. Irving Gill influence is interesting and found in parts of San Diego and could fit into Carlsbad but not in the Barrio or Village. Tudor reserved for Village areas.	6/29/2022 8:02 AM
346	The only other consideration would be Spanish Revival but it's too bulky. The Commercial design requirements will remain and I think a mix of styles is better than uniformity	6/29/2022 8:01 AM
347	Too trendy	6/29/2022 8:01 AM
348	Victorian where do you put solar panels Take a look at Paso Robles in Northern Calif for building designs	6/29/2022 8:01 AM
349	Your example of Craftsman style is wayyy off. The new, towering new boxy buildings in the Village are already a total vibe kill. They make us sad.	6/29/2022 8:00 AM
350	Not in keeping with original age of current buildings, style doesn't match up. Keep Carlsbad charm in place!	6/29/2022 7:55 AM
351	Too modern, has no culture.	6/29/2022 7:54 AM
352	They are cold, apartment-like and lack classic style	6/29/2022 7:53 AM
353	Some of them are taking away the charm of the barrio and old Carlsbad. Or they are to "East Coast".	6/29/2022 7:52 AM
354	Too big, bulky and tall. Changes the character of our city to become too big.	6/29/2022 7:47 AM
355	Too boxy. Tower over sidewalk.	6/29/2022 7:45 AM
356	Lacks character, too blocky looking if not done right, cookie cutter looking.	6/29/2022 7:44 AM
357	BOXES, institutional looking, no organic connection at all to the Pacific Ocean, beach, sand, NO personality or character. Cheap, hideous boxes.	6/29/2022 7:44 AM
358	Tudor and Victorian do not fit with Coastal North County	6/29/2022 7:43 AM
359	Tudor looks artificial and out of place	6/29/2022 7:43 AM
360	Some are overdone. Look like a box.	6/29/2022 7:37 AM
361	Out of place for the Village architecture.	6/28/2022 5:22 PM
362	Not a big fan of the modern aesthetic and it doesn't fit in with the community, culture and current buildings in the barrio.	6/28/2022 10:45 AM
363	Test	6/27/2022 3:05 PM

Q6 What else would you like the city to consider when creating objective design standards for multifamily housing and mixed-use projects in the Village and Barrio?

Answered: 316 Skipped: 109

#	RESPONSES	DATE
1	<p>Enough with the old lady Mumu shops. Where is the toy store? The book store where authors host and community gathers? The village is missing so many great opportunities for vibrant development and use. There are literally like 25 awful clothing stores and junky gift shops.</p> <p>When considering mixed use let's try to get tenants in who are actually interesting and useful. Oceanside is doing an amazing job with the mixed use scene. Things like Tremont Collective. As a parent of young children who just moved here from a vibrant and well-planned city we see so many missed opportunities for mixed use. So many strange shops what a waste of space in what could be a bustling village center. We have the most walkable of the beach towns.</p> <p>Let's use it!</p>	7/18/2022 10:13 PM
2	Are we really letting grandmas decide what looks good instead of architects and designers?	7/18/2022 6:25 PM
3	Why limit design choices and have design decisions made by amateurs? The result is going to be very hack-ish. Is that what we want, Carlsbad?	7/18/2022 2:28 PM
4	This design limitation choice is a bit ridiculous in the first place and will lead to a bunch of repeated building designs? To what end? That will look weird and I'm guessing bad. If you want things to look better, please work on removing the homeless, instead.	7/18/2022 2:13 PM
5	Stop high density low to no income housing projects from continuing to operate under city funding. It is tanking the growth of the Barrio community.	7/18/2022 2:09 PM
6	Keep the height no more than 2 stories. As many trees and greenery as possible. California native only.	7/18/2022 1:04 PM
7	Inclusiveness.	7/18/2022 6:56 AM
8	MIXED USE!	7/17/2022 11:45 AM
9	Cost, neighborhood community feel, longevity of design and overall sustainability.	7/17/2022 8:58 AM
10	Parking is becoming very difficult to Finland I'm not talking about days where there is a special event	7/15/2022 12:27 PM
11	Sustainability, from green roofs, to solar panels and grey water systems. Accessibility, parking and functional public transportation settings (benches, solar powered shade umbrellas) are also important.	7/14/2022 4:21 PM
12	Access, traffic control, traffic calming, landscape designs to allow shade and drought tolerant	7/14/2022 9:15 AM
13	Low-cost housing	7/14/2022 2:50 AM
14	Lots of trees(clean our air) and create a homey environment with plants or hanging flowers or fountains Make it amazing! You can do it!	7/13/2022 12:41 PM
15	Setbacks that would allow for all I've listed above that is lacking in new current development.	7/13/2022 12:17 PM
16	Quality!	7/13/2022 11:35 AM
17	Wider sidewalks and bike paths.	7/13/2022 11:15 AM
18	Don't overwhelm the Village and its streets with too much height or with buildings that completely fill each lot. Require buildings that have both form and function rather than just whatever is least expensive for the developer to build.	7/13/2022 10:47 AM
19	More parking	7/13/2022 8:32 AM

20	Keeping the original charm of Carlsbad. That's what people liked about it in the first place. As someone who grew up in this town, breaks my heart to see how the village is changed and where it's headed. It's not a good direction and most locals agree. Please cater to the locals not the newcomers. The locals have been here and given the city the culture the newcomers love. That culture of Carlsbad will be lost if all the locals are pushed out because they can no longer afford to stay and only newcomers and tourists are catered to. Local stick together and we all talk about this all the time. Locals are sad about the current changes. It feels like orange county	7/13/2022 8:11 AM
21	Refrain from buildings that go from the sidewalk straight up these are hideous buildings and have no place in the barrio. Family homes have front porches and are welcoming. Restaurants have tables on the sidewalk. The barrio is an amazing place keep the walkable feel.	7/13/2022 7:50 AM
22	Plenty of parking for the units and green spaces. Builders need to incorporate trees and plants into their design	7/13/2022 6:56 AM
23	There are examples in the Barrio of duplexes, front patios, low fences, inviting designs, that fit the neighborhood- eclectic or Victorian or cape cod does not fit the neighborhood of Carlsbad. My father was an architect and owned his own architecture firm and crested designs for commercial buildings in Ventura. I'm on a board that owns rental property in the barrio offering affordable rentals to our employees. That's why I have an interest in this project. Thank you.	7/13/2022 6:55 AM
24	Picnic areas, green space.	7/13/2022 3:16 AM
25	Not too tall. 3 stories is plenty high. Need to keep small town feel not urban city.	7/12/2022 7:08 PM
26	The new development with Pure Taco is great, it is in scale with the city. And the new restaurant where Koko Beach used to be is also wonderful. STOP THE TOO TALL AND BRICK / CITY STYLE LOOK. We are an eclectic beach village, treat it as such.	7/12/2022 6:17 PM
27	Noise buffers for homes near train tracks (tall trees; sound walls), access to outdoor space (balconies, community garden, building courtyard), native vegetation	7/12/2022 4:10 PM
28	Apartment buildings with residences on the upper floors and retail shops that serve the community - such as bodegas, a bank branch, a lunch counter, a barber shop, etc.	7/12/2022 3:49 PM
29	Wider set backs	7/12/2022 3:28 PM
30	Adequate parking	7/12/2022 3:21 PM
31	Quite building in the village!	7/12/2022 2:46 PM
32	Room to walk, be outdoors with family and friends. More plants than cement.	7/12/2022 2:21 PM
33	Affordability, to many housing options in carlsbad are unaffordable to 90% of the population we need to grow. Carlsbad has always been welcoming and is now becoming the Beverly Hills of San diego with a snobby vibe.	7/12/2022 2:06 PM
34	Adequate parking so that their cars do not create parking problems. Part of the beauty of Carlsbad is its relative ease of living here compared to more congested areas.	7/12/2022 1:50 PM
35	keep the current height restrictions	7/12/2022 1:17 PM
36	Architecture should not try to use every available square foot to the maximum extent possible. It should be styled to be pleasing to the eye rather than most efficient use of space.	7/12/2022 12:59 PM
37	Smaller buildings that don't overshadow and crowd out what is already there. We don't need 4 story monoliths. It would also be nice if the actual prices would be something regular people could afford. We hear talk of affordable housing but the units are all millions of dollars and rents are 4-5000. Nothing about that is affordable.	7/12/2022 12:43 PM
38	Lightening	7/12/2022 10:53 AM
39	Maintain consistent physical culture or the only Carlsbad Village left will be a street by that name.	7/12/2022 10:39 AM
40	Build single family homes instead	7/12/2022 10:26 AM
41	Welcoming, public facing, homes NOT garage fronts, maximize space	7/12/2022 9:56 AM
42	I think we should be fighting this state requirement. It is ruining California. Zoning laws are	7/12/2022 9:44 AM

what has kept California a nice place to live. More people will put more strains on our water and electrical utilities. We can not afford this.

43	Try not to build out using every square foot, downsize the unit sq ft - and use that to give art and character to the building. Sq ft is not important anymore, character is- don't screw it up .	7/12/2022 9:34 AM
44	Walkability, safe streets. Limited auto access.	7/12/2022 9:34 AM
45	Massive size. Lack of open space.	7/12/2022 9:19 AM
46	Include common green areas.	7/12/2022 9:15 AM
47	This not about the design BUT as a barrio community I think Saturdays should be the Barrio market. Close the little street in from of Lola's have traditional Mexican vendors like: pottery, blankets, Jewlery. Keep the live music. Make sure it remains a traditional Mexican market. We LOVE the community feel it has now and would love to see it grow.	7/12/2022 8:31 AM
48	A cohesive plan that blends designs. Also ample parking	7/12/2022 8:23 AM
49	Keep the height low and don't build on both sides of single family residences/buildings.	7/12/2022 7:23 AM
50	Cohesiveness of styles. Doesn't have to be just one style, but they should blend well together . No mish-mash	7/12/2022 7:04 AM
51	Lower density	7/12/2022 6:06 AM
52	The most important thing should be the accessibility of the standards to allow creation of dense multi family homes. We have a housing problem in Carlsbad and "aesthetics" shouldn't be used as an excuse to avoid fixing it.	7/12/2022 5:51 AM
53	Consistency and Continuity, so the community looks cohesive and planned out, rather than a jarring hodge podge.	7/12/2022 3:24 AM
54	Designs must fit in, have enough parking space, be in areas that can take the traffic, and be durable.	7/12/2022 1:26 AM
55	Make the developers put some character and interest in their designs!!	7/11/2022 11:26 PM
56	Design standards that require minimum upkeep to continue looking well maintained.	7/11/2022 11:25 PM
57	Dont over build. Consider impact on traffic and parking.	7/11/2022 11:02 PM
58	I want there to be open space and not hundreds of doors	7/11/2022 10:15 PM
59	As a former city resident but still in CUSD school boundaries and a daughter in preschool in the barrio: Wider pedestrian sidewalks and for emerging smaller vehicles, more closed off areas for walking. Lessen the ability for traffic to speed through the city and for large vehicles to move through the oldest neighborhoods. Create parking garages away from neighborhoods to welcome the same size crowds but with the ability for walking or small vehicle lanes to encourage less large vehicles -Part of multiple use concept.	7/11/2022 9:52 PM
60	Green features such as solar panels and smart appliances and well lighted pathways with LED or smart lighting. Beautiful landscaping with well defined areas for gathering, and attractive plant landscaping, Drought friendly plants.	7/11/2022 9:41 PM
61	The ground floor should be tourist/shopping/dining friendly places the the main street of downtown expands a bit. Trees. We need trees. The tree lined avenues of the village are by far my favorite.	7/11/2022 9:05 PM
62	I think the Barrio and village are distinct, and what works in the village may not necessarily work in the Barrio. Consider different design standards for developments that get deeper into the barrio	7/11/2022 9:00 PM
63	Open space. parking and parks	7/11/2022 8:51 PM
64	Keep the beach charm	7/11/2022 8:24 PM
65	I'd like to keep it beautiful and stop these ridiculous 3-4 story money maker building to a holt. Carlsbad looks like someone gets property and builds as high as they can. What's with the council?	7/11/2022 8:21 PM
66	Abundance of lighting, sidewalk, street, allies, etc.	7/11/2022 8:20 PM

67	The stores below the buildings do not work. They are usually empty. Those work in big cities but only look like a vacant property when put in cities like ours.	7/11/2022 8:19 PM
68	Landscaping. Any building looks better with trees and plants. Also attempt to bring the outdoors inside with large windows and glass doors. Do not build so close to the street.	7/11/2022 7:23 PM
69	Sufficient tenant parking within the development so not to take up our very limited existing street parking. Design should not attract unsheltered individuals or skateboarding. Also would like exceptional landscaping. Safe access to streets so bikes and pedestrians are not endangered.	7/11/2022 7:22 PM
70	traffic density and its environmental impact. Should include off street parking!	7/11/2022 7:05 PM
71	Leave space for grass and landscaping	7/11/2022 6:59 PM
72	A good blend into what is already there	7/11/2022 6:56 PM
73	Since the new buildings will be eliminating the backyards and mature trees of the existing homes, the developer should include a private, park-like green space for exclusive use of the residents of the project. Also, include sufficient parking for each residence.	7/11/2022 6:56 PM
74	Good lighting. Street parking. And ground floor retail, the more the better. This will promote a more vibrant community with people not afraid of walking around - especially less chance of it getting sketchy at night.	7/11/2022 6:54 PM
75	Don't build. There is enough housing.	7/11/2022 6:48 PM
76	It shouldn't be necessary to pack in so much density and high rise buildings. Take a look at Carmel.	7/11/2022 6:43 PM
77	Pedestrian and bicycle safety. Larger sidewalks. Better bicycle lanes. Etc.	7/11/2022 6:37 PM
78	Keep the small single story homes	7/11/2022 6:31 PM
79	Affordable for families	7/11/2022 6:24 PM
80	Traffic, parking, maintaining village feel	7/11/2022 6:12 PM
81	Consider the existing Historical Buildings (Santa Fe depot, St. Michaels, both old and new, and Giacolleties) and how they can be framed, related to and enhanced. More street trees and wider sidewalks.	7/11/2022 5:39 PM
82	Prefer separate buildings with some attractive space in between street and neighboring buildings- not a continuous wall of buildings.	7/11/2022 5:36 PM
83	Keep them small so as not to overcrowd, overwhelm existing infrastructure. Of course, Matt Hall and his pals don't care about that so this survey is a pointless waste of time just like all the others. The only ones who make money from this are the high paid consultants.	7/11/2022 5:24 PM
84	if interesting materials could be included with energy efficiency emphasized. Attractive entryways and roof styles Natural colors rather than saturated bright colors. Artistic house numbers I realize that much of this is beyond the scope of the archetecs but maybe they could be encouraged in some less formal way to "inspire" developers	7/11/2022 5:23 PM
85	Parking for residents and guests	7/11/2022 5:04 PM
86	I wish they wouldn't put it in Carlsbad because it is already becoming too congested and started to look like other cities I would not want to live in. If we do have to have more of these structures I would appreciate a softening of the structure with some greenery, staggering of windows and the building having decent frontage from the street.	7/11/2022 4:59 PM
87	Grocery stores and fresh produce availability in retail spaces. Businesses that are local! Community spaces.	7/11/2022 4:58 PM
88	Solar electric and solar thermal on all buildings	7/11/2022 4:55 PM
89	Current housing density in the proposed area.	7/11/2022 4:39 PM
90	The density. Traffic/congestion in the village is already pretty high. Between the cars and all the bikers everywhere that think they own the road it's pretty stressful to drive around in the village now.	7/11/2022 4:28 PM

91	Design is largely subjective, so how to create objective criteria based on subjectivity is a paradox.	7/11/2022 4:26 PM
92	density, traffic, not making it look like it is just one apartment/condo building after another	7/11/2022 4:20 PM
93	Traffic and parking. Both of those have been negatively impacted by the cramming of huge buildings into the area. Also, you are taking away the charm of the Village and Barrio by putting huge buildings in there. I know you want to add housing but cramming tons of people into that area is taking away from the charm of Carlsbad.	7/11/2022 4:20 PM
94	Cultural significance of the area	7/11/2022 4:19 PM
95	My family and I love what they've done to Oceanside and we take the Coaster up there and love it! Great vibe!	7/11/2022 4:12 PM
96	Porch and outdoor living, where people can gather out front and commune with the neighbors. Patios and porches	7/11/2022 4:02 PM
97	Make sure there is enough parking, and don't go too high.	7/11/2022 4:02 PM
98	3 stories max	7/11/2022 4:02 PM
99	Setbacks in front side and back to reflect current neighborhood trees green spaces	7/11/2022 4:00 PM
100	Provide more parking in the downtown area if more multi family housing is built. We have lost parking and parking lots in the downtown area especially Roosevelt and State St., but the number of shops, mixed use projects and restaurants along with the population has increased.	7/11/2022 3:59 PM
101	Try to make sure ground floors are available for rent to local small businesses.	7/11/2022 3:48 PM
102	Add balcony's and under ground off street parking. They will need parking and outdoor space.	7/11/2022 3:43 PM
103	No contemporary styles. Wider sidewalks 8 foot minimum. Only minimal essential components above height limits. Recognize arrival in Carlsbad village like State Street Santa Barbara.	7/11/2022 3:18 PM
104	Garages or access to covered parking, small yards or community yards for dogs or pool or community space	7/11/2022 2:25 PM
105	Provision of parking is essential.	7/11/2022 1:32 PM
106	Color pallet and size. The building located on CVD just west of the I-5 is a perfect example of what not to do. Also the new buildings going up next to the G-spot is a hideous blue color with competing facades. Furthermore the new giant complex on Madison ave in the barrio across from Willis ortho looks disjointed, cheap and tacky. Let's have less of these types of structures approved.	7/11/2022 1:17 PM
107	Updates and development is good. But styling outside of the village charm is destructive to the character of carlsbad.	7/11/2022 12:13 PM
108	make it very walking and bicycling and wheelchair friendly and strongly limit car traffic and street parking. curate more public spaces and allow for diverse and eclectic art and creativity to grow in the communities. can be nice without being completely unaffordable to diverse and creative people.	7/11/2022 11:43 AM
109	No 3 stories	7/11/2022 11:34 AM
110	Traffic safety, parking, walkability.	7/11/2022 11:29 AM
111	No more multi-unit, mixed purpose building. Small, quaint, single family or duplex/triplex, single story. Keep the neighborhood as it has always been - a family community.	7/11/2022 11:23 AM
112	They should include open spaces for everyone to enjoy. They should not be cluttered. They should be inclusive, so that people of all ethnic backgrounds feel welcomed.	7/11/2022 10:28 AM
113	that they blend in and look like homes instead of new beautiful apartment buildings. Mature landscape, too.	7/11/2022 10:18 AM
114	provide enough parking for residents and include green space. Not all concrete and hardscape	7/11/2022 8:47 AM
115	Adding areas for people to gather, benches, parklets nearby, water wise but still attractive landscaping. Even interesting light fixtures, added trim and contrasting color (not loud) would be nice additions	7/10/2022 2:26 PM

116	I would like designers to immerse themselves in what Carlsbad looked like in the 50s, before Newport Beach syndrome took hold. The design of the dwellings, businesses and the feel of the Village and Barrio are what attracted so many people here. Why then convert Carlsbad into something different?	7/9/2022 4:48 PM
117	Healthier Materials, NO VYNAL! don't use cheap toxic materials. If you don't know what they are get a consultant who knows and is more informed. Have them join the design process from the beginning. Healthier Materials can be selected at the beginning of the design process and a simplified finish palette can be selected to reduce extra unnecessary cost, also with the point to avoid VEing later in project. Set material as a priority that does not get compromised. I am a designer at HED and have recently been through a certification course for this and happy to help.	7/9/2022 2:38 PM
118	parking ease.	7/9/2022 2:22 PM
119	Standards should be as relaxed as possible to allow for creativity	7/9/2022 10:20 AM
120	Off street parking included. It's unrealistic to believe tenants won't need parking. On street parking has increased on Roosevelt St, impacting local access to older homes.	7/9/2022 7:52 AM
121	I really think there should be colors that are allowed and colors that are not. Right now there is a house near the beach that looks like a circus and that is not Carlsbad. That is not charming.	7/8/2022 8:59 PM
122	Provide more trees, shade, places to sit, pocket parks, small coffee shops, restaurants	7/8/2022 6:18 PM
123	It's a beach town ... please keep the simple, historic beach charm	7/8/2022 4:48 PM
124	It's a little late. Decisions by The City have been really been on what brings in the most revenue. But it's not too late to at least develop a small Mexican plazas.	7/8/2022 4:36 PM
125	PLEASE stop building anything multi-family or mixed-use in the Village and Barrio. Seriously, how many yachts can developers ski behind??? It's waaay more than enough already.	7/8/2022 4:13 PM
126	The sense of community and diversity, participation in life here, and less "urban heat effect" with more permeable ground, green space, and unique roadways. The village and barrio should shift to be more pedestrian or biking.	7/8/2022 3:14 PM
127	NO more of these cookie cutter modern buildings!!!	7/8/2022 2:25 PM
128	Considerably more mature landscaping	7/8/2022 12:45 PM
129	Affordable, better public transportation.	7/8/2022 12:36 PM
130	affordability and close to public transportation.	7/8/2022 12:34 PM
131	Use the standards and good judgement for what fits where. Currently Master Plan is what is the worst that can be allowed - the biggest, the least parking and setback, the poorest construction and regardless of appearance. Preserving large trees, green areas and appropriate attractive landscaping!	7/8/2022 11:24 AM
132	Walking, seating, dining, spaces that make visiting there inviting to visitor AND locals.	7/8/2022 10:23 AM
133	Some consistency would be good.	7/8/2022 10:22 AM
134	Height and density.	7/8/2022 8:56 AM
135	Keep the village and Barrio small feeling	7/8/2022 7:52 AM
136	If it's in the Barrio look at Mexican style	7/8/2022 6:48 AM
137	stop allowing building to the lot lines! require some space for outside landscaping	7/8/2022 5:53 AM
138	Regarding the photo I have included... I am not an architect, but I see this simple frame house as a basis from which an architect can begin. Don't forget the landscape! We don't need to look like a shopping mall. Grandma's roses mixed with swaying palms is our heritage. WE ARE A BEACH TOWN!!!	7/7/2022 10:48 PM
139	Well you stated "not height." Why not? There are some overwhelming structures next to small one family homes. That's wrong. Not just from the residents' point of view but from anyone living, doing business, or visiting Carlsbad. In the past I've heard comments about the sweet	7/7/2022 9:37 PM

old houses or quaint cottages or unique structures in Carlsbad. Now Olde Carlsbad/The Barrio are beginning to look like Anytown USA.

140	Small multi family units that aren't above two stories.	7/7/2022 8:50 PM
141	Pedestrian friendly and welcoming first floors, i.e. street level. Mixed use of materials, e.g. not all stucco. Landscaping to soften the mass of the building. Averaging of roof heights for variety in each project.	7/7/2022 8:37 PM
142	Parking	7/7/2022 8:22 PM
143	Take traffic into account, places to park, and open walking areas.	7/7/2022 7:56 PM
144	Don't let it become a cluster of many different styles keep it classy	7/7/2022 7:06 PM
145	Eliminating Contemporary Eclectic and Midcentury Modern styles as options, as these are easy-outs for developers to build cheap, ugly units.	7/7/2022 6:29 PM
146	Please dont make carlsbad look like charlotte, north carolina with 3-4 story faux brick townhouses littering the landscape. Let's build some taller stuff!	7/7/2022 6:19 PM
147	Overcrowding, let's avoid that. Timelessness, let's go for architectural looks that will stand the test of time.	7/7/2022 6:16 PM
148	Keep them low. I understand that the state is forcing their standards on us, but why didn't small cities around the state join together in vocal protest against this? Now city leaders keep saying that they are helpless to do anything. We are like lambs and will ruin our small town feel as a result.	7/7/2022 6:05 PM
149	Park like surroundings & good services especially for kids & teenagers.	7/7/2022 6:05 PM
150	Concrete versus green landscape	7/7/2022 5:35 PM
151	A high end retirement setup similar to Carlsbad by the Sea with long term care including Alzheimer care, if needed. With masses of baby boomers living in Carlsbad, we need another high end retirement setup in the Village.	7/7/2022 5:34 PM
152	Height, parking, too much density	7/7/2022 4:58 PM
153	Please regulate parking for all higher density housing. Do not allow street parking. Looks awful. Refer to Dove lane apartments in la costa greens. It is not only dangerous because it's so cluttered, it's also aesthetically unpleasing. Don't make everything about high density either please. Carlsbad always seems to exceed housing requirements compared to near by areas. Mixed use is a much better idea. More balanced and tasteful. I'm sure you've heard it a million times but we are not interested in becoming a cluttered extension of Orange County. It's imperative that Carlsbad keeps its charm. Thank you.	7/7/2022 4:53 PM
154	Not more than 3 stories	7/7/2022 4:47 PM
155	I would like to see the creation of policies that supports the values of residents and not outside influencers that dictate who and what Carlsbad is going to be today and in the future.	7/7/2022 4:45 PM
156	Not taller than 3 stories and not uninteresting square blocks	7/7/2022 4:36 PM
157	Vibrant, brighter colors would be iconic in the Village, and this would allow the Village to modernize and be more welcoming to others.	7/7/2022 8:20 AM
158	Playgrounds for toddlers and children, parks for teens to gather and socialize. Areas for basketball, SOCCER, tennis, baseball, track field so that people can run and walk safely while they exercise. Dog parks!	7/6/2022 7:45 PM
159	(I like spanish revival and arts and crafts.) safety is issue with building design. Minimal places for homeless and criminals to hide, and to decrease their physical access to homes when no one home. have homes start on 2 nd story. However, if people are shoved on top of each other with minimal windows etc, they act like they are prisoners...	7/6/2022 3:26 PM
160	The aesthetic of the surrounding areas.	7/6/2022 1:00 PM
161	Retain charm. Carlsbad is funky and charming. Let's not ruin that.	7/5/2022 3:33 PM
162	Be harmonious with existing neighbors.	7/4/2022 7:44 AM

163	Make Carlsbad unique! This is why people visit here.	7/4/2022 1:39 AM
164	Put some elements of Tudor or Victorian styles in each new building. I understand there could be extra costs to the developers and I don't have a good answer to that. Subsidies from the state government, perhaps?	7/3/2022 7:05 PM
165	Set backs on upper levels. No "stack and packs" Large Setbacks from the street Landscaping requirements so the streets aren't just lined with buildings. Requirement to plant trees	7/2/2022 12:45 PM
166	This is all horrible!!! These block looking buildings on every street!! When is this going to stop? And why are they over the 4 story limit??!!	7/2/2022 7:58 AM
167	Owner occupied ordinance. If it's someone's second or more home, they're not contributing to our community.	7/1/2022 7:12 PM
168	no more than one story.	7/1/2022 3:23 PM
169	That the Barrio is mainly residential and the village is commercial residential and mixed use	7/1/2022 1:52 PM
170	PARKING--it's a problem in the village. No one uses public transit like it's intended, especially with all the tourists in town. Those of us who work in the village have a hard time finding parking after lunch. Also--do not turn the village and bario into a concrete jungle. Keep the trees and landscaping and add more please. This area is one of the most unique on the SoCal coastline, if we keep adding cheaply constructed buildings with zero character, we'll end up being Huntington Beach, and no one wants that.	7/1/2022 1:31 PM
171	Lots of green space, nature, play areas that are not plastic (just a swing or jungle gym) but rather kids and families can EXPLORE! Paths where you would find birds, lizards, fruit, veggies, a community garden, spaces where nature soothes an anxious family.	7/1/2022 10:11 AM
172	preserve the character of the beach lifestyle and vibe. Coastal Grandma is trending right now in fashion and lifestyle (check it out for old and young) which is a easy, breezy, carefree lifestyle. The village should exemplify this theme. It's what attracted us to retire here 8 years ago.	7/1/2022 7:37 AM
173	walking, pedestrian involvement, easy access to shops incorporated into first floor to serve the neighbors. Themed planting block by block for shade trees; occasional public benches to rest and converse with neighbors	7/1/2022 7:23 AM
174	Parking. Privacy for the neighbors. Setbacks and green space.	6/30/2022 10:42 PM
175	Please add more greenery to housing! Trees, bushes, gardens!	6/30/2022 9:30 PM
176	Multiple level housing would be inconsistent with adjacent properties, not blocking view lines and separation standards that violate existing zoning standards. This would decrease property values for long time residents. The new multiple level buildings we have seen in Carlsbad are ugly and have no coastal charm. Sorry, this is the view of visitors and longtime residents alike.	6/30/2022 6:45 PM
177	Character	6/30/2022 12:10 PM
178	PARKING, PARKING AND MORE PARKING!!! Start utilizing underground parking because you're already out of room. One of the BIGGEST things you designers miss is that it's already so flipping expensive to live here that most places have multiple adults with multiple cars just to pay the rent or the mortgage. How about you get with reality and start mandating they have parking for 2-3 cars per unit unless it's a 1 Bedroom and then there still has to be the option for that owner or tenant to have a 2nd parking space or it's just flat ridiculous. Who's going to pay \$5,000. or \$7,000. month rent or mortgage when they can't even park two cars? And many renters have a 3rd adult if it's 2 Bedrooms or larger.	6/30/2022 11:33 AM
179	Parking	6/30/2022 9:56 AM
180	Bike lanes. Bikes should not share lanes with cars. This makes some drivers angry and aggressive.	6/30/2022 8:44 AM
181	mixed use is beneficial. updating housing to not look so dated in the most desirable neighborhood of carlsbad	6/30/2022 8:35 AM
182	I would like to see the heart of State street a walking street only. NO CARS. Design a welcoming street with standing lights for the evenings with soft scape, hardscape, kiosks, dining, lounging furniture and water fountains to create a safe gathering space for all to enjoy.	6/30/2022 8:32 AM

183	That future proposed properties blend in well with the rest of the buildings in the community, to appear as if they were always there. Nobody wants to see large stark ugly buildings that stand out like a sore thumb, (corner of I-5 and Carlsbad Village Drive!), creating a blight on the prevailing quaintness of the lovely little village vibe. Buildings should feel like a flowing cohesive addition to/with surrounding architecture.	6/30/2022 7:57 AM
184	Parking. Parking is always an afterthought on the design and doesn't enforce a standard or amount. Important to consider as we become more dense. All roof tops and balconies. We are beachy and coastal let's make sure we are utilizing our sunshine.	6/30/2022 7:16 AM
185	The buildings should not be a focal point and should preferably be in undesirable locations such as near the freeway. they should include plenty of parking for the building tenants and visitors, it should include an large outdoor courtyard or area for people to congregate and get to know each other. This area should have benches and many trees.	6/30/2022 6:46 AM
186	Thanks	6/30/2022 6:46 AM
187	Carlsbad has charm, character and a sense of acceptance. These characteristics need to be preserved. Prison looking box construction looks cheap and uninviting.	6/30/2022 4:18 AM
188	We need to stick with the culture of Carlsbad (and north County) Flower growing and mexican american families really supporting our past and present environment	6/30/2022 4:13 AM
189	bring in some color! Some sort of mix of Art Deco like in Miami or Wilshire Blvd in LA with brighter colors would be gorgeous!	6/30/2022 12:10 AM
190	Modern is okay!	6/29/2022 11:16 PM
191	Leave the standards VERY BROAD	6/29/2022 10:41 PM
192	the new buildings that have been going on right by chase bank in the village and in other areas on grand ave are an eye sore and has completely lost its character. The only area that still looks inviting is by the donut shop and on state street in the area where the farmers market is held every wednesday. I really hope they consider that carlsbad village is diverse and the community is slowly going away because of white millionaires moving in and destroying everything that felt like home to me once.	6/29/2022 10:14 PM
193	I think mixed use will not work. Just do a courtyard style with white Spanish style look.	6/29/2022 10:00 PM
194	Lower heights in the heart of the village Wide sidewalks with art installations Better lighting at streets and also on the new buildings, better entry ways and more balconies or Juliet windows,more outdoor spaces with planters and trees,	6/29/2022 9:49 PM
195	height limitations	6/29/2022 9:02 PM
196	Preservation of sunlight on the street, setbacks big enough to give the feel of space between the building and the street.	6/29/2022 7:55 PM
197	No 4 story buildings	6/29/2022 7:49 PM
198	Old-Fashioned, Retro & Vintage looking.	6/29/2022 7:23 PM
199	Tiny house properties that would be affordable for singles and/or young couples. Small houses, under 1,200 sq ft., for young families that would be affordable as starter homes.	6/29/2022 7:13 PM
200	No cookie cutter housing. A variety as the Barrio has quaint family homes. Would hate to see them disappear. The families that live there now take pride in their cottages.	6/29/2022 7:01 PM
201	Just don't do it.	6/29/2022 6:40 PM
202	Water use-If we have to cut our usage-WHY BUILD MORE?	6/29/2022 5:25 PM
203	Design Standards should not lean too heavily on dictating a specific style, but rather create standards that speak to massing, scale, articulation, and proportion. Dictating quality of materials is a better way of ensuring quality construction. Smooth plaster should only be allowed, Wood or Metal framed windows and doors should only be allowed - No Vinyl. A certain Percentage of high-quality cladding should be required, such as stone, stone tile, brick, architectural metal siding or composite materials like Trespa or ProdeMa. The developer will always use cheap materials and finishes unless required to use better more enduring ones. If design styles are to be prescriptive in the future - please keep them as loose as possible or	6/29/2022 5:07 PM

you will end up with a village that looks like Disneyland's main street instead of a dynamic, rich and interesting architectural evolution.

204	Interaction with streets should be a top concern. Setback requirements should be primarily utilized to increase sidewalk widths or allow for restaurant seating. Encourage balconies and patios. Reduce curb cuts as much as possible. Encourage adaptive reuse of structures that are considered community assets but that may not be historically or architecturally significant.	6/29/2022 4:52 PM
205	While it may be tempting to select a particular architectural style, the end result may create monotony and limit inspiration and vision for the exciting place that this could be someday. I do not have photos to upload, but even thinking about simple nearby examples such as the Main Street at Disney or every other place you can imagine as creating that village character that we can all envision, is the kind of example I would seek. It is not about everything being the "same," but everything being designed in a way to provide interest and create a place that attracts both visitors and residents. It should be somewhere you want to go to meet and mingle with friends and family, to shop, to dine, to work if one is lucky enough to be employed close to home, to live, and for those that must commute, with easy and attractive access to transit and/or shuttles, notwithstanding the need to still preserve adequate parking for vehicles within close proximity. It's not just about the assurance of a short pedestrian path, for another example, but to create one that is attractive and provides a desirable alternative to other modes of transportation. Landscaping should incorporate a palette that considers sounds, such as the rustling of leaves, smells, perhaps with flowering trees, and sights, to create that pleasant experience, with color and variety of textures. There is so much opportunity to create a new and vibrant mix for the Barrio and Village area, that embraces the future, while still being respectful of the charm not only of the Carlsbad area, but other areas with timeless design features from around the world. The examples presented do not come close to the reality of what could be created here in the Barrio and Village of Carlsbad, not necessarily by adding a lot of cost, but definitely be creating design guidelines and standards that seek a lot of attention to detail. That's really what it's all about!	6/29/2022 4:46 PM
206	Consider appropriate set backs to enhance walkability of the community. Do NOT put in tall buildings that will diminish walkability.	6/29/2022 4:33 PM
207	Let the barrio keep it's culture and diversity and artistic sense.	6/29/2022 4:28 PM
208	Don't limit to architecture. Include landscaping theme, outdoor seating areas, signage, etc. all to have the same thematic look.	6/29/2022 4:27 PM
209	The project should complement the neighborhood, not create an eyesore or look like a concrete jungle.	6/29/2022 4:23 PM
210	Keep the village feel. If it has to be huge be more like the apartment building at the end of Harding & Grand. NOT like the other new enormous buildings on Grand.	6/29/2022 4:23 PM
211	Do not make it looks cheap and like a prison. You have a few buildings like that in downtown Carlsbad and it sticks out like a sore thumb.	6/29/2022 3:56 PM
212	Keep the look of the barrio warm and welcoming- the architecture should fit into our environment. Don't be trendy!	6/29/2022 3:46 PM
213	I know it is difficult but can there be some responsibility that it isn't just the biggest box that can be built on that plot of land? And please, please, please require adequate parking. Living near the beach and just trying to get out of my single lane driveway is a nightmare	6/29/2022 3:24 PM
214	Spread the high density in the four quadrants. Stop cramming it on the northwest. Already not enough parking and too much traffic	6/29/2022 3:21 PM
215	Lower buildings with character. Keep the charm of the village and community. Make sure low income and veteran housing is spread equally throughout the city and not just this area.	6/29/2022 3:21 PM
216	Not displacing people who currently live there.	6/29/2022 3:20 PM
217	European style permanent market place, (think Christmas market/ better than swap meet) maybe part open air, with small business stalls so small businesses, antique traders, all kinds of micro business and artists can affordably have a permanent business location. (Keep Carlsbad Charming and interesting).	6/29/2022 3:02 PM
218	Dont spoil it trees green space walkability adequate parking for new housing contained within the property	6/29/2022 2:47 PM

219	Access to public transport options	6/29/2022 2:42 PM
220	Design's that fit in with a coastal community	6/29/2022 2:39 PM
221	avoid gated communities. really like the courtyard design in your example photos	6/29/2022 2:39 PM
222	parking	6/29/2022 2:29 PM
223	Open space, green area, nature, animals.	6/29/2022 2:23 PM
224	I think it is important that upper stories have the same setbacks throughout the village & barrio, not just on State, CVD, & Grand. This creates a more appealing, less boxy/cold/uninteresting feel.	6/29/2022 1:59 PM
225	Easy access to shops and restaurants for locals. Traffic flow.	6/29/2022 1:51 PM
226	Incorporate different organic materials (wood, stone, etc) design consistent with the rest of the neighborhood (I e. No modern buildings next to bungalow style housing. Also 4 story does not fit in with the village nor does zero setbacks	6/29/2022 1:47 PM
227	Parking parking parking	6/29/2022 1:41 PM
228	Allowing for multi-story buildings without turning the streets of the Village and Barrio into canyons.	6/29/2022 1:36 PM
229	Less of the designs that are meant to be "impressive" and monumental, and more of the artistic and welcoming styles. Though I love the Dove Library, it's a godawful design embarrassment, and nobody wants more of that.	6/29/2022 1:31 PM
230	Protected courtyards. Lots of street trees. Jacarandas. Bougainvilleas. Oak trees.	6/29/2022 1:27 PM
231	Create a culture of personal pride and ownership assoc with living in the village This can be achieved by: Have specific targets for %short term rental (eg 24%) %long term rental (1 yr and more)(eg 25%) %full term live on site owners. (Eg 51%) Closely monitor to ensure that short term renters are not the majority who inhabit the village.	6/29/2022 1:23 PM
232	Setback, height (never increase, ever, ever), no parapets which increase over height limits, no bright colors-should be neutrals. Stone and brick-natural materials would be desirable. Allow for trees, and bench seating along fronts.	6/29/2022 1:13 PM
233	It should be environmentally responsible, with solar panels, and sound water use practices	6/29/2022 12:54 PM
234	Mixed use and pedestrian oriented. Cohesive and not overbearing. Walkable, local focused, outdoor patios, dining, etc. Traffic calming. Evoke Santa Barbara and Manhattan Beach and less Huntington Beach.	6/29/2022 12:32 PM
235	Open space lawns yards adequate parking green space trees	6/29/2022 11:44 AM
236	More landscaping with each new project	6/29/2022 11:39 AM
237	Large projects do not evoke quaintness.	6/29/2022 11:38 AM
238	Keeping just a couple styles that are cohesive to one another will make the neighborhood look coherent and part of an intentional schema, rather than an ad-hoc assemblage of random style.	6/29/2022 11:36 AM
239	trees, trees, trees	6/29/2022 11:35 AM
240	open space large patios breathing room	6/29/2022 11:26 AM
241	Have resident and commercial entrances set back from sidewalk, front door should not open to public sidewalk. Keep elevation/height standards in line with existing area. Don't have buildings towering over streets, other homes, etc.	6/29/2022 11:10 AM
242	Create 4 way stops rather than 2, in the barrio. Vehicle lanes are too narrow on Carlsbad Village Drive. Dangerous mixing bikes and cars there. Also, having outhouses on the south end of our beaches is absurd! I walk every day on the path and the outhouses reek. I'm embarrassed that this city, as wealthy as it is, has outhouses for people to use. We need bathrooms and showers not only for visitors and residents but for all of the local surfers and volleyball teams who pay taxes to live in this city. Our beach services are appalling! The beaches also need more trash receptacles. Trash is piled up in bags around the cans on weekends. Lastly, the Smart and Final parking lot is home to transients. It's filthy and strewn	6/29/2022 11:07 AM

with trash. This is the first center people see when exiting from the freeway onto Carlsbad Village Drive. It's pathetic. We have had so many guests ask us about why the city allows that eyesore of a shopping center. If you're going to redevelop then do it with some class.

243	Pathways for leisurely walks.	6/29/2022 11:04 AM
244	Streamlining the design review process with distinctive architectural styles.	6/29/2022 11:00 AM
245	Energy efficiency, water efficiency, greywater systems, sound-absorbing walls, non-public common space for occupants of multi-family buildings, no parking minimums, solar cells on every roof, mixed-use exemptions, must include design elements to make move-in/move-out easier, include empty conduits for future wiring/fiber-optic installations, all windows operable to allow natural ventilation, all vents (kitchen/bathroom) actually lead outside, NO bars on doors/windows.	6/29/2022 10:50 AM
246	Don't try to cram in more units than these tiny lots can handle, and make sure sufficient parking is included in the design.	6/29/2022 10:37 AM
247	Shade trees! Especially for the sidewalks, but also for the streets. Climate change will make the future coastal zone warmer. We will need shade trees for walking and bicycling to be more comfortable, both for the traffic calming effect as well as the cooling. Note that replacing the existing shade trees on Grand Ave with Palm Trees does not achieve this goal.	6/29/2022 10:27 AM
248	Single story or two story maximum	6/29/2022 10:27 AM
249	need for parking, areas for kids to play, access to cross on Chestnut to access the beach more stores for residents, to purchase groceries, etc with walking access not needing a car	6/29/2022 10:23 AM
250	more parking-people will not give up cars or provide outskirt parking with trolley service	6/29/2022 10:22 AM
251	More set back off sidewalk Rear parking	6/29/2022 10:21 AM
252	No multifamily	6/29/2022 10:18 AM
253	CONTINUOUS COMMUNITY COMMUNICATION AND INVOLVEMENT	6/29/2022 10:15 AM
254	We do not need more people living here!!! We already have a severe water shortage and there are concerns about electricity. More people = a more severe water sho-tragedy and over taxing the already overtaxed power grid. Not to mention that Carlsbad and other coastal communities are not affordable. No one has a "right" to affordable housing in unaffordable areas that the rest of us saved our entire lives to be able to afford to live here.	6/29/2022 10:14 AM
255	All Village/Barrio multifamily housing and mixed-use projects should have off-street parking for a minimum of 2 cars per residential unit to avoid excessive on-street parking situations like Laguna and Jefferson Streets.	6/29/2022 10:13 AM
256	DON'T OVERWHELM THE NEIGHBORHOOD	6/29/2022 10:13 AM
257	I think large areas of the barrio need to have affordable multi family housing with the central area reserved for pedestrian access only. Parking structures should be included in the central area with a low fee schedule to encourage use.	6/29/2022 10:05 AM
258	Low impact on environment and traffic. Very family/community friendly. Walkable. Safe.	6/29/2022 10:00 AM
259	Stop density/density bonus. Stop with 4-5 story "mixed use"!!!! More set backs. That's not Carlsbad. Village/Barrio is historic... leave it alone. Put density inland...east of 5, think LaJolla.	6/29/2022 9:55 AM
260	Don't affect existing homes and businesses with parking issues, etc.	6/29/2022 9:54 AM
261	Stop allowing giant buildings, such as the one that replaced the Dennys, to be built. That building is a complete eyesore and doesn't make sense of it's location.	6/29/2022 9:52 AM
262	Please restrict multi-floor (over 2 stories) structures. These new "high rise" buildings are negatively affecting the Village appearance. NEVER allow a new building to obstruct ocean views from another structure!!!	6/29/2022 9:49 AM
263	Even though we are large city, Carlsbad remains a quaint beach town that I love to go home. I understand new developments need to take place, but it is important to me that our city maintains the small town feel. I feel this can be done by monitoring the look of the buildings as well as the height an amount.	6/29/2022 9:48 AM

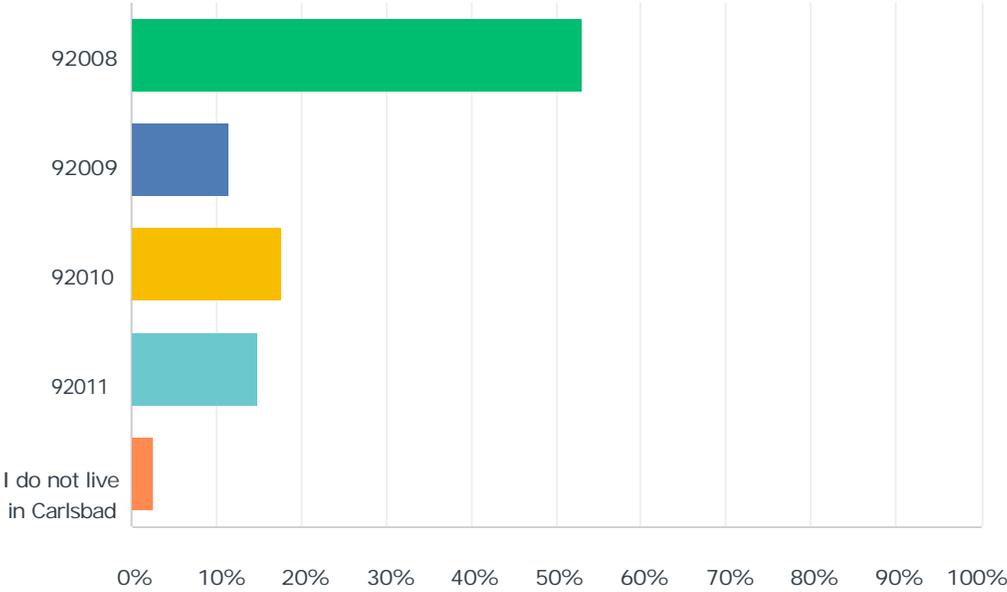
264	Lots of planting/greenery /creative landscaping- to make the places look warm and inviting . . . rather than cold and sterile.	6/29/2022 9:45 AM
265	No high buildings	6/29/2022 9:44 AM
266	The Barrio has BEAUTIFUL midcentury houses that age very well and we should be complimenting this with new, modern building design, not holding onto the 80s. We should look to Palm Springs for how nice the Barrio could look and stop the McMansion-looking Spanish design. It looks cheap and tacky.	6/29/2022 9:43 AM
267	Stop approving projects that drive existing businesses and residents out of their homes. The village is slowly becoming a place where locals can no longer go to shop, as the service providers have been driven out and the remaining businesses cater to the tourist trade.	6/29/2022 9:43 AM
268	Try to keep most of the village single family or small duplex move these affordable large multifamily project to other parts of the city.	6/29/2022 9:36 AM
269	Choosing a coastal color palette - Blues and whites. Please no depressing grays & browns. Also sticking to a coastal style - like Encinitas, Solana Beach, Del Mar, San Clemente, Santa Barbara & other successful coastal communities.	6/29/2022 9:36 AM
270	Don't go so tall!! Keep it green, blend in with local look....	6/29/2022 9:34 AM
271	Bike parking (incl. for electric bikes). Functional common areas inside & outside	6/29/2022 9:34 AM
272	Walkable green space throughout the community. Possible public gardens. We don't need another concrete jungle.	6/29/2022 9:33 AM
273	Consider parking. The street parking situation has gotten out of control over the last 10 years. Also please no more sterile, stucco-boxes - it destroys the natural charm of the downtown area. There are many more attractive/creative designs to choose from.	6/29/2022 9:28 AM
274	Don't use every inch of usable land. Have a set back and layered look.	6/29/2022 9:22 AM
275	Less thought to traffic flow and more to walking environment. Like closing Grand Ave to traffic for a couple blocks. I would love to live downtown if I could do it without needing a car. I'm sure tourists would enjoy it if they had a place to park their car. Proper street lighting would be needed for night time walks and safety. FRIENDLY!	6/29/2022 9:21 AM
276	No more brown!!!	6/29/2022 9:03 AM
277	Parking and community spaces like parks, trails, and bike paths.	6/29/2022 9:01 AM
278	Aesthetically pleasing with a charming beachy vibe	6/29/2022 8:59 AM
279	Senior housing or housing that accommodates the aging population (more accessible, close to bus stops etc); mixed populations would be nice that welcome aging folks	6/29/2022 8:56 AM
280	Space. We should not prioritize the highest density possible. Make sure all new developments balance shared space/livable space along with the housing and retail.	6/29/2022 8:52 AM
281	Carlsbad is a unique treasure and there should be something special that sets it apart from other generic communities. Tourists like quaint. Residents like character. Please don't keep selling out to developers who want to save money by building the same, generic stack and packs they are building all over the country. Let's be charming, welcoming and unique!	6/29/2022 8:47 AM
282	Art such as decorative sidewalks and mosaics (not murals that go bad in a short time), flower boxes and enhanced landscaping, cohesive theme	6/29/2022 8:42 AM
283	Scale. Being very respectful of surrounding homes, not dwarfing them and creating massive structures.	6/29/2022 8:40 AM
284	Noise and parking	6/29/2022 8:36 AM
285	Keep inclusivity close to your heart. The Village & Barrio are classic components of the welcoming nature of Carlsbad as a whole. That beautiful element of our living should be given significant consideration for our city.	6/29/2022 8:30 AM
286	Don't make a beach town look like a concrete block with no nature to enjoy	6/29/2022 8:30 AM
287	put in parks and dog parks! bbqs, pools, gardens, shade	6/29/2022 8:29 AM

288	No more high rises	6/29/2022 8:27 AM
289	Please make sure they are affordable. The recent building in the Barrio area are edging out the quaint, family-oriented living that has characterized the neighborhood for decades. When a large footprint only provides 6 luxury units, who are we helping?	6/29/2022 8:27 AM
290	Keep them low to the ground (no multistory) keep them clean looking make them look like they belong in Carlsbad (a Southwestern beach community)	6/29/2022 8:27 AM
291	Stop using "barrio". The term is offensive and there are no community features that make it an "hispanic / heritage" inspired neighborhood. No plazas, fountains, architecturally purposed and designed outdoor dining and retail frontages. Every new building is built with security and inaccessibility as priority, not welcoming community. design	6/29/2022 8:26 AM
292	Provide plenty of open/public spaces for residents.	6/29/2022 8:26 AM
293	keep the buildings under 3 levels. This is not New York and love seeing the blue skys	6/29/2022 8:25 AM
294	I think the first story elevation, landscaping and building articulation are important considerations, more so than height and density. Boring facades feel worse even at 2 stories than great architecture up to 4-5 stories.	6/29/2022 8:24 AM
295	Give the places sturdy walls. Please don't cheap it out. Everyone deserves a nice quiet place	6/29/2022 8:08 AM
296	Choose 3 types of design types, traditional Spanish, craftsman or modern mid century and stick with those 3. Apply criteria within those design types, eg. smooth stucco, second story step back, height limits. Get rid of the old "clock tower" design element and out dates Tudor style that no one younger than 65 really likes.	6/29/2022 8:08 AM
297	Making sure that there is a plan for retail business plans that will go into ground floor units. For too long we make these builds only to have the ground units remain empty for years. There needs to be consideration for the type of retail that will go into the ground floors. Preferably small business owners, small local chains.	6/29/2022 8:07 AM
298	Green spaces	6/29/2022 8:05 AM
299	Building height/stories. I don't believe they should be more than 2-3 stories. Parking on-site. Set back from sidewalk. Lush landscaping to blend into the neighborhood.	6/29/2022 8:05 AM
300	The types of exterior building materials that are required to implement each style of architecture that is permitted.	6/29/2022 8:03 AM
301	Setbacks are too close to road and other homes, makes the current feel claustrophobic.	6/29/2022 8:02 AM
302	More public parking	6/29/2022 8:01 AM
303	Parking, electric charging stations, Carlsbad has multifamily outside the Village area, don't add more. Mixed use is better. Is Carlsbad a resort destination ?	6/29/2022 8:01 AM
304	Locals. The Village is so overrun by tourists it does not feel like home anymore. Please start incorporating actual placemaking for the people who live and work here. How about a real grocery store? Better bike lanes on CVD. Turn Grand into a promenade.	6/29/2022 8:00 AM
305	Please use styles that match the original charm and atmosphere of the barrio & village. Reduce density on lots. Please reduce/cap the number of short term rental licenses available. As a 20 year resident of the area, the constant chain of vacationers parties and people not invested in the area, it is becoming harder and harder to love living in the village in spite all of the new amenities.	6/29/2022 7:55 AM
306	Inclusivity	6/29/2022 7:54 AM
307	Maintain space off of the sidewalk, space between buildings, and do not shortcut parking requirements	6/29/2022 7:53 AM
308	We moved to Carlsbad from Northern California. It's charm and small town feel is what drew us. We still work and worship in Carlsbad but can no longer afford to live here. We now reside in Oceanside. If it ever became affordable again, we'd quickly move back to the downtown area.	6/29/2022 7:52 AM
309	Lots of parking to accommodate all vehicles. We are not giving up our cars. Please be realistic.	6/29/2022 7:47 AM

310	Ensure they are also a factor with discretionary review.	6/29/2022 7:45 AM
311	Please do not build anything like the oversized, lack luster, cheap looking new building located off the 5 and CVD. Quality and character reflective of our history please.	6/29/2022 7:44 AM
312	Look at other beach towns that did it right, like I've suggested for the past 35 years. Spanish influences are appropriate.	6/29/2022 7:44 AM
313	pedestrianization of some streets should be considered	6/29/2022 7:43 AM
314	Have street level multi-use projects less corporate looking storefront.	6/29/2022 7:37 AM
315	permaculture, regeneration, sustainability, community gardens & gathering spaces, electrification, car charging outlets, parking & longevity of design concepts.	6/28/2022 10:45 AM
316	Test	6/27/2022 3:05 PM

Q7 What part of town do you call home?

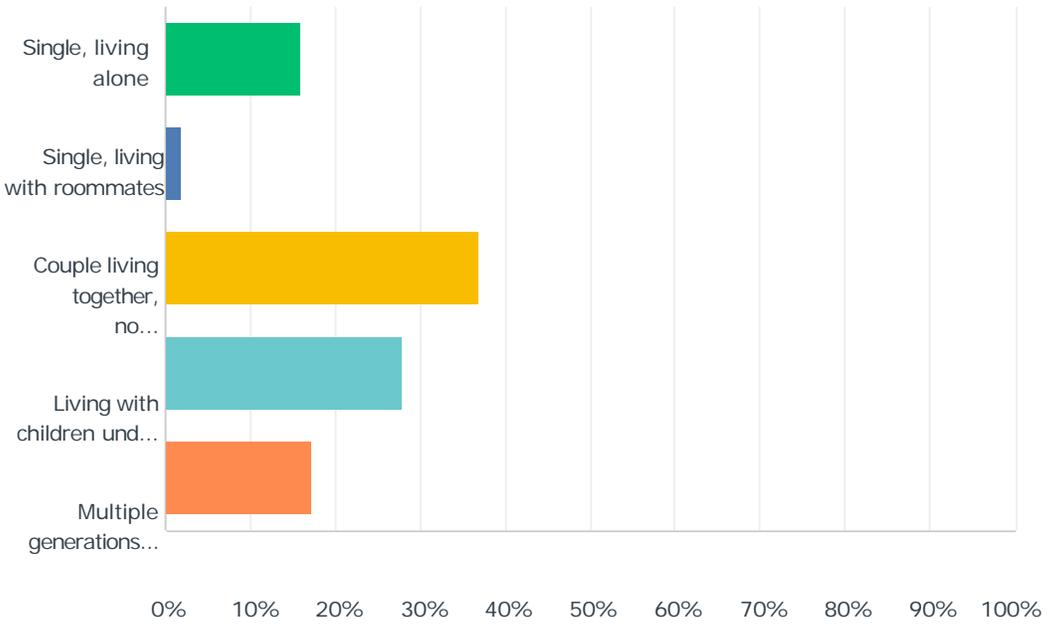
Answered: 422 Skipped: 3



ANSWER CHOICES	RESPONSES	
92008	53.08%	224
92009	11.61%	49
92010	17.77%	75
92011	14.93%	63
I do not live in Carlsbad	2.61%	11
TOTAL		422

Q8 Which best describes your household composition?

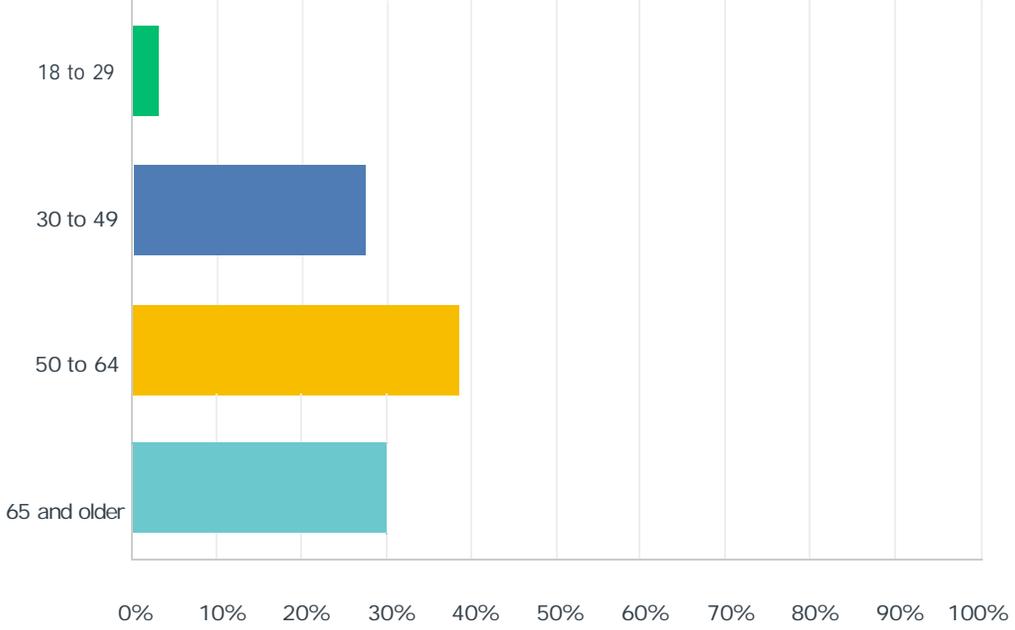
Answered: 415 Skipped: 10



ANSWER CHOICES	RESPONSES	
Single, living alone	15.90%	66
Single, living with roommates	1.93%	8
Couple living together, no children	36.87%	153
Living with children under 18 at home	27.95%	116
Multiple generations living together (adult children, parents, grandparents, etc.)	17.35%	72
TOTAL		415

Q9 What is your age group?

Answered: 415 Skipped: 10



ANSWER CHOICES	RESPONSES	
18 to 29	3.13%	13
30 to 49	27.47%	114
50 to 64	38.55%	160
65 and older	30.84%	128
TOTAL		415

Workshop PowerPoint presentation



Village & Barrio Objective Design Standards

Community Workshop

June 29, 2022



VILLAGE & BARRIO OBJECTIVE DESIGN STANDARDS

TODAY'S WORKSHOP AGENDA

JUNE 29TH 5PM-7PM

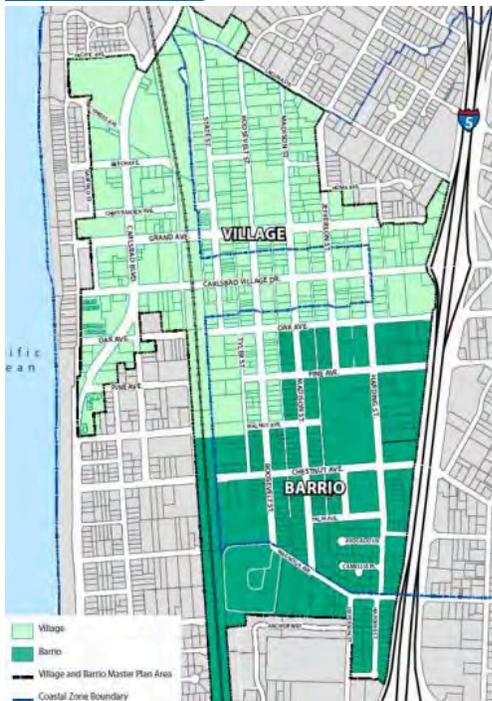
- ✓ Welcome/Introductions (10 mins)
- ✓ Workshop Discussion Topics
 - Project Background (15 mins)
 - Design Elements (25 mins)
 - Architectural Styles (25 mins)
 - Streamlined Review Process (15 mins)
- ✓ Community Comments / Q&A (20 mins)
- ✓ Next Steps & Conclusion (10 mins)



WHAT IS THIS PROJECT DOING?

Village and Barrio Master Plan Amendment

- ✓ Replace existing subjective design guidelines with new objective design standards for future multifamily housing and mixed-use development projects within the Village and Barrio Master Plan area
- ✓ Create a palette of architectural design styles
- ✓ Create a streamlined review process



Village & Barrio Master Plan Area Map (Figure 1-1)

- Village
- Barrio
- Village and Barrio Master Plan Area
- Coastal Zone Boundary
- +—+—** Railroad



WHAT IS THIS PROJECT *NOT* DOING?

- ✓ Does not change existing standards such as building height, density or setbacks
- ✓ Does not apply to single-family lots, duplexes or commercial/office sites
- ✓ Does not apply to previously approved multifamily housing and mixed-use development projects
- ✓ Does not apply to areas outside of the Village and Barrio*



COMMUNITY FEEDBACK REQUESTED

- ✓ Feedback on design elements for multifamily housing and mixed-use development projects
- ✓ Feedback on different architectural styles for multifamily housing and mixed-use development
- ✓ Feedback on streamlined review process



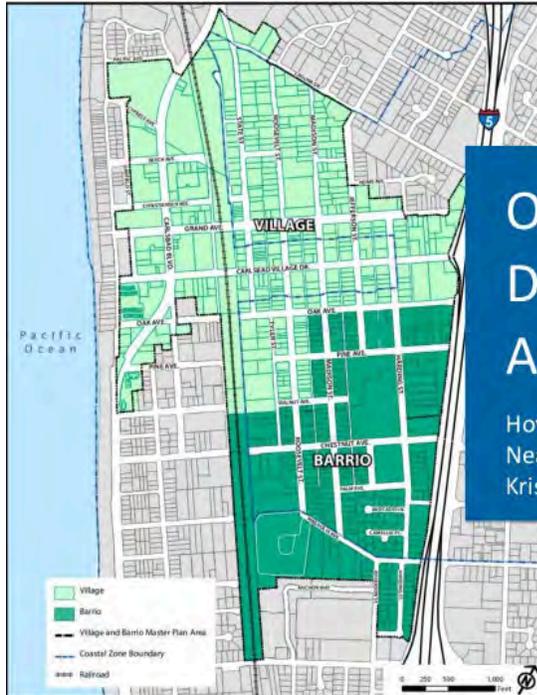
WHY IS THE CITY DOING THIS PROJECT?

- ✓ STATE MANDATE (SB 35/ SB 330)
- ✓ LOCAL MANDATE (Housing Element Program)
- ✓ CITY COUNCIL DIRECTION (Palette of Architectural Styles)
- ✓ STATE GRANT FUNDED (Local Early Action Planning Grant Funding Program)



SUBJECTIVE DESIGN GUIDELINES/STANDARDS	OBJECTIVE DESIGN STANDARDS
Provides ambiguous and unmeasurable direction	Provides measurable and predictable direction
Provides design preferences and flexibility	Provides required design elements and utilizes photographs and graphics, where needed, to clarify standards.
Involves personal judgement by a public official or decision maker	Involves no personal judgment by a public official or decision maker





Objective Design Standards Design Elements and Architectural Styles

Howard Blackson, Urban Designer, Consultant
Neal Payton, Architect, Consultant
Kristin Blackson, CEQA Manager, Consultant



Further, in keeping with the eclectic mix of building designs prevalent in the Village and Barrio, the Master Plan emphasizes quality architecture over any particular style.

Enforce design guidelines that identify components of good design and promote compatibility with existing context, but do not specify any particular architecture or discourage creativity, in keeping with the eclectic mix of styles present in the Village and Barrio.

True architectural style designed to capture the desired architectural style of the building.

Guides vs Standards Ambiguity



Mid-Century Modern



Arts & Crafts



Spanish Revival



Cottage



Tudor

Free-Standing/Small-Scale Buildings



Mid-Century Modern



Arts & Crafts



Tudor



American Mercantile

Attached/Mixed Use Buildings



Spanish Revival



Mid-Century Modern



Arts & Crafts



Spanish Revival

Multi-Family Buildings

Contemporary Eclectic



Arts & Crafts +

American Mercantile +



Arts & Crafts +

New Eclectic Buildings

Building Rhythms are based on the following Patterns:

Horizontal

50-wide x 140-feet deep Lots

400-feet long Blocks

80-feet wide Streets Patterns

Vertical

10 to 15-feet High Ground Floor

10-feet High Upper Floors



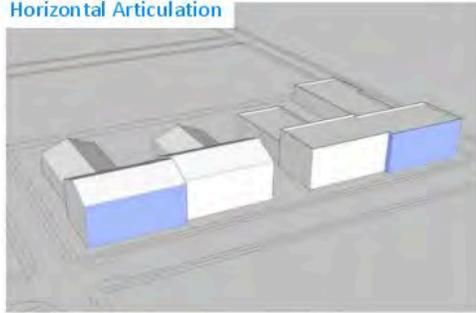
Vertical and Horizontal Patterns

QUESTIONS AND COMMENTS
ON DESIGN ELEMENTS?

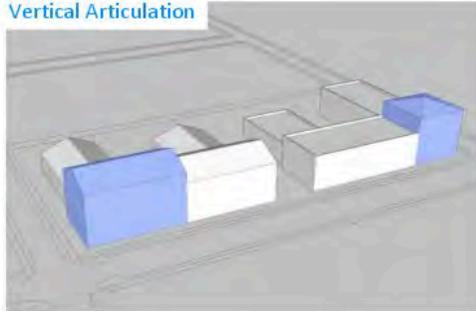
General Building Composition, Massing, and Articulation Elements

Step 1: Building Patterns

Horizontal Articulation



Vertical Articulation



Building Types and Composition

General Design Elements for All Multi-Family Buildings

Step 2: Building Type

Composition (Massing, Roof, Frontage, Windows, Projections)

Mansion Apartment



Townhouse



Stacked Flats Apartment



Mixed-Use Apartment



Mansion Apartment



Townhouse



Stacked Flats Apartments



Mixed-Use Apartments

Building Types and Composition

General Design Elements for All Multi-Family Buildings

Step 3: Building Composition (Massing, Roof, Frontage, Windows, Projections)

Height, Bulk, Scale and Roof Type



Frontage Type



Windows/Projections



Stoop



Fence and Hedge



Front Porch



Forecourt



Raised Commercial Terrace



Shopfront



Industrial Shop

Frontage Types



Window Rhythm



Balconies



Bay Windows



Canopies and Awnings



Access to Parking



Walls and Fencing

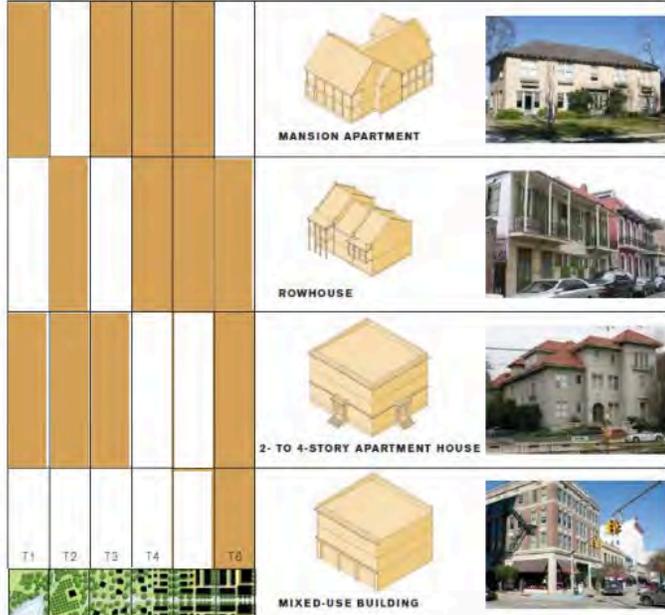
Openings, Windows and Projections

QUESTIONS AND COMMENTS
ON DESIGN ELEMENTS?

Building Type By Sub-District



FC PT BP BC VG VC



Frontage Type by Sub-District

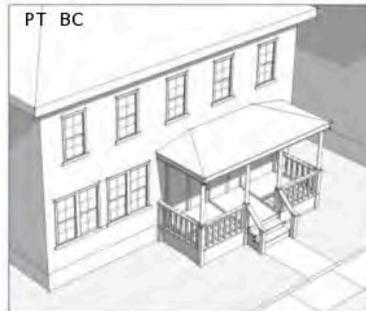


Diagram of a porch.

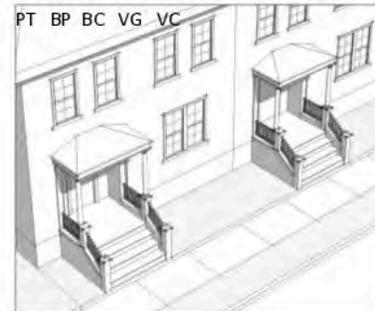


Diagram of a stoop.

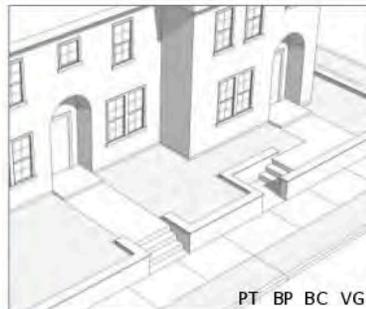


Diagram of a residential terrace.

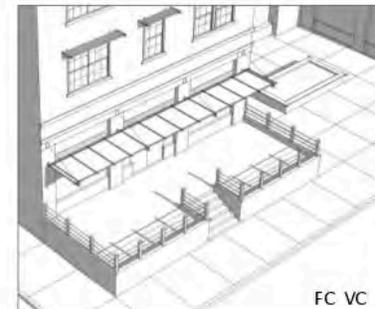


Diagram of a commercial terrace.

Frontage Type by Sub-District

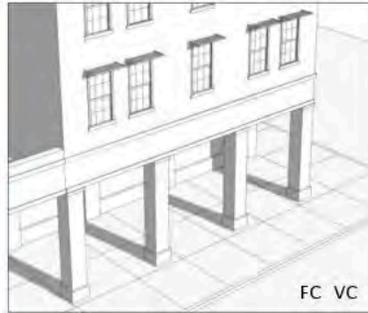


Diagram of arcade.

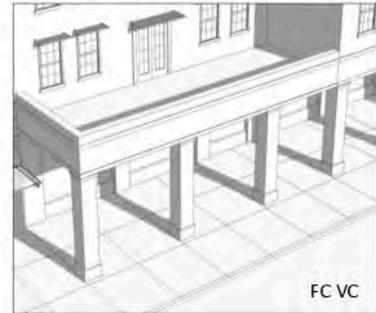


Diagram of gallery.



Diagram of shopfront.

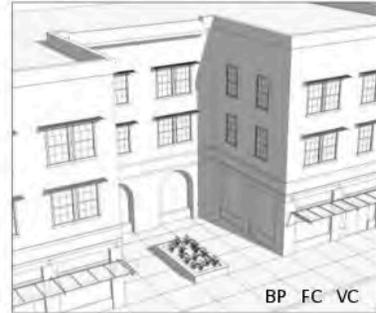


Diagram of forecourt.

Windows and Projections by Sub-District

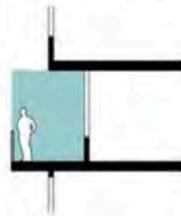
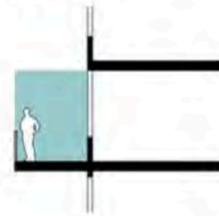
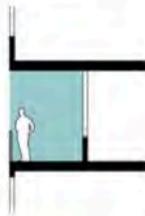


Balconies

Recessed

Cantilevered

Semi-Recessed



Windows

Transparency and Patterns

Awnings and Shopfronts

Signage and Encroachments



Building Transition Standards



Figure 2-1. Village and Basin Market Place Area Zoning Map

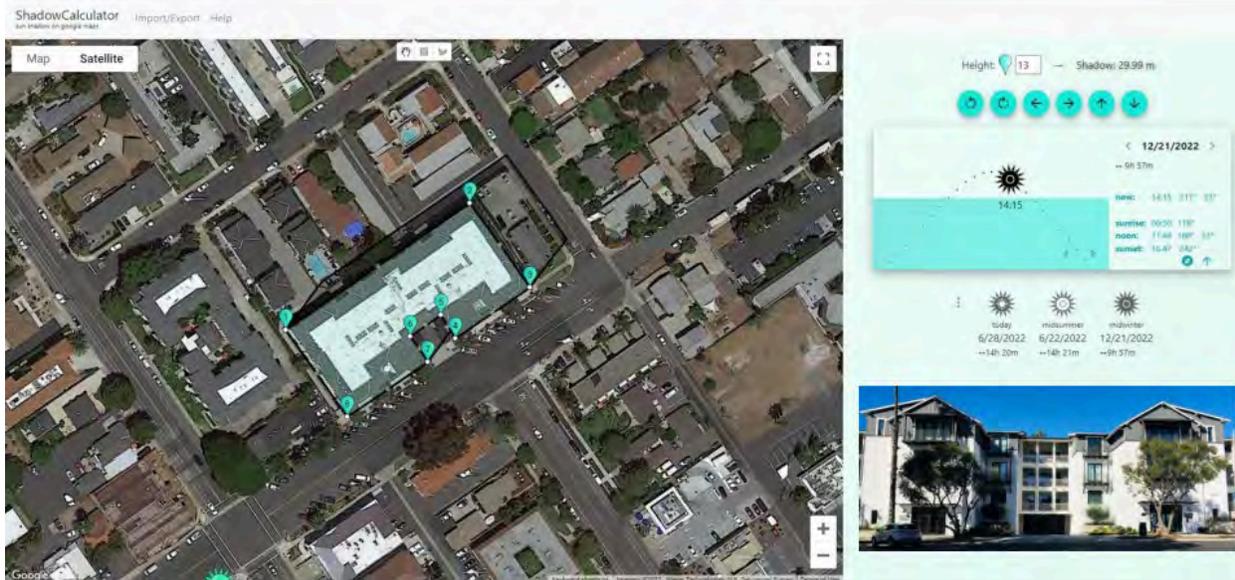
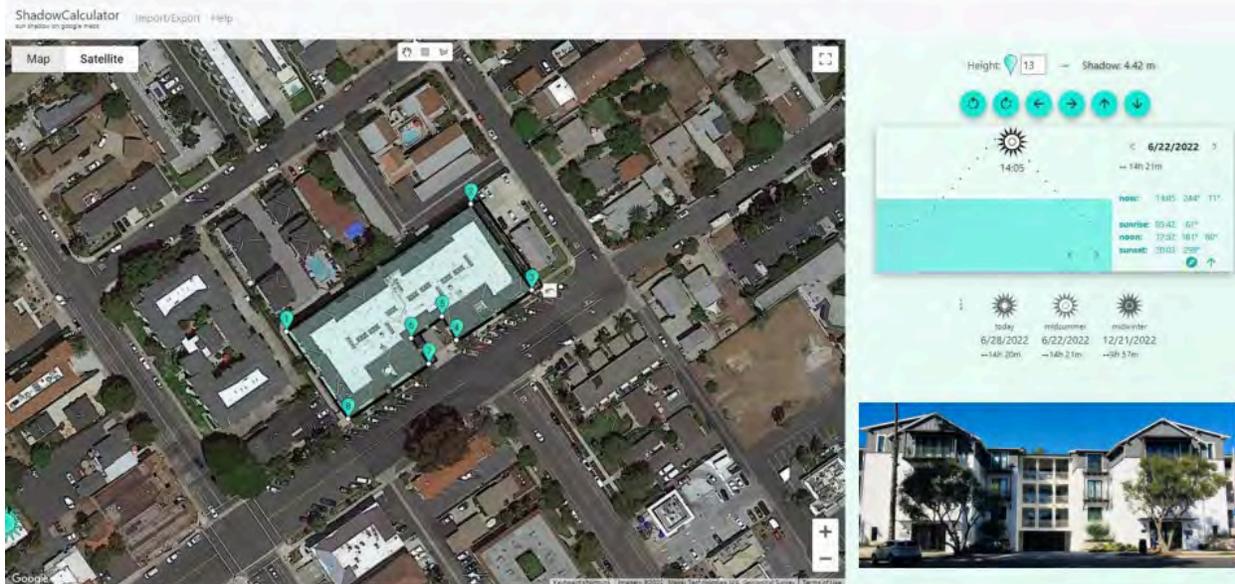


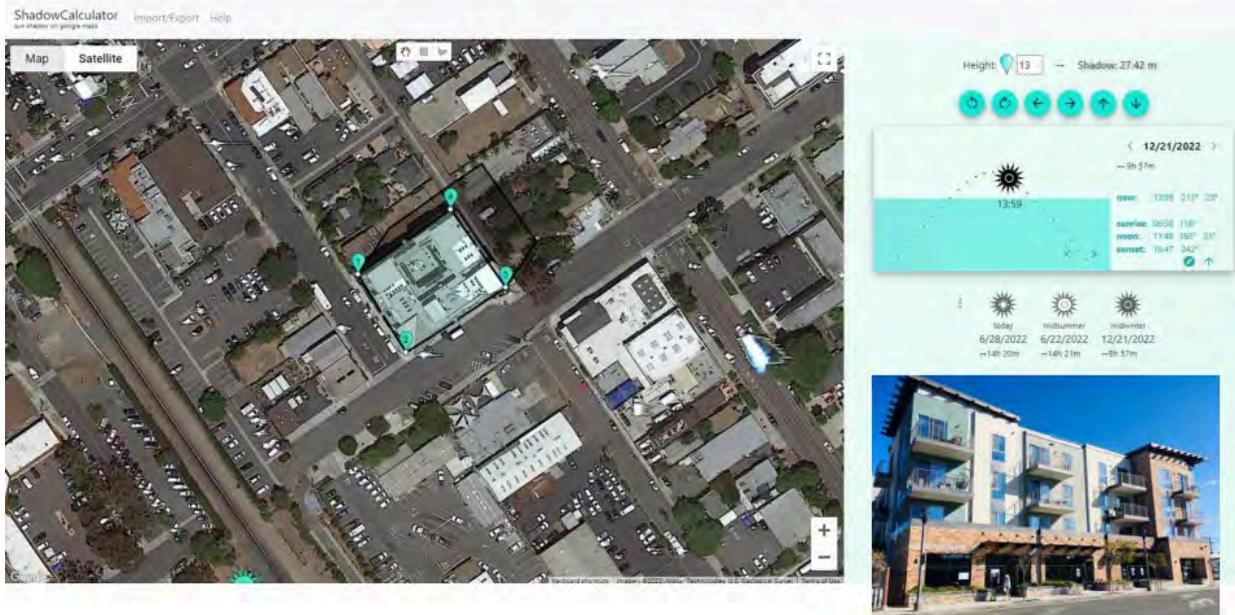
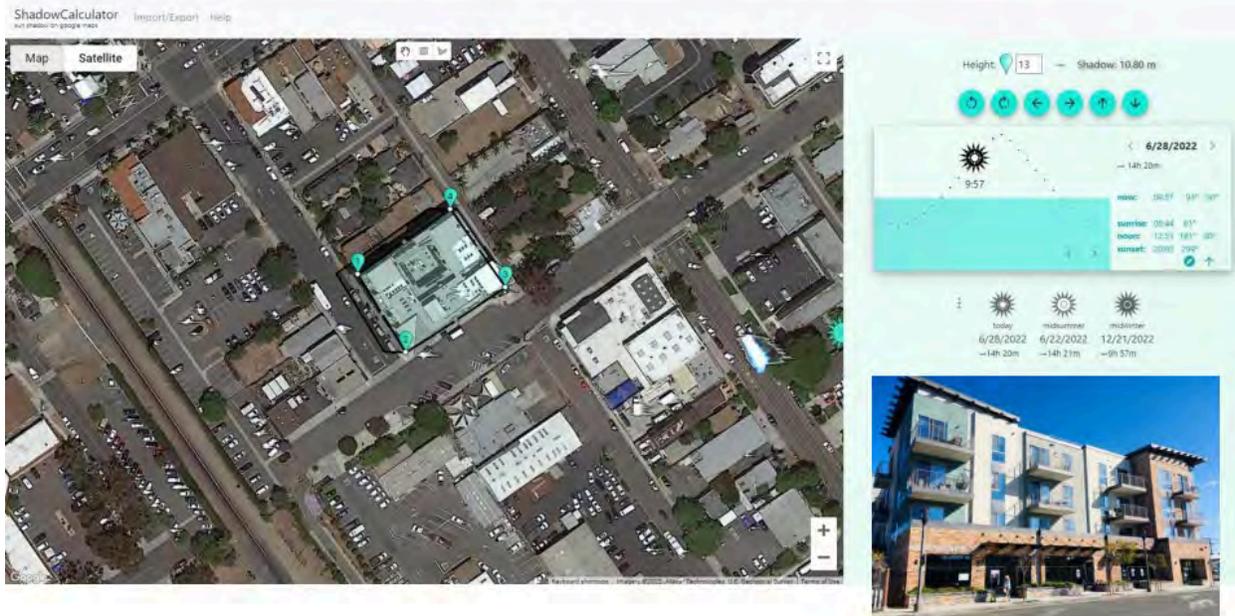
Building Transition Standards



Figure 2-1. Village and Basin Market Place Area Zoning Map



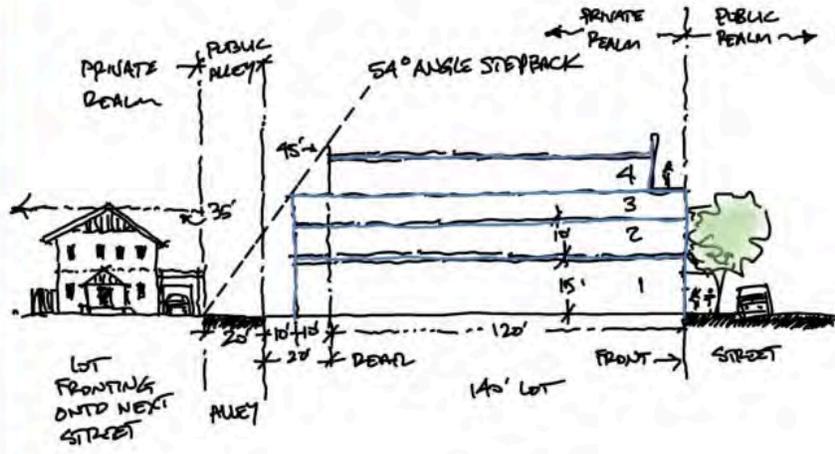




Building Transition Standards



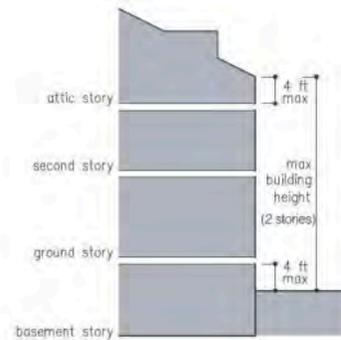
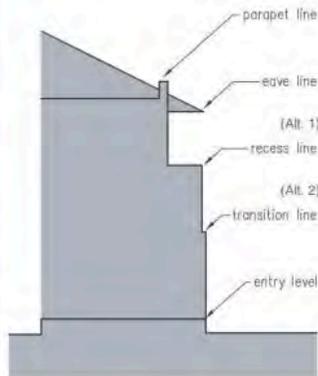
Figure 2.1 Village and Basin Master Plan Area District Map



Building Transition Standards



Figure 2.1 Village and Basin Master Plan Area District Map



QUESTIONS AND COMMENTS ON DESIGN ELEMENTS?



CARLSBAD ARCHITECTURAL STYLES

- More Common Multi-Family Styles:
 - Craftsman
 - Mediterranean
 - Main Street American Mercantile
 - Mid-Century Modern
- Less Common Styles
 - Irving Gill’s “Carlsbad” Style
 - Contemporary Eclectic



Carlsbad's Eclectic Styles

Craftsman

The English Arts and Crafts movement of the mid- to late-19th century inspired the Craftsman architecture of California. It was invented as a reaction to the repetitiveness and homogenization of the industrial culture emerging at the time.

Mediterranean

The style came into prominence in the 1920's and 1930's in California and Florida due to both the historic Latin colonization patterns of these regions, and to similarities with the precedents' Mediterranean climate and culture.

Main Street American Mercantile

In the late nineteenth century when, in the process of densifying towns and cities, housing and offices were built over retail stores. This mixed-use strategy is still relevant today, as the re-urbanization of existing urban centers.

Mid-Century Modern

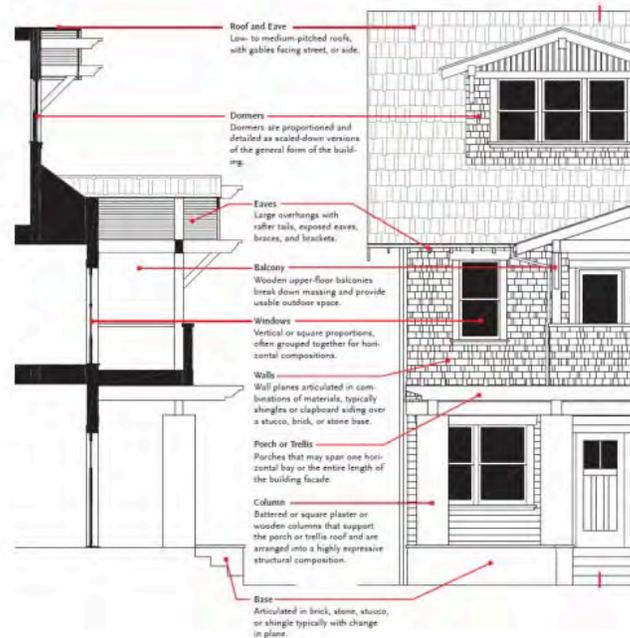
Post World War I, modernism was a reaction to economic, social, and political changes that were occurring at the beginning of the twentieth century, promoted a clean break with all aspects of traditional culture.



Craftsman



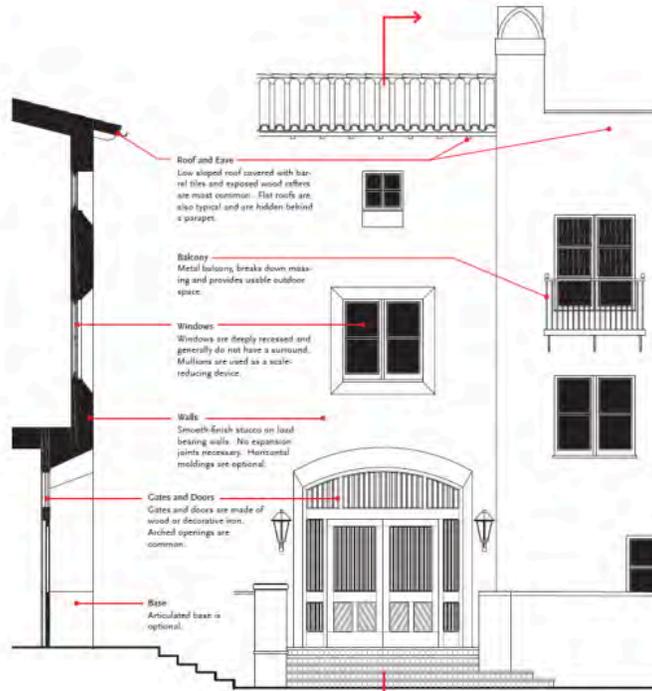
The style focused on the use of materials such as wood, tile, brick, stone, and copper, artfully combined and detailed. Through its emphasis on the detailing and joinery typical of carpentry construction, it embodied the modern notion of expressing its structural system on the exterior of the building.



Mediterranean



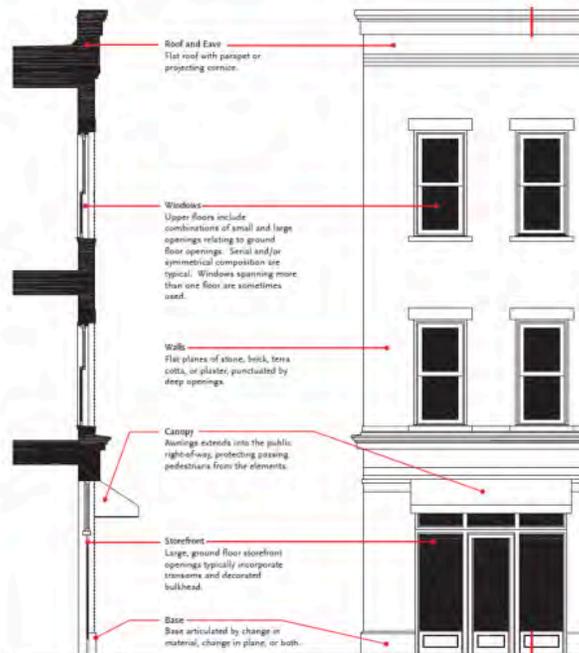
Distinguished by simple massing, smooth white walls, deeply set openings, and its red tile roofs. The mass has rhythmic placement of windows and doors. Color and decoration are restrained and reserved for railings, grilles, and colorful tile details at doors, windows, and fountains. Fronts are arcades, recessed entries, balconies, overhangs, and awnings are arranged accent the simple, geometric forms of buildings.



Main Street Mercantile



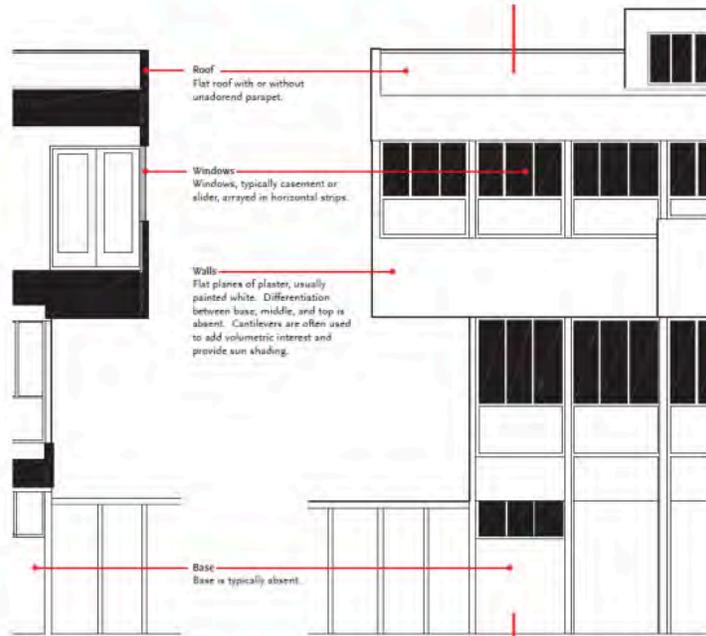
The Main Street style is expressed through brick, stone, and heavy plaster. Upper story window openings, whether single or grouped in a rhythmic serial pattern that relates directly to the ground floor storefronts. Wall planes are articulated by columns and lintels over openings. The ground floor is comprised of expansive glass storefronts, separated by structural columns with transoms and decorated bulkhead.



Mid-Century Modern



Deemphasizing the role of buildings in visually resisting the force of gravity made possible by the availability of new materials, and a strong relationship between building interiors and gardens; a general sense of abstraction, repose, and horizontality in massing; a preference for low-slung form; a celebration of interior program; and abandonment of the ground floor of buildings to cars.



Irving Gill's Carlsbad Style



Irving J. Gill is noted for his pioneering and creative use of forms and aesthetics which places him at the dawn of the Modern Movement in architecture. While most other architects working in the beginning of the twentieth century were clinging to borrowed and fashionable styles, Gill pushed the technical and artistic boundaries of architecture.



SUGGESTION FOR
SPANISH VILLAGE
CARLSBAD CALIF

Irving J. Gill
Architect
Carlsbad Calif.
Aug. 17th 1934



WEST ELEVATION. *scale 1/2" = 1'-0"*

Contemporary Eclectic

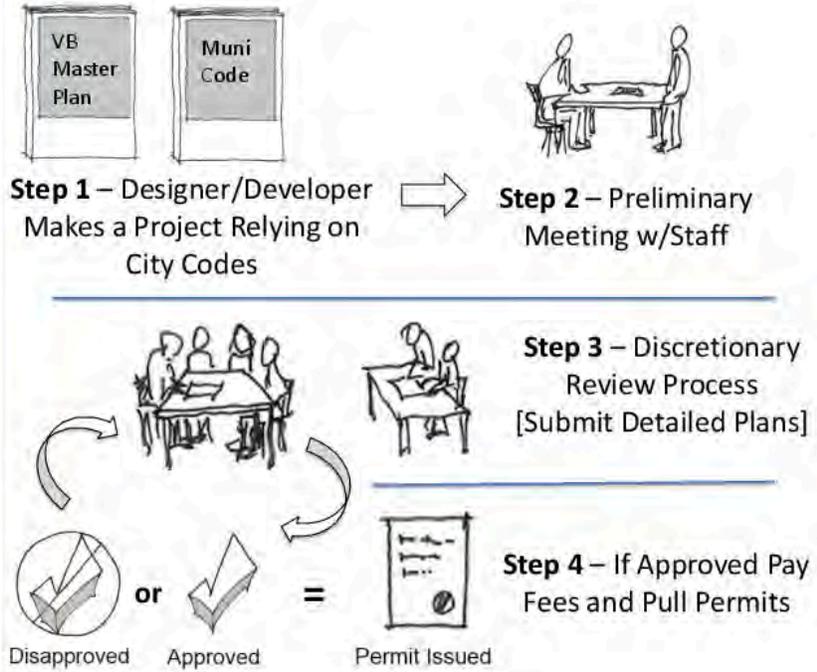


Deemphasizing the role of buildings in visually interior program; and abandonment of the ground floor of buildings to cars.



QUESTIONS AND COMMENTS ON ARCHITECTURAL STYLES?

Existing Development Project Approval Process



Existing Development Conformance Review Process

Planning Staff Project Application Review

- Application Completeness Review
- Plan Distribution Process
- Master Plan Conformance Review
- Recommendation

Discretionary Process Types

- Minor Site Development Plan
- Site Development Plan
- Conditional Use Permits

Discretionary Body Review

- City Planner
- Planning Commission Public Hearing
- City Council Public Hearing

Proposed Streamlined Permitting Conformance Process

Step 1 – Follow Policies and Codes



+



[Objective Design Standards Intended to Ensure a More Predictable Building]



Step 3 - Pay Fees and Pull Permits

Permit Issued



Figure 2-1. Village and Barrio Master Plan Area District Map

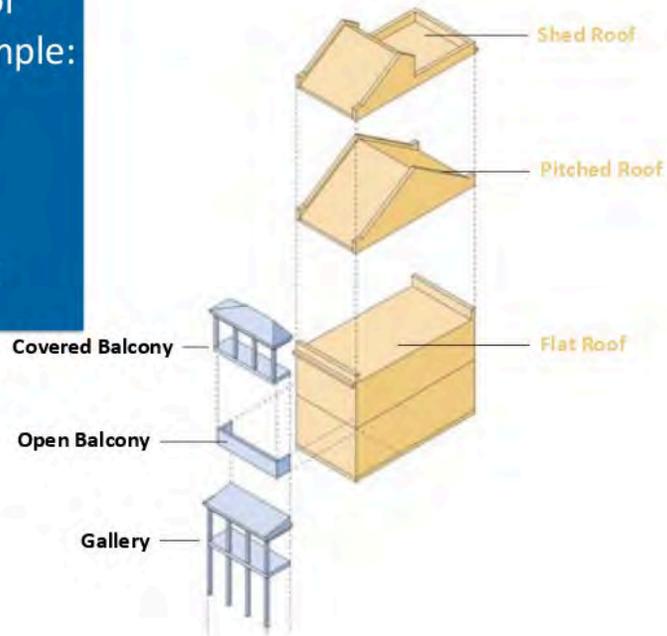
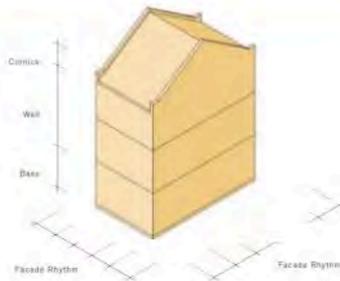
	Village Center	Village General (VG)	Hospitality (HOSP)
Setbacks - Front/Corner	0' to 5' feet to building (at the ground floor). Additional depth permitted where area includes a plaza, courtyard, or outdoor dining*	5' to 10' to building. Additional depth permitted where area includes a plaza, courtyard, or outdoor dining*. Encroachments permitted within the setback up to the property line.	For Parcels along Carlsbad Blvd between Beech Ave and Carlsbad Village Dr: 0' to 5' feet to building (at the ground floor). Additional depth permitted where area includes a plaza, courtyard, or outdoor dining*. All other parcels: Minimum of 10'
Minimum Setbacks - Side	0'	5'	between Beech Ave and Carlsbad Village Drive: 0'. All other parcels: Minimum of 0' (interior) and minimum of 10' (street)
Minimum Setbacks - Rear	0'	10'	For Parcels along Carlsbad Blvd between Beech Ave and Carlsbad Village Drive: 0'. All other parcels: Minimum of 5'
Accessory Buildings or Structures	N/A	N/A	N/A
Minimum Landscape setback where surface parking is adjacent to a public street	N/A	10'	15'
Setback from shared property line with parcels outside the plan	N/A	N/A	Minimum of 5' for portions under 35' tall; minimum of 15' for portions over 40' tall; minimum of 20' for 50' and over
Lot Size and Dimension	N/A	N/A	N/A
Lot Coverage	N/A	80%	80%
Density	28-35 DU/ac	18-23 DU/ac	18-23 DU/ac

Refer Policies, Guidelines, and Standards by Sub-District

General Design Elements for Multi-Family Buildings Example: Residential Townhouse

Building/Roof Types

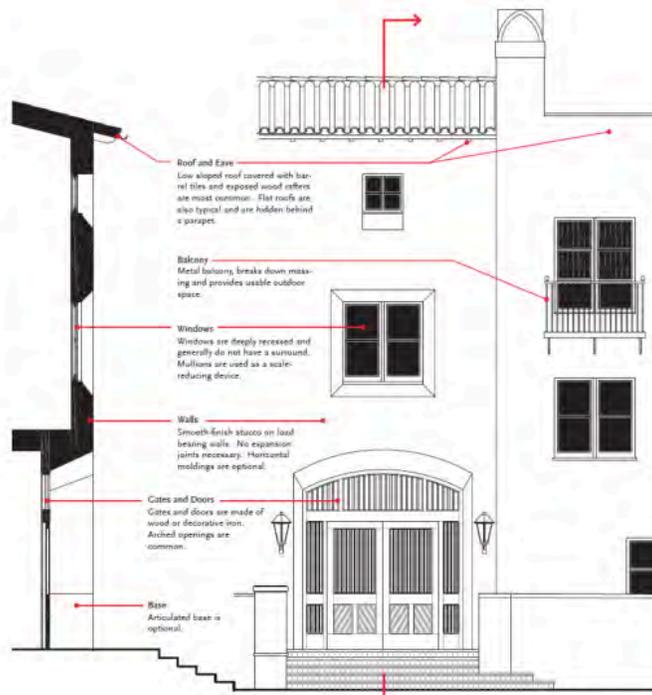
Frontage/Projections Types



Mediterranean



Distinguished by simple massing, smooth white walls, deeply set openings, and its red tile roofs. The mass has rhythmic placement of windows and doors. Color and decoration are restrained and reserved for railings, grilles, and colorful tile details at doors, windows, and fountains. Fronts are arcades, recessed entries, balconies, overhangs, and awnings are arranged accent the simple, geometric forms of buildings.



General Design Elements for Multi-Family Buildings Example: Residential Townhouse

Building/Roof Types
Frontage/Projections Types

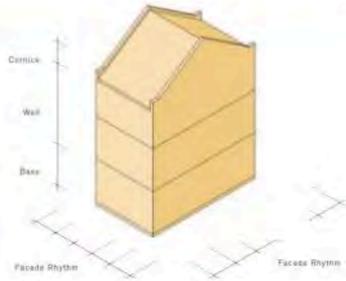
Spanish Revival

Pitched Roof



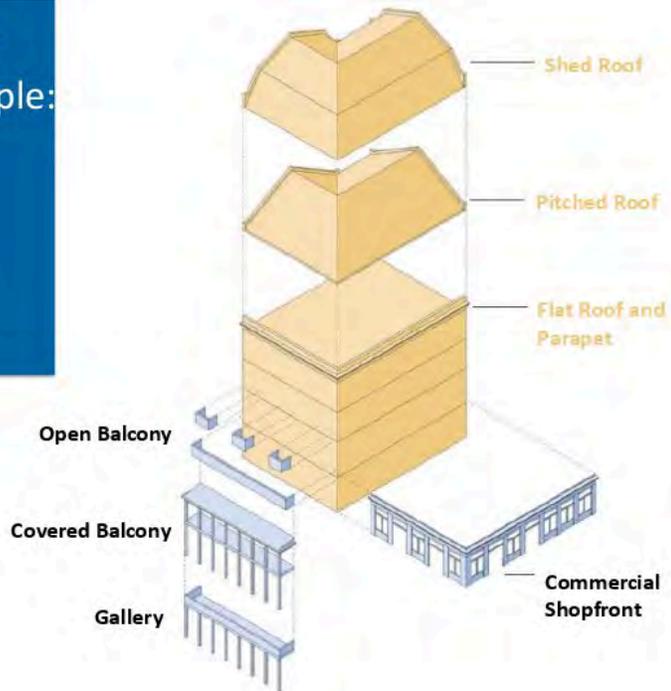
Semi-Recessed Balcony

Terrace Frontage



General Design Elements for Multi-Family Buildings Example: Mixed-Use Apartment

Roof Types
Frontage/Projections Types



Shed Roof

Pitched Roof

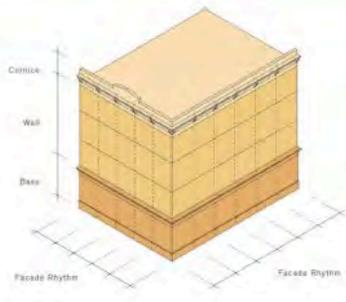
Flat Roof and Parapet

Open Balcony

Covered Balcony

Gallery

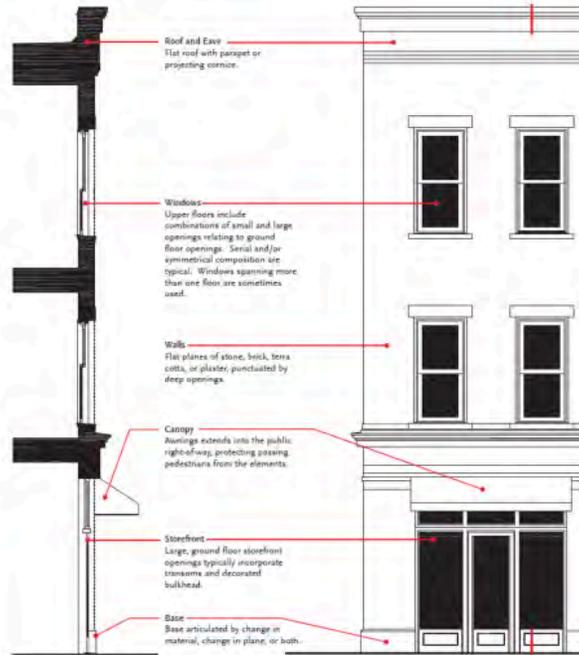
Commercial Shopfront



Main Street Mercantile



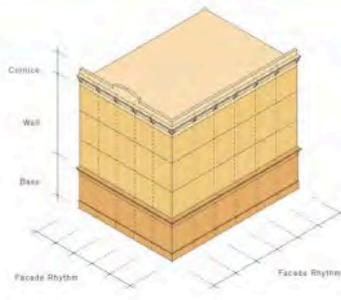
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General Design Elements for Multi-Family Buildings Example: Mixed-Use Apartment

Roof Types

Frontage/Projections Types



Apartments

Flat Roof and Parapet



Mercantile

Open Balconies

Window Pattern

Commercial Shopfront

QUESTIONS AND COMMENTS ON THE DEVELOPMENT PROCESS?



Private Multi-Family Buildings - Barrio



Private Multi-Family Buildings - Village



Public Buildings - Barrio



Issue #1
The Market is
Building Bigger
Buildings Right Now



Issue #2
It is Difficult to
Supersize a Historic
Building Style



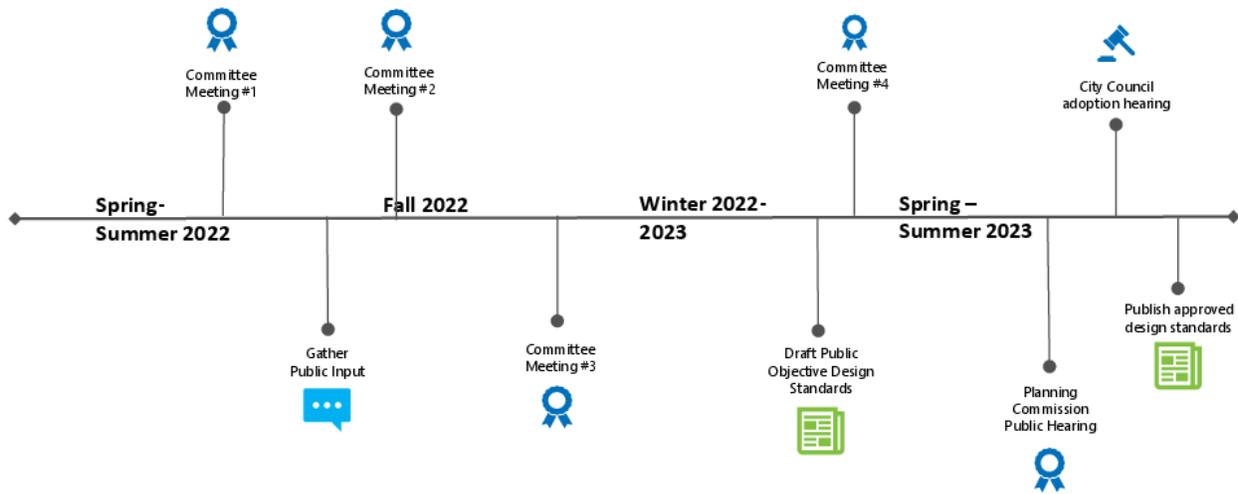
Issue #3
Contemporary
Pluralism (Eclectic)
Architectural Style

Today's "Contemporary Pluralism" (or Eclectic) architectural style asserts that a uniformed design approach is no longer sufficient in a world where **difference is increasingly valued**. Contemporary Pluralism architecture is expressed as fragmented compositions and plural solutions. This approach prefers complexity, contradiction, and ambiguity that reject a formal or unified design approach.



QUESTIONS AND COMMENTS ON
THESE OR OTHER ISSUES?

Village & Barrio Objective Design Standards
Project Schedule



VILLAGE & BARRIO OBJECTIVE DESIGN STANDARDS

NEXT STEPS

Community Survey Open until Monday July 18th, 2022

www.carlsbadca.gov/input (click on “building designs” to go to the survey)

- Second Design Review Committee Meeting held late August (update to follow)



STAY CONNECTED

Project Website: www.carlsbadca.gov/vbdesign

Design Review Committee: <https://www.carlsbadca.gov/city-hall/meetings-agendas/boards-commissions/village-barrio-design-review-committee>

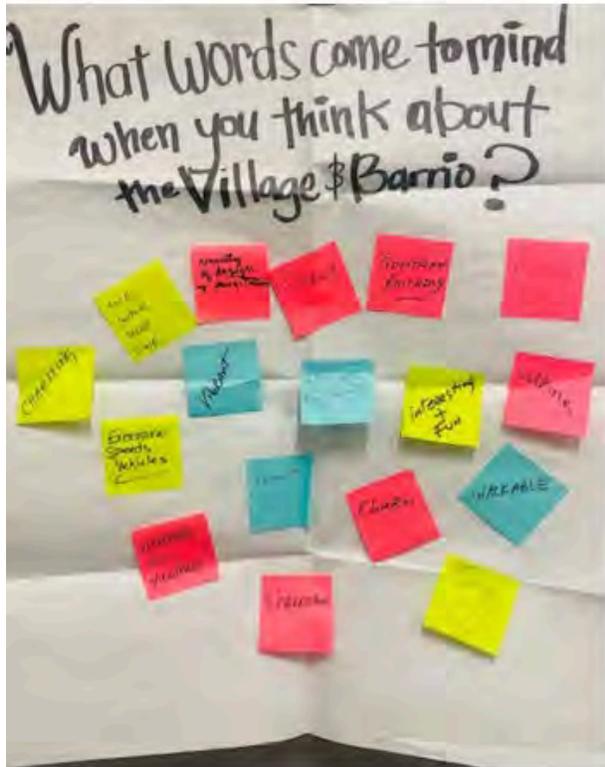
Request to be added to the Mailing List or for any questions/comments please contact
Project Manager Shelley Glennon, Associate Planner
Shelley.Glennon@carlsbadca.gov; (442)339-2605



THANK YOU!



Workshop Meeting Comments



VILLAGE & BARRIO OBJECTIVE DESIGN STANDARDS

Community Workshop Activity Board Comments

- Charming
- Live, walk, shop, dine
- Excessive speeds vehicles
- Walkable open viewsheds
- Variety of design & vegetation
- Vibrant
- Quaint
- Too dark, poor sidewalks
- Community
- Character
- Pedestrian Friendly
- Interesting and Fun
- Charm
- Downtown
- Walking
- Walkable
- Parking 😊



DISTINCTIVE ROOFSCAPE - inverted (butterfly) roof w/ scalped rafter tails



AS APPROVED - character rich design - a solid "A"



AS BUILT - "dumb-ed down" to a mediocre level, a "C-" 2021

Planning Dept **Policy 35**
"Conformance Determination"



B - Commercial CVD

+ Good reuse of an older building
Gazing (windows) open and addition of exterior patio has a design that is sensitive to the original building

Brick work using real material is a building material that could be used to respond to the heritage of the Village



B minus Residential State Street

Contemporary design done well that is with a artistic touch,

Dramatic form from a repeated massing all understated materials so the overall form takes the lead in making the architectural statement

Well done but for me I think there is only room for a few of this design on the main streets





C MINUS Residential State Street

Unit facades are done well and the project makes good use of roofs for owner's outdoor personal space
But its traditional "Row Housing with the same unit appearance repeated too much for a Village setting

Also you can see this was approved and built when the City was under their "we don't like and don't do street trees. So they made the project add some trees directly next to unit windows and then just said no need for more trees

Plain white painted CMU planter at the sidewalk begs to be tagged



SOLID B Residential Laguna & Madison

+ Again what could be deemed "Beach Town Character" massing and materials produce and good facade composition

Site plan breaks down the building grouping well

Good use of detail with window shades

Units use roof to provide private outdoor space



B+ for two projects - Mixed Use State Street

+ Good proportions, interesting use and composition of materials for a well balanced and engaging street edge

Builder went added an extra in custom detail at the street level, note the entry and front door's custom detail, this is what we want on the main streets in the core area - personality

The builder also purchased an easement at the alley side on the adjacent property to set the elec transformer to serve both properties so it would not be set along the street edge in the front of their buildings, gold star for that kind of effort.



D Commercial Grand Ave

Lots of character but it is all wrong for the place and time. Half Timber Tudor that was the regional architecture the pioneers brought with them from the old country, understandable but wrong for today's redevelopment efforts.

The style is totally introverted nice inside to have a black n tan but this building could easily sit in a sea of parking as it does not relate to its surrounding. It responds to snow drifts and timber wolfs not an active Beach Town's main pedestrian corridor

Development needs a total remodel or tear down as it needs to put parking at sub grade level to serve sf.

Needs to open up to the Grand Promenade coming soon to the Village right ?





B Mixed Use Oak & Madison

+ Contemporary design with clean lines and good composition and massing of building forms, color scheme

Nice added light touch of detail in the metal lattice used on all street edge facades

+ big plus for stacking parking to help make room for corner commercial space

- The placement of utility connections, a major negative putting the gas meters at the apex of the two sidewalks, a big snub to the neighborhood. The E meters and transformer box gets to sit and the lobby's front door, rather than go in a sub-grade box on in a purchased easement on the adjacent property.



B+ Residential Laguna Drive

+ Stacking of living levels uses the site well and makes for a dramatic over all form and appearance .

Use of a single wood siding and repeated widow treatment adds to the striking look.

+ for stacking the parking allowing for a single car garage door, this is a plus we want to see repeated in new projects.



A - Residential Oak and Madison

This is a winner for many reasons but the overall character can be titled "Beach Character"

Very nice combination of forms supported by a pleasant color scheme
Interesting site plan for parking
Little repetition of unit modules as the building makes use of its corner site.



Corner sites are the most important to get right!
Good choice of windows and their grouping and nice use of wood timber / trellis as detail
Roofs are used for unit outdoor space ++



D minus Mixed Use Grand and Madison the worst new building in the Village

+ the only pluses are that it turned upper levels off alignment of street level and left an area on the corner for outdoor use

The building materials, windows, color scheme, treatment of balcony decks are all very poor. Bldg not set up well for a restaurant so residents impacted by orders

Worst is the character of the street level edge sterile and un-inviting

Tenant's attempt to humanize the front of their business.



PLANNING POLICY #35 CONSISTENCY DETERMINATION

I ask that your committee give this policy a thorough review then make the strongest of recommendations that it be totally reworked at least for the V-B area. It is the policy that states what level of changes can take place between the "approved" plans and the "building" plans. From that review you will see the policy says next to nothing about building design. In the Village core buildings can be right adjacent to the public realm. I held off saying it in my original piece on P-35 (please see attached paper) but what the city did to the community on the "Lofts" development was "Bait and Switch". And lets call it like it is, this B&S could be said to be the fault of the P-dept but that would not be completely true only partly true as the P-dept, like all city departments, operates per the direction they are given by City Hall. Please ask the P dept to show you the two sets of plans, 1 for the project's approval and 2 for building the project. Ask them to tell you why they approved the changes and do this in a public forum. I have had a career as a design consultant to the building industry and have had many projects change ownerships from initial plans to final (Like the lofts) to hear the new owner say "we want you to dumb down the design" to reduce cost. Everyone involved in the review and approval process should feel terrible about the "Lofts" and start referring to it as the "Lost". And oh buy the way I hear that the builder (Wermers) of the Lofts is back to do a second project in the Village.

Commercial and mixed use projects that will be at the edge of the public realm in the core area should be required to provide the highest degree of materials and design. Due to the high level of exposure and hence high degree of setting the character of Carlsbad's downtown, town-center, heart/start, Village. Materials used here should be real not faux. Key elements should be handcrafted, custom design providing "signature statements" that personalized the street level's physical and visual experience.

PROCESS: It is my hope that with the assistance of an outside consultant your committee can craft new regulations that require creativity that positively steers the design of new or remodeled buildings. However if you do find your path leading to templates for design I ask that you consider the following idea as an alternate.

ALTERNATE: Each development proposal would be required to achieve a total point count on design. Different types of development (res/com/mixed) could have different point counts. These required totals may also be influenced by the area or street where they will be built. The point count would be the tally of individual elements selected for use from a library of design elements produced and provided by the City.

PASS / FAIL: Lastly I propose that each development going through the approval process be given a pass / fail appraisal. A non-binding appraisal, unofficial it would be a statement for the community and to be sent up to the State. That even with our efforts to conceive new regulations that would meet the state's standards the result has led to a unsatisfactory outcome.

BUILDING DESIGN DEFINED FOR DEVELOPMENT PROPOSALS IN THE VILLAGE-SOUTH VILLAGE (BARRIO) MASTER PLAN NEIGHBORHOOD

June 2022

It is my understanding that your committee will be putting together improved standards for the design of buildings that include housing in the V-B Master Plan area. This effort to set standard that do two things, 1- produce buildings that the community finds better reflects who we are and how we want that reflected in the man built environment and 2 - will pass the state's test as providing objective standards an applicant can use to define their housing development proposal. Your efforts are appreciated as your task will be difficult. No matter the final product of your work, I ask that the City require (and this is new) the applicant stand at a public hearing and both visually and more important verbally describe the design of their buildings, that is the inspiration, the objectives and the execution.

As I mentioned I do not believe this effort will be easy. It could easily remove creativity from the development proposal process. Your work can easily fall into producing templets for acceptable design. Templets could easily lead to cookie cutter design solutions as applicants want to get through the process quickly as creativity does not typically come on the cheap.

It is my hope that the comments and illustrations in this paper assist your committee's progress to a successful tool that yields a built environment the community accepts and embraces as a reflection of themselves.

OVERALL CRITERIA FOR BUILDING DESIGN IN THE V-B MASTER PLAN REGIONAL CONTEXT / LOCATION

Buildings should respond to and reflect their setting / environment. A major factor is the climate and physical factors that help shape the character of the immediate area.

UNIQUE IDENTITY / AUTHENTICITY Carlsbad's Village has been in place for some 100+ years. The design of buildings built today should be influenced by that fact. We should hold the Village as the unique jewel it is. What we do not want and what we have (in part) been getting are buildings whose design is the style in vogue today. Buildings of the day that can be seen in any area of SoCal. The core area of the Village must be designed as a unique location with a high degree of authenticity of our seaside starting spot at the most western edge of a great continent with a 100 year legacy.

CHARACTER / LIFESTYLE Today's community has stated that "Beach Town" character is what they want to see from our newly built environment. A beach town rich in character expressing an active outdoor community. A indoor-outdoor life style that reflects our benign climate. Commercial uses at the street level edge should open up to the adjacent public realm to enhance and embrace the special atmosphere we want in the Village core.

Sent: Wednesday, January 26, 2022 12:08 PM
To: Jeff Murphy <Jeff.Murphy@carlsbadca.gov>
Subject: Village Barrio Design Review Committee - Architectural style question

Hello Jeff,

In the description of the tasks for the upcoming VB Design Review Committee it was stated that they would be "Creating up to five different architectural design styles for developers to choose from". I know the committee hasn't even been formed yet but I was wondering if there might be preliminary direction that will be provided to the committee on what styles to start their decision-making process? I want to [\[?\]](#) in alignment with what those styles might look like (as much as I can) and it would be great if you have any information on that. I also reached out to Shelley about it but thought I would ask you as well. Thank you.

Patrick Zabrocki
Cell: [858-245-2473](tel:858-245-2473)

*Dominant Colors for new buildings should be traditional architectural colors.

*New Buildings should provide for bike storage and access to bike and walking paths.

*New buildings should take into consideration the site and the context.

*Buildings should incorporate balconies or Juliet Windows that overlook pedestrian streets when site allows.

*Roof gardens and interior courtyards are positive design elements.

End

CAUTION: Do not open attachments or click on links unless you recognize the sender and know the content is safe.

From: [Lori Robbins](#)
To: [Shelley Glennon](#)
Subject: Notes from town meeting on design standards
Date: Monday, July 4, 2022 7:39:56 PM

Hi Shelley

This email includes some of my notes from our town meeting. I hope that the committee is able to review this list and incorporate some of the comments.

Thank you

Lori

Very important that the new building has a Relationship to street and the pedestrian

*There is a Connection to the earth – the boundary between them is ambiguous.

In other words, it is:

*Impossible to say where the building stops and earth begins. There are setbacks and the building cascades to street level with steps etc.

*As a pedestrian, you feel that the building is no higher than 2 stories.

*Quality materials – such as wood and stone at street level.

*So, no Big Blank Spaces – Articulated recessed high quality windows in different sizes – no repetitive fenestration

*New Buildings in Village are required to have Retail on street level (Retail is not a bank or insurance agency). Ideally a “shopping Street” with Colonnades, promenades, outdoor space with plentiful trees and tree places. (Green Streets)

*Landscape Plans drafted by a Registered Landscape Architect are required when there are opportunities to incorporate plants. Plants shall be specified by the Landscape Architect and adhere to City Code. (i.e. no invasive plants)

*Buildings should have a clear entrance designated by architectural elements.

*Sidewalk Width should be wider when the building is higher if site allows.

Public Comment



LAUREN BRADSHAW

name | organization

Comments

Think parking requirements should
be a part of design process. It's an
after thought and not done right.

Architectural Style Arts + Crafts
and beach elements to make our

village still feel quaint and cute

continue on back if needed >

Spanish influence is important.
So much already makes up our
community + lets embrace.
I would also like to volunteer
if it would help.

Shelley Glennon

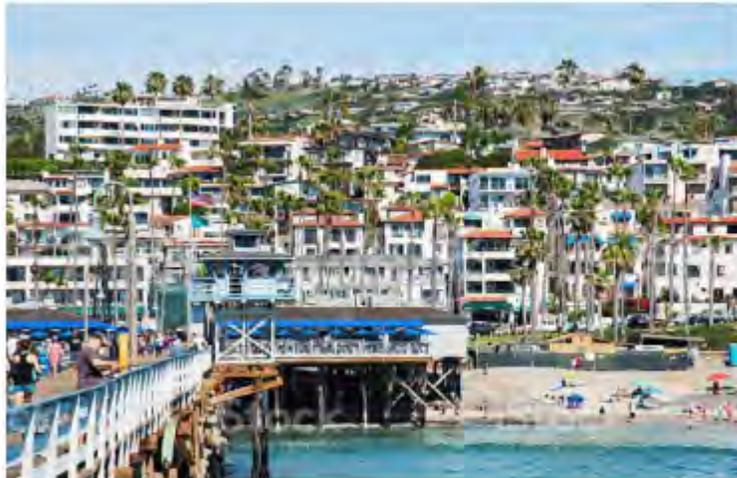
From: SKRE Coastal Living
Sent: Tuesday, July 5, 2022 1:23 PM
To: Shelley Glennon
Subject: Village & Barrio objective design standards

Hello,

Thank you for all your work in Carlsbad!

We have a wonderful Village by-the-Sea that is growing up & up.
Here are some examples our family enjoys of other coastal cities/towns in Southern California.

We feel some great examples of coastal design that creates a cohesive and welcoming feel include:
San Clemente
Santa Barbara
Encinitas/Leucadia
Coronado, except for the huge ugly towers that go through before standards.
& of course others.





Thank you!

Kervin Krause

Carlsbad **Village by-the-Sea**
Southern California

www.CoastalCalifornia.RealEstate

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Shelley Glennon

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& of course others.



From: [Jonathan Jimenez](#)
To: [Shelley Glennon](#)
Subject: Village & Barrio Inquiry
Date: Monday, June 27, 2022 5:16:35 PM

Greetings!

I hope this message finds you safe and well.

Can I ask if the seminar is for the Carlsbad Station condominium project as well? It doesn't specifically say Carlsbad Station but I saw that the map included in the build and was wondering Carlsbad Village included that also.

Thank you so much!

Jonathan Jimenez

CAUTION: Do not open attachments or click on links unless you recognize the sender and know the content is safe.

From: [Gail](#)
To: [Shelley Glennon](#)
Subject: Quick question
Date: Wednesday, June 29, 2022 9:46:19 AM

Hello Shelly,

I completed the survey for design preferences on the village and barrio expansion. Just curious how we will deal with water and energy shortages?

So sad the village is being forced to increase housing density. There are certainly other areas inland that would make more sense.

Kind regards,

Gail Darracq
Broker, Realtor CalDRE #01194196
North County Premier Property Management

From: [Dan Burke](#)
To: [Shelley Glennon](#)
Subject: Village and Barrio Objective Design Standards Workshop Wednesday 06.29.2022
Date: Saturday, June 25, 2022 3:35:23 PM

Shelley Glennon, Associate Planner,

I intend to attend the Workshop on Wednesday and would like to be prepared and informed. Please forward a copy of the **Agenda for the Workshop** and any Supporting materials available. If the Committee has already made Recommendations (tentative or otherwise) regarding the objective design standards and/or potential palette of architectural styles, a copy of such information would also be appreciated. I own a few properties in the Village and Barrio area and I like to stay informed.

Thank you for your assistance .

Be safe . Be healthy. Be kind.

Enjoy your days!

Daniel V. Burke

***CAUTION:** Do not open attachments or click on links unless you recognize the sender and know the content is safe.*

From: Daniel Boilini
To: Shelley Glennon
Subject: architectural designs for Carlsbad Village
Date: Friday, June 24, 2022 9:00:30 PM

Hello Ms Glennon,

I would like to give my input for the basic conceptual designs that are being shown on the website for proposed housing. To me, they all appear very attractive and inviting.

I like the plan that shows the stoops. These buildings look like brownstones in Brooklyn NY. This to me is more appealing than large apartment buildings. Here is an interesting article about the disappearing Brooklyn stoops:

<https://www.brownstoner.com/architecture/brooklyn-brownstone-stoops-history-removal-restoration/>

I don't like awnings because they need maintenance. They get dirty and torn. Need to keep maintenance to a minimum.

The building with the bay windows is very attractive. It looks like it would be expensive to build.

I definitely don't like forecourts. Windows face each other, and noise echoes. Drunks come home at night and shout back and forth. No. No on forecourts.

I like the shop front design. Gives a real city and neighborhood feel.

Parking is almost a necessity, and underground parking is the way to go as opposed to open lots which require a lot of expensive land. And we must be realistic. It's nice to think that residents won't need cars because they can walk everywhere they want to go, but I think the reality is that they will want cars.

I think that whoever worked on these preliminary designs did a fantastic job. But who is going to finance the building of all this housing? Construction costs are sky high. They were even 10 years ago when I built some houses in L.A. Now they are even higher. Who will be able to afford to purchase these units?

Regards,
Daniel Boilini

From: [Barbara Feldman](#)
To: [Shelley Glennon](#)
Subject: Housing
Date: Saturday, June 25, 2022 2:32:53 PM

Enough already Sacramento.

If I move to Manhattan and tell them I need an affordable house will they build one for me? I doubt it. Maybe on the beach in Hawaii?

We have nice weather, evidently my tax dollars readily to spend, why wouldn't everyone come here and be treated to all the perks and give aways of affluent beach living.

What about the longtime residents that have to pay for this in many ways. Bums everywhere, increased crime. I am open to helping folks but this forced system that is thrown at us is not going to end up very well. The price to be paid for naivety.

I was a life long Democrat, lived in San Francisco and Berkeley and have seen all this before. I am a Senior now with a more realistic view on life and how my paltry income is spent and on who. I don't see much being spent on Seniors in Carlsbad. It is

not very inclusive. A small Senior center with few activities, few classes but not much compared to other cities like San Marcos, Oceanside, Encinitas.

Not that many Senior living apartments that I know of. Could somebody care more about Seniors that have lived here most of their lives instead of welcoming, encouraging folks from outside Carlsbad to move in at a greatly reduced cost. The

Seniors here could use a few more programs and help.

Sent from my iPad

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From: SYLVIA G RAMIREZ

Sent: Friday, June 24, 2022 7:19 PM

To: Planning <Planning@CarlsbadCA.gov>

Subject: Re: Village & Barrio Workshop 6/29

Has anyone mentioned to the state that THERE IS A WATER SHORTAGE... Come on Carlsbad...greed is what is driving the gentrification of Carlsbad - not state laws. It sickens ua.

Sincerely,

Raymond and Sylvia Ramirez

P.S. Carlsbad has agency and a voice.. You have to use it!!!!



The City of Carlsbad would like your input to help create objective design standards for multifamily housing and mixed-use development in the Village and Barrio areas.

Workshop
Wednesday, June 29
5 – 7 p.m.
Senior Center Auditorium

From: [Terri Walentitsch](#)
To: [Shelley Glennon](#)
Date: Wednesday, June 29, 2022 8:00:11 AM

We would like to know where the barrio master plan is located.. I guess the "village" is downtown by carlsbad Blvd. You guys keep sending us these emails. please be a little more specific. Where the barrio is. My God, barrio is a Spanish word ..ie. neighborhood... are we living in Mexico?? This is too much!! Could have come up with a better name for your housing development/project.

Just let us know where this barrio is located. Or is all of carlsbad the barrio. WOW. Good to know, city of carlsbad!!

Thank you.

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703 16th Street, Suite 200
San Diego, CA 92101
P 619.704.2700
F 619.704.2000

MEETING NOTES – Public Comments a 7/29 Workshop

Project Name: Village and Barrio Objective Design Standards

Date: June 29, 2022

Time: 5pm – 7pm

BACKGROUND COMMENTS

Questions about if Roof Tops and Green Spaces are included in the project? Yes.

BUILDING ELEMENTS COMMENTS

Comment about the need for quality building materials and avoiding having parking on the ground floor. The height to width of building ratios on the lower level assist the design/building in relating to the pedestrian (Jane Jacobs was referenced).

Question about how upper floor building setbacks equal to reducing density? No.
Comment about the problem with shadows created by boxy building.

ARCHITECTURAL STYLE COMMENTS

Tudor/Victorian are historical styles in Carlsbad (may be included in the 5 styles)

Contemporary Eclectic are ubiquitous and built anywhere (not distinctly Carlsbad). But these new buildings do relate to the street, not a blank wall, quality materials, and recessed windows.

Design for human-scale at the ground level and make buildings more approachable from the street. Incorporate public art.

STREAMLINED PROCESS

Is the Planning Commission and City Council involved in this process? Yes, during this Objective Design Standards process but not during the individual project decisions. The formation of these standards is the time for public hearings and decisions.

Does this process increase or decrease density? No

Is there any opportunity for Greenspace? Yes, if on private multifamily development projects.

ISSUES

Contemporary Eclectic does not fit village character.

Contemporary Eclectic provides light, variation, clean, great views and quality spaces.

Santa Barbara Spanish Revival should be prevalent for its charm/quality and history in Carlsbad.

Need a check list for everyone to follow and understand what is expected.

Question if needed to have a ratio of the 5 architectural types (20% Spanish, 20% Modern, etc.)

End Of Meeting

Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Alicia Lafferty

Attached are the responses requested at the Design Review Committee meeting on 4/25/2022.

Since completing the walking tour, the following are responses to the survey questions:

1. Feeling about the building design.
2. Like architectural style.
3. Specific likes/dislikes.

Site 1: The Lofts at Carlsbad Village (Mixed-Use Building)
1040 Carlsbad Village Dr.

This building was the subject of an email received on 4/29/2021, regarding implementation of the *City of Carlsbad's Planning Policy 35*, regarding Discretionary Permit Consistency Determination guidelines, attached. Changes made to this building from the initial Planning Commission approved design, to the end result were of particular concern to the group Imagine Carlsbad.org.



Rendering approved by Planning Commission.



Recent Photos

The initial project developers sold the lot with the approved Planning Commission documents, then an entirely different design team went through the permitting process. Although the Lofts base façade is similar, (grand scale, monolithic, awnings at door height, etc.), the design was changed from the elegant butterfly roofline proposed to a black flat top in the built version. It feels the project was designed around fire truck and parking access, and the rather chaotic building mass was the result of this focus.

To ensure consistency determinations can be accurately implemented, is Planning Policy 35 still valid today and is this something objective design standards could help to address by defining architectural development standards for the Village and Barrio neighborhoods?

Site 2: Condominium Building
800 Grand Avenue

For the large scale of this facility, the design seems well proportioned. It has a definite style – although not one that is classically familiar. Stark color contrasts make the building feel top heavy. This may not be a concern to most but termination of a street, alley, etc., should be somehow be architecturally articulated with a direct and symmetrical response. All of the bays are shifted off the street grid which could be intentional, but feels unbalanced (*Crisis of the Object – Collage City* by Colin Rowe). Examples could include centering a symmetrical entry, bay window, recess, tower, etc.



Could there be some standard that defines ending the street axis with some type of architectural response?

Site 3: Mixed-Use Building
711 Grand Ave

A suburban strip mall design strategy was inserted into Carlsbad’s most urban neighborhood. The front corner ‘plaza’ setbacks are unusable, inaccessible and unnecessary. A better hiding place than public space. Seems like several buildings instead of one unified edifice. The patchwork of materials is chaotic and the mix of blank walls, surface mounted flush windows, prominent utility placement, slanted balconies and mismatched colors add to an already busy façade. Vertical bands of tile and “keystones” are jarring over and next to openings and seem to cut up the façade rather than unify. The design seems to focus on Grand while Madison seems secondary. Corner buildings should address the corner. Unwelcoming dark patio area breaks with the continuous urban street grid wall.

Can objective design standards specifically address corner buildings?

Site 4: Mixed-Use Building
3088 State Street

This building successfully engages the sidewalk with a well-defined storefront base and sets back the residential for light and privacy. The street grid is maintained and the corner is articulated with an interesting roofline and entry. Unsure of an actual ‘architectural’ style, a contemporary yet industrial theme is present. The façade may have become complicated due to the mix of brick and rough stone bands. The rest of the materials and colors are inviting. The corner tower articulation is evident and the sidewalk setback is ample without being inactive.



Oak has a Heritage tree adjacent to this property. Can street trees proposed in developments complement and incorporate heritage trees?

Are there landscape design standards that could be implemented adjacent to the heritage trees?

Site 5: Mixed-Use Building (NM Corner of Madison St. and Oak Ave.)
3097 Madison Street

This is a very large building for only six units with minimal retail accommodation. On grade parking appears to be driving this design. Clearly contemporary, flat roof and blank walls feel heavy. The facades with windows provide an open feel but the alley parking and blank back wall dwarfs the single story building next door. Use of materials was kept to a minimum and the light colors are welcoming.

The threshold for affordable housing inclusion is seven units. A minimum of 15% of the units are required to be allocated for affordable housing, but due to the low cost of purchasing affordable housing credit exemption, this project likely opted out to avoided accommodation of inclusionary housing. What progress has been made to adjust the in-lieu fees for inclusion of affordable housing?

Site 6.1 Five townhomes (SE Corner of Madison St. and Oak Ave)
745 Oak Avenue

A fairly thought-out design incorporating the Barrio’s existing twin home context while complying with many of the VBMP Design Guidelines. Specifically sited to address both streets by placing entries at both corners, this multifamily residential design attempts to address the single-story suburban neighborhood adjacent by pushing the bulk of the building away from the small-scale house next door. Although a clear architectural “style” is lacking, elements of a contemporary townhome are layered by color and material to help animate the facades on all sides of the project. Desirable items include arched entries, a piano-noble second level residence and articulated roofline. The undefined open area at the garage level on Oak seems dark, rather than providing an outdoor court for resident recreation.



This was reviewed by the Planning Commission within the last 3 years. Would *The FIVES Carlsbad* be the only development on the walking tour that followed the VBMP guidelines after the 2019 Council approval?

6.2 Four luxury apartments
3130 Madison Street

For a tight lot, this project seems to have a well-planned contemporary design. The large hip at the north end seems to unify the gridded bays, and may also allow for solar capture from the south. Good design elements are unfortunately dwarfing the existing home to the north.

Are standards being considered with respect to smaller scale existing development?

A similar example of a restored 1928 (LaBetta?) farm worker house overshadowed in the Barrio.



A Council approved list of historic buildings to protect valuable vulnerable structures within the Village and Barrio Master Plan area is needed.

As stated in the Village and Barrio Master Plan section 1.5.1, the City of Carlsbad should 'develop an implementation program to encourage voluntary (building) rehabilitation'.

Since the 1993 repeal of the Carlsbad's Historic Resource Inventory, no program has been implemented to preserve privately owned historic structures. An "official" historic building program would incentivize building rehabilitation and allow participation in the Mills Act, currently unavailable to Carlsbad residents.

Adopting a Council approved historic building list would also provide a mechanism to implement goals and policies designed to protect local Historic Resources throughout the City. The Planning Commission is currently unable to implement any of these policies without a Council approved list of historic structures.

A separate email shall be forwarded including the 13 remaining pre-1990 historic resource list, referenced in the Historic Preservation Commission's approved letter to Council dated 4/15/2021.

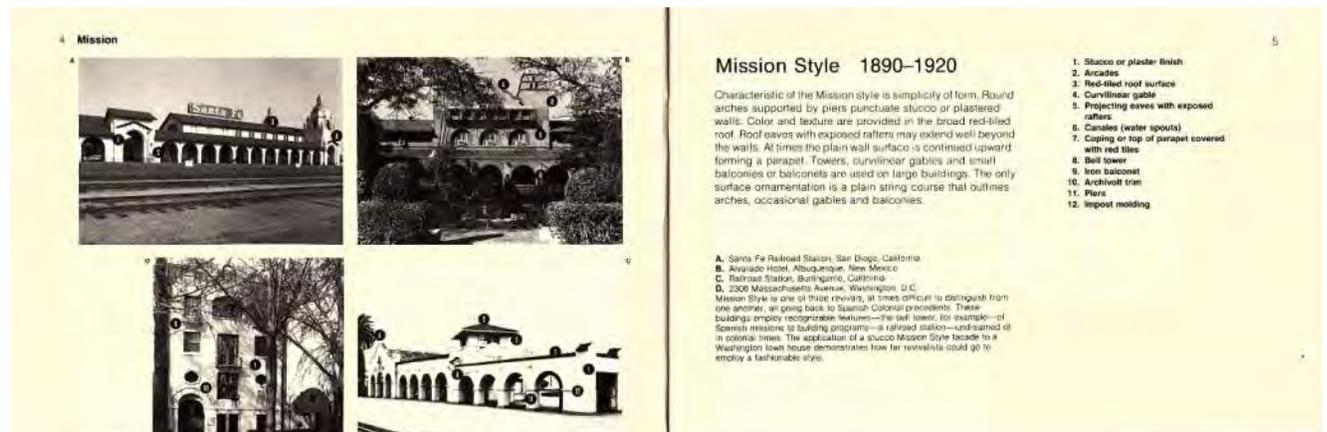
To further strengthen policies for historic resources in the Village and Barrio Master Plan area, could Objective Design Standards include development within or adjacent to historic landmarks or districts, including vibration and possibly standards to protect historic structures when future developments are proposed?

Also enclosed is the Irving Gill article discussed at the committee meeting, referencing creation of a "**Carlsbad Style.**" The Carlsbad Cole Library has a set of blueprints for a municipal water building, drawn by Gill in 1930. The building was demolished, but we know that Gill's last office and last marriage, were both here in Carlsbad. US Santa Barbara holds the Gill archive where some renderings for Carlsbad exist of this ideal architectural style.

Another use for having an approved historic list would be to base defining architectural styles on the existing historic buildings in Carlsbad. The example shows the twin home on State Street for Mission style. This architectural style methodology could be applied to Spanish Colonial (Gage house), Victorian Gothic (Santa Fe Depot, Twin Inns, Culver house), Tudor Revival (Alt Carlsbad), Classical Revival (Shaw house), Craftsman/Bungalow (Magee House), Modern, Mid-Century Modern (St. Michael's new church), to name a few. Identifying well defined architectural styles could avoid non-descript words like beach, contemporary, farm, Mediterranean, Spanish, etc...

As an example, attached is a scan from the book *Identifying American Architecture*, (pages 4-5), referencing the *Mission Style*, keying significant architectural details, elements and forms.

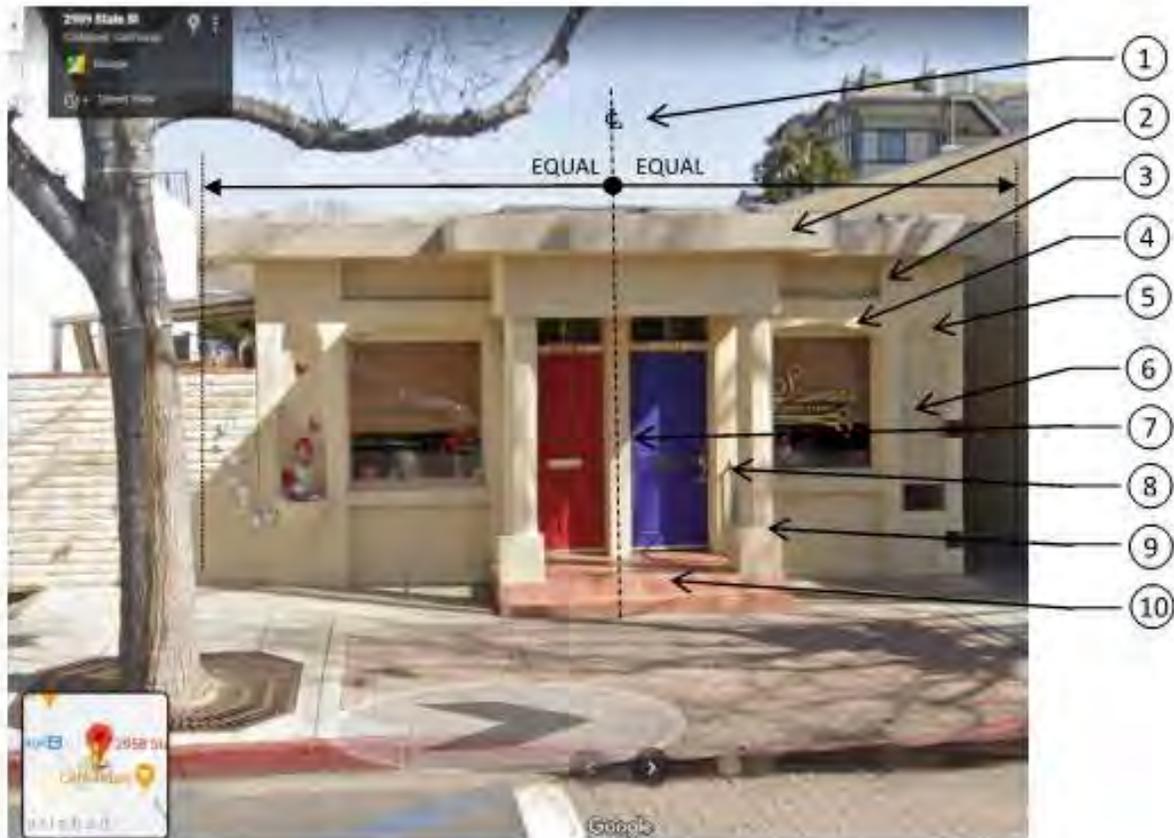
<https://wnnorton.com/books/9780393306101>



An example using the book as a model is a sample draft specific to Carlsbad of a twin home in the Village. This analysis method could be targeted to highlight unique differences, rather than quantify the overall definition of each style.

(Sample) – DRAFT 20 OCT 2020

Historic Property - 2959 State Street, Carlsbad, CA 92008



Mission Style - Twin Home

KEY TO ARCHITECTURAL DETAILS, ELEMENTS AND FORMS

1. Symmetrical design
2. Projecting eaves
3. Stucco or plaster finish
4. Archivolt trim
5. Arch
6. Recessed niches
7. Portal – with entry doors
8. Iron railing
9. Piers/columns with base and cap
10. Porch/stoop entry on street front

Adapted from: *Identifying American Architecture – A Pictorial Guide to Styles and Terms, 1600-1945*, by JG Blumenson, 1977, 1981, WW Norton & Company, Inc.

7. The walking tour prompted a review the **VBMP planner’s design guidelines checklist**, included in the agenda packet for Planning Commission public hearings. Reference the markup attached.

8. Additional examples addressing open space and parkland within the VBMP masterplan:

910-920 Chestnut Ave
NE corner of Harding & Chestnut across from Pine Park

A modern interpretation of the existing twin homes found throughout the Barrio, attached is a photograph of a building on Harding at Chestnut, where the building massing faces Pine Park. Architectural form works to address the street, park and sidewalk with a low wall, elevated entry stoops up to the residence and well landscaped planters to create a buffer between the homes, pedestrians and traffic. All four façades are layered and provide openings to address the street interior courts, and side yards, etc., and stepped back to provide privacy for residents and additional light to the street. This development limits parking access to a single driveway and provides space to hide the trashcans.



Sections from the City of Davis, CA, have been attached regarding building around civic spaces, for reference. Although preferable to have city wide policy, Pine, Chase field and Magee Parks could be the test for design standards incorporating these strategies in the Village and Barrio Master Plan objective design standards.

Could design standards specifically address building form zoning responses around parks and open spaces?

9. “Smart Growth” is mentioned in the VBMP, but not well defined.

The San Diego Association of Governments (SANDAG) has a Smart Growth land use policy in their Climate Action plan. Below is the link to the federal government’s Environmental Protection Agency development and conservation strategies for Smart Growth:

<https://www.epa.gov/smartgrowth/about-smart-growth>

Can the design standards specifically comply with either SANDAG’s and/or the EPA’s Smart Growth policies?

10. Barrio egress.

Due to the proximity to transit, and recent state laws changing single family zoning, all areas throughout the Village and Barrio are subject to increasing density. Several options should also be considered with development of objective design standards:

While the Village has multiple through streets to get to the freeway and coast in case of emergency, the Barrio is limited to one eastern egress under the freeway at Chestnut, one way south at Jefferson, and no egress west toward the coast. All traffic in the Barrio is forced north which makes evacuating in an emergency problematic if something closed these routes.

Policy opportunities should be considered to require developments to provide or contribute to funding additional physical connections west along the railroad tracks toward the ocean, east along the freeway and south. To provide additional access, could specific sites be identified and locations for bridging and/or tunneling should also be considered?

Please provide to the consultant the studies requested by the Carlsbad City residents, to modify the current on-grade rail road system by burring the tracks from Carlsbad Village to Tamarack Avenue. What is the plan to develop adjacent to the projected increase in rail traffic?

11. Other items for consideration:

Could building code minimums be exceeded to expedite the permitting process?

Fireproof (masonry and/or concrete) party wall construction – 3-hour fire rating minimum.

Sprinkler design be included in the initial building department submission for permit approval – not a differed submission as typically processed.

Burying ALL utilities and providing alley area right of ways and/or sidewalk vaults, to provide dedicated power box locations – away from building façades.

A specific design strategy to address trashcan storage. Could dedicated, centrally located trash / recycling areas (possibly underground compaction locations for daily removal and clean -up), be considered within the alley right of ways?

Our neighbors in Encinitas, CA, have adopted a ‘green building’ ordinance to exceed the state’s minimum requirements for energy use in building construction. These projects propose to provide net-zero energy consumption with integral solar power, fully electric low demand appliances, recycled water capture /lower water-use, increased insulation (R-value), etc. An example in Carlsbad recently built is:



580 Laguna Drive
Net Zero, solar powered, all electric appliance condominiums.

Would Carlsbad consider adopting a building electrification reach code?

The Council presentation on 4/26/2022 outlined the new housing laws from the state, and in particular SB9, allowing single family lots to accommodate up to four (4) units. Could multi-family residential standards be implemented (i.e., reducing the 5 unit minimum to 4 units)?

Please contact me with any questions, and available for assistance with any research required.

Thanks for the opportunity to comment and for forwarding this information to the consultant.

Alicia Lafferty
760-434-3873
Alaff.nsad@gmail.com

PLANNING DEPARTMENT
Administrative Policy

Policy No.	35
Date Issued	August 18, 1998
Effective Date	February 26, 2001
Revised Date	February 23, 2001
Supersedes No.	

General Subject: Discretionary Permit Consistency Determinations

**ATTACHMENT
ITEM 1**

Specific Subject: Guidelines

Copies to: Department Staff, File

POLICY:

I. Intent and Purpose

An expectation and goal of the Carlsbad City Council, Planning Commission, City staff and general public is that all aspects of an approved development project (i.e. site design, landscaping, architecture, grading and conditions of approval) are completely implemented through project build-out. The overriding objective is to attain the highest quality project consistent with the design, conditions, and commitments associated with the original project approval. To this end, project applicants are required to provide detailed planning, engineering and building design information during the project review process. It is, however, recognized that there will be situations where aspects of an approved project will be proposed for revision.

When the project involves a Tentative Tract Map or Tentative Parcel Map, and the proposed revisions would change that map, then the applicant must follow the Substantial Conformance policy of the Engineering Department (Policy 30, dated September 5, 1990). In these cases, according to State Law, the City Engineer must determine if "the subdivision as shown is substantially the same as it appeared on the Tentative Map and approved alterations thereof."

Virtually all projects, however, involve a discretionary permit(s) issued by the authority of Title 21 - the Zoning Ordinance. In these cases, the Planning Director has the responsibility of determining if the revised project is substantially the same as approved. Therefore this policy was derived to outline the criteria and procedures for obtaining a Consistency Determination from the Planning Director.

More specifically, these Guidelines provide: (1) criteria for determining whether a requested project revision can be found to be consistent with the original project approval; and, (2) procedures for processing a Consistency Determination request. Since this process is different and separate from the Engineering Department's Substantial Conformance review, it is possible for a project to be conforming to the approved Tentative Map but not consistent to the other discretionary permits.

II. Consistency Determination Criteria

A project revision may be determined to be consistent with the approved project if all of the following findings can be made:

- (1) No project condition, feature, facility or amenity is changed or deleted that had been considered essential to the project's design, quality, safety or function;

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General Subject: Discretionary Permit Consistency Determinations

Specific Subject: Guidelines

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- (2) The request represents an upgrade in overall design features and or materials and improves upon the project's compatibility with the surrounding neighborhood;
- (3) The proposed revision does not change the density (i.e. the addition of units) or boundary of the subject property;
- (4) The proposed revision does not involve the addition of a new land use not shown on the original permit (e.g. adding a commercial use to a residential project, replacing single family units with attached residential units, vice versa for each example, etc.);
- (5) The proposed revision does not rearrange the major land uses within the development (e.g. it does not exchange the locations of single family units with attached units);
- (6) The proposed revision does not create changes of greater than ten percent (10%), provided that compliance will be maintained with the applicable development standards of the Carlsbad Municipal Code as follows:
 - Per individual lot or structure** - yards, setbacks, coverage or height (height reductions of >10% are permitted);
 - On an aggregate project basis** - parking, open space, common area or landscaping;
- (7) The proposed change will not result in any significant environmental impact, and/or require additional mitigation;
- (8) The proposed change would not result in any health, safety or welfare impacts;
- (9) There were not any major issues or controversies associated with the original project which would be exacerbated with the proposed change; and
- (10) The proposed change would not be readily discernible to the decision makers as being substantially different from the project as originally approved.

If the proposed revision does not comply with all of the above listed Consistency Determination findings, then a determination of consistency cannot be made. The proposed project revision should be processed as a formal project amendment.

PLANNING DEPARTMENT
Administrative Policy

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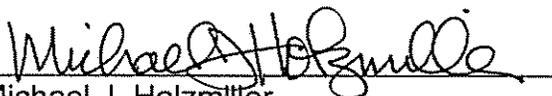
III. Consistency Determination Procedures

A request for a Consistency Determination shall be submitted to the Planning Department as a "major" Preliminary Review (CD) application **and the appropriate fees collected**. The application shall include 2 sets of amended exhibits, graphics, statements or other information as may be required to explain and justify the request.

Consistency Determination Preliminary Reviews will, where feasible, be assigned to the original project planner and engineer for review. The Consistency Determination request should also be reviewed by the project planner's "team". Within approximately 30 days of the Consistency Determination request submittal date, a letter will be sent to the applicant which will either: 1) include the Planning Director's decision on the Consistency Determination request; or 2) identify any additional information deemed necessary to make a Consistency Determination. Within approximately 30 days of the date of submittal of all requested additional information, notice of the Planning Director's decision on the Consistency Determination request shall be mailed to the applicant. The letter shall include a decision regarding whether the Consistency Determination request is granted or denied.

Upon approval of a Consistency Determination request by the Planning Director, the project applicant shall submit two (2) blue-line copies (24" x 36") of all Consistency Determination exhibits to be stamped "Consistency Determination Exhibit" and filed in the appropriate project files. The applicant shall also provide the City with a reproducible 24" x 36" mylar copy of the amended Site Plan, which shall be stamped "Consistency Determination Exhibit" and signed by the Planning Director.

APPROVED BY:



Michael J. Holzmillier
Planning Director

The "Lofts" a new Mixed use development on CVD in Carlsbad's Village

Feb 2021



This image was used to present how the "Lofts" project would look along its CVD frontage, It was one of multiple images use to illustrate the character this mixed use project would provide at this important location in the Village. These images helped to obtain the project's support from *Imagine Carlsbad* and the development's approval via the discretionary approval process,

Note;

The vegetation spilling over the façade from an upper level

The "Butterfly" roof and stone column making for an interesting articulated roof-scape and skyline edge

The use of rich building materials and the scalped façade of the upper level moving in and out again to provide visual interest.



Image of the "lofts" under construction from the same view pt.

Yes the building is not finished, so we don't yet see the final product, but what we can see is the building's designed rhythm of the roof-scape is gone, no more "butterfly" roof with its articulated rafter tails on the SW corner, no column of stone rising at the SE corner. It will not have vegetation draped from an upper level. Those upper levels of the CVD façade do not appear to move in and out as it did on the earlier plans. The changes to this building's facade add up to a vastly different building appearance than what was presented in the approval process. This is what Policy #35 has given this primary entry into the Village, given to the neighborhood, given to the community and yes given to the builder.



Roofscapes for the Village



Example "A" Character and interest from a bit of rhythm and articulation to the skyline.



Example "B" currently this is the tallest building in the area, so why are major portions so dull (being kind) what is the architectural statement being made here? Being made to the Village, to the neighborhood? Why is it so so plain that from this view point it looks like a jailhouse - *"the Village Jail"* Minimize expense to the builder, maximize expense to Village character..... *Carlsbad we can do better than this!*

Carlsbad Planning Dept - **POLICY 35** - Conformance Determination
Feb 20, 2021

Imagine Carlsbad requests the City do a thorough review and evaluation of the Planning Department's Policy #35. This policy is meant to deal with requested changes a developer wants to make in building. Changes to their development as compared to what they proposed to build in obtaining approvals for the development. The policy (Consistency Determination) was initiated in 1998 then updated some 20 years ago in 2001. It is meant to give the department guidelines to evaluate if the changes requested by a builder are consistent with what was presented for approval through the discretionary process. A copy of the policy is attached.

We believe that the new & ongoing construction of "The Lofts" by Wermers in the Village represents a significant example of how far off the mark the policy's current criteria is. Its use in making evaluations of development is off the mark for the Village neighborhood and possibly off for all neighborhoods across Carlsbad. We believe the construction of the "Lofts" project, approved for the Village via its new Master Plan, reveal that policy 35 is out dated and the departments use of it needs to be refocused for a more accountable and meaningful result for the community.

The intent of this Policy is spelled out in its nine guidelines (listed 2-10), of these we are highlighting numbers 2,6 & 10 . We question the effectiveness of the policy's guidelines and there use by the planning department. We submit that guideline #6 is flawed in that it does not make any reference to building design as a criteria for evaluation. Appearance from the design of buildings should be a major factor in evaluating any and all developments, especially when the building is up close to the public realm as it is in the Village. We believe the appearance of the building at the "Lofts" has changed more than the limit of 10% mentioned in guideline #6. We submit that the changes approved via this policy do not "represent an upgrade in overall design features and materials" as listed in guideline #2. Also listed in guideline #2 is the wording "improves the project's overall compatibility with the surrounding neighborhood", We question how the department made a consistency determination for this guideline.

Lastly as stated in the policy's guideline #10 "proposed changes would not be readily discernible to the decision makers as being substantially different from the project as originally approved". That poses a question to you the "decision makers" at City Hall. Comparing the images of the development presented for approval against what you see being built, do you see no readily discernible, substantially different change in how this new development presents itself to its neighborhood? The "lofts" location on CVD is a primary entry point into our downtown Village. We only get one chance to make a first impression, so why were the changes allowed under policy 35 giving us what we now see on this prominent development?

City Hall provides the general direction on how all City staff operates, so we think the Planning department should be asked to provide feedback to City Hall. This should come from their answers on how the department views Policy 35, how they use it and why it had them allow the changes made on this significant Village project. In response to the Village's physical environment, unique to the rest of town, Imagine Carlsbad proposes that any amendment to policy 35 should produce a "village edition". That amendment might best be addressed as part of the development of architectural standards in the Village-Barrio Master Plan, with the policy included in that document. The amendment could then be guided by the outside consultant assisting the City with these new standards.

4.2.4 Historic Adjacency

BE AUTHENTIC TO SAN JOSE

Incorporate essential urban and architectural characteristics of historic context.

RATIONALE

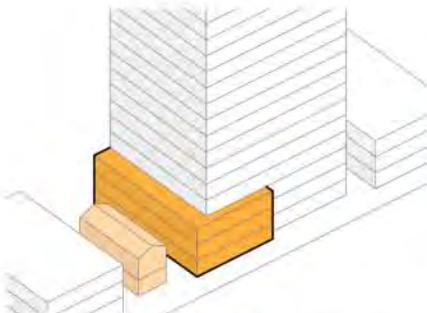
Historic buildings are a unique and irreplaceable feature of Downtown. New adjacent buildings should respect and enhance historic structures, not overwhelm them. A building with *Historic Adjacency* should respond to prominent characteristics and patterns of *Historic Context* buildings to improve the building's fit within the context.

Applicability

A site has *Historic Adjacency* when any of the these are true:

- At least 50% of buildings fully or partially within 200 feet are on the San José Historic Resources Inventory (HRI) or are eligible for HRI listing.
- The site is within 100 feet of a Designated or Candidate City Landmark or contributor to a district or conservation area.
- The site is adjacent to a historic building on the Historic Resources Inventory (HRI) or eligible for HRI listing.

The building(s) within the categories above that cause a new building to have *Historic Adjacency* are the new building's *Historic Context*.



DO - Transition massing creates a relationship between buildings of different scales.

GUIDELINES

General

- Design a building with *Historic Adjacency* to stand on the quality of its own architecture, not as a backdrop for historic buildings.
- Use a *Streetscape* and landscape design that helps to unify the new and old structures.

Massing

- Use a transition massing element to relate a new building to *Historic Context* buildings below 40 feet in height on the same side of the same block. This massing may be a lower building mass forming the street wall that has a similar height to *Historic Context* buildings, with a step back to the upper *Podium Level* and *Skyline Level*. See also Section 4.2.2.

Facade

- Design the *Skyline Level* with massing and facade elements that reduce contrast to *Historic Context* structures.
- Design new buildings to be compatible with rear facade features and circulation patterns such as loading access and alleys established by *Historic Context* buildings.
- Use facade elements with a scale that creates visual correlation with nearby *Historic Context* building facades.

Elements

- Use distinctive architectural features in the *Podium Level* that relate to those in nearby *Historic Context* buildings.
- Place windows and doors in a rhythm that responds to the established rhythm of windows and doors of *Historic Context* buildings.



DO - The new building at rear responds to *Historic Adjacency* through materials and fenestration.

STANDARDS

Massing

- a. Relate *Podium Level* building massing to the scale of *Historic Context* buildings by breaking a large building into masses of similar scale to *Historic Context* buildings.
- b. Design buildings with rectilinear rather than curved and diagonal forms where rectilinear forms are typical of the *Historic Context* buildings.
- c. Use cornice articulation at the *Podium Level* at a height comparable to the heights of *Historic Context* buildings.
- d. Maintain *Streetwall* continuity with *Historic Context* buildings that are on the same side of the same street by placing the street-side facade of a new building within 5 feet of the average *Historic Context* building *Streetwall* distance from the front property line.

Facade

- e. Use articulation that creates facade divisions with widths similar to *Historic Context* buildings on the same side of the same block (if the new building is wider). A variety of techniques can achieve this articulation, including facade design, material variations, and color variations. For example, if the street facades of most nearby *Historic Context* buildings are vertical in proportion, taller than they are wide, then maintaining the vertical orientation of the building facade will result in a more compatible design.
- f. Do not simulate historic architecture to achieve these guidelines and standards. Do not design new facades to create a

false historic appearance or copy historic architectural features unless such features are integral to the design of the new construction.

- g. Place windows on *facades* visible from the windows of the adjacent *Historic Context* structure even if this requires that the *facade* be set back from the property line.

Elements

- h. Use some building materials that respond to *Historic Context* building materials, such as masonry, terra cotta, limestone, stucco, glass, mosaic, cast stone, concrete, metal, glass, and wood (trim, finishes and ornament only).
- i. The new materials should be compatible with historic materials in scale, proportion, design, finish, texture, and durability.

Ground Floor

- j. Space pedestrian entries at similar distances to *Historic Context* building entries.
- k. Create a ground floor with a similar floor to ceiling height as nearby *Historic Context* buildings, provided the ground floor finish ceiling is no lower than the minimum height identified in this document.

RELATED GUIDELINES

- 2.3 - Historic Sites and Districts Plan
- 4.2.2 - Massing Relationship to Context
- 4.2.3 - Civic Icon Adjacency

GENERAL PLAN REFERENCE

- Chapter 6 - Historic Preservation
- LU-13.5, LU-13.15, LU-15.1, VN-1.10



DO - A new building can fit into a historic context using materials, massing, and *facade* treatments that respond to existing buildings.



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Irving Gill in Oceanside

In a recent poll of local architects, Irving J. Gill (1870-1936) was named San Diego's greatest deceased architect. No great surprise.

Oceanside was and is blessed to have a number of Gill designed buildings. Some have been lost and a couple are in serious need of restoration.

Gill's work in Oceanside was in the last 10 years of his life, and during the Depression, when residential projects had almost ceased and the best architects were hustling public building projects. Gill solicited the attention of the city governments and chambers of commerce in North San Diego County, as he was living in Carlsbad at the time. He cryptically promised the Carlsbad community he would be founding the "Carlsbad Style" of architectural design, which would make the town famous. This was not to be as Gill apparently never finished a building in Carlsbad. For the City of Oceanside, however, he rendered large complexes of city buildings, large even in a Los Angeles scale. This served to hook interest and resulted in commissions, albeit radically smaller ones.



Irving Gill's Oceanside era work is more personal than most. He was working with few, if any, staff and so every detail was drawn from his own hand. He was no longer interested in jumping between proto-modernist and revivalist styles, but stuck to the look he had developed. Unlike other architects of his time, notably Frank Lloyd Wright and Louis Sullivan (both of whom Gill worked with early on), Irving Gill was reluctant to put into words his design theories. His one major article describing his taste and philosophy was almost certainly ghostwritten for him. His comparatively small number of surviving drawings are infrequently displayed, and only a couple of handfuls of his structures survive in a form he would approve of.

So, what makes Gill's best work work? Some have suggested, lines and shapes: others, soul. I'd add: theatre: the orderly progression and focusing of an all-media idea to its conclusion.

If one thinks of the word "theatrical" related to design, one would not think of a minimalist like Gill, but he brought a theatrical control to his spaces that few can match. As a theatre design student, I was taught "if the set looks finished before the actors enter, you have failed." In this way his work is a success.

No single exhibition, book or web-site can alone convey the range of an artist's work. I encourage you to enjoy the fragments we are able to show, then visit the sites, read the books and look at the photographs. And when your head is full, eliminate all but the essential.

The Show *Irving Gill in Oceanside* opened on Saturday, June 21st at the Oceanside Museum of Art. A crowd of 350 people attended the preview. The show, which runs through August 17th, features original Gill drawings for the Melville Klauber and Wheeler J. Bailey homes and the Coronado Christian Science Church, artifacts salvaged from the Klauber house, the largest selection of Gill furniture seen at one time, Oceanside school blueprints and photos, Gill's diary and notebook and other interesting items. The Museum is at 704 Pier View Way (old Oceanside City Hall building) in Oceanside, CA. Closed Mondays. Call (760) 721-2787 for more information.

Editor's note Erik Hanson is the guest curator for this exhibition.

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VILLAGE AND BARRIO MASTER PLAN DESIGN GUIDELINES

INTENT	
<p>The Design Guidelines (guidelines) intend to implement and enhance the existing character within the Village and Barrio as new development and property improvements occur. Together, the Village and Barrio are a unique, mixed-use environment. They serve as both a shopping and entertainment destination as well as a place to live and work. The guidelines aim to improve the character of the Village and Barrio while improving livability. Guidelines address many components of building style and orientation, including site layout, building massing, roof form, building façades, and appurtenances. Images are intended to provide a visual example of a targeted topic described in the caption and may not represent all aspects and direction provided within this document. Through these areas of focus, the guidelines strive to foster authentic designs with straightforward and functional construction.</p> <p>All development should align with the spirit and intent of the design guidelines presented in this chapter. Designers and developers should consider at a minimum that these guidelines are a starting point for quality development, and do not comprise every possible strategy for achieving high quality design. Therefore, it is prudent that designers use their own techniques for achieving authentic, high quality design. The following guidelines apply to all new and remodeled development within the entire Master Plan Area unless exempt as determined by Section 6.3.2.</p>	
2.8.2 SITE PLANNING GUIDELINES	CONSISTENCY STATEMENT
<p>A. Site layout</p> <ol style="list-style-type: none"> Place buildings adjacent to, and oriented towards, the street. Locate prominent architectural features near corners and intersections. ← Orient storefronts and major building entries towards major streets, courtyards, or plazas. Minimize gaps between buildings in order to create a continuous, pedestrian-oriented environment. ← Place parking lots so as not to interrupt commercial street frontages. Incorporate functional and aesthetic vehicular and pedestrian connections to adjacent sites. ← Createsmallpedestrianplazasalongthestreet wall through the use of recesses in building form. ← Provide easily identifiable pedestrian access from the street and/or sidewalk to key areas within the site. ← Incorporate plazas, landscaped areas, fountains, public art, textured pavement, and vertical building features to create focal points that enhance a pedestrian’s experience. ← Utilize atriums and outdoor courtyards to increase the variety and number of views and to bring additional sunlight into large developments. ← Give careful design consideration to corner lots, as they are typically a focal point in the urban fabric. ← Utilize courtyards or other methods to break up the building mass and provide natural ventilation, wherever possible. ← 	<p>Define '<i>prominent architectural features.</i>'</p> <p>How small is an acceptable gap?</p> <p>Define '<i>functional and aesthetic connections.</i>'</p> <p>How small is an acceptable recess?</p> <p>Define '<i>easily identifiable pedestrian access.</i>'</p> <p>Define '<i>focal points.</i>'</p> <p>Should calculations for sunlight and ventilation be required?</p> <p>Define '<i>careful design consideration.</i>'</p> <p>How small is an acceptable break?</p>
<p>B. Parking and access</p> <ol style="list-style-type: none"> Locate parking behind buildings and away from the street, wherever possible. ← Use pervious paving materials, whenever possible. ← Buffer residential uses from commercial parking lots by landscaping, fencing, and/or walls. ← When walls or fences are utilized to screen parking, provide breaks to allow for ← 	<p>How far from the street?</p> <p>Define '<i>buffer residential uses.</i>'</p> <p>How small is an acceptable break?</p>

<p>pedestrian circulation and limit height for safety and security purposes.</p> <ol style="list-style-type: none"> Divide large parking lots into smaller areas with landscaping and clearly marked pedestrian paths. Highlight primary pedestrian access paths within parking areas with decorative paving, trellises, canopies, lighting, and similar improvements. Create pedestrian paseos to parking lots of buildings. Locate parking below grade or in structures, where feasible. Design parking structures so their height and bulk are consistent with adjacent buildings. Provide bicycle parking at convenient locations such as entrances or other visible and accessible areas. Provide electric vehicle charging stations and equipment where feasible and as otherwise required. 	<p>← What height is safe? What is the size difference between a large & small parking lot?</p> <p>← Define 'clearly marked' and 'highlight,' & 'pedestrian paseos.'</p> <p>← How can context define bulk?</p> <p>← Convenient for who? Pedestrians, cyclist or developer?</p>
<p>C. Plazas and open space</p> <ol style="list-style-type: none"> Provide private or common open space and pedestrian connections to such spaces to enhance the living environment and contribute to a walkable neighborhood character. Semi-public outdoor spaces, such as small plazas and courtyards are encouraged between private and public spaces to support pedestrian activity and connectivity. Design plazas and building entries to maximize circulation opportunities between adjacent uses. Provide landscaping and high-quality paving materials, such as stone, concrete or tile, for plazas and open spaces. Place outdoor furniture, such as seating, low walls, trash receptacles, bike racks and other elements, in outdoor pedestrian spaces. Site buildings to define open space areas. Ensure that outdoor areas are visible from public streets and accessible from buildings, as well as, streets and pedestrian and bicycle networks. 	<p>← Define.</p> <p>← Define.</p> <p>← Define.</p> <p>← Does open space = parking? Should buildings next to/or across from park or open space be designed differently from buildings developed within the street grid? Should buildings next to parks face the open space and be allowed to have higher density?</p>
<p>F. Mechanical Equipment and Service Areas</p> <ol style="list-style-type: none"> Carefully design, locate, and integrate service, utility, and loading areas into the site plan. These critical functional elements should not detract from the public view shed area or create a nuisance for adjacent property owners, pedestrian circulation, or vehicle traffic. Locate loading areas in the rear of a site where possible. Locate mechanical equipment and service areas along and accessed from alleys or the rear of properties, wherever possible. Place public utility equipment, meter pedestals, and transformers underground or away from sidewalks and pedestrian areas, where feasible. Screen all mechanical equipment from public view. Ensure roof mounted mechanical equipment and screening do not interfere with required solar zones or installed solar photovoltaic or solar water heating systems. 	<p>← Define.</p> <p>← How far from the sidewalk?</p> <p>← What types of screen & how large should they be?</p>

<p>7. Design trash and recycling enclosures to be consistent with the project and building architecture, and site and screen them to minimize visual impact.</p>	<p>What % screening is required? 100%, 50%?</p>
<p>G. Landscaping Landscaping shall meet the policies and requirements set forth in the City of Carlsbad Landscape Manual.</p> <ol style="list-style-type: none"> 1. Utilize landscaping to define building entrances, parking lots, and the edge of various land uses. 2. Utilize landscaping to buffer and screen properties. 3. Consider safety, environmental impacts, and accent elements when selecting and locating landscaping elements. 4. Landscaping, between the front property line and the building creates a visually interesting transitional space. Select and place plants to enhance and soften architectural elevations, screen undesirable building features and contribute to the overall quality of the streetscape. 5. Select species that are compatible with Carlsbad's semi-arid Mediterranean climate, and that will grow to an appropriate size at maturity. 6. When there are minimal landscape areas between the building and the street, incorporate planters onto porches, recessed building entrances, and planters on decks and balconies. 7. Minimize paved vehicle areas such as driveways and parking areas. Design driveways to be no wider than necessary to provide access. Incorporate permeable surfaces, such as interlocking pavers, porous asphalt, power blocks, and lattice blocks/ grasscrete or ribbon driveways where feasible. 8. Utilize planting to screen less-desirable areas from public view, i.e., trash*, enclosures, parking areas, storage areas, loading areas*, and public utilities*. 9. Provide landscaping between any parking lot and adjacent sidewalks or other paved pedestrian areas, as well as, within surface parking lots. 10. Incorporate native and drought tolerant vegetation whenever possible. Avoid use of invasive or noxious plants. 11. Incorporate lattice work and landscaping onto existing blank walls to support flowering vines growing out of planters placed at their base. 12. Plant trees and fast growing and flowering vines along fences and walls to soften the appearance of the fencing and screen views to functional on-site work and storage areas. 13. Utilize vines, espaliers, and potted plants to provide wall, column, and post texture and color and to accentuate entryways, courtyards, and sidewalks. 14. Incorporate large planters into seating areas. Planters should be open to the soil below and should incorporate permanent irrigation systems. 15. Maintain landscaping and yard areas regularly to keep a desirable, healthy appearance, eliminate trash, and control vermin. 16. Incorporate Low Impact Development (LID) strategies, site design, and source control measures into projects. Examples include rain gardens, rain barrels, grassy swales, soil amendments, and native plants. 17. Utilize seasonal shading from trees and shrubs when developing planting schemes for courtyards and streetscapes on south and west facing facades. 	<p>How can landscape be used to define and buffer?</p> <p>Define?</p> <p>Define? What undesirable features? Define?</p> <p>Is there a list of acceptable plants and/or street trees?</p> <p>What is considered minimal? Define a minimum size, or require a % for landscape.</p> <p>These 'undesirables' are essential to building serviceability. *Could a landscaped right-of-way accommodate some of these functions?</p> <p>Zeroscape?</p> <p>Define a minimum size, or require a % for landscape.</p> <p>Planters should also have plants in them.</p> <p>How is this evaluated?</p> <p>Zeroscape?</p>
<p>H. Fences and walls</p> <ol style="list-style-type: none"> 1. Construct fences of quality and durable materials, such as, wood, vinyl or wrought 	<p>Fire resistant materials should be required with increased density. (metal or masonry)</p>

<p>iron.</p> <ol style="list-style-type: none"> Architecturally treat all site walls to complement the building design. Chain link fences and other “see-through” fences are not appropriate for screening. Fences and walls directly adjacent to sidewalks and pedestrian plazas in commercial and mixed-use areas should be avoided unless designed as a pedestrian amenity or a low wall landscape feature. 	<p>Define architectural elements for site walls.</p> <p>Define maximum height for site walls.</p>
<p>2.8.3 BUILDING FORM AND MASSING GUIDELINES</p>	<p>CONSISTENCY STATEMENT</p>
<p>A. Building Form and Articulation</p> <ol style="list-style-type: none"> Reduce the imposing appearance of tall buildings by stepping back from street level on elevations above the ground floor. Utilize horizontal and vertical articulation to break up monolithic street walls and facades. Utilize techniques to reduce massing, such as variation in wall plane and height and variation in roof form and levels. Surface detailing may be used but does not serve as a substitute for distinctive massing. Consider adjacent low density uses when designing and orienting a building. For example, avoid balconies overlooking rear yards. Minimize the vertical emphasis of architectural design elements by incorporating features such as horizontal bands, reveals, trims, awnings, eaves, and overhangs or other ornamentation, along different levels of the wall surface. Minimize blank walls by: <ol style="list-style-type: none"> Adding window openings and/or entrances and other relief. Providing recessed glazing and storefronts. Adding vertical pilasters which may ^{To} reflect internal building structure, incorporate vertical pilasters. Changing color and texture along the wall surface. Varying the planes of the exterior walls in depth and/or direction. Adding trims, projections, and reveals along different wall surfaces. Articulate the building façade by varying building elements to create contrast. Integrate all architectural elements into the building design to avoid the look of “tacked on” architectural features. Utilize facade projections and recesses such as bay windows, planter boxes, roof overhangs, and entry way recesses. Arrange columns such that they appear to support the weight of the building or feature above and are balanced in height, weight, and depth. Spindly columns can appear out of proportion with the element it is supporting. Sizes shutters appropriately, when used to cover the window opening. Avoid exterior sliding or fixed security grilles over windows along street frontages. Discourage and avoid “chain” corporate architecture and generic designs. Each project should strive to achieve the unique architectural style or character. Design roofs to accommodate a solar photo-voltaic system and/or solar water heating system, as required by California Building Code. Utilize details such as wall surfaces constructed with patterns, changes in materials, building pop-outs, columns, and recessed areas to create shadow 	<p>Define stepping intervals.</p> <p>Define articulation elements for walls.</p> <p>Should these be combined?</p> <p>Are adjacency standards being developed for building adjacent to low density context, historic buildings, sensitive habitat, etc?</p> <p>Avoid appliqué. Reveals, eaves, overhangs could be adequate.</p> <p>Would these be defined as architectural articulation or elements? Should a minimum (of 3?) be defined?</p> <p>Instead of ADD use incorporate.</p> <p>Instead of VARY specify a minimum number amount (i.e. two or more, 2" deep, full height recessed panels).</p> <p>Would these be defined as architectural articulation or elements? Should a minimum be defined?</p> <p>Define balanced columns, or specify minimum sizes to provide adequate structural & fire resistance requirements.</p> <p>Avoid appliqué. No shutters, unless they are functional.</p> <p>Define VBMP character.</p> <p>Can Net Zero or passive design be required, surpassing the minimums of the building code?</p>

<p>32. Ensure that the main entrance to a building is clearly identifiable and unique, as it is the primary point of arrival and should be treated with significance.</p> <p>33. Window type, material, shape, and proportion should complement the architectural style of the building.</p> <p>34. Utilize recessed windows where appropriate to the architectural style, to provide depth.</p>	<p>← Could architectural styles provide entry examples of entries?</p> <p>← How is complement quantified?</p>
<p>C. Balconies</p> <p>1. Place balconies adjacent to operable doorways. Faux balconies or those that do not appear usable are <u>discouraged</u>. ?</p> <p>2. Visually support all balconies, either from below by decorative beams and/or brackets, from above by cables, or by other parts of the building.</p> <p>3. On corners, balconies may wrap around the side of the building.</p>	<p>← Any balcony that is open to the outside is better than no balcony. Juliette balconies create depth and should be encouraged if it complements the architectural style.</p>
<p>D. Roof Forms</p> <p>1. Ensure that roof materials and colors are consistent with the desired architecture or style of the building.</p> <p>2. Utilize multi-roof forms, hips, gables, shed roof combinations, and sufficiently articulated flat roofs to create interesting and varying roof forms that will reduce building mass, add visual appeal, and enhance existing Village and Barrio character and massing.</p> <p>3. Avoid long, unbroken, horizontal roof lines.</p> <p>4. Avoid flat roofs unless sufficient articulation of detail is provided, such as precast treatments, continuous banding or projecting cornices, lentils, caps, corner details, or variety in pitch (sculpted), height, and roofline.</p> <p>5. Avoid the “tacked on” appearance of parapets, and ensure their appearance conveys a sense of permanence. If the interior side of a parapet is visible from the pedestrian and/or motorist area of the project, utilize appropriate detail and properly apply materials.</p>	<p>← Agreed, but how does this comply with the CBC & Title 24 required cool roofs or solar panels?</p> <p>← Where is the VBMP character defined?</p> <p>← Wouldn't this depend on the architectural style & are these elements more indicative of historic structures?</p> <p>← Almost all facade materials are "applied." How is this avoided?</p>
<p>E. Lighting</p> <p>1. Provide exterior building lighting, particularly in commercial and high-pedestrian areas.</p> <p>2. Design or select light fixtures that are architecturally compatible with the building.</p> <p>3. Integrate light fixtures that are downcast or low cut-off fixtures to prevent glare and light pollution.</p> <p>4. Design lighting in such a way as to prevent the direct view of the light source from adjacent properties or uses, particularly residential properties or uses.</p> <p>5. Utilize lighting on architectural details, focal points, and parking areas to increase safety, help with orientation, and highlight and site attributes and the identity of an area.</p> <p>6. Use energy-efficient lamps such as LED lights for all exterior lighting along with adaptive lighting controls to contribute to energy conservation and potentially reduce long-term costs.</p>	<p>← Agreed that lighting should be provided for safety and all selections should complement the proposed architectural style.</p> <p>← Exterior lights should be shielded from any out or upward light spread.</p> <p>← All lighting should comply with the California Building Code, electrical code and & Title 24 required specifications, or better. Consider modifying these standards.</p>
<p>F. Residential Design</p> <p>1. Design with architectural features such as porches, balconies, chimneys, door placement, window proportions, dormers, wood detailing, fencing, siding, and color scheme to complement the overall building design, site and neighborhood context.</p> <p>2. Incorporate porches, trellises, landscaping, and other features to extend the</p>	<p>← Agreed. Are there defined standards for context?</p>

<p>living area toward the street, soften the transition between the street and the dwelling, and encourage community.</p> <p>3. Design and site units as much as possible to front primary streets to provide "eyes on the street," create pedestrian environments, and support the walkable, connected character of the Village and Barrio.</p> <p>4. Articulate windows with accent trim, sills, kickers, shutters, window flower boxes, balconies, awnings, or trellises authentic to the architectural style of the building.</p> <p>5. Incorporate safe, efficient, and convenient access to usable open space within multifamily developments.</p> <p>6. Locate garages and parking areas to have the least amount of visual impact on the street.</p> <p>7. Design garages so that they are subordinate to the main living area, when viewed from the street. Where possible, recess the garage behind the dwelling unit and do not locate it between the main living area and the street.</p> <p>8. Recess garage doors into the exterior wall, rather than keeping them flush.</p> <p>9. Design detached garages and accessory structures to be an integral part of the architecture of the project. They should be similar in materials, color, and detail to the principal structures of a development.</p>	<p>← This is good, but how is it defined, and how can a building encourage community?</p> <p>← Love Jane Jacobs, but if parking lots and garages continue to be allowed on the ground floor, this will never happen.</p> <p>← Avoid kickers (use column bases if applicable), fixed non-operable shutters, empty flower boxes, which all have an applied look. How is usable defined?</p> <p>← Garages should no longer be allowed on the ground floor. Garages create blank street walls and add to the dwindling open space. Semi recessed or fully recessed subterranean garage structures should be required.</p>
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40.14.100 Specific to Civic Spaces

- A. **Purpose.** This Section sets forth the standards applicable to existing and new civic spaces and civic buildings. These standards supplement the standards for each zone. Civic space is land that is improved for civic gathering purposes per one of the allowed types in this Section.
1. **Amount of Civic Space Required.** Sites of at least 1.3 acres are required to include a minimum of 5 percent of the site as civic space. One or more civic spaces may be used to meet this requirement.
 2. **Building Frontage Along or Adjacent to a Civic Space.** The facades on building sites attached to or across a street from a civic space shall be designed as a "front" on to the civic space, in compliance with Subsection E (Building Placement) and Subsection H (Frontages) of the zone standards.

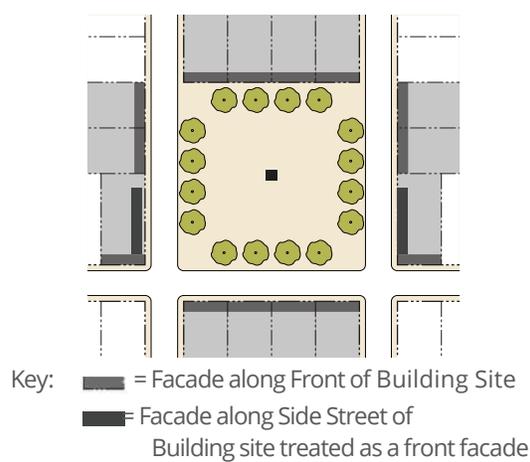


Figure 40.14.100.A

- B. **Overview.** This Section identifies the allowed civic space types and standards for improvements to existing civic spaces and for construction of new civic spaces. Civic space types identified in Table 40.14.100.A (Overview of Civic Space Types).

Table 40.14.100.A: Overview of Civic Space Types

Zone	N-S	N-M	N-L	N-S	N-M	N-L	N-S	N-M	N-L
	MS-M	MS-L		MS-M	MS-L		MS-M	MS-L	
Civic Space Type	Pocket Park/Plaza			Playground			Passage		
Illustration									
Description	<p>40.14.100.C: Pocket Park/Plaza. A small-scale space, serving the immediate neighborhood, available for informal activities in close proximity to neighborhood residences, and civic purposes, intended as intimate spaces for seating or dining.</p>			<p>40.14.100.D: Playground. A small-scale space designed and equipped for the recreation of children. These spaces serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures, or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types.</p>			<p>40.14.100.E: Passage. A pedestrian pathway that extends from the public sidewalk into a civic space and/or across the block to another public sidewalk. The pathway is lined by non-residential shopfronts and/or residential ground floors and pedestrian entries.</p>		

Key T# Allowed T# Not Allowed

Table 40.14.110.A: Overview of Civic Space Types (Continued)

Zone	N-S	N-M	N-L	N-S	N-M	N-L	N-S	N-M	N-L
	MS-M	MS-L		MS-M	MS-L		MS-M	MS-L	
Civic Space Type	Community Garden			Plaza			Green		
Illustration									
Description	<p>40.14.100.F: Community Garden. A small-scale space designed as a grouping of garden plots available to nearby residents for small-scale cultivation. Community gardens may be fenced and may include a small accessory structure for storage. Community gardens may be included within all other civic space types.</p>			<p>40.14.100.G: Plaza. A community-wide focal point primarily for civic purposes and commercial activities. Plazas are typically hardscaped with planting as accents. Commercial activities are subordinate to civic activity.</p>			<p>40.14.100.H: Green. A large space available for unstructured and limited amounts of structured recreation.</p>		

Key T# Allowed T# Not Allowed

40.14.100.C Pocket Park/Plaza



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
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1. Description

A small-scale space, serving the immediate neighborhood, available for informal activities in close proximity to neighborhood residences, and civic purposes, intended as intimate spaces for seating or dining.

2. General Character

- Accessory Structure(s) < 200 sf
- Formal or informal, urban.
- Combination of planted areas and hardscape.
- Spatially defined by building frontages and adjacent street trees.
- Walkways along edges or across space.

3. Size and Location

- 40' min. in any direction.
- 25' min. in any direction between 2nd and 3rd and E and F Streets.

4. Typical Uses

- Civic activity
- Passive recreation, outdoor seating
- Commercial uses in support of civic activity

Key **T# Allowed** **T# Not Allowed**

40.14.100.D Playground



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
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1. Description

A small-scale space designed and equipped for the recreation of children. These spaces serve as quiet, safe places protected from the street and typically in locations where children do not have to cross any major streets. An open shelter, play structures, or interactive art and fountains may be included with landscaping between. Playgrounds may be included within all other civic space types.

2. General Character

- Focused toward children.
- Play structure, interactive art, and/or fountains.
- Shade and seating provided.
- May be fenced.
- Spatially defined by trees.

3. Size and Location

No minimum.

4. Typical Uses

- Active and passive recreation
- Casual seating

Key T# Allowed T# Not Allowed

40.14.100.E Passage



General Note: Photos on this page are illustrative, not regulatory.

N-S	N-M	N-L	MS-M	MS-L
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1. Description

A pedestrian pathway that extends from the public sidewalk into a civic space and/or across the block to another public sidewalk. The pathway is lined by non-residential shopfronts and/or residential ground floors and pedestrian entries.

2. General Character

- Formal, urban.
- No accessory structure(s).
- Primarily hardscape with landscape accents.
- Spatially defined by building frontages.
- Trees and shrubs in containers and/or planters.

3. Size and Location

15' min. between or through buildings.

4. Typical Uses

- Civic activity
- Commercial in support of civic activity
- Casual seating and/or outdoor dining
- Ground floor residential

Key **T#** Allowed **T#** Not Allowed

40.14.100.F Community Garden



General Note: Photos on this page are illustrative, not regulatory.

N-S N-M N-L MS-M MS-L

1. Description

A small-scale space designed as a grouping of garden plots available to nearby residents for small-scale cultivation. Community gardens may be fenced and may include a small accessory structure for storage. Community gardens may be included within all other civic space types.

2. General Character

- Accessory Structure(s) < 2,000 sf

- Plant beds (in-ground or raised).

- Decorative fencing, when fencing present.

- Spatially defined by adjacent buildings and street trees.

3. Size and Location

No minimum within any building site as allowed by the zone.

4. Typical Uses

- Food production

- Passive recreation

Key **T#** Allowed **T#** Not Allowed

40.14.100.G Plaza



General Note: Photos on this page are illustrative, not regulatory.

- N-S
- N-M
- N-L
- MS-M
- MS-L

1. Description

A community-wide focal point primarily for civic purposes and commercial activities. Plazas are typically hardscaped with planting as accents. Commercial activities are subordinate to civic activity.

2. General Character

Accessory Structure(s) < 1,500 gsf; fountains, benches
Formal, urban.

Hardscaped and planted areas in formal patterns.

Spatially defined by buildings and tree-lined streets.

3. Size and Location

100 ft. min. in any direction.

Streets required on two of the Plaza's sides. Facades, on building sites attached to or across a street, shall "front" on to the Plaza.

4. Typical Uses

- Civic uses
- Commercial uses in support of civic uses
- Passive recreation

Key T# Allowed T# Not Allowed

40.14.100.H Green



General Note: Photos on this page are illustrative, not regulatory.

- N-S
- N-M
- N-L
- MS-M
- MS-L

1. Description

A large space available for unstructured and limited amounts of structured recreation.

2. General Character

Accessory Structure(s) < 5,000 gsf; fountains, benches
Informal or formal.

Primarily planted areas with paths to and between recreation areas and civic buildings.

Spatially defined by tree-lined streets and adjacent buildings.

3. Size and Location

150' min. in any direction.

Streets required on at least 2 sides of the Green.
Facades, on building sites attached to or across a thoroughfare, shall "front" onto the Green.

4. Typical Uses

Unstructured passive and active recreation

Civic uses

Temporary commercial uses

Key T# Allowed T# Not Allowed

Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Annette Swanton

Self Guided Walking Tour
Village and Barrio Master Plan
Objective design Standards & streamlined processing project

April 29-May16th 2022 Design Review by Annette Swanton



The Lofts:
Positives” The “cut off” corner offering shade and inviting to the interior, as long as business spills to the outside can bring some life to the location.

The overall layout is good with parking and inviting businesses in.

Negatives: The ugliness is imposing. Seriously lacks, even insults the village idea of “charm” .

Suggestions:Trade out the paint colors for positive attractive “marketing colors”, add awnings and inviting patio areas, and, improve plantings adding mixed media (stone, wood, water) heritage features.

Think Heritage, what will be treasured in 50 years. Add a landmark piece, or garden spot.

The Grand Madison



Overall impression:
Good street integration (except the patio is not in use by the food business and part of having that is to bring life to the area). Good corner cut and wide sidewalk. Also, Nice brick crosswalks. Nice lighting.

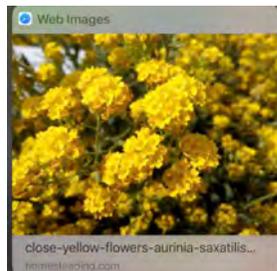
Negative: Lacking color and could use added charm with colored awnings that don't disappear into the building.. the finish is plain

Suggestions: Make existing plain buildings interesting. Add built in charm to existing "boxes" Add colorful "bountiful" "overflowing" tall colorful flower pots outside business doors. These can be built into the boxes by sidewalks. Add colorful awnings. Think "Legacy", will the village have a village feel in 50 years?





Caryle building 800 Grand Ave



Flowers (drought tolerant) can add charm and would make a positive difference here.

Positive features: Top of building is interesting and memorable. In fifty years could still look classic. Base of building looks clean, nice planter space.

Negative Features: Building looks a bit "dead" at the street level. Needs more "interactive" space.

Other opinion:

Business on the sidewalks with outdoor seating adds life and charm. Open business hours charming walkways into the ground floor could provide more life in this village location.

3068 State St



Positives:

This will likely look good in 50 years. Corner cut and a good amount of integration with the street offering openings and shade and even a place to sit on the seating level wall. Mixed media of brick and stone with balconies overhanging the street making for a more accessible alive feeling. There is also good treatment of issues like pipes and utilities usually eyesores on other buildings, fading into landscape here. See example below:



Negatives: Very few negatives. Storefronts could be more vibrant, . This is a good example of a building that has street level interest.

Suggest Adding flowers to the planters:

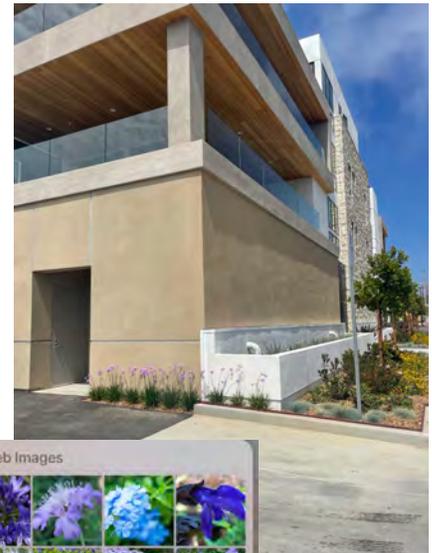


6 on Madison



Positives: The building is high quality, looks classic and interesting with artistic mixed media (Stone and stucco with laser cut artistic metal) that will likely look good in 50 years. It handles difficulties well (Necessary pipes and meters and utility eyesores are painted to fade into the building). For good looks has handled parking challenges and hidden them using alley entry. Nice setbacks on the side.

Negatives: Lack of integrative storefronts. (The only solution would be likely underground parking, because parking takes the space).
The sheer wall at the alley (below) hides parking and trash. If parking were underground this could be a storefront.



Suggestions : Integrate more drought resistant flowers in landscape plans. (Examples above).

Corner of Oak and Madison.

Positives: Interesting to look at. The colors are cheerful on the Madison side.

Negatives: The side on Oak looks cheap. Confusing, a lot going on very cramped and "Funky" The finish looks like it may not wear well and in 50 years could look a bit junky like some "pre-fabs"



Carlsbad Blvd Below: Mixed use Add on to the tour.

A member of the community sent this as "an example of retail with housing that works."



Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Debbie Sullivan

From: [Debbie Sullivan](#)
To: [Shelley Glennon](#)
Subject: Self Guided Walking Tour
Date: Monday, May 9, 2022 5:57:27 PM

Hello Shelley-

Not sure of the format you would like but please accept my thoughts after conducting my self guided walking tour of the Village and Barrio Areas but you will see my notes on the tour's listed properties and then I will share addresses with comments and then photos of others in the area which I or others I know do like.

1040 Carlsbad Village Drive-

This building has too much going on for me. I like the structure of the building (the angles and the variances in the direction that the building faces) but I do not like the amounts/kinds/colors that were being used, it felt way too busy. It didn't feel very cohesive.

800 Grand-

I did like the residential feel of this one, love the more subtle colors, all the windows, the decorative accents, the below ground parking is subtle but not decorative, appreciate all the consistencies in colors and use of materials.

711 Grand-

I don't particularly like this color scheme/contrast of colors/yellow, I do like the angles of this building and the way the residential flows into the retail space below.

3088 State St-

Love the coordinated stones, color scheme, how all the decorative accents are coordinated throughout the street facing exteriors, I appreciate all the windows and the way the residential blends into the retail below.

3097 Madison-

This one was my favorite of the ones pre-chosen for me. There was a great use of coordinated and decorative screens to hide the less aesthetic elements of the building. I like the more subtle/natural color scheme, the windows, this one is very pleasing to my eyes. I also really appreciate the variety of materials used, and yet it is well coordinated.

745 Oak-

This one I do not like. It is too blocky with blah colors, it lacks attractive and welcoming accents and features. The side of the building facing Madison St doesn't seem to go with the remainder of the building, lacking cohesiveness.

3130 Madison-

There is not much of this one I do like. It has lots of windows but they show the interior staircase? Design is overpowering and design is not pleasing to the eyes. It appears blah in color and design and lacks attractive features.

The following properties were added by me, see the attached photos added in order as the addresses below.

965 Oak-

This mediterranean styled building seems to go with our area if it is allowed here and there throughout the Village and Barrio areas. I appreciated the decorative accents on the building, in the yard and along the driveway, very residential feel with variances in building's structure/shapes/angles. A more decorative screen would have been appreciated covering the parking area since it is central to the building even though it is recessed.

2622 Madison-

Love the buildings on this corner. The design of these buildings reminds me of the homes I saw on the Barrier Islands of South Carolina, they have a very beachy vibe. Love the window shutters, the raised porches, the wood planks...

2693 & 2675 Roosevelt-

More plank style materias and the cool color scheme along with the decorative driveways and front porches facing the street give these homes a very welcoming/part of the neighborhood feel. Like the variety of colors and not too many different materials used besides.

560 Laguna-

This one just blends into its environment, all the wood on the building sides of this community perched on the bluff above the lagoon seems to blend in with the surrounding features of this neighborhood, it doesn't take over the neighborhood or become a visual giant, The angles and modern structure play into the forward moving type of community we are while embracing the natural surrounding elements. The decorative driveway makes it more welcoming as well.

539-597 Laguna-

One more mediterranean styled multi family building, but would like it it better if it were white stucco like the buildings of the Greek Islands, that is another vibe I think we can pull of here, and the buildings just across the street at 664 Laguna do that.

Now for some possible questions to have on the public survey:

- 1) List some building addresses in the Village and Barrio area that you feel convey the character of this area.
- 2) Should we have a limited color palette of choices for new builds? If so, what ranges of colors should that include?
- 3) What building features best speak of the Village & Barrio area characteristics? (Give some examples on survey)
- 4) What subjective building design features best speak to the character of the Village and Barrio? (Give some examples on survey)
- 5) What parking features are desired in relation to design? (Give some examples on survey)
- 6) Should we limit the architectural design choices for new builds to 3 or 4?
- 7) Which transitional building design works best for this area? (Give some examples on survey)
- 8) Which architectural projections and variations do not fit in the Village and Barrio area? (Give some examples on the survey)
- 9) Which frontage types fit in the Village & Barrio area? (Give some examples on survey)

For most people, I believe that multiple choice questions with some photographic examples would be the best way to get input on an electronic survey. For the average person without

much architectural experience, pictures speak 1000's of words.

Thanks for listening and let me know if you need any clarification on any of this.

Most Sincerely,
Debbie Sullivan

CAUTION: Do not open attachments or click on links unless you recognize the sender and know the content is safe.



965





2693

2699-2711

2677



Laguna Point

539-597

RESIDENTS & GUESTS
PARKING ONLY



CROSSING



Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Mary Goetz



Site 3: Mixed-Use Building

711 Grand Ave.

Carlsbad, CA 92008

Comments on Site 3 Below:

- Tier III (4 to 5 Story)
- Mixed Use with retail, restaurants and residential
- Front facing with windows along the street to provide visual interest
- Nice frontage with trees and plants



Site 4: Mixed-Use Building

3088 State Street

Carlsbad, Ca 92008

Comments on Site 4 Below:

- Not pleasing to the eye
- Brick seems too heavy and not in line with downtown Carlsbad
- Garage entrance is very dull and in the middle of the complex on the street, not hidden taking away from this building
- The overall design of this building seems fragmented and not smooth at all



Site 5: Mixed-Use Building (NM Corner of Madison St. and Oak Ave.)

3097 Madison Street
Carlsbad, CA 92008

Comments on Site 5 Below:

- The garage is not pleasing to the eye being on the street and rod iron
- Tier III (4 to 5 story)
- Quality of the building is better than others with the stone look contrasted against the solid stucco
- Windows on street are inviting but not enough

Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Mona Gocan

Mona Gocan's Self Guided Tour

First, I will start with what, as a pedestrian, I would prefer to see more of and what I would prefer to see less of in a town like Carlsbad. After that, you will find my comments on the assigned properties.

What I would like to see more of:

- Warm, light colors and materials
- Arches
- Balconies
- Columns
- Spanish roof tiles, mansard, gable, hip, shed, pent roofs.
- Setback upper floors so that I can't see them when walking next to the building and the building doesn't seem too tall next to me. Multiple setbacks for different floors or sides of the building.
- Landscaping and vegetation between the building my walking path.
- Fabric windows and doors canopies.





What I would like to see less of (Pretty much most of what the assigned buildings have):

- Dark, industrial look colors and materials (extreme use of glass, concrete, and metal)
- Straight-line designs
- Straight-line roofs or no roofs
- Box buildings, flat walls from floor to roof
- No vegetation around the building (concrete sidewalk meeting concrete walls)
- Metal, industrial-looking canopies.





Self-Guided Walking Tour Site Addresses

Site 1: The Lofts at Carlsbad Village (Mixed-Use Building)

1040 Carlsbad Village Dr.
Carlsbad, CA 92008



First floor too tall and too many straight lines. Lower and softer looking canopies will be more appealing



First floor too tall and too many straight lines. Lower and softer looking canopies will be more appealing
The green between sidewalk and buildings is nice



Too industrial-looking.
Softer, fabric canopies would be much more attractive to the pedestrians

Site 2: Condominium Building

800 Grand Avenue
Carlsbad, CA 92008



Seem too massive. Top floors being setback would help give a different perception to the pedestrians



Needs some storefront or better design. As a pedestrian is not much to see other than walking under the balcony



Feels too massive. Straight lines design. Could soften it up with curved lines, different levels setbacks and fabric canopies.

Site 3: Mixed-Use Building

711 Grand Ave.

Carlsbad, CA 92008



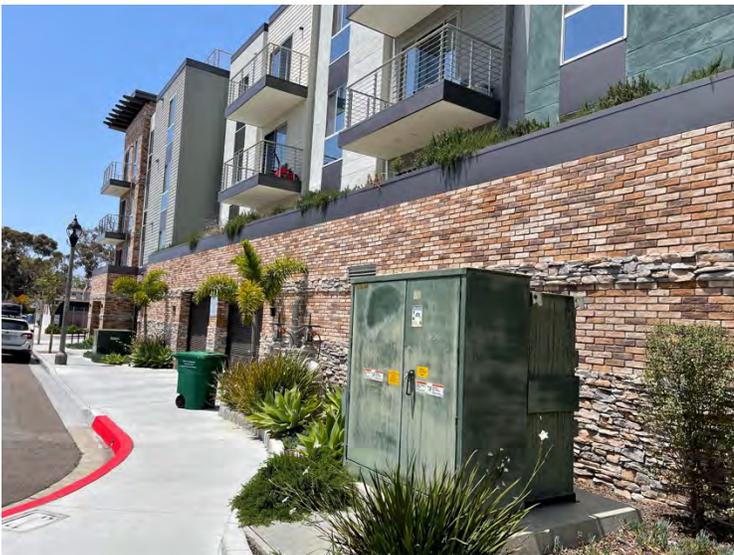
Too industrial. Too much concrete, metal and glass. Having some green landscaping next to the building (between the sidewalk and building) will help. Also softer lines and materials... arches, fabric, columns, etc.

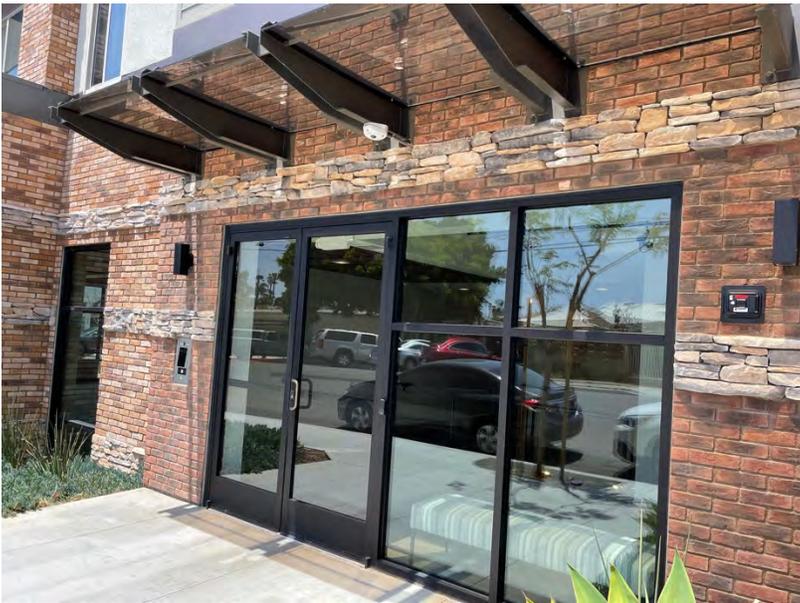


Site 4: Mixed-Use Building
3088 State Street
Carlsbad, Ca 92008



Upper floor setbacks is ok. But walking by this bottom floor with all the stone, metal, electrical cabinets, etc is not very appealing. Needs softer lines and colors. No straight roof.





This side is better for walking because of the landscaping. But still needs softer lines overall.

Site 5: Mixed-Use Building (NM Corner of Madison St. and Oak Ave.)

3097 Madison Street
Carlsbad, CA 92008



Not sure where the mixed-use comes from. There are no stores. Very heavy looking with all the straight design and too much concrete.



Not pleasant to walk by this corner.



This sidewalk side should totally be in the back or alley. It is just a huge, concrete wall that pedestrians are walking by. Nothing appealing. The green between the building and sidewalks helps a bit. Softer lines, roof, materials needed.



Site 6: 1) Five townhomes (SE Corner of Madison St. and Oak Ave)
745 Oak Avenue
Carlsbad, CA 92008



AND
2) Four luxury apartments
3130 Madison Street
Carlsbad, CA 92008



Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Nicholas Puccio

Nicholas Puccio

Design Review Committee 05/16/22

Self Guided Walking Tour Comments:

1 The Lofts at Carlsbad Village

- Overall it is a good use of space on the property but poor activation. This building style looks like the value engineered cookie cutter product that this company pops up in Anytown USA. They elevate the design with high end materials, but lack in local style.
- This building looks like they checked all the boxes with off setting planes and materials, and awnings, but little attention was paid to how it fits into the village.
- The glazing across Carlsbad Village Dr. does not feel inviting or make a motorist intrigued to pull in. This is no element to draw in or invite the public to this street frontage.
- The front of the building is turned to the interior and faces a motel. That inviting please stop in frontage should be facing the street.
- Not sure if some areas are public or not. They have a walking path along the east side of the property that looks like it could be public but is confusing because you can see to the other side and its just another building and accessible, but could be resident use only.
- This building is a good example of what could look nice in the inland empire, does not look good as the first thing that is seen exiting onto Carlsbad Village Dr. People most likely will just speed past it without a second thought to head to something closer to the ocean.
- On the positive side, they were able to mass the building along the freeway to provide a open feel to the front of the building, not just a straight vertical wall. The property shape made this build difficult, but the street frontage could have been better with areas for pedestrians and patrons of the businesses to mingle along Carlsbad Village Dr.

2 Carlyle

- Overall this design has a nice mixture of architectural elements. Incorporating tutor/craftsman style with modern colors. This type of modern build fits in well.
- The garage entryway with set back landscaping give it a nice feel and the set back from the street and opens up the space in front. Balcony elements are done well and blend in to the architecture. This style is filled with local character.
- I like that a lot of the façade is taken up by windows and not stucco or large amounts of manmade materials.
- The combo of raised planters and landscaping at grade make it feel inviting and cared for showing personal pride of ownership within a shared building.
- The garage doors are opaque which provides privacy and the material used looks classic.
- The horizontal articulation breaks up the feeling of a huge building and makes it feel more open and away from the street front.

3 Grand & Madison

- Overall the building design is unique and cool with the tones used in the palate. The slanted balconies on the side facing Grand are an eye-catching element. The sidewalks are wide along Grand making it easy to walk by another group walking in the other direction.
- The windows seem pretty plain with no elements surrounding them or caps.
- The building is stacked in a pleasant way as well. It pushes the height of the building back off the street and makes it feel shorter.
- The east and west elevations are lacking. They used all the windows on the northside. Properties like this should be required to improve all public facing sides, but overall the design tried to address each elevation.
- The western elevation incorporates the utilities as best as possible, but the notch taken out of the hard corner for seating for the restaurant is a key element to making the hard corner inviting.
- This will become a cornerstone intersection as Carlsbad evolves and this is a good example of modern creative architecture that feels like it's been there a long time. It doesn't feel out of place next to a tutor office building and mid century bank.
- This has the spirit of the current Village/Barrio style.

4 Oak & State

- As a whole this building has too much going on. In an attempt to please everyone they ended up doing too much. There are brick elements, horizontal lines, colors, and textures all over the place. The stripped down architectural style was a great start, it had a lot going for it. I think if the building had no skin it would be a great place to start.
- The corner elements could have used the corner better. I walk by the building constantly and the best way to describe it, is when you walk west down Oak it doesn't invite you to turn right and walk down state street, it almost forces you across the street because the building sticks out so far into the sidewalk and there is a tree planter right at the point where the building sticks out making the sidewalk 2 feet wide at that pinch point. You almost feel like you would tip over if you made that hard right turn and then had to dodge the tree.
- This building has some great elements like the roof caps and the caps at the top of the commercial section.
- The planters are really functional and not so fashionable, the glass store fronts are basically half covered by planters and only has small welcoming area. If vegetation was to get to anything sizable it would cover up most of their frontage and draw.
- This area along the street should always feel like a shared space where public and businesses are colliding.
- With the brick elements it doesn't really fit in with the Village/Barrio Style.

5 NWC Oak & Madison

- Overall the building has a very beach feeling. The earth tones and brick along with the glass all make it feel like its right on the coast.
- The architectural style is a very modern, it seems like each level is a major statement and because of that it stands out a little too much and
- I don't feel a commercial element on the ground floor and with no architectural elements along the frontage on Madison it looks like a storage area for the building.
- The materials feel natural and give it the building a soft edge even with all of the hardlines.
- I think the major issue with this building is not the upper floors but the ground floor, if you were to draw a line 13' from the ground and block the lower portion and look at the building the upper area looks almost like two buildings leaning back to back each facing opposite directions which looks pretty cool.
- If you were to look at the first 13' vertically along Oak Ave, you can see that the function outweighed the fashion as $\frac{3}{4}$ of building along Oak Ave are flat stone and stucco walls.
- The elements that stare you in the face as a village/barrio walker are not very pleasing. I don't feel invited and the building doesn't feel connected, its just set back. The area along Oak has no engagement. People should enjoy landscaping or something interesting as they walk down Oak toward the Village. Currently when you walk down the streets you see a lot of shrubs and trees and people caring for their yards.

6 SEC Oak & Madison

- There are two new builds on this corner, one with a modern craftsman style and one with a modern style.
- This is at the root of why we need these design guide lines. The thing that links these two properties is a small single level home and all three styles are wildly different.
- The modern design is cool, but not really cool for the Barrio. This style would look great facing the ocean in La Jolla or Encinitas.
- Like any modern style there are a lot of smooth surfaces and clean lines, it has no character or vibrance, its just slick. This type of modern doesn't really have heritage baked in, it just has a long northern elevation of flat walls and windows.
- The craftsman style build on the corner has a lot going on, so overall I don't like how many elements there are along the street, and the garage seems like an afterthought. Everyone has a car and the ingress/egress should be take advantage of the alley.
- The thing that they did do well on that building is making the entrances come out onto Oak Ave. The doors are set back off of the street far enough to feel private, but close enough that if someone walked outside as you walked by you could say hello.
- Land scaping along the street is a little lack luster and we should also give developers the option to do some creative hardscapes that include some larger trees and less ground cover type for landscaping.

Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Patrick Connolly

Design Review Committee
Self Guided Walking Tour
Comments
Patrick Connolly

Building 1 - The Lofts

Initial Overall Feeling (from the Carlsbad Village Dr -CVD - side) was that while I liked the design (1/2 stone and 1/2 siding), its overall proportions facing CVD created a mass effect that overpowered the pedestrian sidewalk. My initial impression was that its base was too high, and its CVD facing windows/entryways too large. It did not create a welcoming pedestrian atmosphere. However, its pedestrian friendly large corner patio area led to the building's side facing west and its parking spaces which offered a completely different welcoming and more



pedestrian friendly effect. Its differing roof heights, contrasting colors, varied facades, different window designs and heights, different bases, multiplicity of angles did in my view create an interesting and welcoming pedestrian impact. While I would have preferred that the top floor(s) be somewhat set back from the street and there be additional outdoor patron areas, the design did not seem to overpower what is a fairly narrow space between the building and the the

building on the other side of the street/parking area. The side design certainly deemphasized the somewhat boxy effect of its CVD face.

The building itself also offered examples of three other factors I believe important in setting the design standards that are focused on pedestrian impact. One - how large is the street/area on which the building is located and facing? Two - what is the level of pedestrian traffic the buildings adjoining sidewalks currently have and may be anticipated in the future? The smaller the facing street and the larger the pedestrian traffic, the more important that the design standards attempt to avoid a boxy, overpowering structure that overwhelms the pedestrian area. In the Loft's case, my initial impression of the CVD facing side of the building was tempered by the current relatively low pedestrian flow in that area of CVD and the relatively large street/space it faces on CVD. I concluded that the building's two very different sides would have been acceptable.

The 3rd factor was suggested by the large courtyard at the CVD corner of the building - the availability of ground floor patron/public spaces that can be used for either commercial (without impacting pedestrian walkways) and patron/public gathering spaces which would enhance the overall pedestrian friendly impact. Currently the space is not being used but appears available for such activity in the future. I considered this another significant plus for the Loft design.

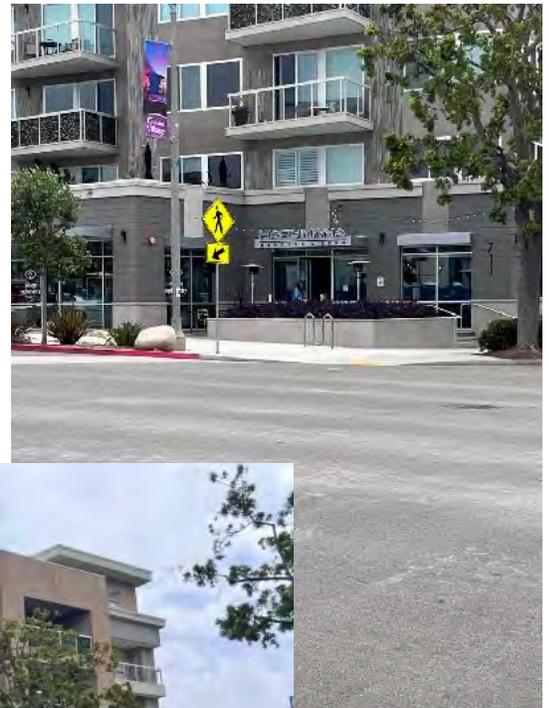
Building 2 - The Carlyle

I had mixed feelings about this building's design. I liked the way the spacing of its front facing condo columns, its varied roof lines, its landscaping, and its front facing patios avoided any boxy effect. But the sameness of the 5 columns and the the gray with white stucco/siding suggested a a more commercial or industrial structure that I do not believe is as conducive to the Village atmosphere as I would have preferred. In addition, while I liked the amount of setback most of the building had from the sidewalk, its balconies did somewhat overhang and might overpower the pedestrian impact if the building had been located on a smaller street with higher pedestrian traffic.



Building 3 - Madison and Grand

There were many things I liked about this building - Its condos were set back from the street on an angle which would help minimize any overpowering impact on pedestrians even if it were located on a smaller street. While I would have preferred a more varied roof line on its Grand Avenue front face, the balconies, its contrasting vertical stone columns, its slight offset between each vertical condo column and its Madison facing side with its varied columns, angles and roof line helped to soften any boxy effect. Its commercial ground floor base was not overpowering because of the base's contrasting colored cap, the setback of the floors above, its welcoming corner patron/public outdoor space, and the relatively large sidewalk on Grand.



Building 4 - My initial feeling was somewhat favorable because the design attempted to avoid any boxy commercial impact. its base was not overwhelming and the vertical brick corner column was appealing. The roof line was somewhat varied but still had a fairly flat and unappealing look. It did have contrasting colors and material, but I did not find the multi colored brick to be as appealing as material and colors used some of the other buildings. The balconies did break up the boxy feel of the building but I would have preferred some additional awnings or overhangs above the patios to provide some additional angles and contrast to the

facade. I did like the way the commercial space was delineated by the horizontal and vertical brick design, but I would have preferred to see some ground floor outside patron/public area to better facilitate commercial activity in an area where the sidewalk is somewhat narrow.



Building 5 - My overall impression was that there was no sufficiently delineated front of this building, and while I liked some aspects of the design, overall it had a fortress like feel with very little on the ground floor that would contribute to a pedestrian friendly feel. Specifically, its Madison street front was drab; its white color, blacked out windows, lack of setback and vegetation, did not enhance any pedestrian friendly feel. Moreover, its utilities were too apparent at the corner of the building. I did like the contrasting columns and contrasting color patio angles on the Oak Avenue side, but the flat roof, the metal facade, the lack of setback from the sidewalk, and the absence of any ground floor entries or outdoor patron/public space did not help to offset the fortress feel.



Building(s) 6 a - on SE corner of Madison and Oak



My overall impression was positive. I liked the different angles, somewhat varied roof lines, different window shapes, and the vertical columns with varying depths and contrasting colors. While there was very little setback from the Oak Avenue sidewalk, there were second floor patios visible which might facilitate a more pedestrian friendly feel. I think the design was appropriate for this particular area where there is relatively little current pedestrian traffic and it faces on both sides fairly wide streets. If it were located on a more narrow street in a higher pedestrian traffic area, I would prefer a bit more setback and that the upper floor(s) be setback from the base and lower floor(s).



b - on Oak - My overall impression was mixed. I liked the different shapes used in the design as well as the amount of setback from Oak which, with the relatively small size of the structure did not overwhelm any pedestrian experience. However, I did not like the extent and uncertain color of windows in the pentagon shaped front, nor the garage entrance facing Oak.

Some additional comments/observations.

I do appreciate the emphasis given at the first meeting about pedestrian friendly perspective and if requested, I can offer specific examples where I believe it has become a problem because of commercial activity (generally restaurants) and where it has been addressed by providing outdoor patron space. I understand the factors which have led to some of the issues impacting sidewalk access and am sympathetic to the businesses who have expanded onto

and impacted pedestrian traffic, but to the extent possible and allowed by our charter, I believe our design standards should encourage designs which incorporate outdoor patron areas that minimize any further impact to pedestrian traffic.

I look forward to future discussion.

Respectfully submitted,

Patrick Connolly

Design Review Committee
Self-Guided Walking Tour Comments
Committee Member Raúl Díaz

Below are my (Raúl Díaz) responses for the Design Committee Walking Tour questions.

The requested survey questions were:

1. Feeling about the building design.
2. Like architectural style.
3. Specific likes/dislikes.

The six buildings on the tour were:

Site 1: The Lofts at Carlsbad Village (Mixed-Use Building)

1040 Carlsbad Village Dr.
Carlsbad, CA 92008



1. Feeling about the building design.

It was nice along Carlsbad Village (Elm), photo 1.1, the rhythm and scale of the flat arches was humane. The ability to walk all the way through to Grand was helpful. It was a lot better than the Restaurant's parking lot with turf that was directly west (photo 1.2) which felt like one was walking down the middle of a busy street.

2. Like architectural style.

The style was fine if a bit bland. Seemed like it could have been a contemporary building in any southern California suburb. It could have been richer in its architecture since it acts as a gateway from the freeway.

3. Specific likes/dislikes.

I liked the tall massing that blocked the freeway sound. The stone veneer was a good color and texture.

Site 2: Condominium Building

800 Grand Avenue
Carlsbad, CA 92008



1. Feeling about the building design.
The building has a good sense of detail and broke up the massing without feeling chaotic. It's too bad it could relate more to the scale of the older small Spanish style office building across the street, photo 2.2.
2. Like architectural style.
The style was fine as it allows for Architectural detail variety, seems to be a mix of contemporary beach (Seaside?) and Craftsman. Could have used more Craftsman colors.
3. Specific likes/dislikes.
The use of paved inner courts, photo 2.1, was nice in that it seemed to set up axis with the architectural elements. The trendy dark grey colors are oppressive.

Site 3: Mixed-Use Building

711 Grand Ave.
Carlsbad, CA 92008



1. Feeling about the building design.
The building feels too massive and chaotic
2. Like architectural style.
The lack of style is apparent. Too many materials and bump outs were used in a failed attempt to break down the mass.
3. Specific likes/dislikes.
It addresses the pedestrian experience of Grand Avenue (Grand's width is forgiving to its height) well but seems to ignore Madison Street. The utilities along Madison are an eye sore and appear to leak, Photos 3.1 & 3.2 .

Site 4: Mixed-Use Building

3088 State Street
Carlsbad, Ca 92008



1. Feeling about the building design.
The overall Massing of the Building is fine if a bit too many in ands outs. The use of the roof to accent the corner works well, photo 4.1. It could have been nicer to the neighbor on it's north side. Good use of the alley for the vehicles and parking.
2. Like architectural style.
Again, the lack of style is apparent. Too many materials and bump outs were used in an attempt to break down the mass.
3. Specific likes/dislikes.
The stone veneer strip through the base of brick veneer is nonsensical. The balconies as planes appear cheap. The utilities (transformer? on the sidewalk are unfortunate

Site 5: Mixed-Use Building (NM Corner of Madison St. and Oak Ave.)

3097 Madison Street
Carlsbad, CA 92008



1. Feeling about the building design.
The Madison Street Façade seems composed well, Photo 5.1, The one along Oak not so much. The massing seems to work.
2. Like architectural style.
The contemporary modernism is fine, The Oak façade over uses “frames” for the balconies.
3. Specific likes/dislikes.

4. The use of the light colored stone veneer as a mass works well. The half butterfly roof seems like it was left over from a previous thought. Taking advantage of the alley for parking was good.

Site 6: 6.1) Five townhomes (SE Corner of Madison St. and Oak Ave)

745 Oak Avenue
Carlsbad, CA 92008



1. Feeling about the building design.
The massing seems to work except at the ground floor which isn't open nor is it enclosed.
2. Like architectural style.
The contemporary residential modernism is fine though again not very site (town) specific.
3. Specific likes/dislikes.
The fire sprinkler system appears to have been an after thought and is an eye sore, photos 6.1.1 & 6.1.2. The parking seems so contorted that I doubt the garages nor the HC parking stall will ever be used, but at least the drive comes off the alley.
Nice residential entry to one unit off of Oak.

AND

6.2) Four luxury apartments

3130 Madison Street
Carlsbad, CA 92008

4. Feeling about the building design.
I applaud the attempt at a site-specific response with the use of the gable roof. The house between the two projects is dwarfed.
5. Like architectural style.
Is it Post Modern since it's using a gable? It's not quite done yet but use of abundant glazing framed by the shape at the front is nice.
6. Specific likes/dislikes.
The trendy dark grey colors are oppressive.

Other thoughts that occurred on the tour were:

- A) – A dialogue between the new construction and the historical buildings in the Barrio and Village might be helpful in bridging the scale gap. Below is a link to the walking tour of Historical points of interest that is on the City’s website. At this time it’s as close as we get to an official list of Landmarks or Historic Sites.

<https://experience.arcgis.com/experience/0504f0829e0b4a7f9358e175085cb8b7>



These are images of the Army Navy Academy (specifically the historic Red Apple Inn building) that many folks feel is one of the defining institutions of Carlsbad.

- B) Encouraging more site specific architectural responses would produce more quality Architecture. For instance the “new” St. Michael’s church (below) by Albert Frey is a great building that the City seems to ignore.



Another good example of being site specific is the Victor Condos that face Magee Park.



Thanks for letting me participate, Raúl Díaz